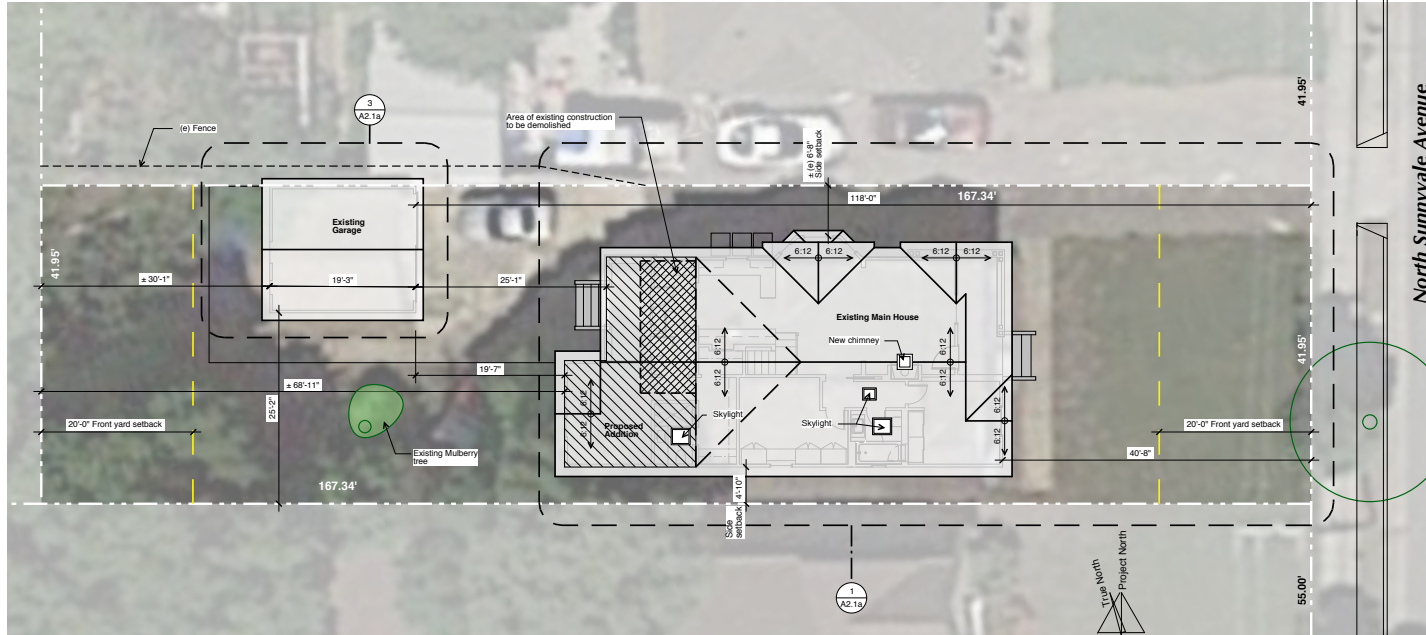


Devaney House

House Addition

175 N. Sunnyvale, CA 94086s



Site Plan

Scale: 1" = 10'-0"

1

Location Map

Devaney House

175 N. Sunnyvale Avenue,
Sunnyvale, CA 94086

House Addition

Drawing Index

0.1 Title, Data & Site Plan
0.2 Existing Site Plan & Floor Area Diagrams

Architectural

A2.0 Existing / Demolition Plan
A2.1a Floor Plan
A4.0 Existing / Demo Exterior Elevations
A4.1 Exterior Elevation

Description of Work

- Relocate existing bathroom and remodel existing bedrooms.
- Add bedroom, laundry, bathroom and porch to back of existing house.
- Add window to existing basement.
- Maintain existing exterior style.

Data

A.P.N. 204-49-007
Code 2013 CRC, 2013 CEC, 2013 CPC, 2013 CMC, 2013 CA Green Building & Energy Code (as amended by the state of California and local jurisdiction)
Occupancy R-3
Construction Type VB
Sprinklers No
Zoning R-2
Stories 1 + partial basement
Site Area 7,020 s.f.

Directory

Owner	Architect	Structural
Robert Devaney 175 N. Sunnyvale Ave Sunnyvale, CA 94086 (650) 796 4043	Stephanie Allen P.O. Box 335 Moffett Field, CA 94035 (408) 730-5030	Morris Engineering 1300 Industrial Rd #14 San Carlos, CA 94070 (408) 354-7240 Sara Hohenshelt

Lot Summary Table

	Existing	Proposed
First Floor	1,182 s.f.	1,376 s.f.
Conditioned space	328 s.f.	328 s.f.
Basement	1,510 s.f.	1,704 s.f.
Garage	322 s.f.	322 s.f.
TOTAL	1,832 s.f.	2,026 s.f.

