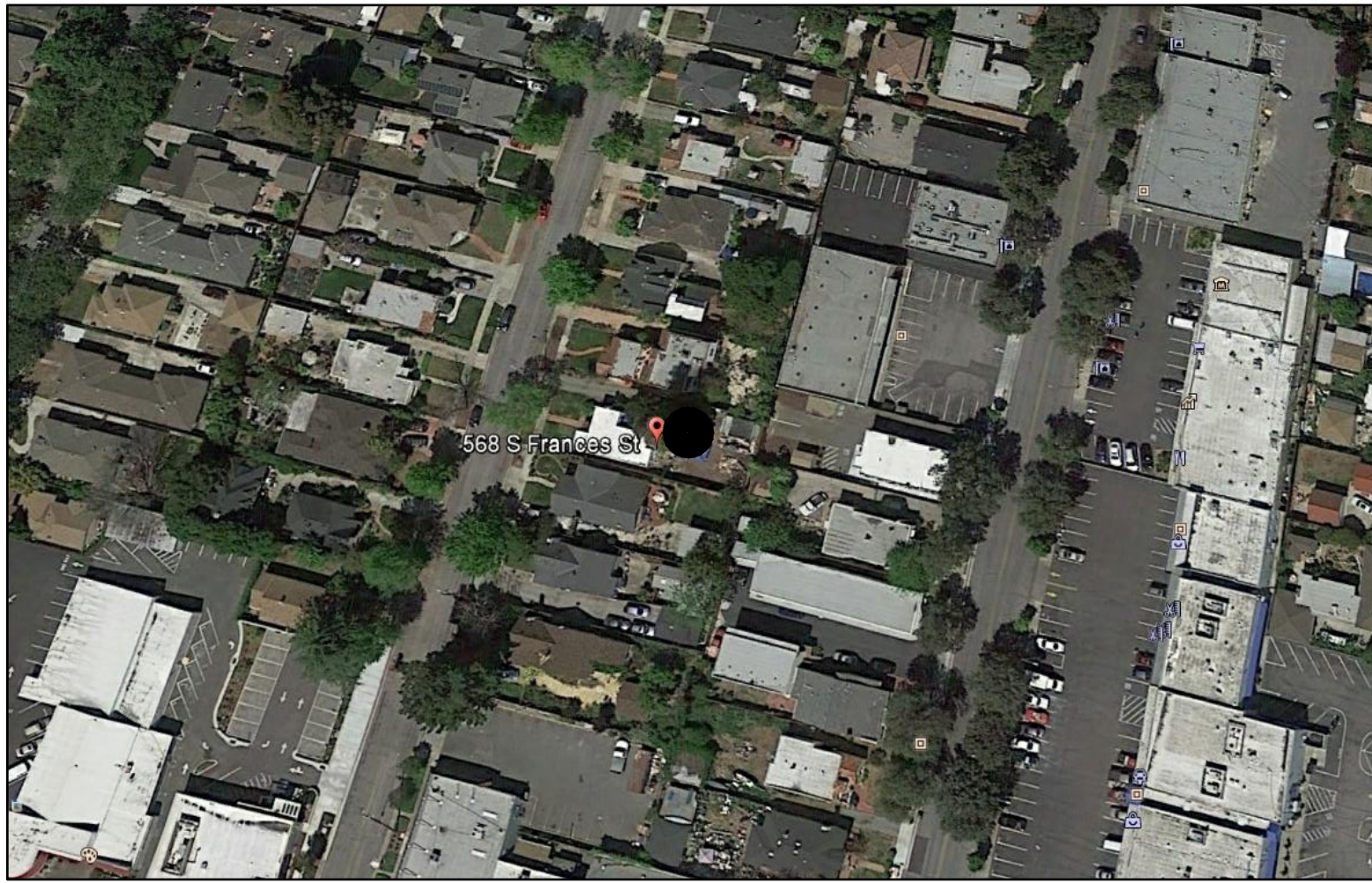


Taafe-Frances Heritage Neighborhood



Taafe-Frances Heritage Neighborhood

THIS PROJECT ENTAILS SMALL EXTENTION TO THE EXSITING STRUCTURE AND RENOVATION OF THE HOUSE INTERIOR. ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE NEIGHBORHOOD PARTICULAR GUIDELINES:  
1. MY OBJECTIVE IS TO EXPAND THE SIZE OF THE HOUSE BY ADDING MASTER BEDROOM. THE APPROX 500 SQFT EXTENSION WILL BE BUILT, AT THE GROUND FLOOR, ON THE REAR OF THE PROPERTY, LEAVING THE FRONT FACADE WITH ITS EXISTING CHARACTERISTICS AND CHARM.

IN ORDER TO PRESERVE THE HOUSE SPANISH APPEAL, IM KEEPING THE FRONT FACADE AND THE PORCH ENTRY SIZE AND SCALE INTACT. I ONLY PLAN TO ENHANCE THE FACADE APPERANCE BY ADDING NEW WOOD SHUTTERS, RESTORING ITS CURVED WOOD ORNAMENT LOCATED ABOVE THE FRONT FACADE WINDOW, ADDING SPANISH LAMPERS AND WINDOW PLANTERS. THE IDEA IS TO PRESERVE THE SPANISH STYLE WITH MORE UPDATED MATERIALS, NEWER AND FRESH LOOK. THE NEW APPEARANCE IS MORE LIKLY TO BETTER FIT THE NEIGHBORHOOD SCALE AND CHARACTER.

- I WILL APPLY NEW COAT OF COLORED STUCCO (LIGHT YELLOW- NEARLY OFFWHITE) TO THE EXTERIORS OF THE ENTIRE HOUSE.
- I WILL ALSO REPLACE THE FRONT WINDOWS WITH THE SAME SIZE WINDOWS TO MATCH THE SHUTTERS AND THE NEW COLORED STUCCO, WHICH WILL BE MORE EFFIECIENT.
- I WILL FIX THE STRUCTURE OF GARAGE AT THE REAR OF THE HOUSE AND REINFORCE ITS STRUCTURE TO BE ABLE TO SUPPORT THE NEW LOW PITCH TILE ROOF.
- I WILL REPLACE THE ENTIRE ROOF STRUCTURE. THE NEW ROOF WILL PRESERVE THE HOUSE NATURAL SPANISH STYLE WHILE ADDING MORE CHARACTER AND ELEGANCE TO THE STRUCTURE.

568 S. FRANCES ST'  
SUNNYVALE, CA



EXISTING



PROPOSED

DRAWING SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SECTION TAG SEE DWG. AS NOTED		ELEVATION TAG SEE DWG. AS NOTED
	TAG- SEE DWG. AS NOTED		FINISH TAG- SEE FINISH LEGEND FOR ADD TL INFO.
	ELEVATION BENCHMARK		PLUMBING ACCESSORIES TAG- SEE LEGEND
	ROOM NUMBER TAG		EXTERIOR FINISH TAG SEE EXTERIOR MATERIAL LEGEND OR KEYNOTE
	EQUIP./ DOOR TAG- SEE EQUIP./ DOOR SCHEDULE		GLAZING TAG/COLUMN LINE- SEE
	REVISION TAG		

LIST OF DRAWINGS

C1	ABBREVIATIONS, GENERAL NOTES, DEMO NOTES
SP1	SITE PLAN/ AREA CALCULATIONS
A1	FLOOR PLAN- EXISTING & PROPOSED
A2	ROOF PLAN- EXISTING & PROPOSED
A3	ELEVATIONS - EXISTING
A4	ELEVATIONS - EXISTING & PROPOSED
A5	ELEVATIONS - PROPOSED
A6	STREETSCAPE - FRONT & REAR

NOTE: THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER. THE CONCEPTS AND DESIGNS CONTAINED HEREIN ARE INTENDED FOR THE SPECIFIC LOCATION INDICATED HEREON AND ARE NOT TO BE USED IN OTHER LOCATIONS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGNER.

GENERAL NOTES

- All work is to conform to the rules and regulations of the local building department and the CA Building Construction Code.
- Electrical work to be fire underwriter's inspected and approved.
- All plumbing work to be installed in strict accordance with all state and local codes.
- Contractor to effect and maintain insurance, i.e. contractor's liability, workman's compensation, completed operations, etc. adequate for the purposes of this project and furnish proof of same prior to commencing with work.
- Contractor to notify Architect of field conditions other than those shown here or of dimensional discrepancies prior to commencing with work affected by same.
- Contractor shall protect, patch and repair all existing work adjacent to his work, or damaged as a result of his work.
- Where existing materials are to be matched, care is to be taken in blending colors and replicating adjacent forms and contours.
- Before submitting any proposal, it shall be the responsibility of the contractor to familiarize himself with all conditions at the site relative to existing conditions, materials to be matched, working space available, safety precautions, etc. required for the safe and expeditious execution of this contract. Failure to do so will not be cause for extra cost to the owner or owner's representatives.
- All concrete to have a minimum compressive strength of 3,000 PSI at 28 days and conform to the latest requirements of ACI 318 for mixing, placing, forming and stripping.
- The Designer shall be notified of any unforeseen subgrade, physical condition discovered, as well as any easements, etc., not indicated on the survey or plan. No work shall proceed until same is addressed and resolved.
- Discrepancies, errors, omissions, etc., in any portion of the drawings which are at variance with the local ordinances, rules or regulations, bearing on the conduct of the work shall be reported promptly to the Architect.
- All subcontractors shall be responsible for filing and obtaining approvals for their work which may be required.
- The subcontractors shall provide all equipment, tools, fences, transportations, safeguards, etc., as required for the proper execution of their work.
- Any deviations from the Architect's drawings must be submitted to the Architect in writing for approval.
- Each subcontractor shall be responsible for maintaining safety on the job site during the construction phase to comply with the regulations and requirements of the Occupational Safety and Health Administration. This shall include, but are not limited to: providing for adequate and proper bracing, safety railings and secure footings for all temporary scaffolding, stairs, etc., as well as permanent construction.
- Each subcontractor shall submit a copy of his insurance coverage (Workman's Compensation, liability, disability) to the owner prior to commencing work. Each contractor shall submit lien releases prior to requesting final payment.
- All spaces around electric cables, conduit in the exterior wall shall be protected against the passage of rodents, by closing this openings with cements mortars.
- It is not the intent of the specifications to provide for substitution of materials by specific brand whether equal or unless specifically called out. Where materials are not specified contractors are to provide samples for approval.
- Figured dimensions shall govern small scale drawings where dimensions are established by conditions. If existing, each contractor shall measure existing conditions prior to ordering materials and commencing with work.
- General contractor and his subs are responsible for all lay-out work, including specified lay-out, drawings as required. General contractor shall coordinate respective subcontractors so as to not to cause undue hardship, delay and interference with conduct of work.
- Contractor shall coordinate all phases of work with the required parties. All phases of adjacent facilities operations shall be maintained during construction. Contractor shall keep site free of construction debris and keep site fully accessible to the public during hours of operation.
- Contractor to remove all debris created by this work from the site and dispose of in a legal manner on a weekly basis or sooner if conditions warrant.
- At the completion of work, the site is to be cleared of all debris and excess materials. The facility is to be left broom clean and work is to be completed to the total satisfaction of the owner prior to release of final payment.
- Contractor shall coordinate the work of all trades.
- Unless otherwise noted, all existing utilities shall be altered, capped, or relocated as to guarantee a complete installation.
- The Designer has not been retained for administration of the construction of this project.

