

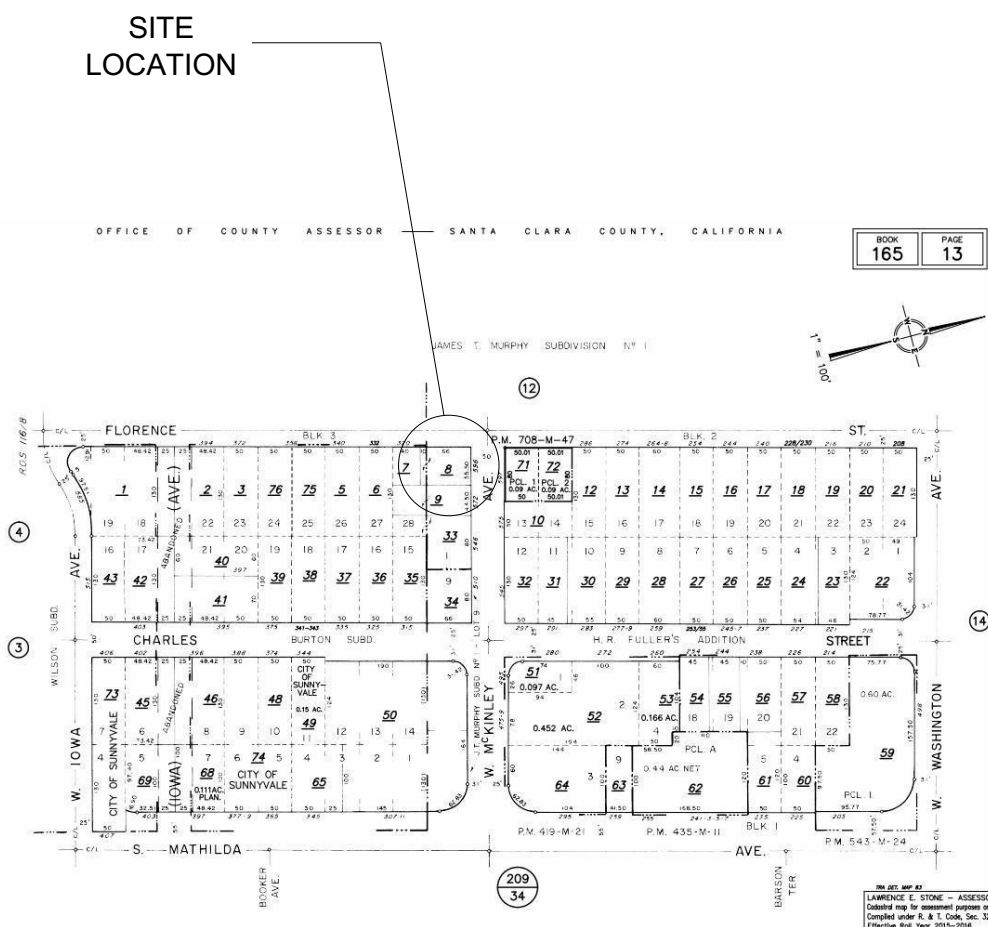
RESIDENTIAL 2nd STORY ADDITION

FARR RESIDENCE
596 W. McKINLEY AVE.
SUNNYVALE, CA 94086
APN 165-13-008

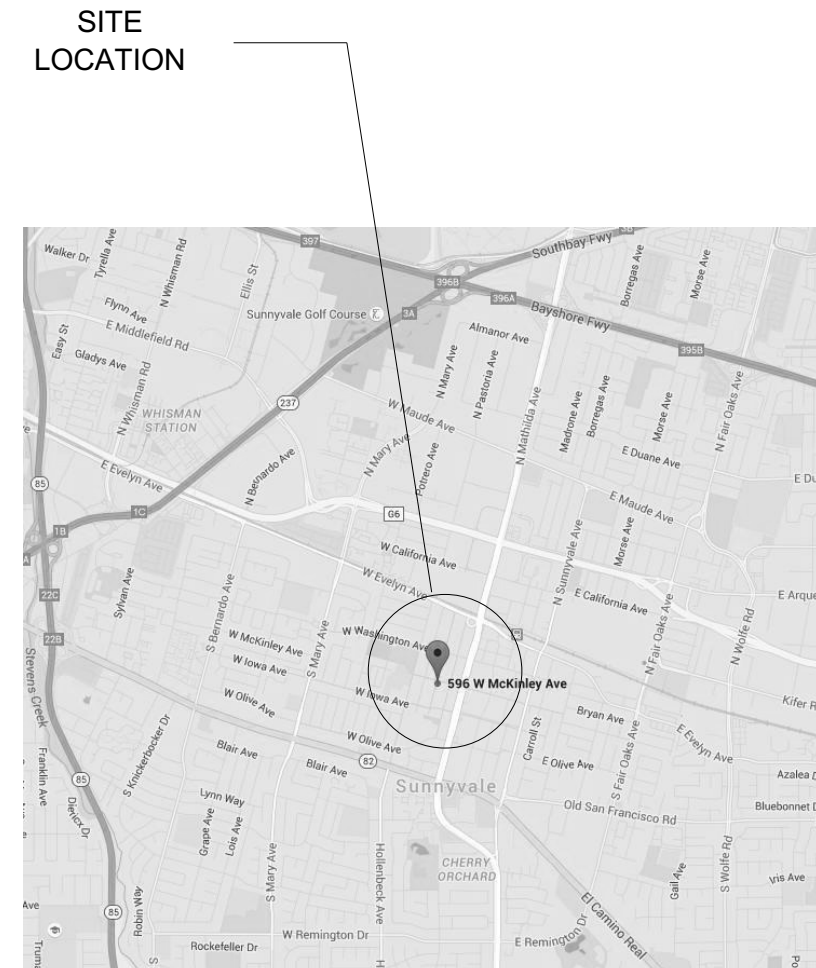
OWNER: STEVE & KENDRA FARR (650) 465-9336

DESIGNER: SMART SPACE - NATASHA MULLER (408) 357-0067

SITE MAPS



ASSESSOR MAP



VICINITY MAP

PROJECT DESCRIPTION

ADDITION OF 695 SF SECOND STORY ADDITON
OF MASTER BEDROOM, MASTER BATHROOM, WALK-IN CLOSET &
LAUNDRY ROOM.
VARIANCE FOR 2ND STORY 15' REAR SETBACK.
ONE NON LOAD BEARING ON (E) FIRST FLOOR WALL REMOVED.
(N) STICK FRAME ROOF FOR 1 ST & 2ND FLOORS.
(N) A/C & ATTIC FAU.
(E) FRONT PORCH WILL REMAIN
ALL (E) LANDSCAPE WILL REMAIN.

*FIRE SPRINKLERS REQUIRED FOR ADDITIONS OVER 500 SF

PROJECT DATA

SITE INFO:

APN# 165-13-008
EXISTING USE: SINGLE FAMILY
ZONING: R2 - LOW-MEDIUM DENSITY RESIDENTIAL
CONSTRUCTION TYPE: V-B
MAX ALLOWED BUILDING HEIGHT: 30'
PROPOSED BUILDING HEIGHT: 26'-3"

CALCULATIONS:

LOT SIZE: 55.5' x 76' = 4,218 SF

FLOOR AREA RATIO:

ALLOWABLE: 45 % x 4,218 = 1,898 SF
(E) 1st STORY LIVING: 1,104 SF
(N) 2nd STORY ADDITION: 695 SF
TOTAL FAR: 1,799 SF

FLOOR RATIO:

2ND TO FIRST FLOOR: 63%

LOT COVERAGE:

ALLOWABLE: 40 % x 4,218 = 1,687 SF
(E) FRONT PORCH: 48 SF
(E) MAIN LEVEL: 1,104 SF
(N) BALCONY: 84 SF
TOTAL LOT COVERAGE: 1,236 SF

SHEET INDEX

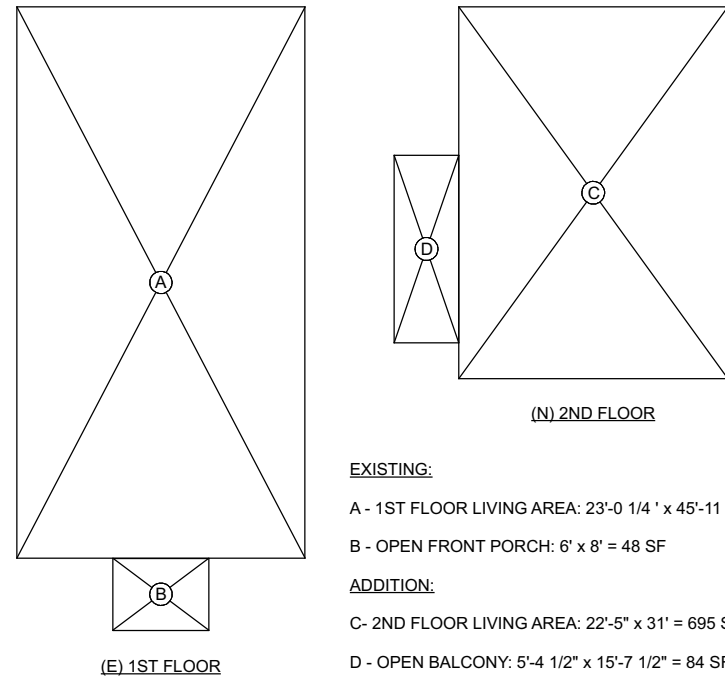
A-1	SITE PLAN & PROJECT DATA
A-2	SHADOW ANALYSIS
A-3	EXISTING / DEMO FLOOR PLAN PROPOSED FLOOR PLAN
A-4	(E) EXTERIOR ELEVATIONS
A-5	PROPOSED EXTERIOR ELEVATIONS
A-6	ROOF PLAN