Floor Area Ratio

Existing F.A.R. = $\frac{\text{Floor Area}}{\text{Site Area}} = \frac{1,832 \times 100}{7,020} = 26.1\%$
Proposed F.A.R. = $\frac{\text{Floor Area}}{\text{Site Area}} = \frac{2,026 \times 100}{7,020} = 28.9\%$

Setbacks

	Required	Existing	Proposed
Front	20'-0"	40'-8"	40'-8"
Rear	20'-0"	78'-7"	68'-11"
Left side (1st / 2nd)	4'-0" min.	4'-10"	4'-10" TME
Right side (1st / 2nd)	5'-2"	6'-8"	6'-8" TME
F.A.R.	45%	26.1%	38.9%
Height	30'-0"	± 20'-0"	± 20'-0"

Revision Table

No.	Revision	Date
-	Planning Resubmittal	01-21-16
-	Planning Resubmittal	01-06-16
-	Planning Review	12-1-15

Title, Data & Site Plan

Scale: 1/8" = 1'-0"

0.1

File: Devaney House/AO Devaney Data

Main House

Garage

Scale: 1/8" = 1'-0"

1

Legend

Area of construction to be removed.

Scale: 1/8" = 1'-0"

PROPOSED C

01-06-16

Garage

Scale: 1/8" = 1'-0"

3

Scale: 1/8" = 1'-0"	0.2
File: Devaney House/A0 Devaney Data	

0.2

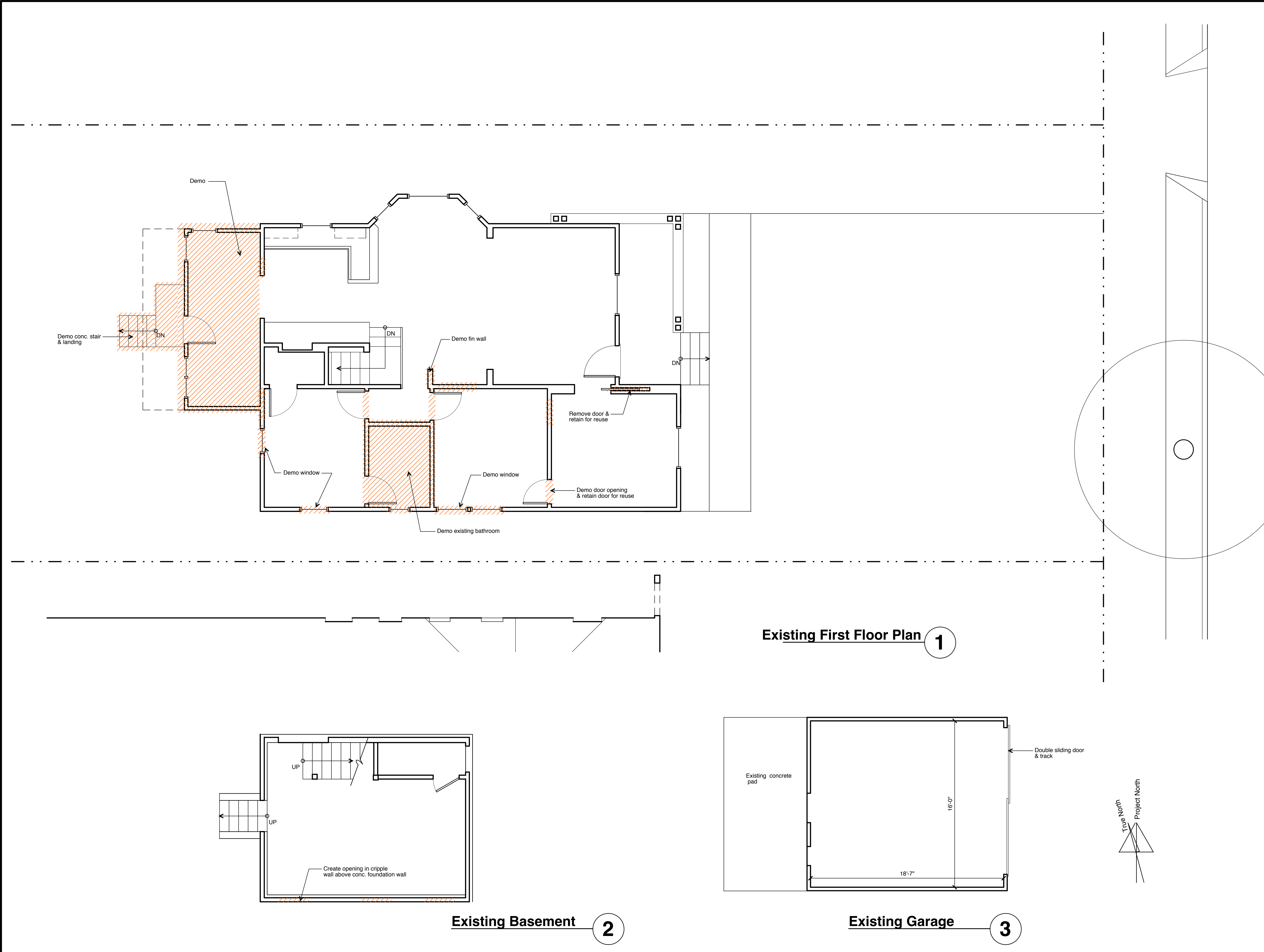
House Addition

- Demolition Plan Notes:
1. All dimensions shown are existing and approximate. Verify all dimensions in field.
 2. Retain all existing doors for possible reuse.