REVISIONS / ISSUANCES		
NO.	DATE	TITLE



**EFRAI'S DESIGN STUDIO**

692 VANDERBILT ST'  
SUNNYVALE, CA 94087  
TEL. (650) 861-1507

PROJECT

EFRAI & LIOR BARAK  
568 S. FRANCES ST'  
SUNNYVALE, CA

SHEET TITLE

COVER SHEET,  
GENERAL NOTES, MECH. NOTES

DRAWN BY  
EB

CHECKED BY  
EB

SCALE  
AS NOTED

DATE  
11/01/15

SHEET NUMBER

**C1**

JOB NO.

9800



## SITE INFORMATION

PROPERTY LOCATION: 586 S. FRANCES STREET, SUNNYVALE, CA  
SITE AREA: \_\_\_\_\_ 6500 SQ. FT.

EXISTING FLOOR AREA: \_\_\_\_\_ 1030 SQ. FT.:  
GARAGE \_\_\_\_\_ 216 SQ. FT.

PROPOSED ADDITION: \_\_\_\_\_ 498 SQ. FT.:  
GARAGE \_\_\_\_\_ 216 SQ. FT.  
TOTAL \_\_\_\_\_ 1527 SQ. FT.

## ZONING INFORMATION

ZONING DISTRICT: R0-HH  
APN NUMBER: 209-30-020

SETBACKS: REQUIRED: PROPOSED:  
FRONT YARD MIN 20'-0" MIN 20'-0"  
REAR YARD MIN 20'-0" MIN 20'-0"  
SIDE YARD MIN 4'-0" MIN 4'-0"

**LOT SIZE** **6,359 sqft**  
**MAX SIZE ALLOWABLE (45%)** **2861 sqft**

### EXISTING FLOOR AREA CALCULATIONS

①	34	*	20.25	=	688.5
②	6.16	*	11.75	=	72.38
③	9.5	*	14.66	=	139.27
④	11.41	*	5.75	=	65.60
⑤	8.5	*	7.58	=	64.45

**1030.20 sqft** **TOTAL EXISTING**

### ADDITION FLOOR AREA CALCULATIONS

⑥	17.91	*	9.5	=	170.14
⑦	22.58	*	11.41	=	257.63
⑧	1.91	*	19.83	=	37.87
⑨	6.91	*	3.08	=	21.28
⑩	8.5	*	1.25	=	10.625

**497.54 sq-ft** **TOTAL ADDITION**

### TOTAL NEW FLOOR AREA

497.54 + 1030.20 =

**1527.74 sq-ft** **TOTAL NEW FLOOR**

⑪	8.5	*	1.25	=	110.88sqft	PORCH
⑫	10.0	*	20.0	=	200sqft	GARAGE

**TOTAL LOT COVERAGE**

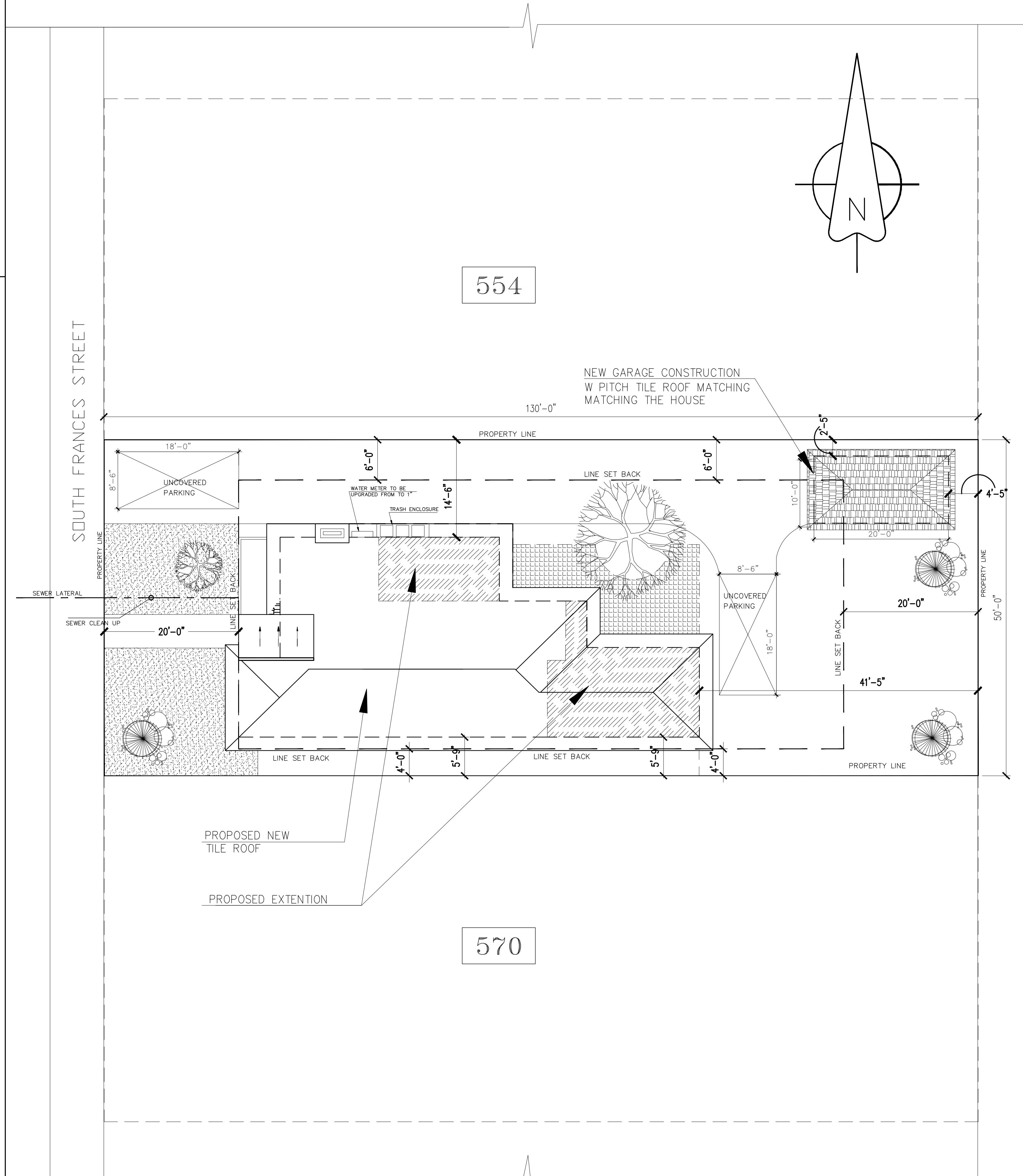
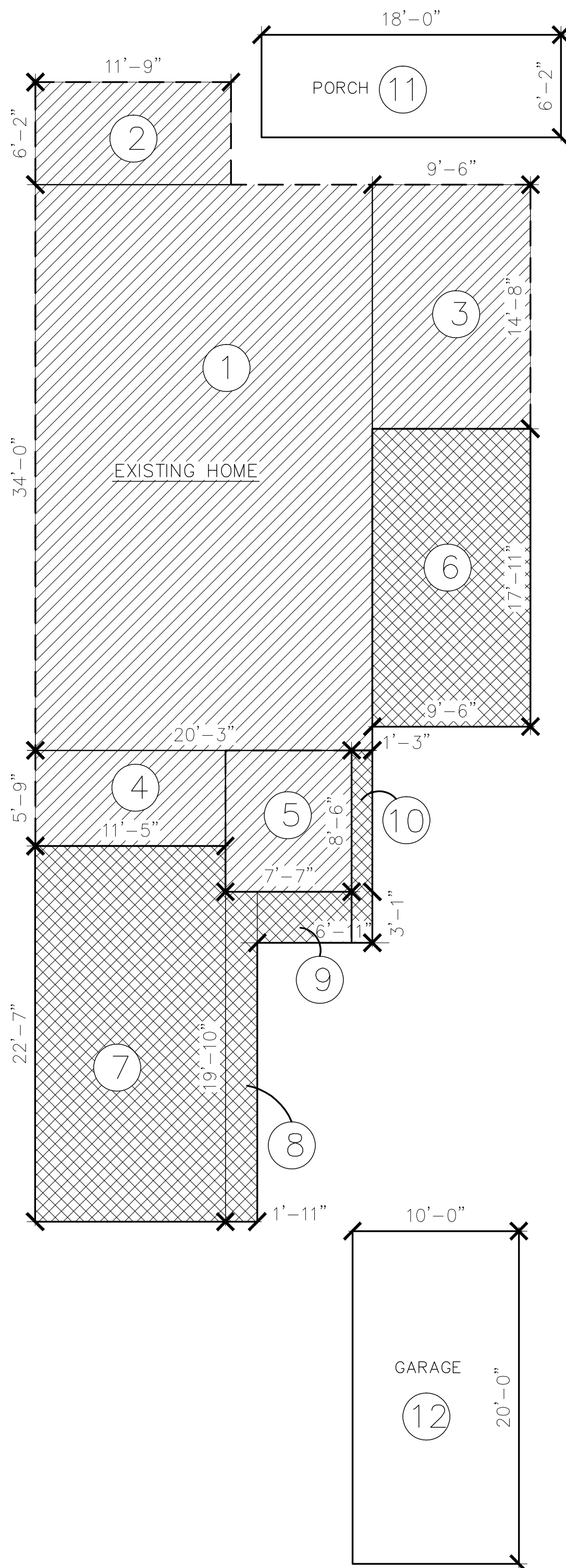
**1838.62 sq-ft**