SITE NOTES:

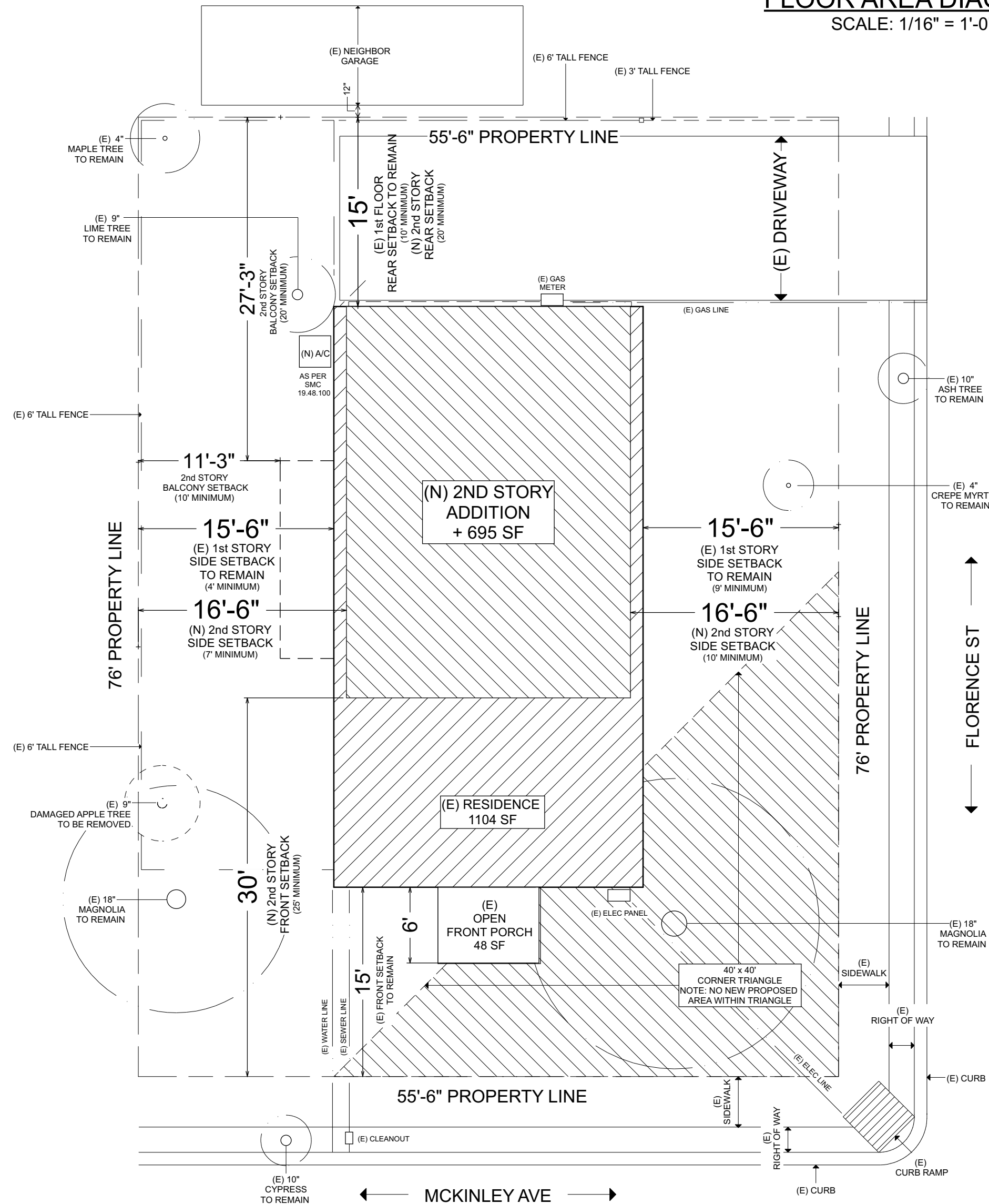
(E) FENCING SHALL COMPLY WITH CURRENT CODES AS PER SMC 19.48
(N) UTILITIES SHALL COMPLY WITH SETBACKS AS PER SMC 19.48.100

(E) 1st STORY SHALL REMAIN. NO PROPOSED ADDITION SHALL BE WITH IN 40' x 40' CORNER
SETBACK.
NO TREES WILL BE REMOVED WITH THE EXCEPTION OF (1) DAMAGED 9" APPLE TREE INSIDE
SIDE YARD.

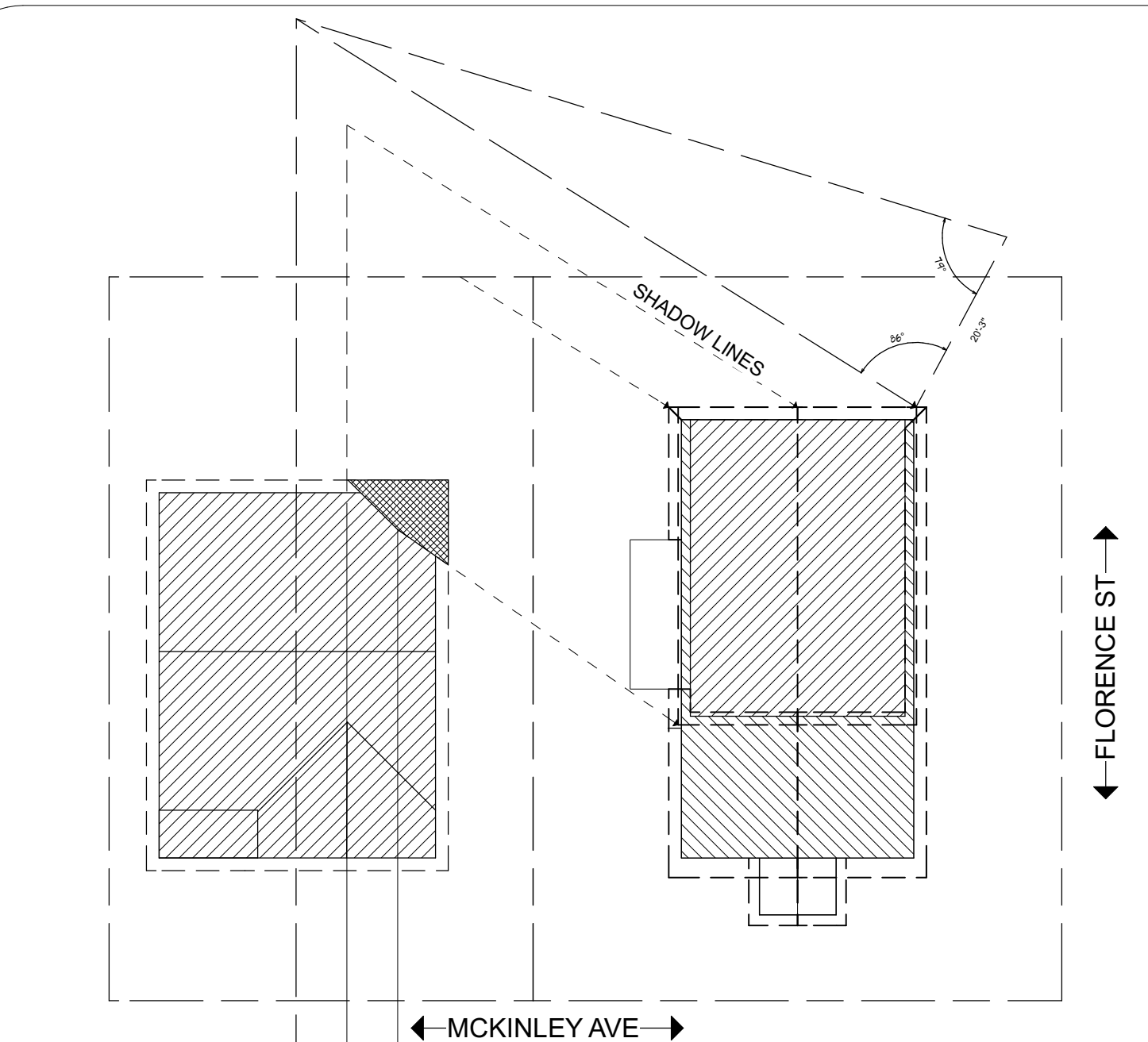
PROPOSED INTERIOR STAIRS FOR 2ND STORY ADDITION CAN ONLY BE ADDED TO REAR OF
(E) LAYOUT WITHOUT DISTURBING (E) 1ST FLOOR ROOMS. THUS STAIRS WILL BE LOCATED
AT REAR, REQUIRING VARIANCE FOR 2ND STORY SETBACK. ADDITION OF (N) STAIRWELL
AREA AT BOTH 1ST & 2ND FLOOR WOULD RESULT IN AN OVERAGE OF 1600 SF, TRIGGERING
2 CAR GARAGE REQUIREMENT, WHICH IS UNATTAINABLE ON SUCH A SMALL LOT.