Legend:

(e) Stud wall

Demolition



-	Planning Resubmittal	01-21-16
-	Planning Resubmittal	01-06-16
-	Planning Submittal	12-1-15
No.	Revision	Date
Existing / Demolition Plans		
Scale: 1/4" = 1'-0"		A2.0

Legend:

- (e) Stud wall
New Construction
CH Ceiling Height



-	Planning Resubmittal	01-21-16
-	Planning Resubmittal	01-06-16
-	Planning Submittal	12-1-15
No.	Revision	Date

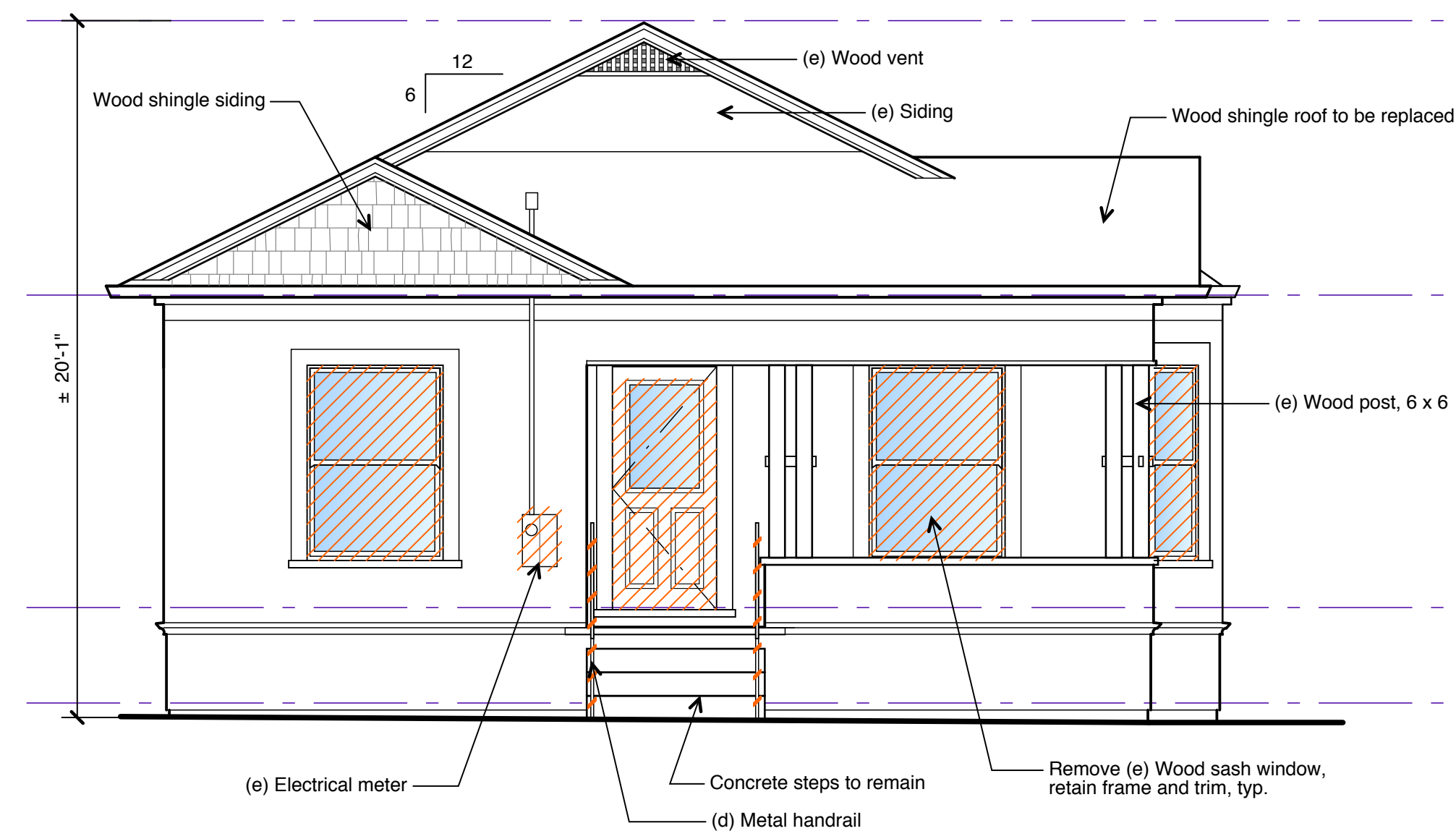
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A2.1a