INCLUDING PORCH AND GARAGE

**FLOOR AREA RATIO ALLOWABLE (45%)**  
**EXISTING FLOOR AREA RATIO (45%)**

**6,359 sqft** **=29%**  
**1838.62 sq-ft**

1 AREA CALCULATIONS  
SP1

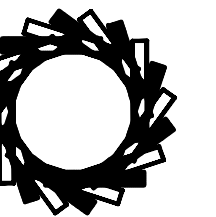


2 SITE PLAN & LANDSCAPE  
SP1  
SCALE 1"=10'

REVISIONS / ISSUANCES

NO. DATE TITLE

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TEL. (650) 861-1507



PROJECT EFRAAT & LIOR BARAK  
586 S. FRANCES ST  
SUNNYVALE, CA

SHEET TITLE  
SITE PLAN  
GENERAL NOTES, MECH. NOTES

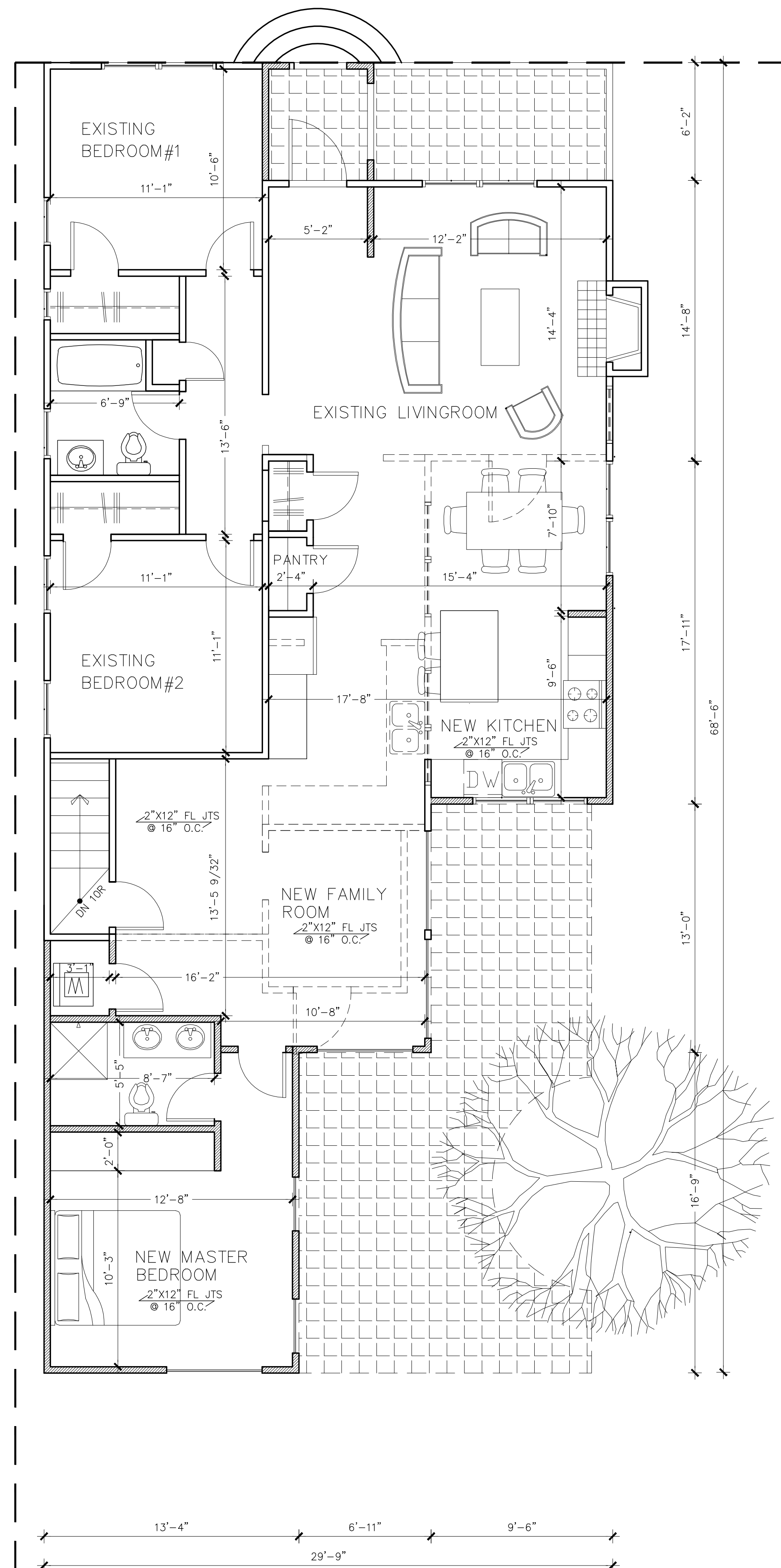
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SCALE  
AS NOTED  
DATE  
11/01/15