FLOOR AREA DIAGRAM
SCALE: 1/16" = 1'-0"



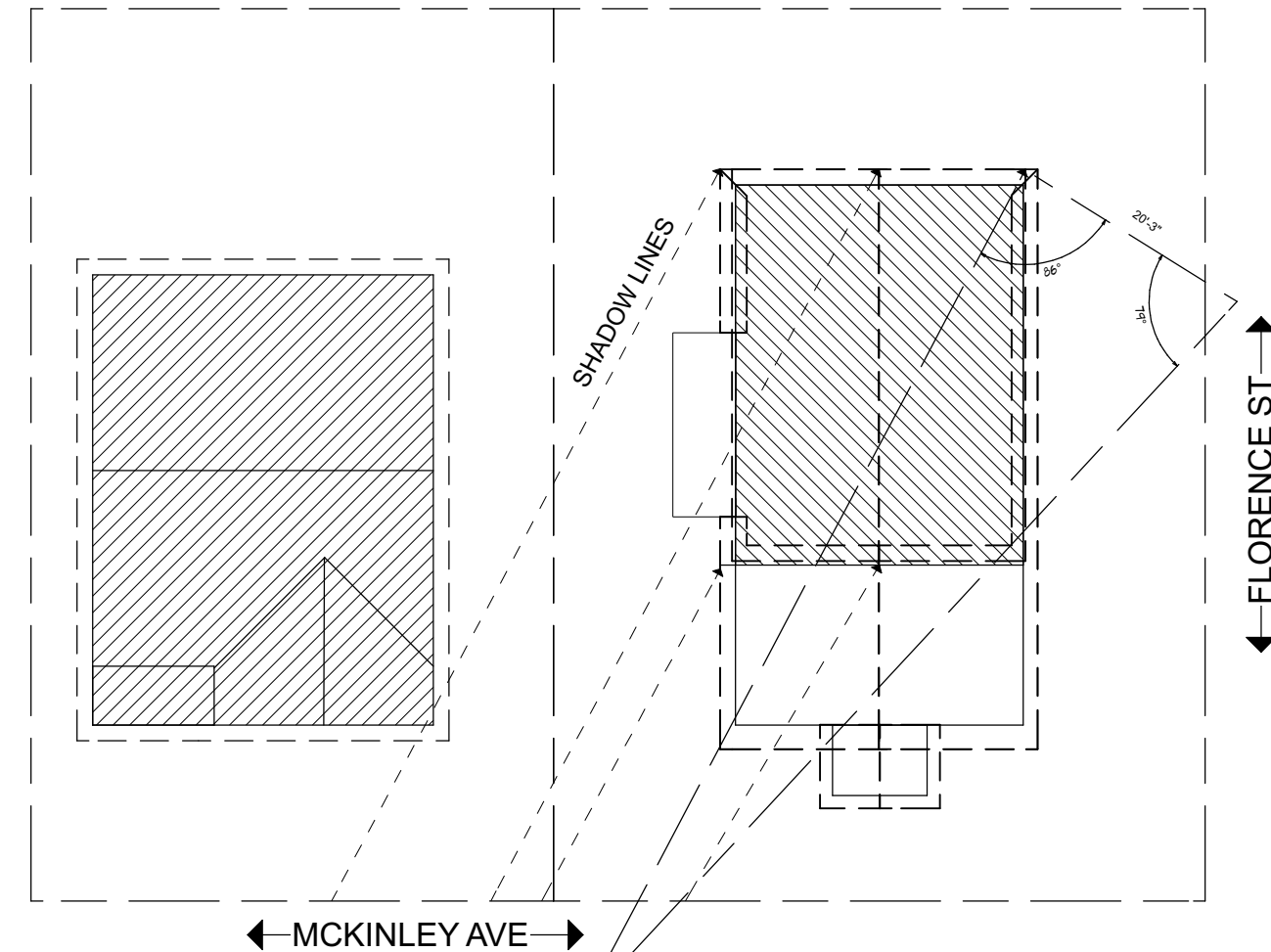
SITE PLAN
SCALE: 1/8" = 1'-0"



(E) RESIDENCE
572 MCKINLEY AVE

PROPOSED ADDITION
596 MCKINLEY AVE

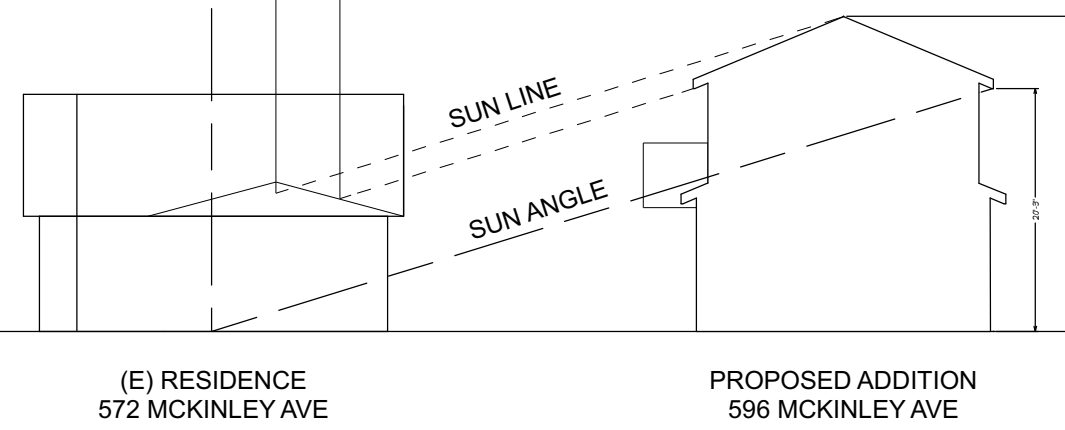
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9 AM
3 PM



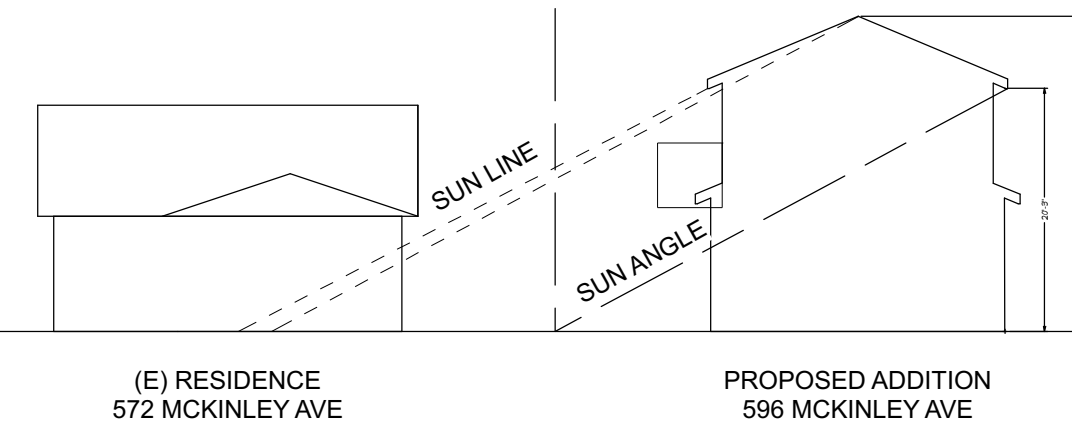
(E) RESIDENCE
572 MCKINLEY AVE

PROPOSED ADDITION
596 MCKINLEY AVE

15°
9 AM
3 PM



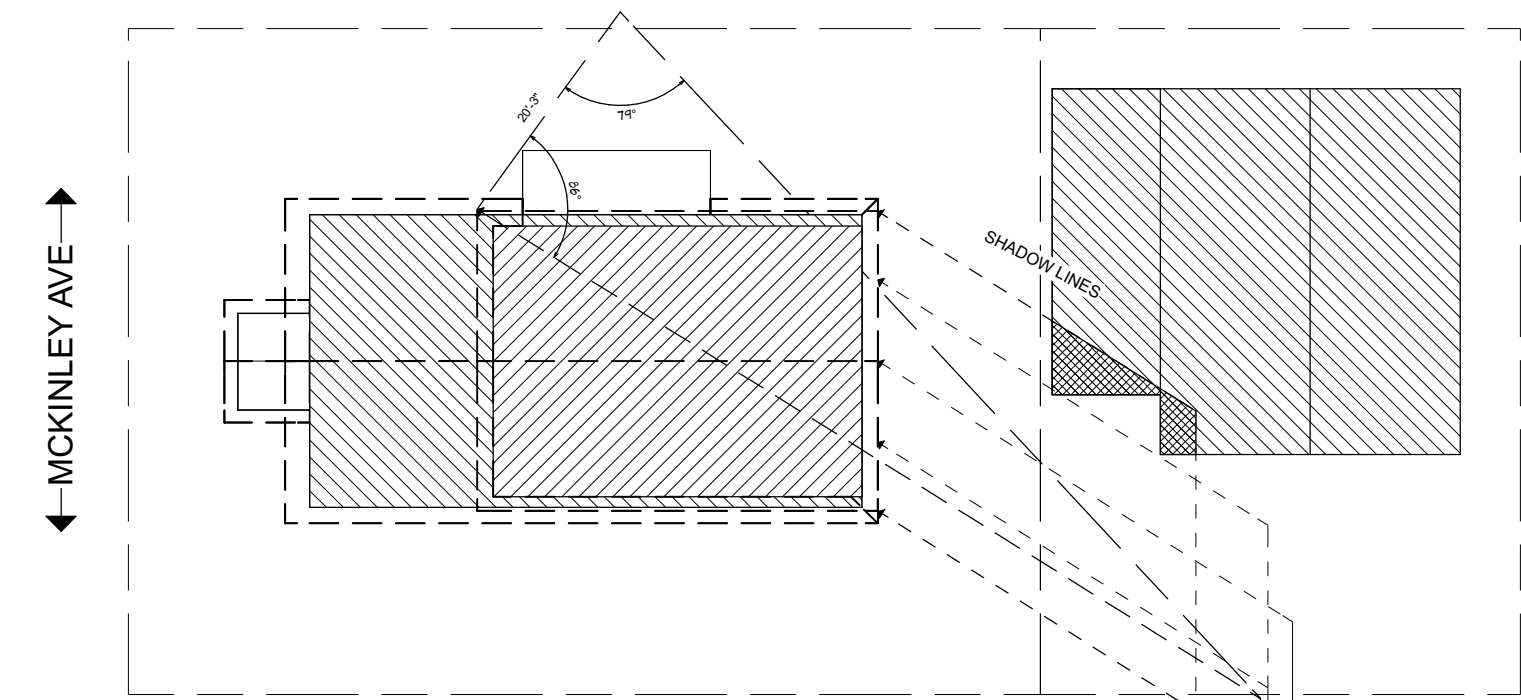
AM ANALYSIS
RIGHT SIDE NEIGHBOR - 572 MCKINLEY AVE
ROOF AREA = 1,300 SF x 10% = 130 SF
SHADED AREA = 50 SF < 130 SF