Devaney House

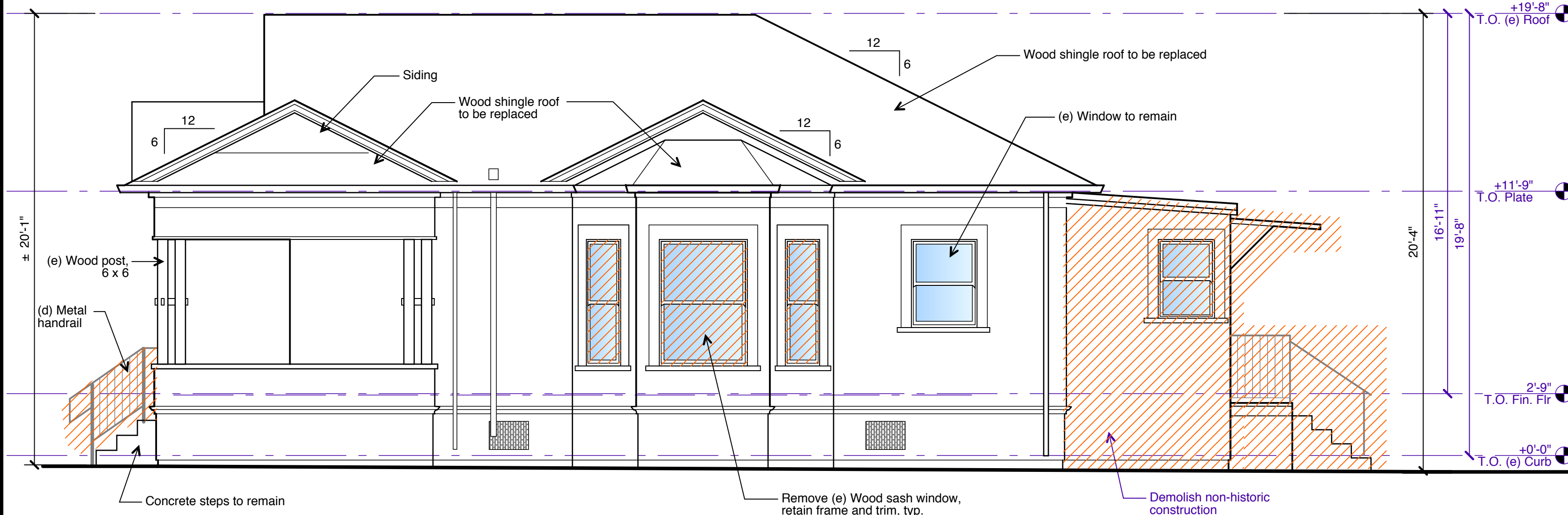
175 N. Sunnyvale Avenue.
Sunnyvale, CA 94086