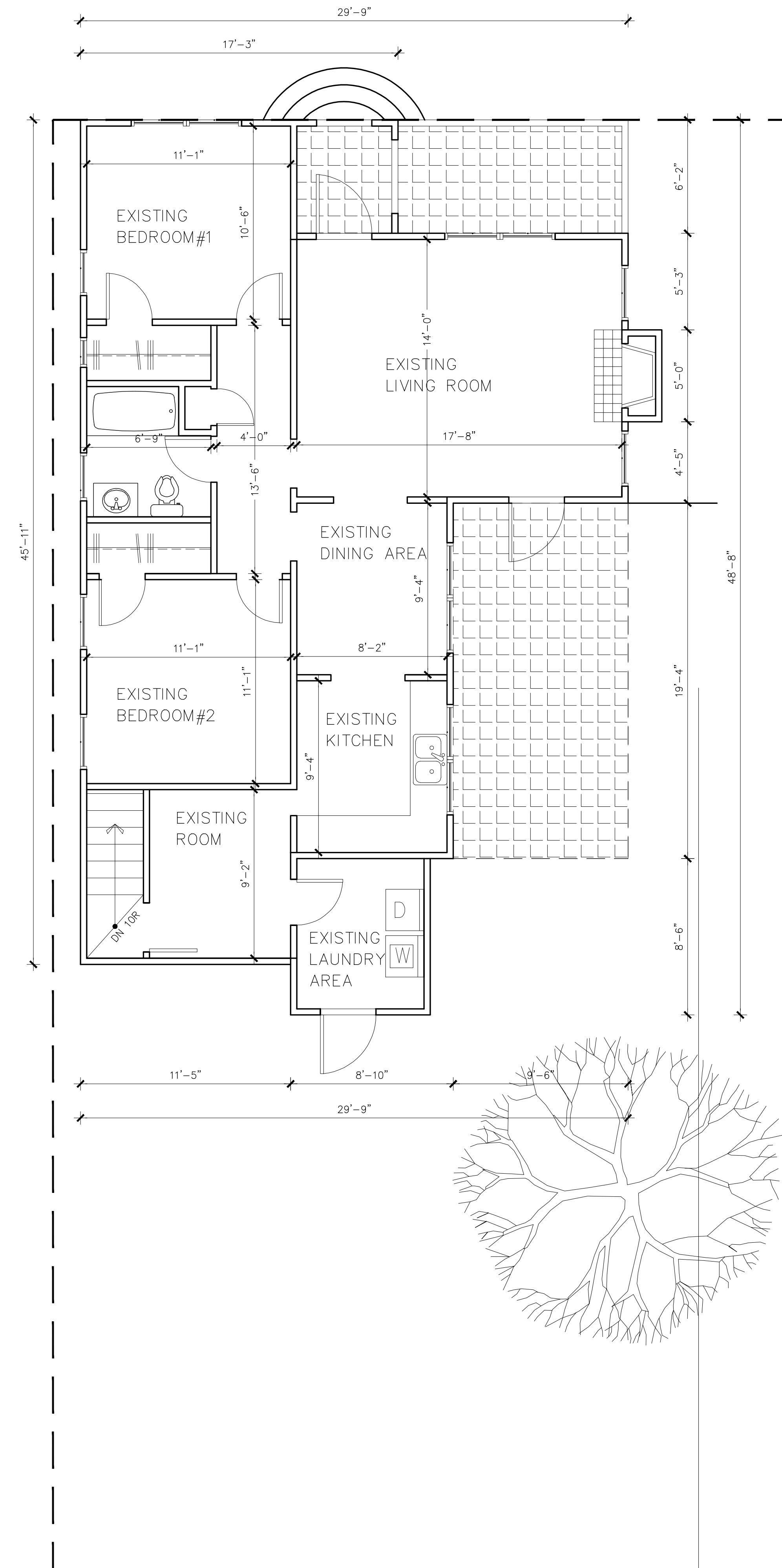
SHEET NUMBER

**SP1**

JOB NO. 9800



1 PROPOSED FLOOR PLAN  
A1 SCALE 1'-0"=1/4"

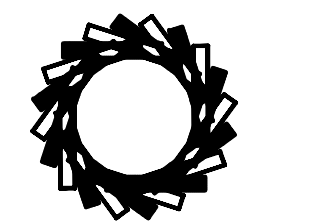


2 EXISTING FLOOR PLAN  
A1 SCALE 1'-0"=1/4"

REVISIONS / ISSUANCES		
NO.	DATE	TITLE

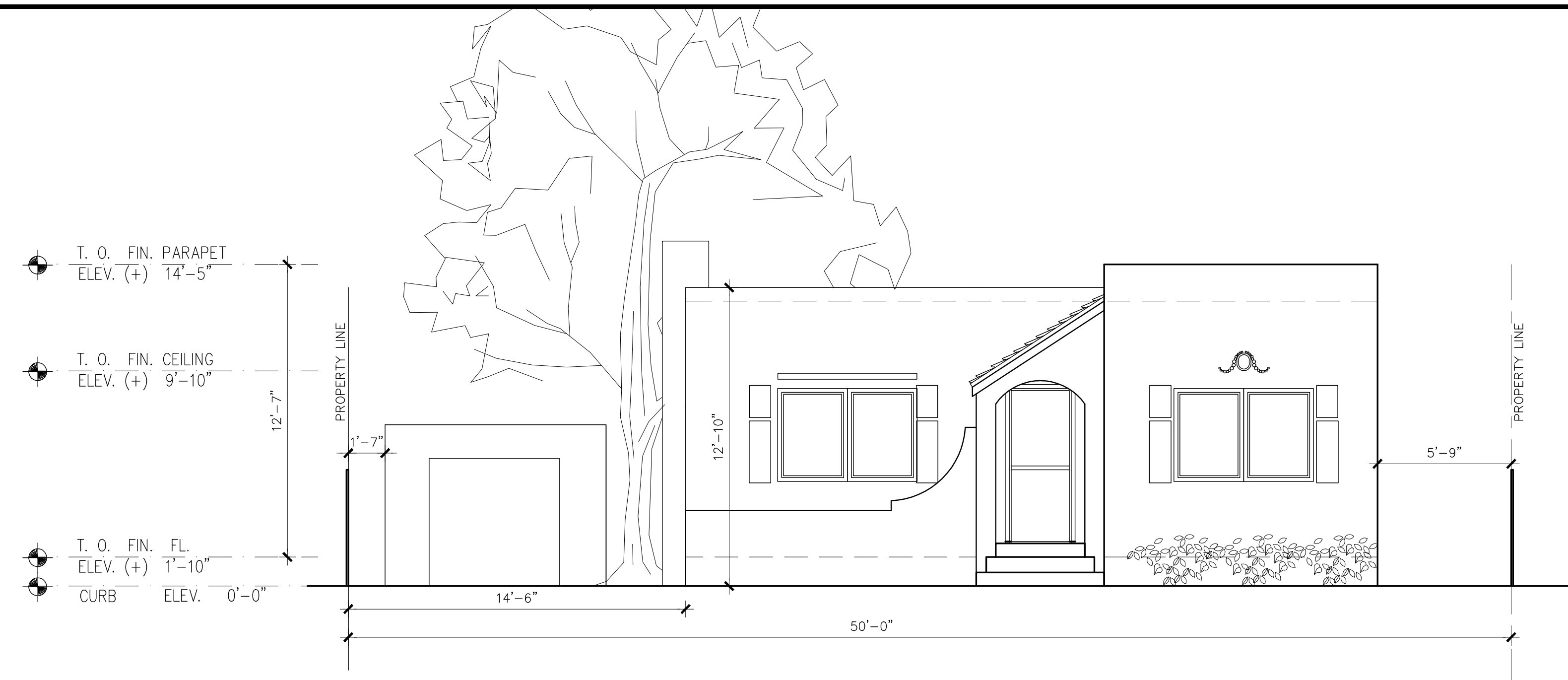


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PROJECT	SHEET TITLE
EFRAT & LIOR BARAK 568 S. FRANCES ST. SUNNYVALE, CA	FLOOR PLANS, EXISTING & PROPOSED

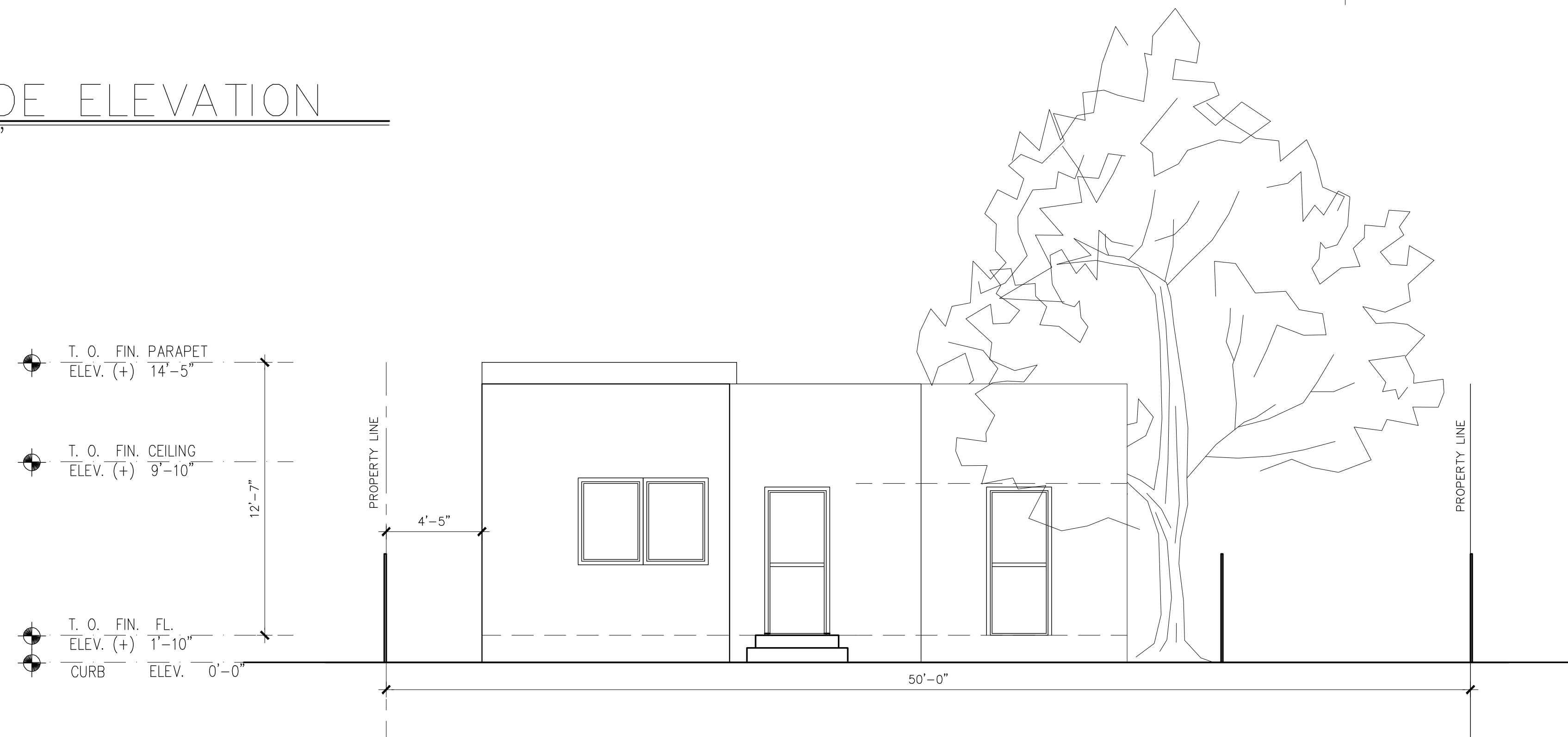
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EB	AS NOTED
CHECKED BY	DATE
EB	11/01/15
SHEET NUMBER	
<b>A1</b>	
JOB NO. 9800	



1  
A3

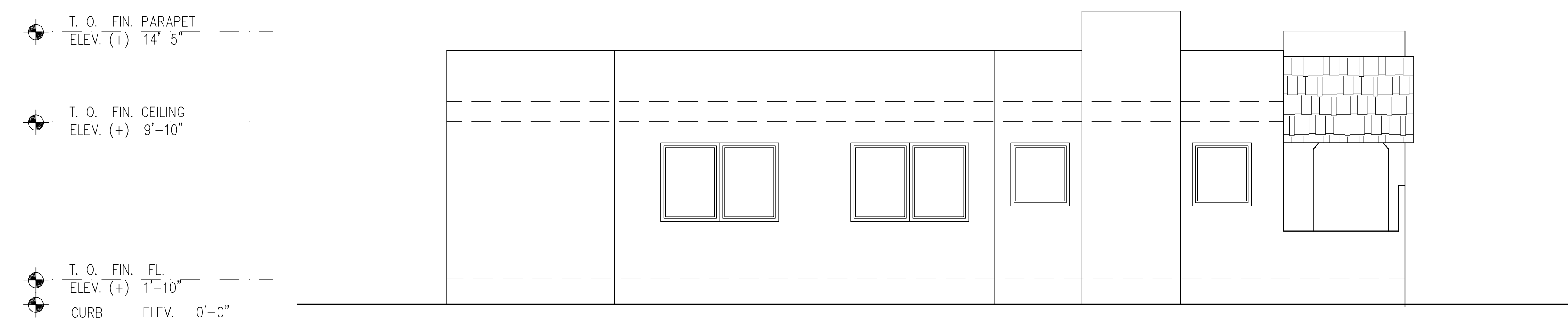
EXISTING SIDE ELEVATION

SCALE 1'-0"=1/4"



2  
A3

EXISTING REAR ELEVATION  
SCALE 1'-0"=1/4"