PM ANALYSIS
RIGHT SIDE NEIGHBOR - 572 MCKINLEY AVE
ROOF AREA = 1,300 SF x 10% = 130 SF
SHADED AREA = 0 SF < 130 SF

SHADOW ANALYSIS - ADJACENT NEIGHBOR

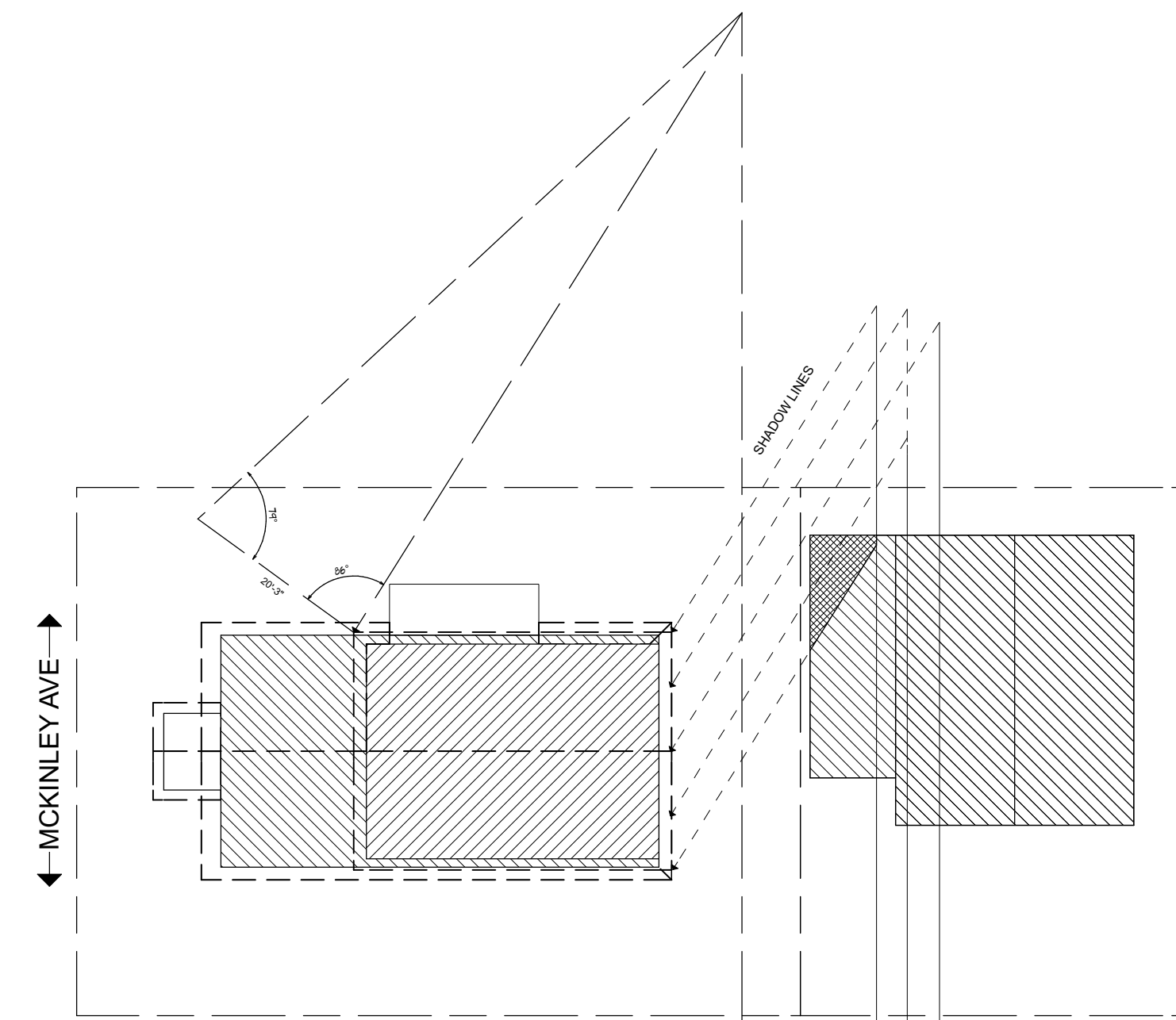
SCALE: 1/16" = 1'-0"



PROPOSED ADDITION
596 MCKINLEY AVE

(E) RESIDENCE
320 FLORENCE

15°
9 AM
3 PM



PROPOSED ADDITION
596 MCKINLEY AVE

(E) RESIDENCE
320 FLORENCE

15°
9 AM
3 PM

PM ANALYSIS
REAR NEIGHBOR - 320 FLORENCE
ROOF AREA = 1,050 SF x 10% = 105 SF
SHADED AREA = 44 SF < 105 SF

AM ANALYSIS
REAR NEIGHBOR - 320 FLORENCE
ROOF AREA = 1,050 SF x 10% = 105 SF
SHADED AREA = 46 SF < 105 SF

SHADOW ANALYSIS - REAR NEIGHBOR

SCALE: 1/16" = 1'-0"

Revisions	Date

Smart Space - Interior Design & Architectural Plans
Natasha Muller - Founder + Lead Designer
smartspaced@gmail.com
www.smartspaced.com
408.357.0067