House Addition



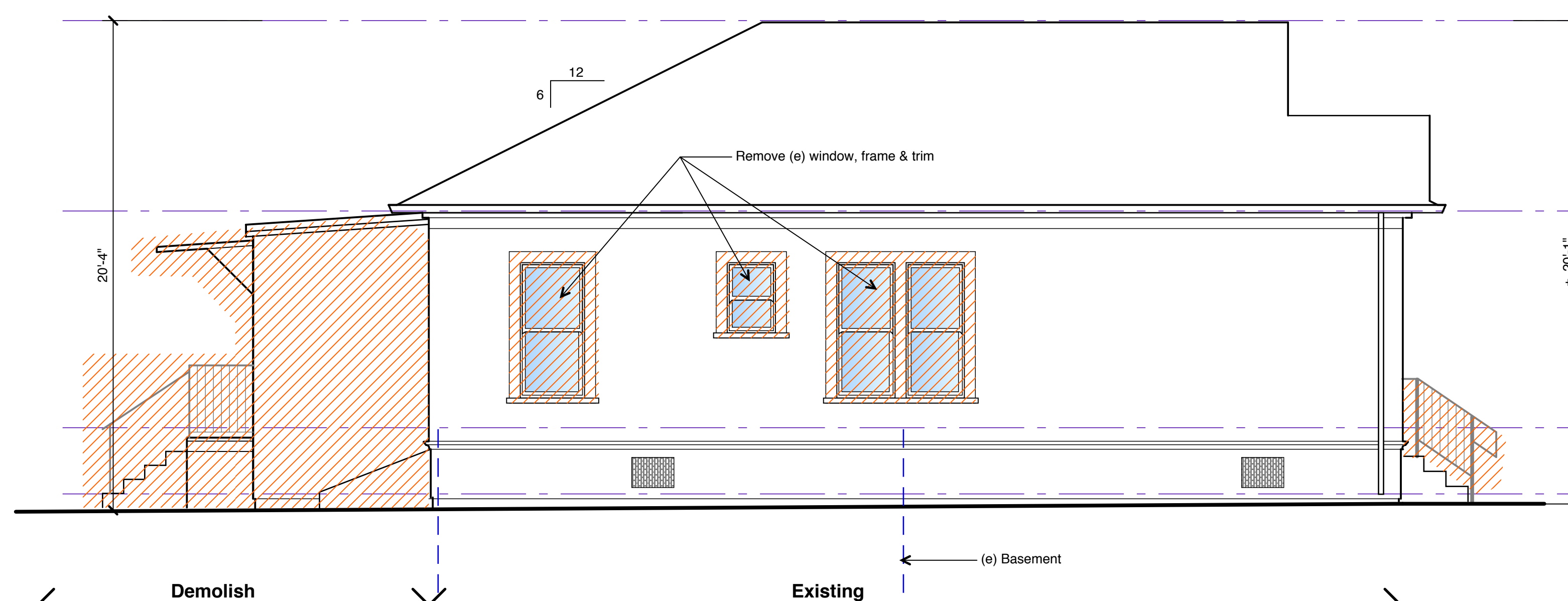
Existing East Elevation

Scale: 1/4" = 1'-0"

2

Existing North Elevation

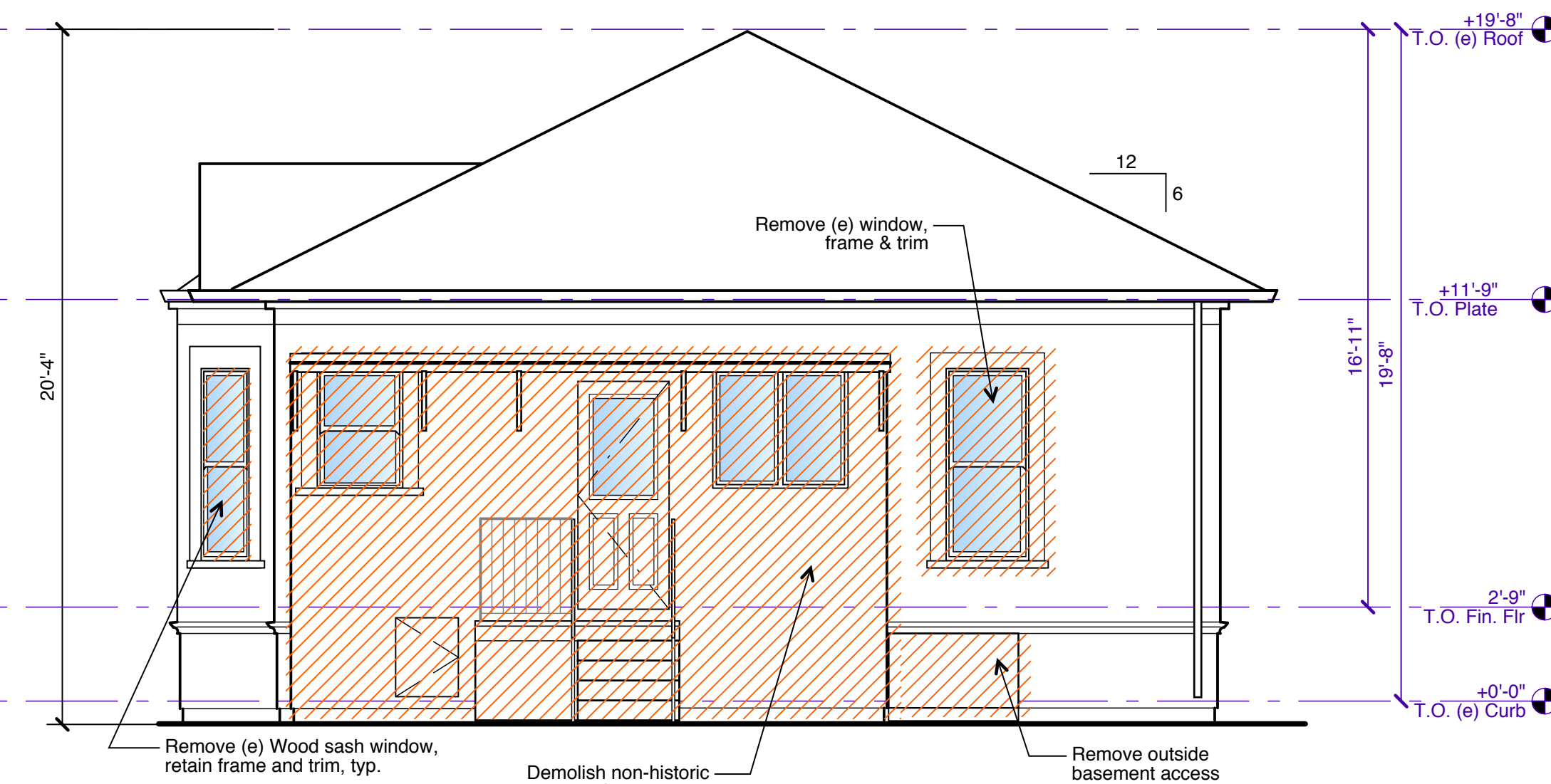
Scale: 1/4" = 1'-0"