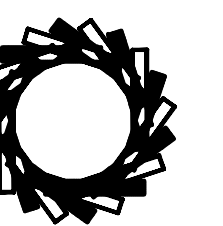


3 EXISTING SIDE ELEVATION  
A3 SCALE 1' - 0" = 1/4"

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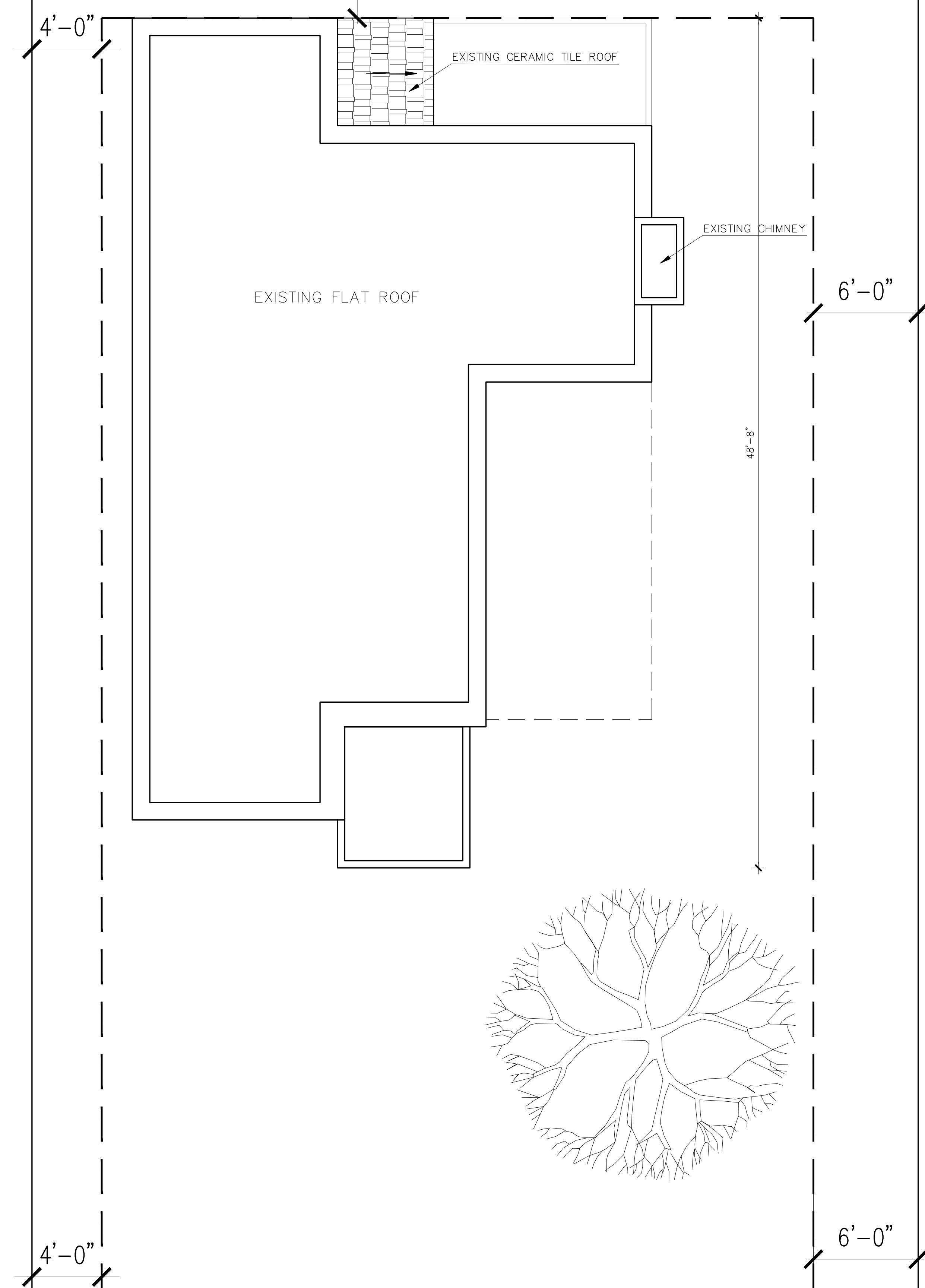


568 S. FRANCES ST'  
SUNNYVALE, CA

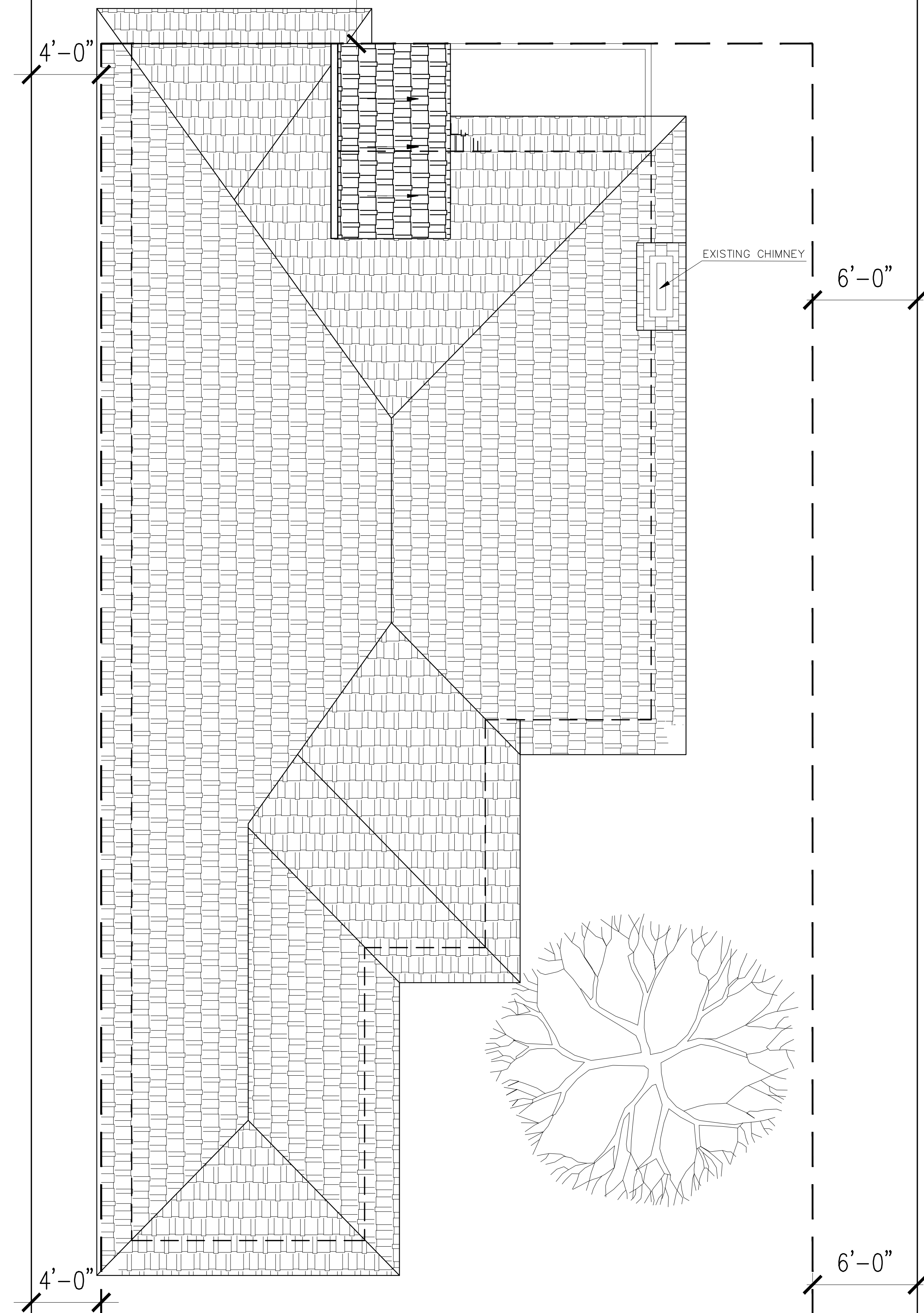
ELEVATIONS, EXISTING

AWN BY EB	SCALE AS NOTED
CHECKED BY EB	DATE 11/01/15

SHEET NUMBER  
**A3**  
B NO. 9800



1  
A2  
EXISTING ROOF PLAN  
SCALE 1'-0"=1/4"



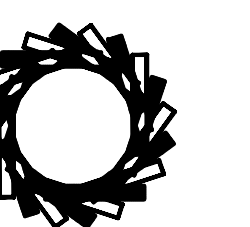
2  
A2  
PROPOSED ROOF PLAN  
SCALE 1'-0"=1/4"

REVISIONS / ISSUANCES

NO. DATE TITLE

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SUNNYVALE, CA

SHEET TITLE ROOF PLANS, EXISTING & PROPOSED

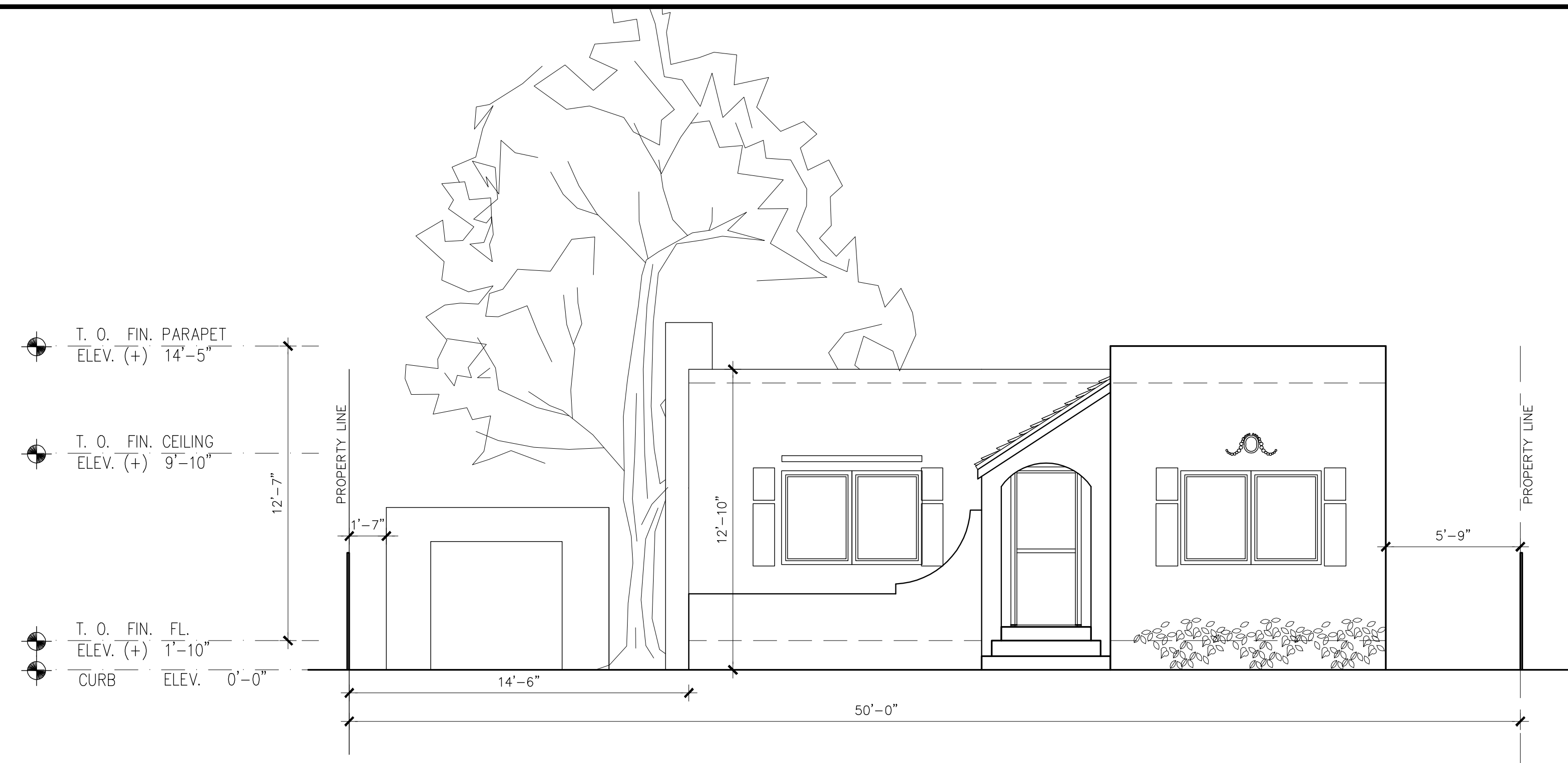
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DATE  
11/01/15