FARR RESIDENCE
596 W. MCKINLEY AVE
SUNNYVALE, CA 94086

SHADOW ANALYSIS

Date	SEPTEMBER '15
Scale	SHOWN
Drawn By	NM
Job	MCKINLEY AVE.
Sheet	A2

Revisions	Date

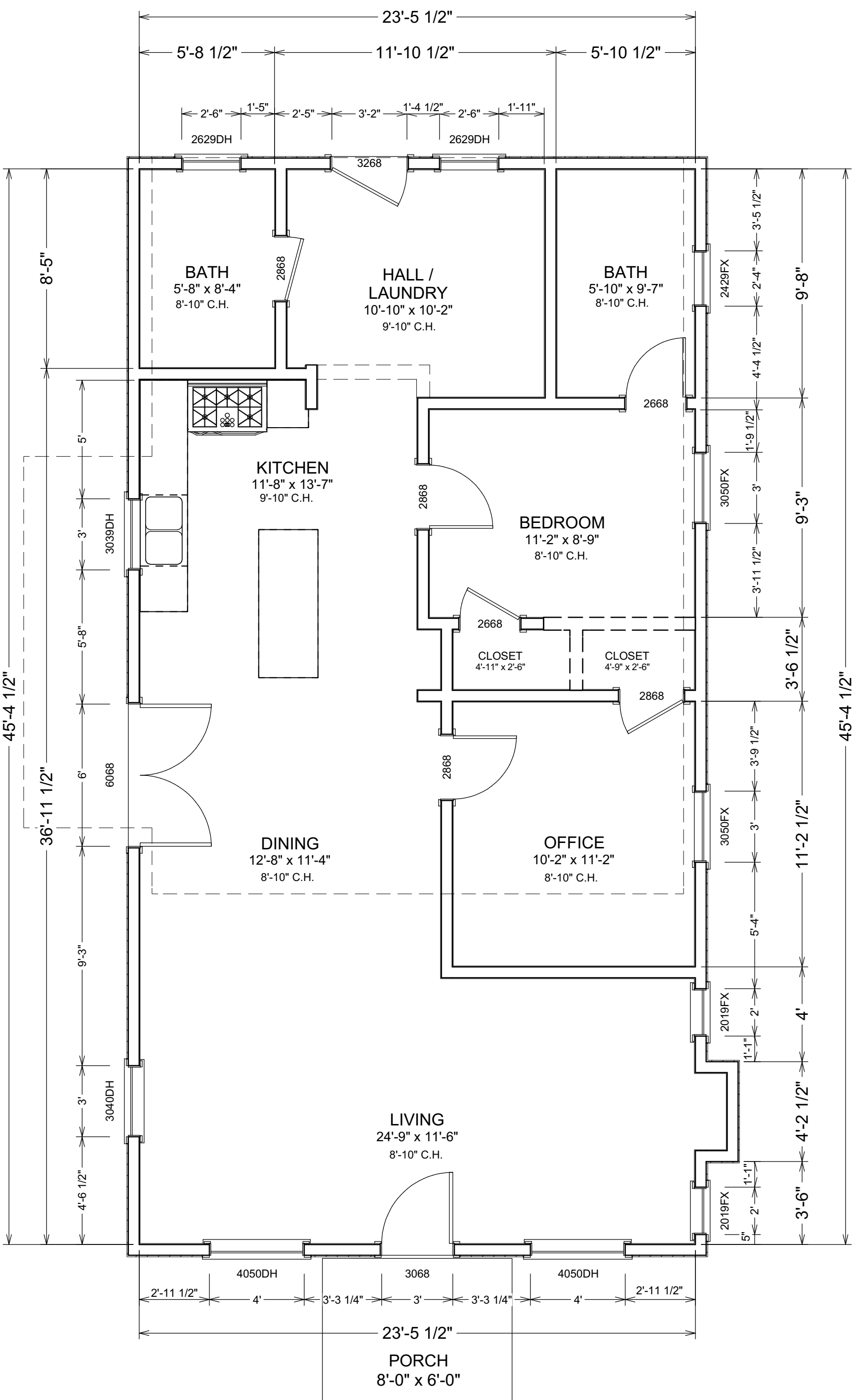
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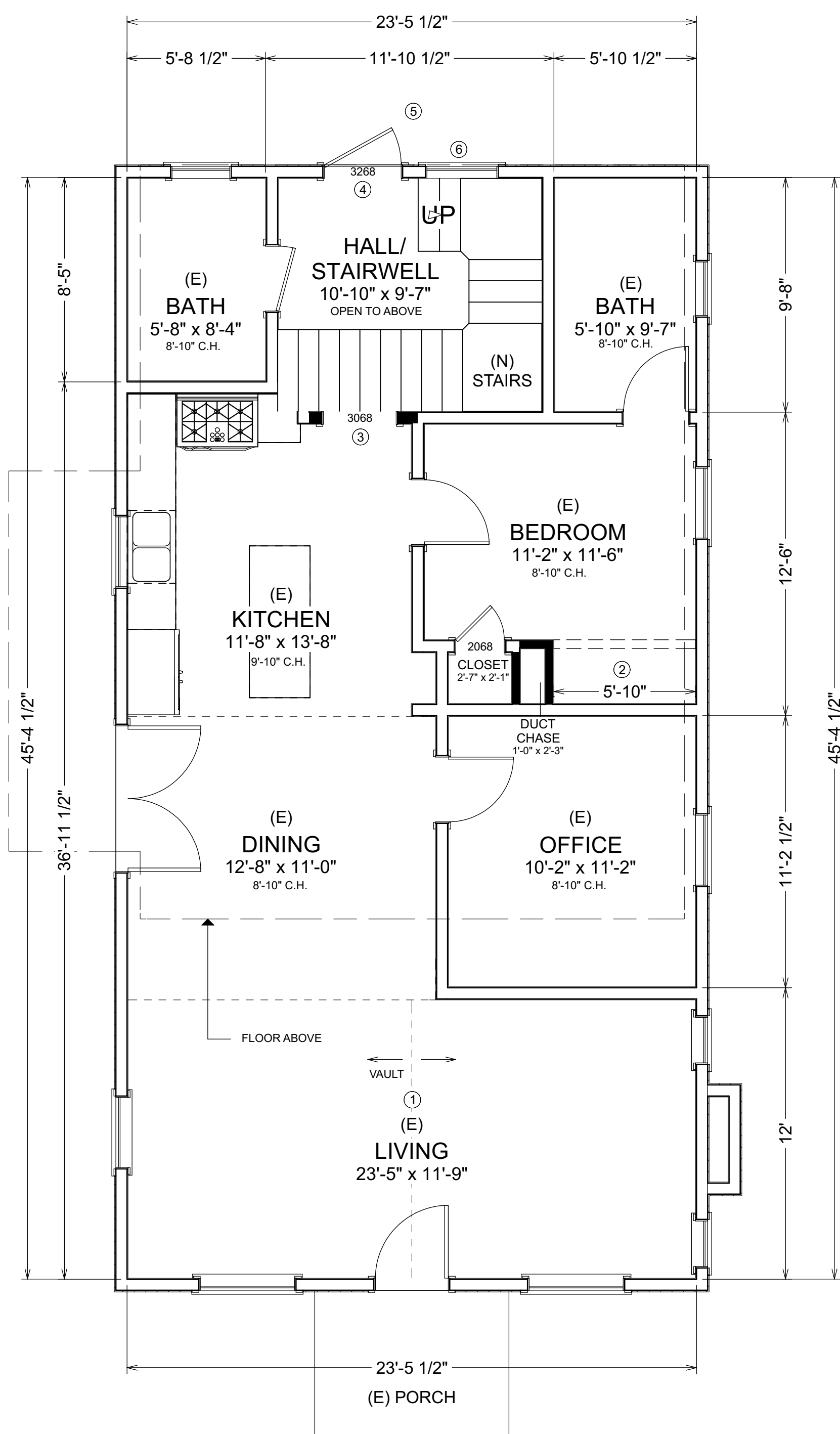
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EXISTING / DEMO PLAN
PROPOSED FLOOR PLANS

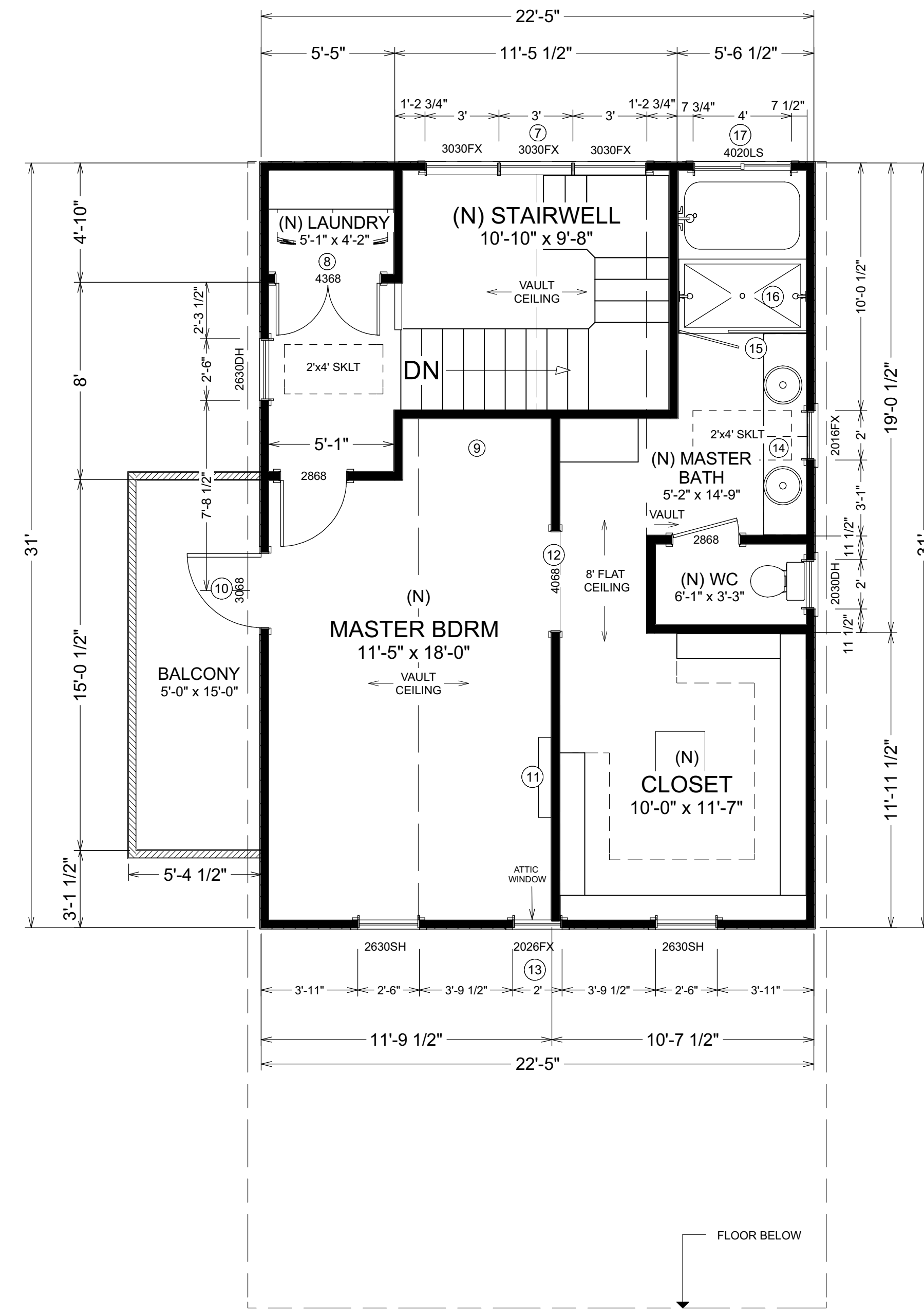
Date	SEPTEMBER '15
Scale	SHOWN
Drawn By	NM
Job	MCKINLEY AVE.
Sheet	A3



EXISTING / DEMO FLOOR PLAN
SCALE: 1/4" = 1' - 0"