[illegible]

Existing South Elevation

Scale: 1/4" = 1'-0"

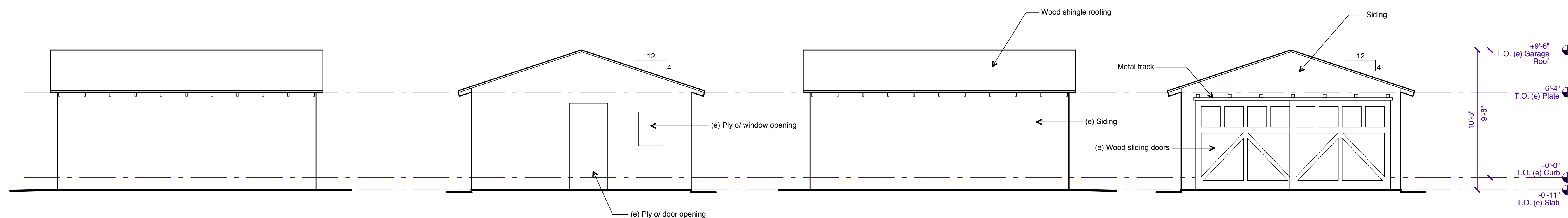
4



Existing West Elevation

Scale: 1/4" = 1'-0"

3

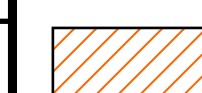


Existing Garage

Scale: $1/4'' = 1'-0''$

4

Legend:



-	Planning Resubmittal	01-21-16
-	Planning Resubmittal	01-06-16
-	Planning Submittal	12-1-15
No.	Revision	Date

Existing / Demo Exterior Elevations

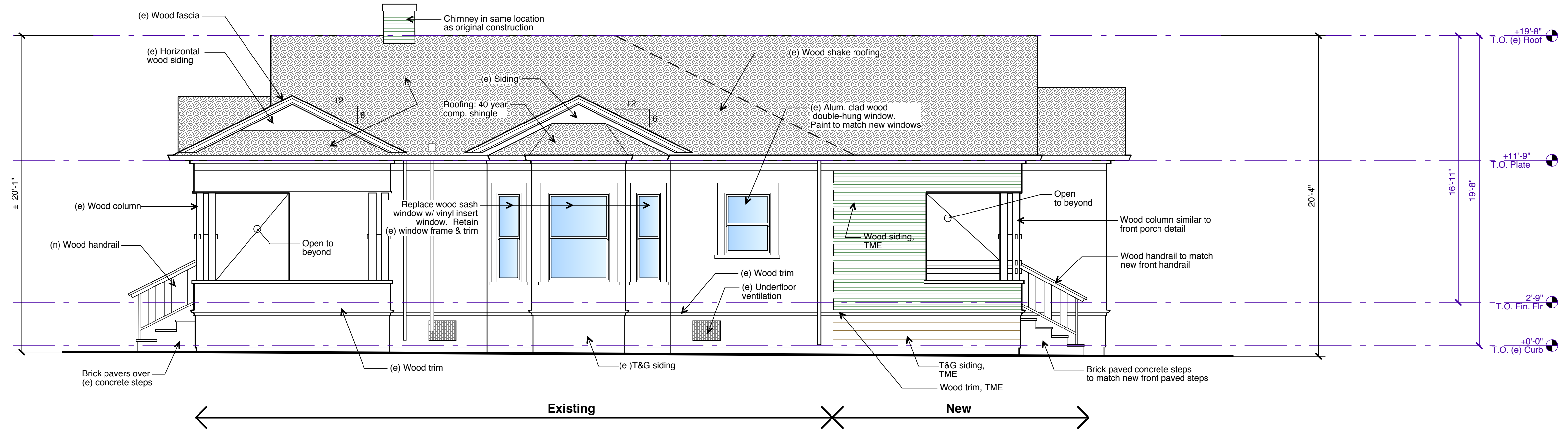
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A4.0