SHEET NUMBER

A2  
JOB NO. 9800

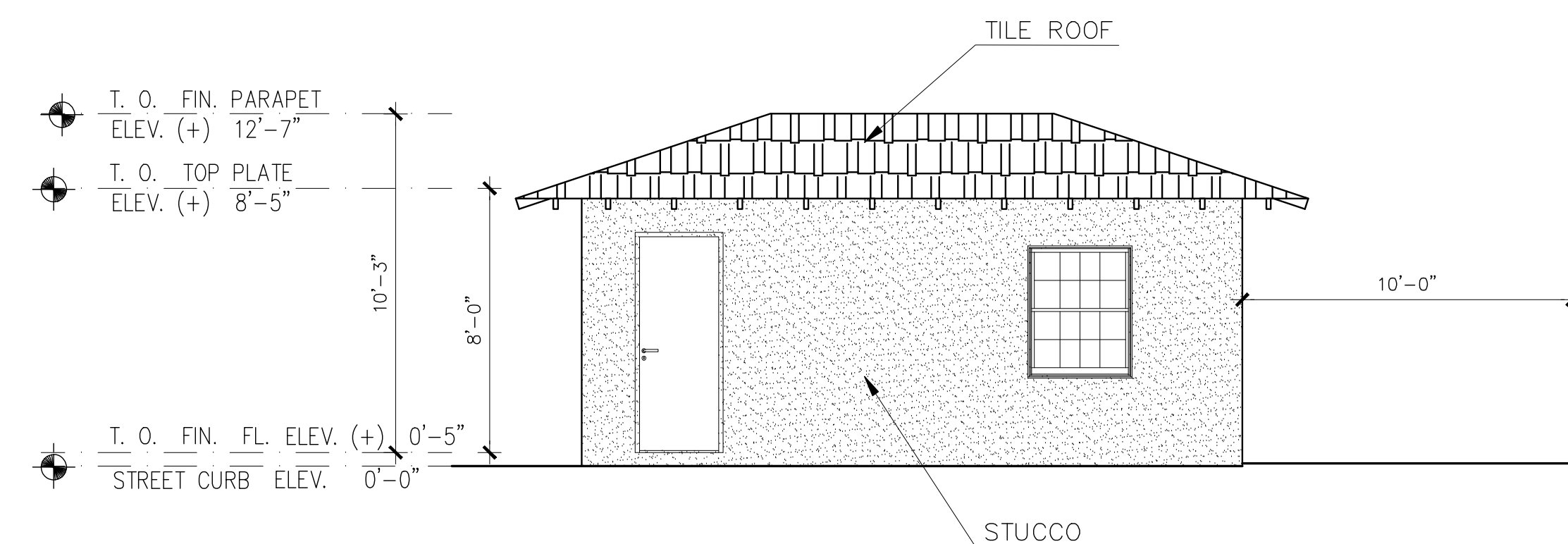
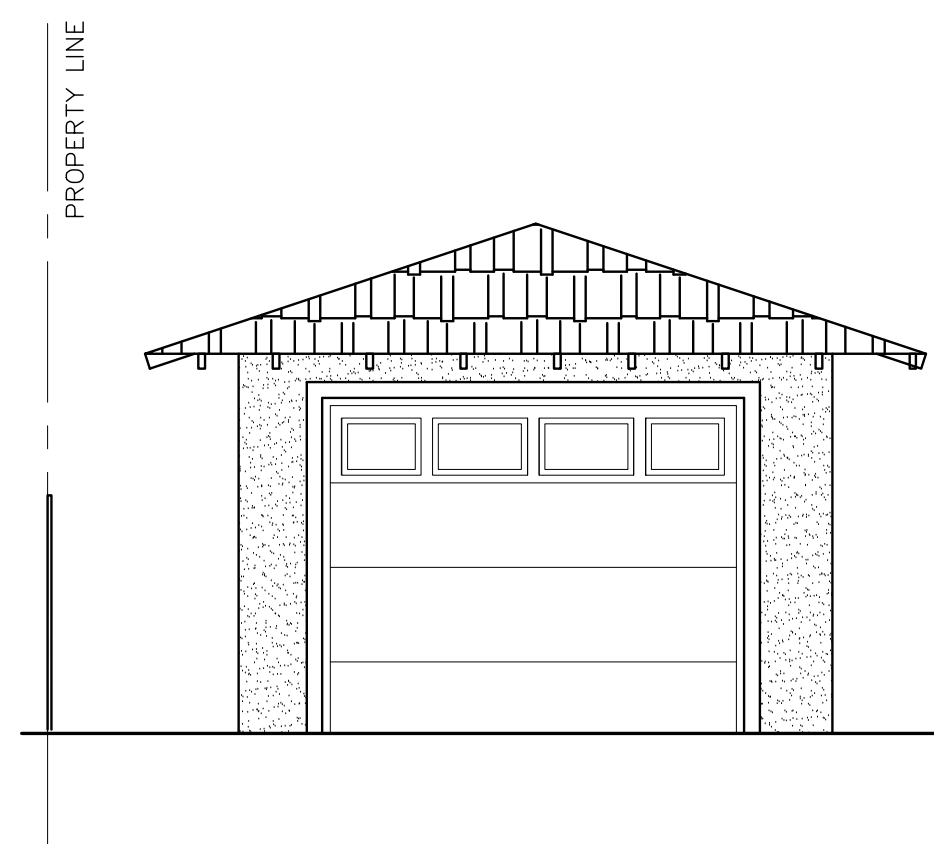
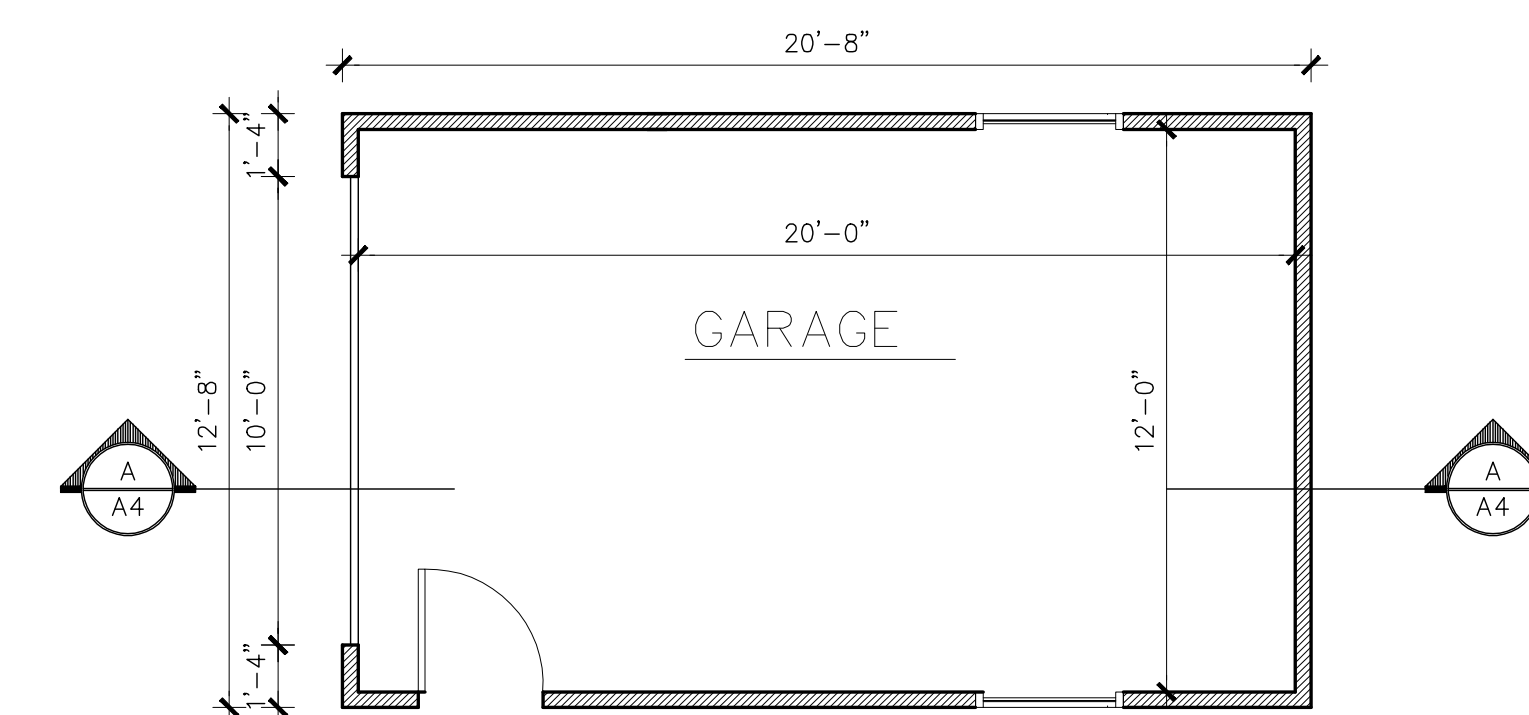
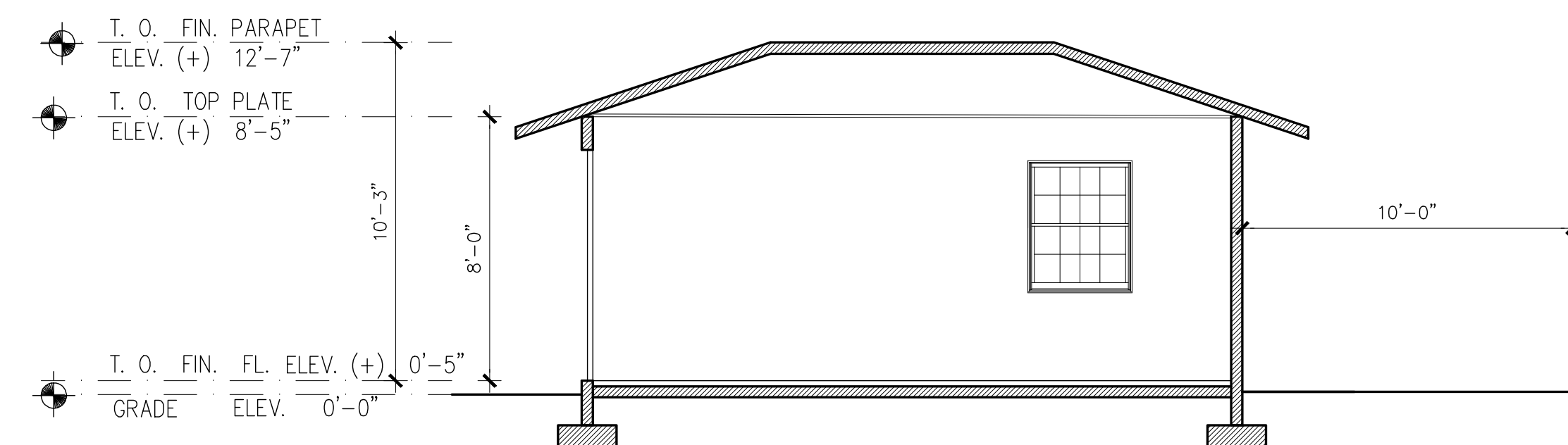