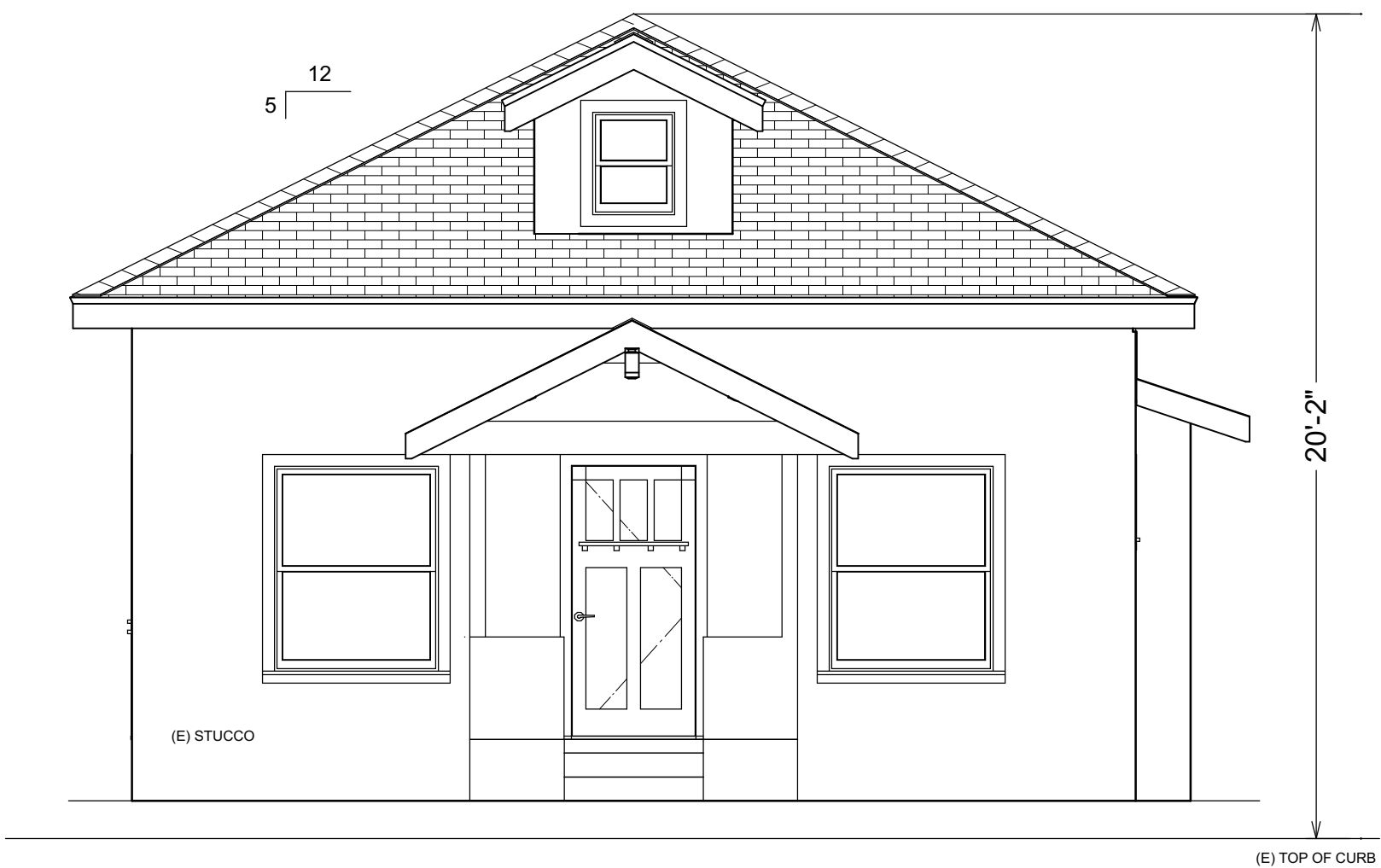


PROPOSED FLOOR PLAN - 1st FLOOR
SCALE: 1/4" = 1' - 0"

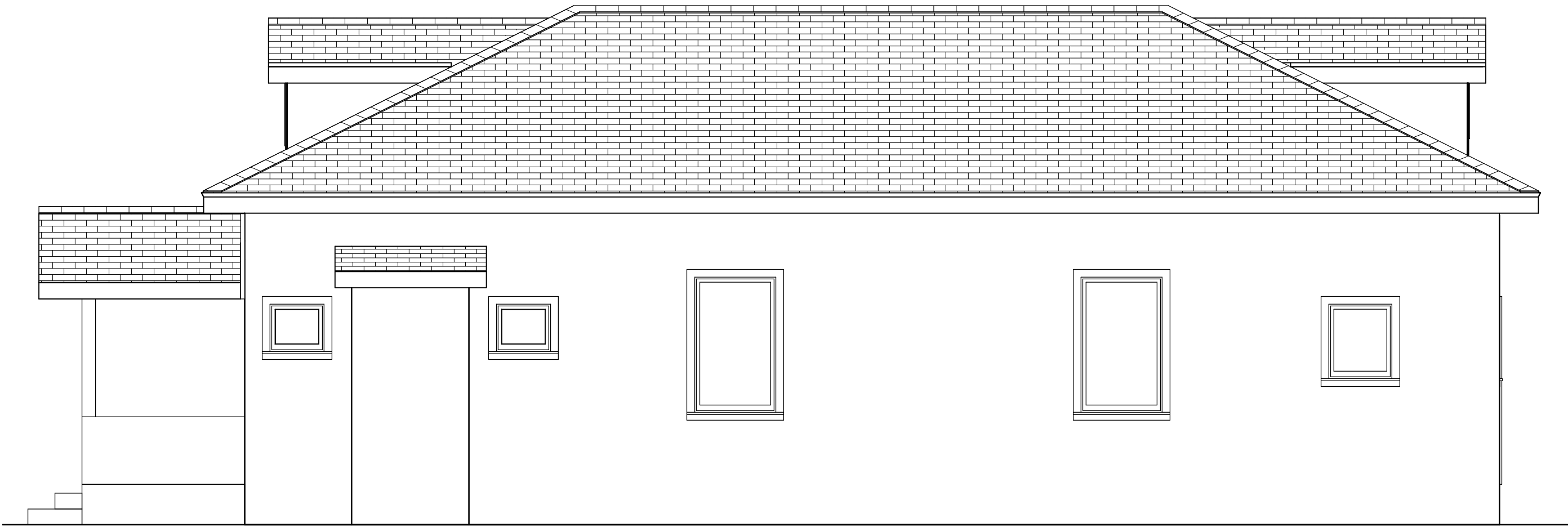


PROPOSED FLOOR PLAN - 2nd FLOOR
SCALE: 1/4" = 1' - 0"

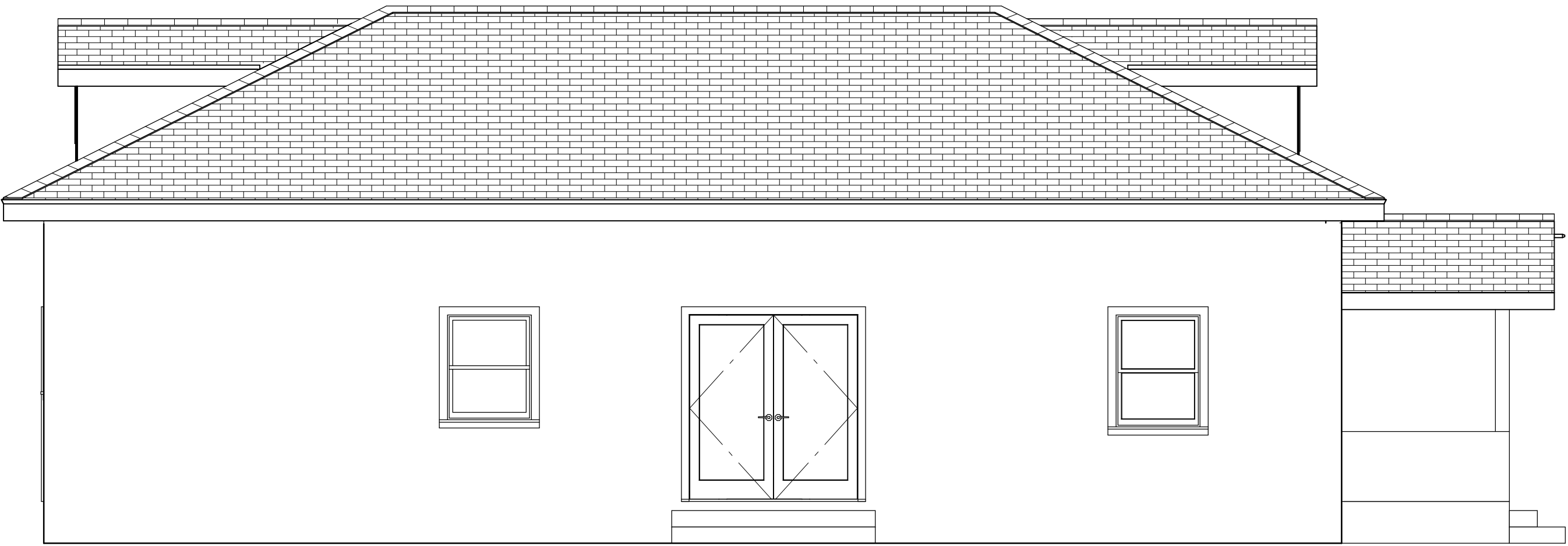




(E) FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



(E) RIGHT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



REAR ELEVATION
SCALE: 1/4" = 1' - 0"

EXISTING ELEVATIONS
SCALE: 1/4" = 1' - 0"

Revisions	Date

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interior design.