2  
A1

EXISTING ELEVATIONS

SCALE 1'-0"=1/4"

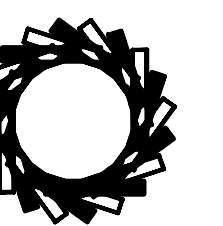


2 PROPOSED NEW GARAGE PLANS  
A1 SCALE 1'-0"=1/4"

[illegible]

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568 S. FRANCES ST'  
SUNNYVALE, CA

ELEVATIONS, EXISTING &amp; PROPOSED

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EB

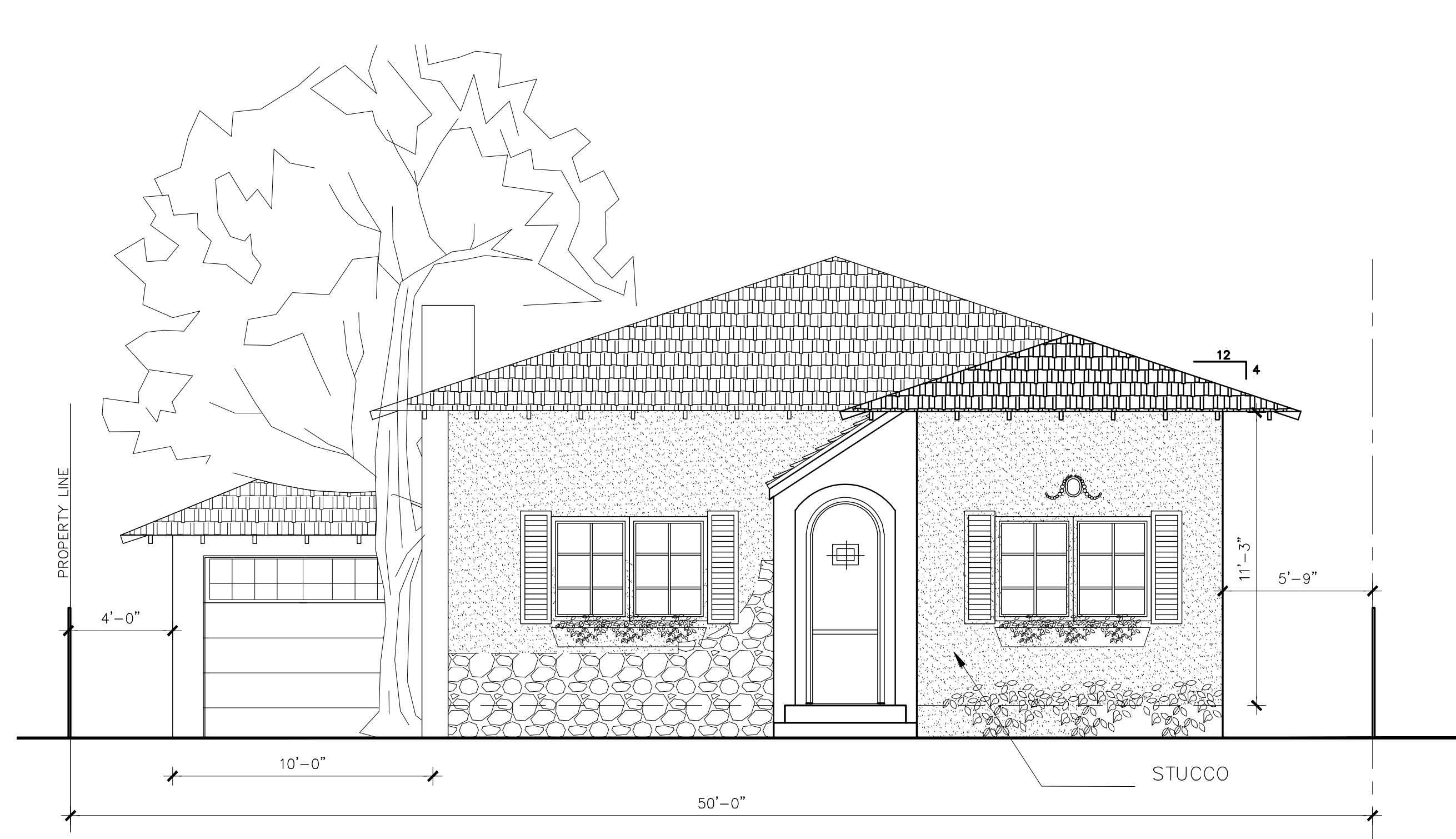
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HEET NUMBER