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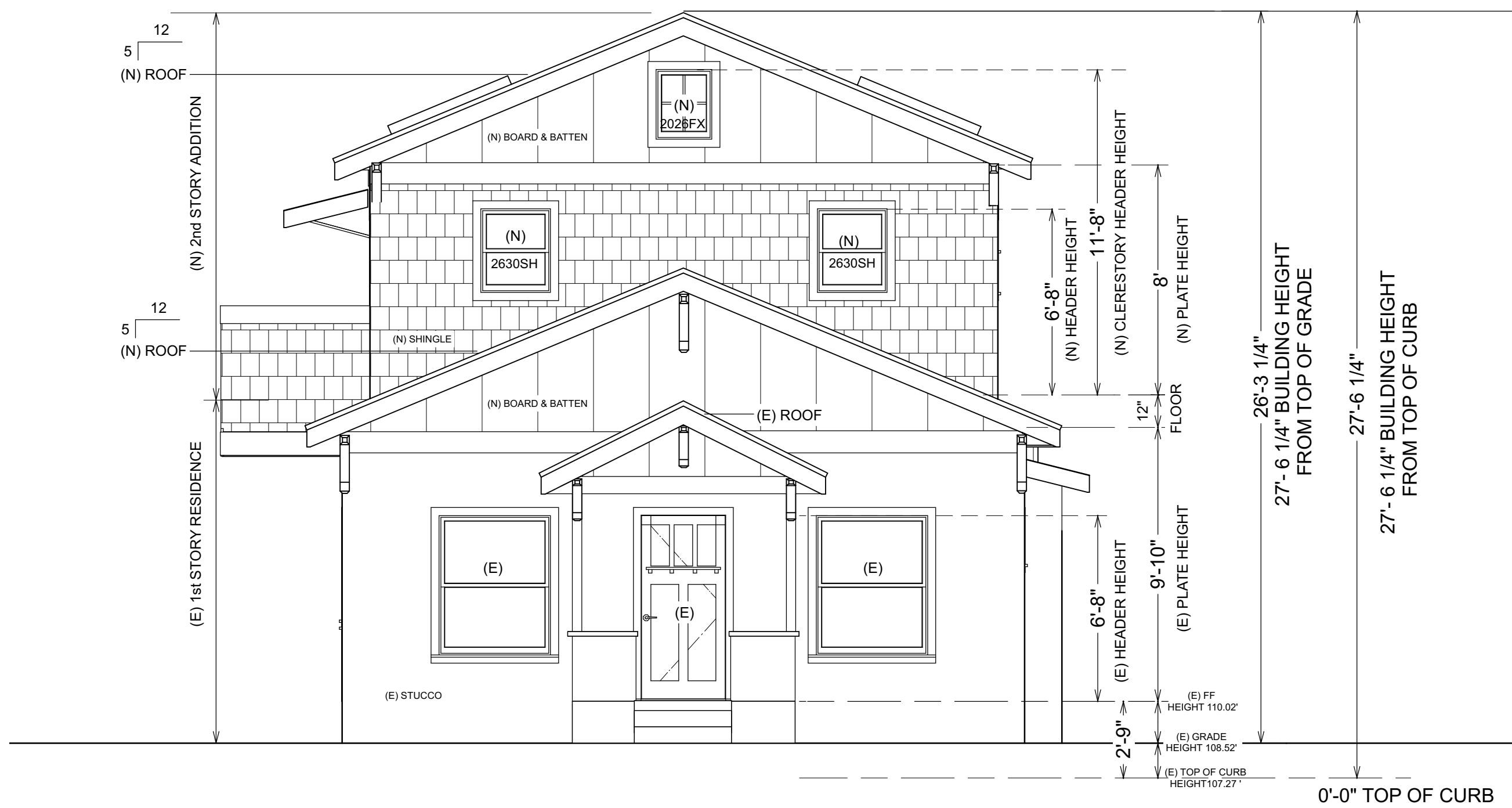
(E) EXTERIOR ELEVATIONS

Date	SEPTEMBER '15
Scale	SHOWN
Drawn By	NM
Job	MCKINLEY AVE.
Sheet	A4

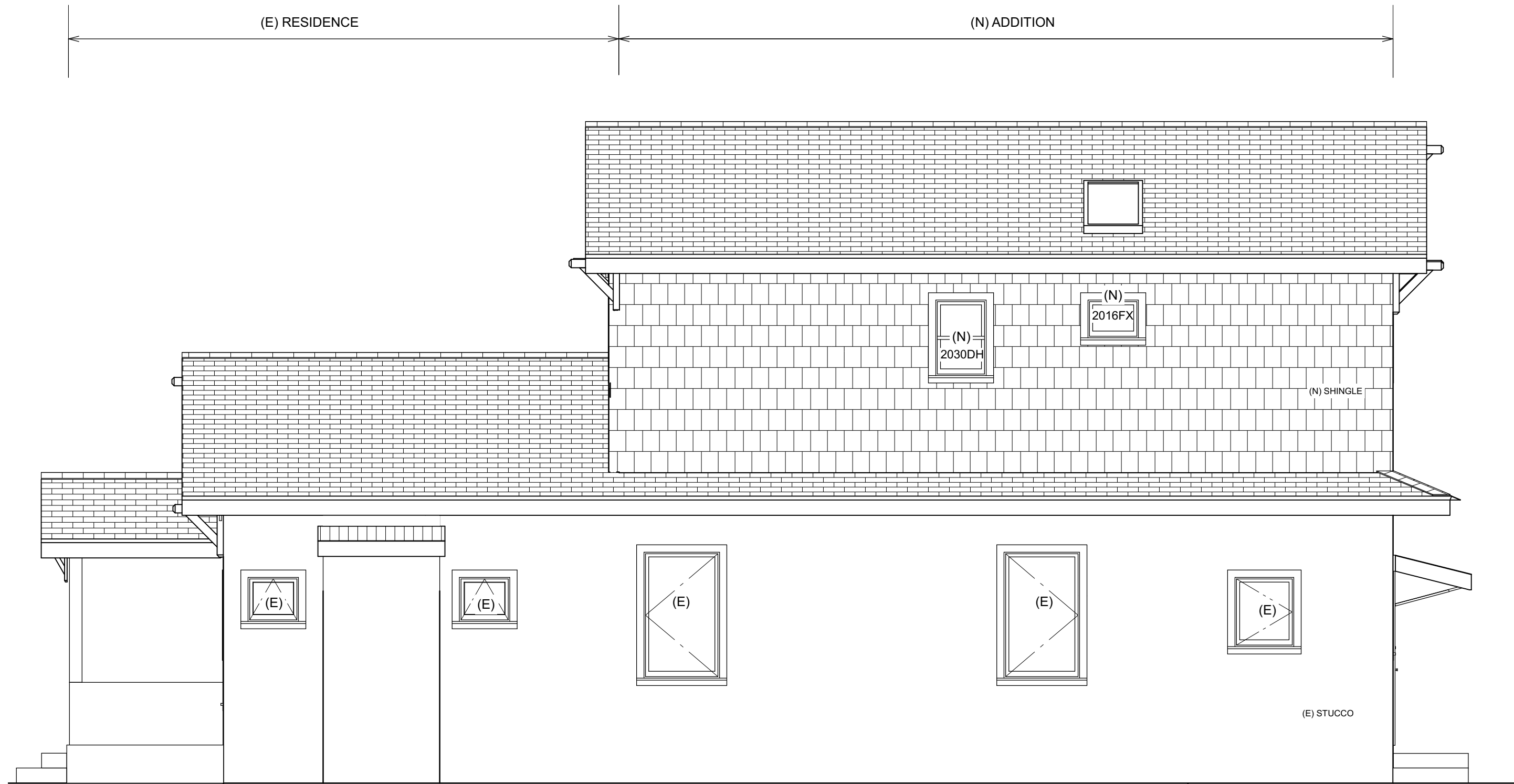
Attachment
Page 5 of 6

EXTERIOR NOTES:

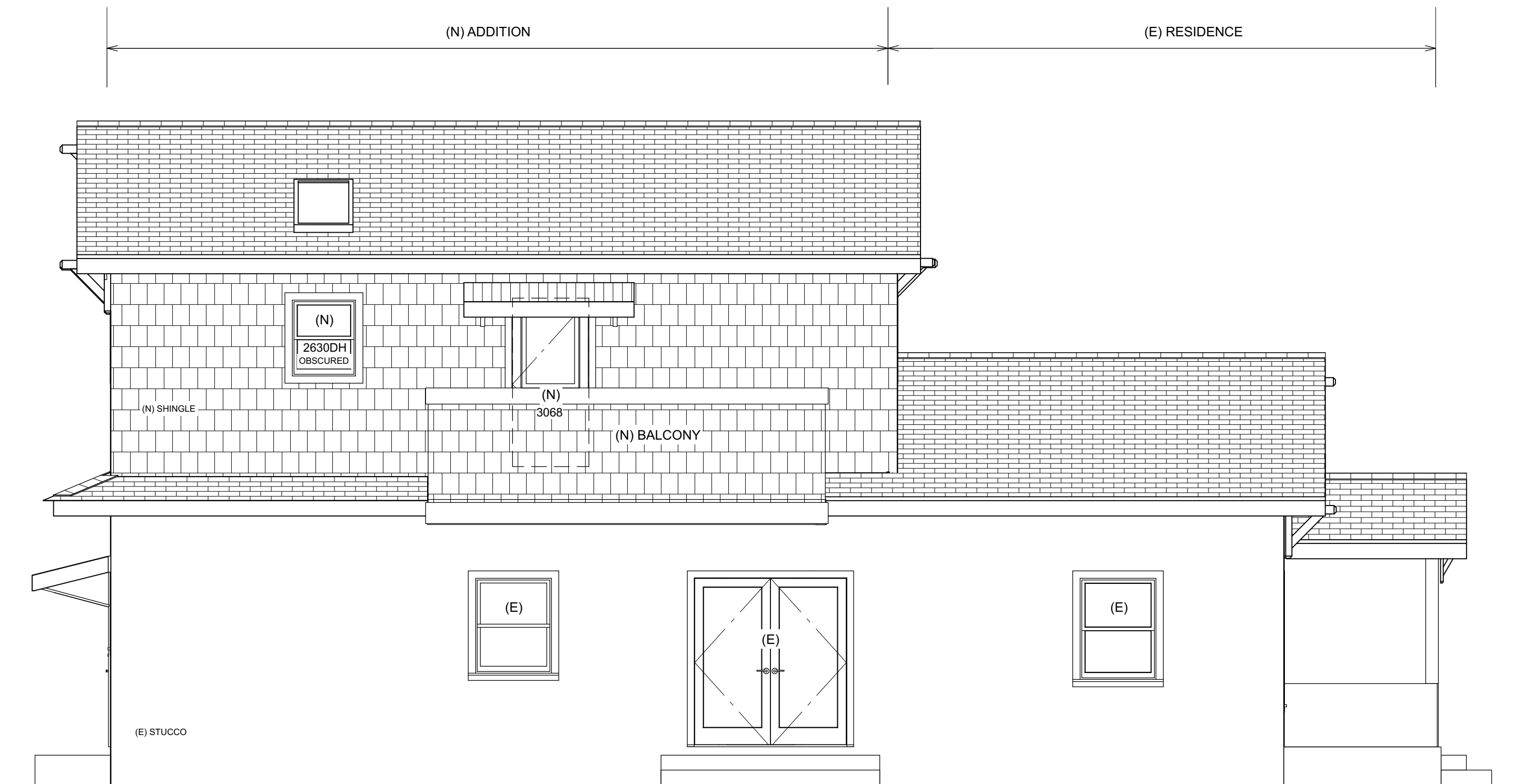
- (N) ROOF WILL BE 40 YEAR OR BETTER - DARK GREY
- (E) 1ST FLOOR STUCCO WALLS WILL REMAIN - IMPREGANTED STONE GREY
- (N) 2ND FLOOR WALLS WILL BE NICHIA SHINGLE - PAINTED MEDIUM GREY
- GABLE ENDS WILL BE BOARD & BATTEN - PAINTED WHITE