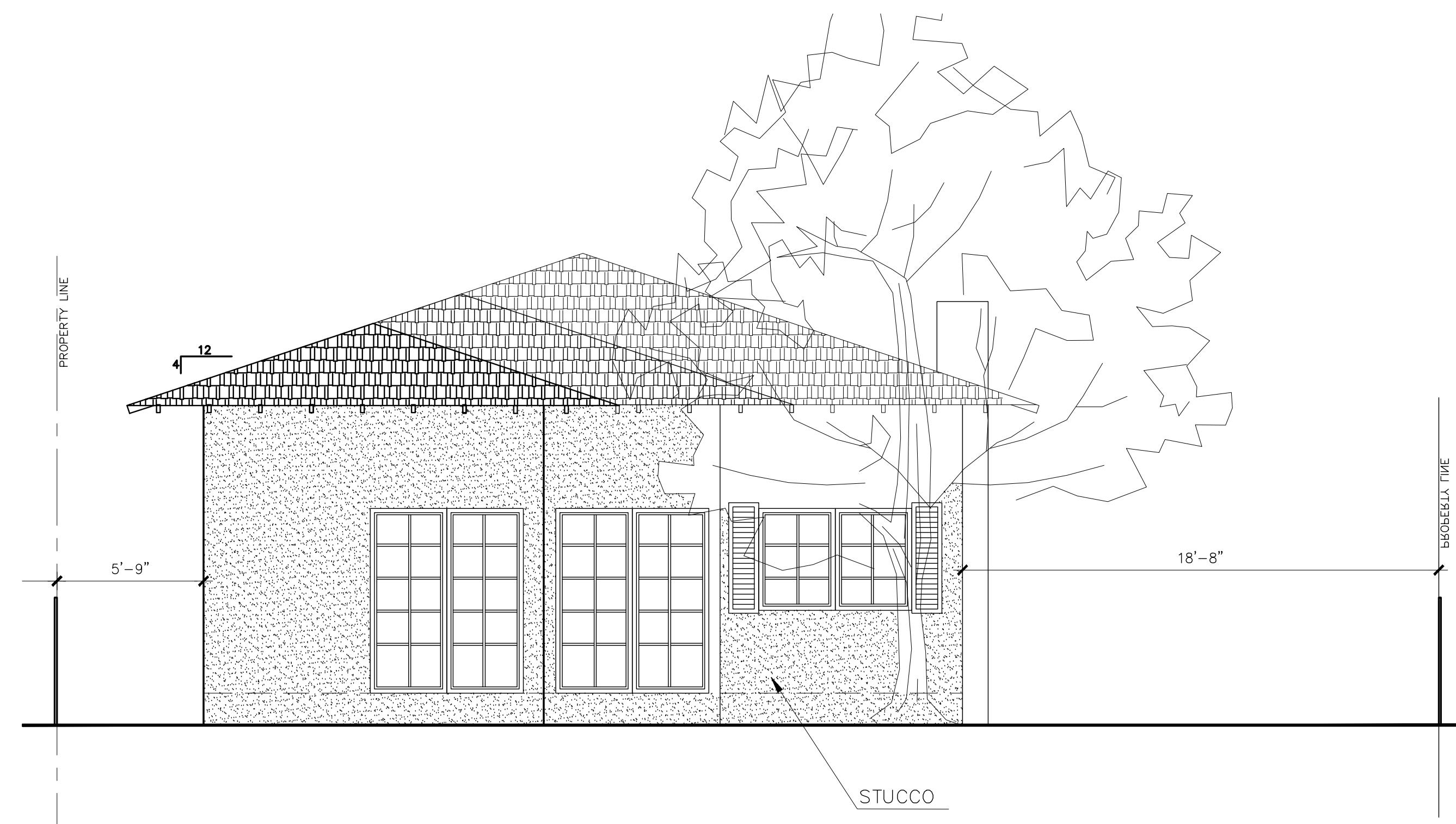
# A4

B NO. 9800





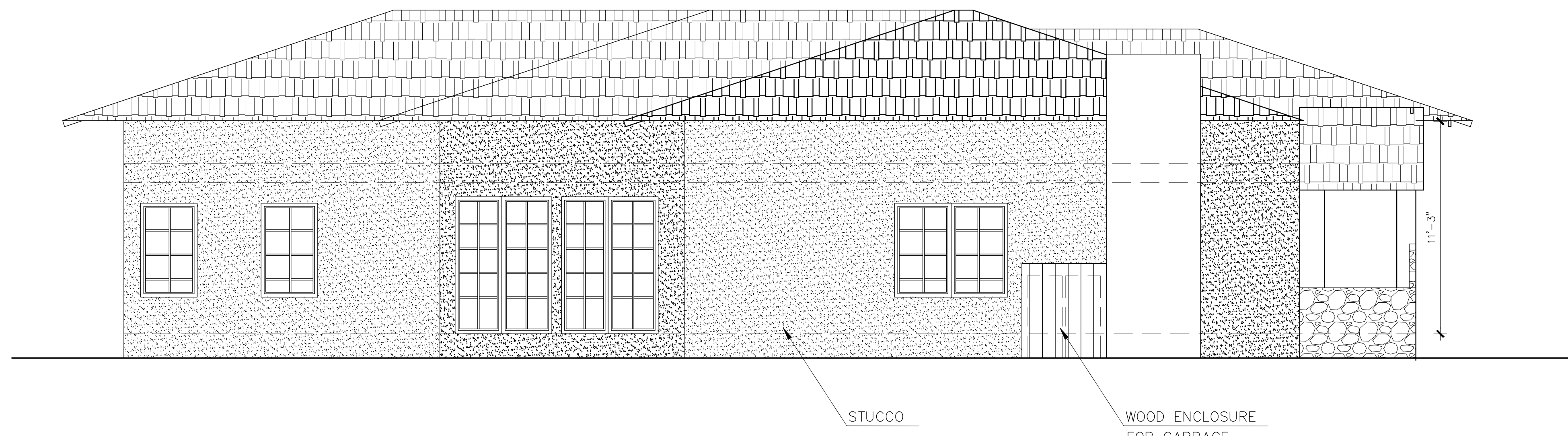
1 PROPOSED FRONT ELEVATIONS  
A5 SCALE 1'-0"=1/4"



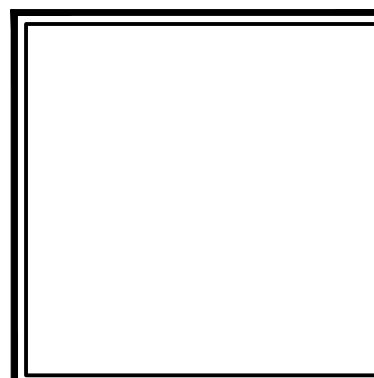
2 PROPOSED REAR ELEVATIONS  
A5 SCALE 1'-0"=1/4"

TOP PLATE ELEV. (+)	18'-5"
T. O. FIN. PARAPET ELEV. (+)	12'-7"
T. O. FIN. CEILING ELEV. (+)	9'-10"
T. O. FIN. FL. ELEV. (+)	1'-10"
CURB ELEV.	0'-0"

3 PROPOSED SIDE ELEVATIONS  
A5 SCALE 1'-0"=1/4"



REVISIONS / ISSUANCES		
NO.	DATE	TITLE



**EFRAT'S DESIGN STUDIO**  
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SUNNYVALE, 94087, CA  
TEL. (650) 861-1507

PROJECT EFRAT & LIOR BARAK 568 S. FRANCES ST. SUNNYVALE, CA	SHEET TITLE ELEVATIONS, PROPOSED
--	-------------------------------------

DRAWN BY EB	SCALE AS NOTED
CHECKED BY EB	DATE 11/01/15
SHEET NUMBER <b>A5</b>	
JOB NO. 9800	



TOP PLATE  
ELEV. (+) 17'-2"

TOP PLATE  
ELEV. (+) 11'-0"

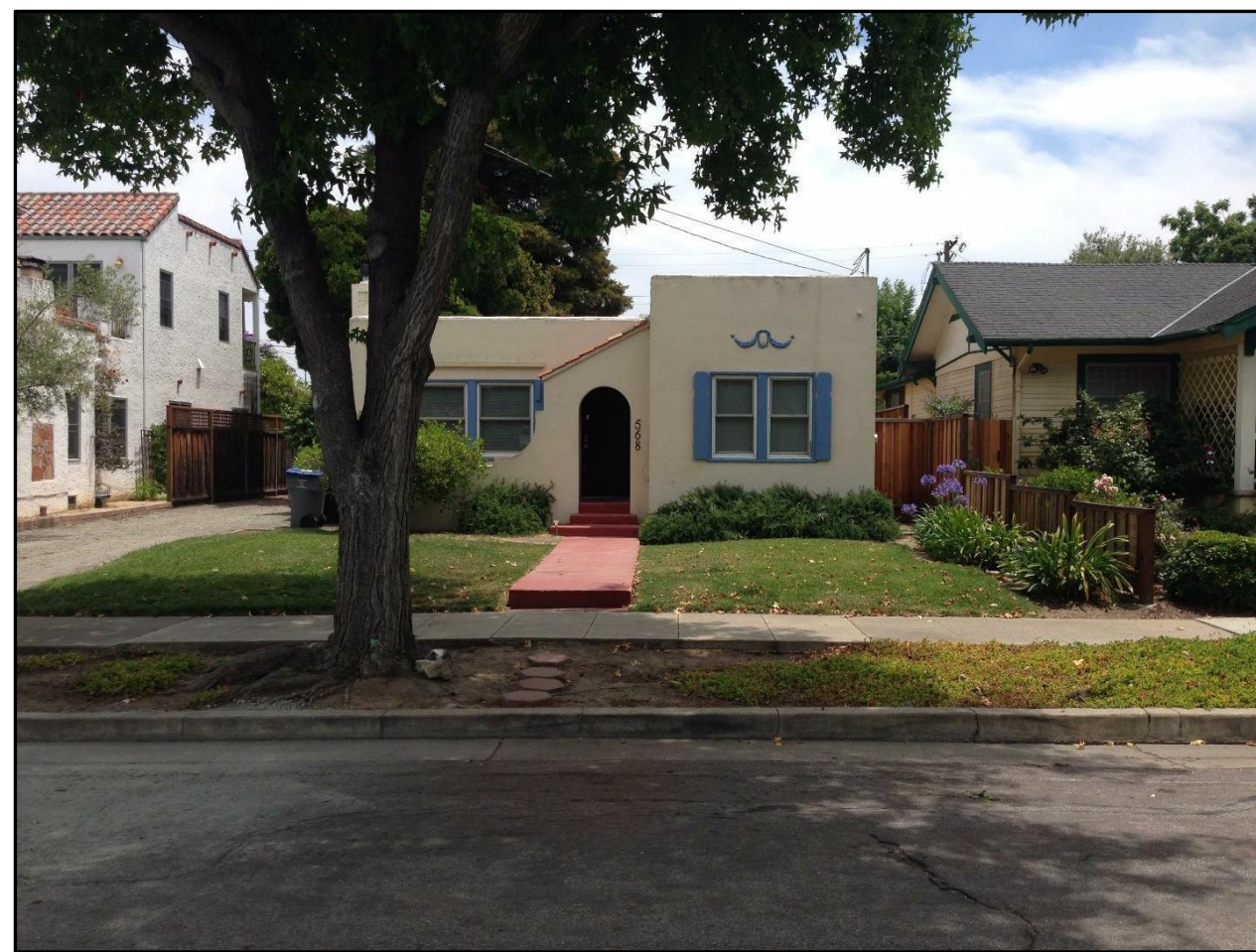
T. O. FIN. CEILING  
ELEV. (+) 8'-0"

T. O. FIN. FL.  
ELEV. (+) 0'-0"

CURB ELEV. (-) 1'-10"

2  
A6

STREETSCAPE REAR ELEVATION  
SCALE 1'-0"=3/16"



TOP PLATE  
ELEV. (+) 17'-2"

TOP PLATE  
ELEV. (+) 11'-0"

T. O. FIN. CEILING  
ELEV. (+) 8'-0"

T. O. FIN. FL.  
ELEV. (+) 0'-0"

CURB ELEV. (-) 1'-10"

2  
A6

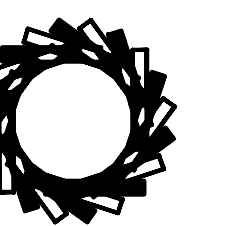
STREETSCAPE PROPOSED FRONT ELEVATION  
SCALE 1'-0"=3/16"

REVISIONS / ISSUANCES

NO. DATE TITLE

EFRAAT'S DESIGN STUDIO

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SUNNYVALE, CA 94087  
TEL. (650) 861-1507



PROJECT EFRAAT & LIOR BARAK  
568 S. FRANCES ST  
SUNNYVALE, CA

SHEET TITLE  
STREETSCAPE

DRAWN BY  
EB

CHECKED BY  
EB

SCALE  
AS NOTED  
DATE  
11/01/15

SHEET NUMBER

A6

JOB NO. 9800