(N) FRONT ELEVATION
SCALE: 1/4" = 1' - 0"



(N) RIGHT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



(N) LEFT SIDE ELEVATION
SCALE: 1/4" = 1' - 0"



(N) REAR ELEVATION
SCALE: 1/4" = 1' - 0"

PROPOSED ELEVATIONS
SCALE: 1/4" = 1' - 0"

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PROPOSED EXTERIOR ELEVATIONS

e SEPTEMBER 1997

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A5

Revisions	Date

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PROPOSED ROOF PLAN

ate SEPTEMBER '15

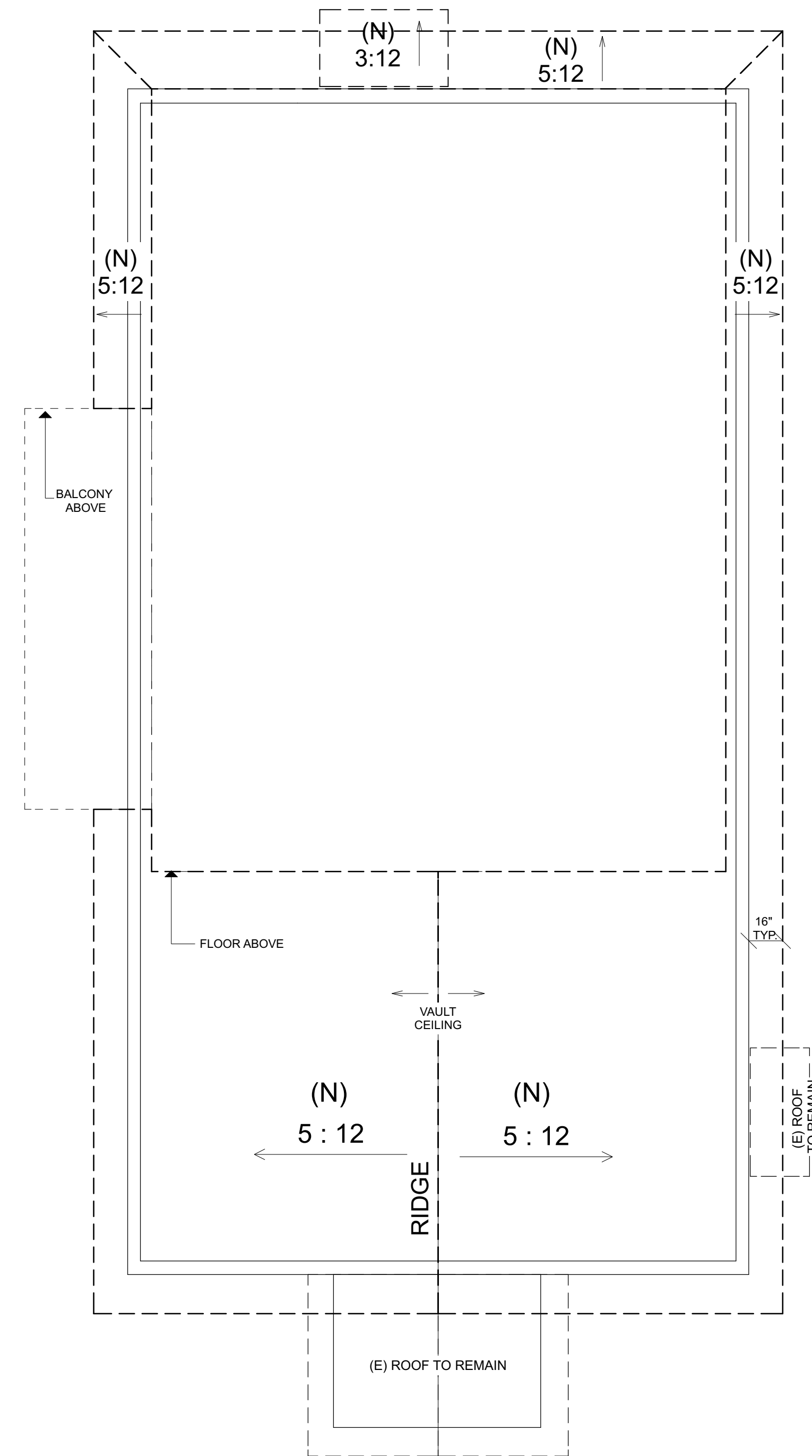
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Drawn By NM

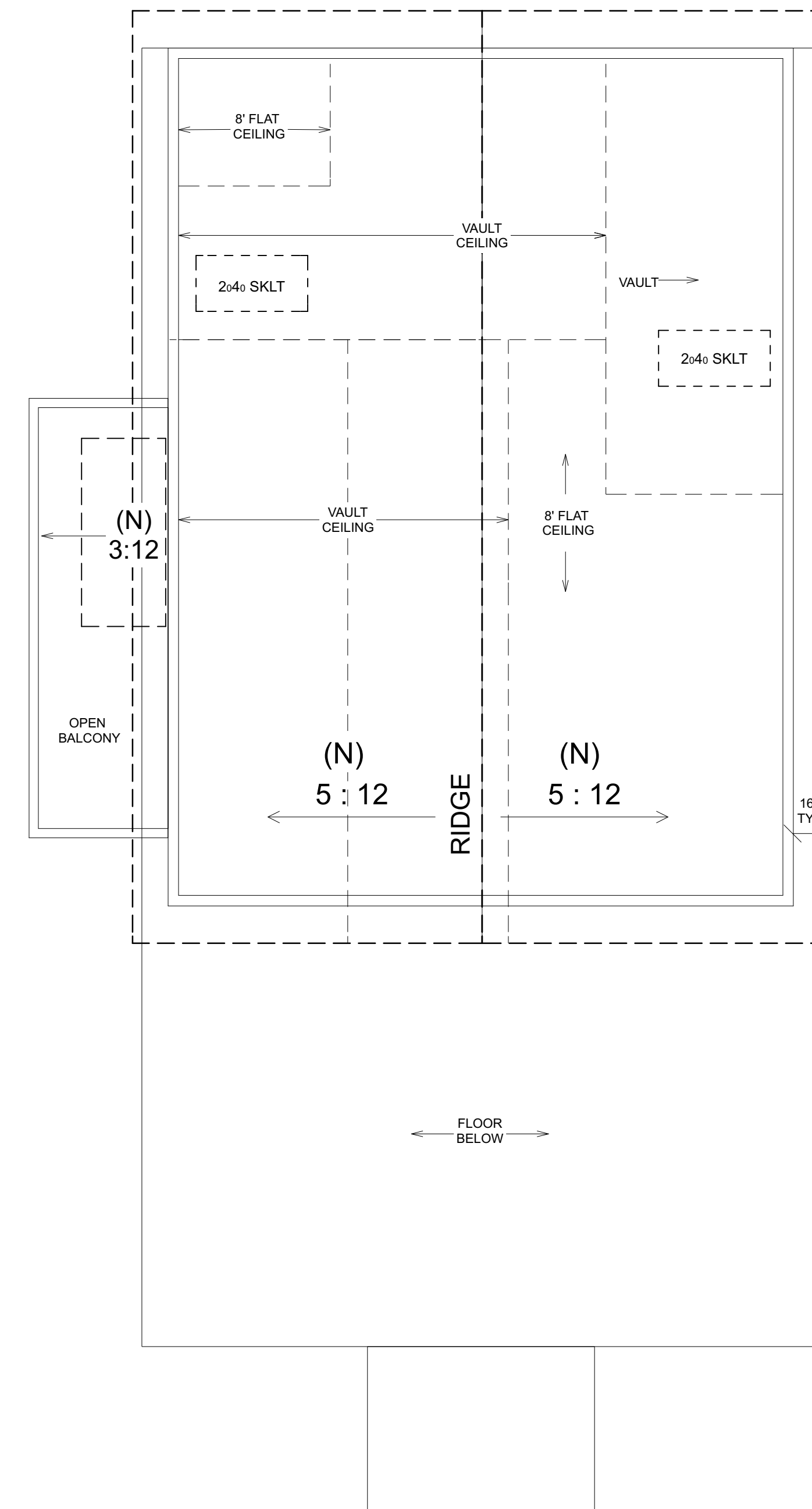
bb McKINLEY AVE.

Sheet

A6



1st FLOOR



2nd FLOOR

PROPOSED ROOF PLAN
SCALE: 1/4" = 1' - 0"