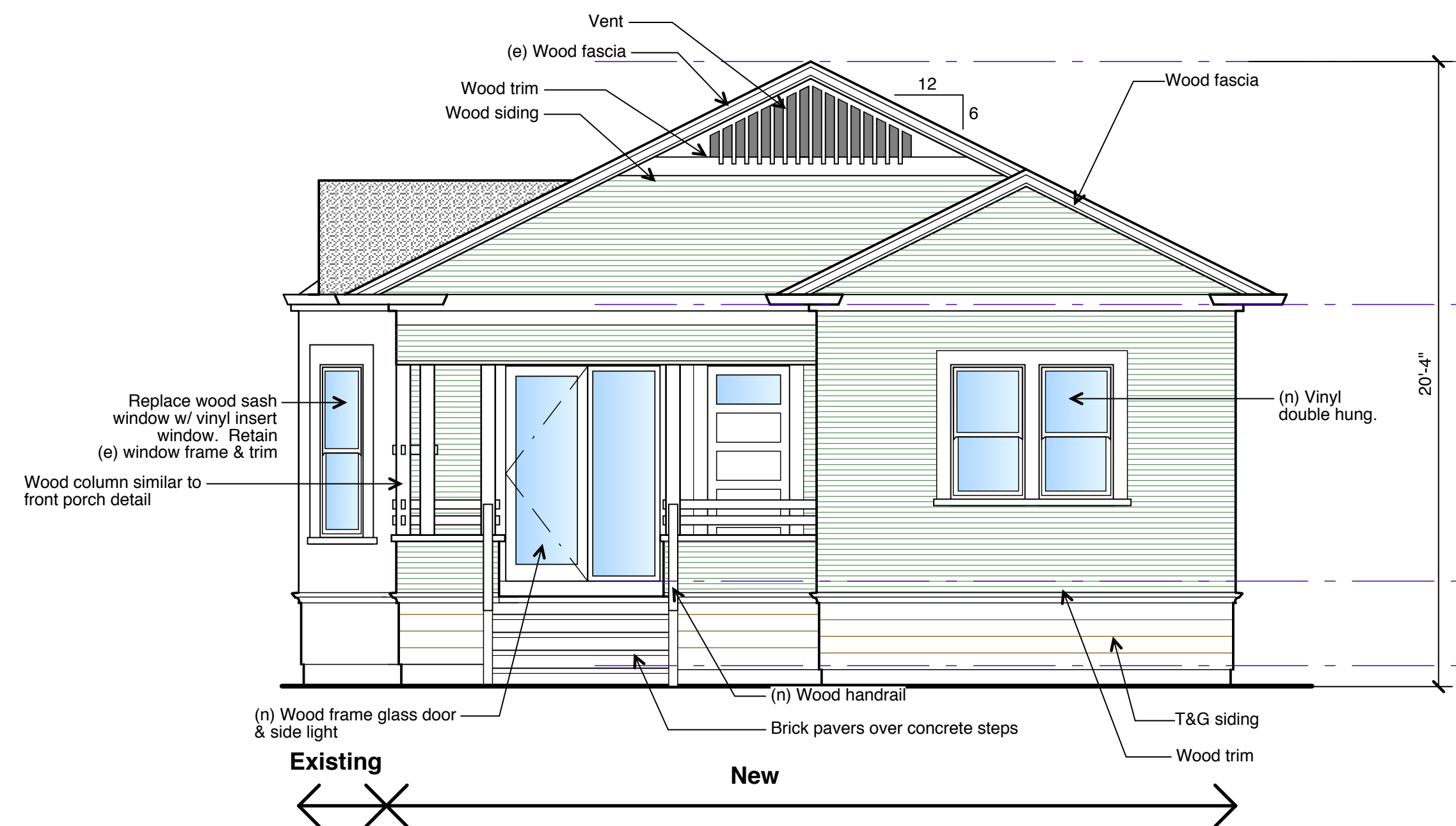
Devaney House

175 N. Sunnyvale Avenue.
Sunnyvale, CA 94086

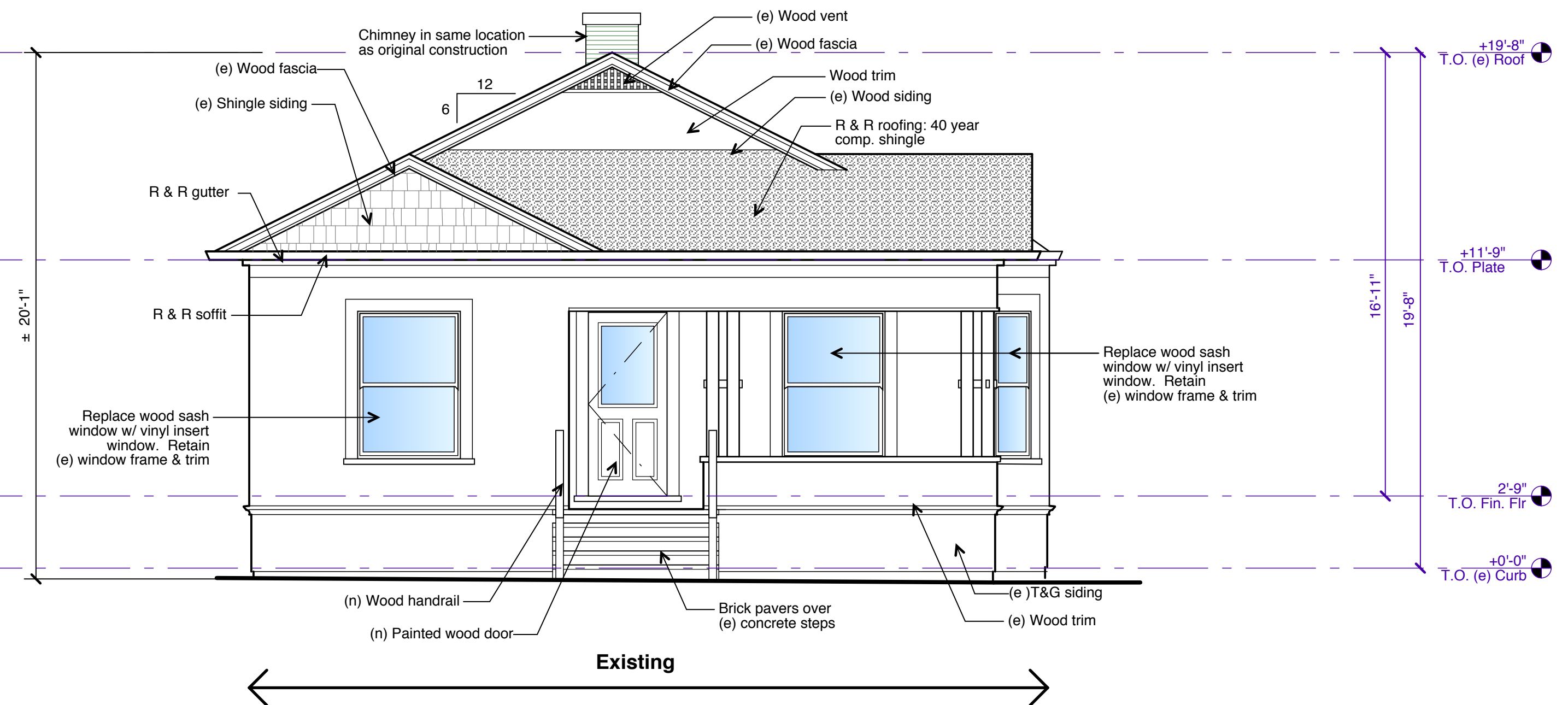
House Addition



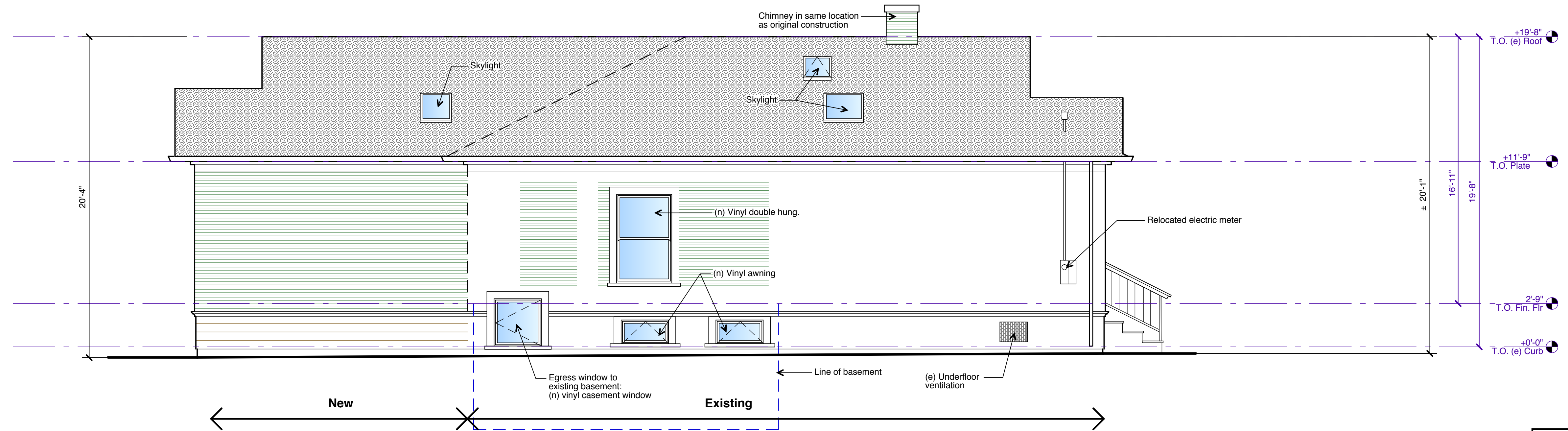
1



3



2



4

Exterior Elevations

Scale:
1/4" = 1'-0"

A4.1

-	Planning Resubmittal	01-21-16
-	Planning Resubmittal	01-06-16
-	Planning Submittal	12-1-15

No.	Revision	Date
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RESIDENTIAL PROJECT DATA PAGE 7 OF 8



Applicant should refer to the Sunnyvale Municipal Code for current requirements.

Devaney Residential Addition

175 N. Sunnyvale Ave, Sunnyvale, 94086

	EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRED/ PERMITTED
☐ General Plan Category			
☐ Zoning District	R-2	R-2	R-2
☐ Lot Size (sq. ft.)	7,020 s.f.	7,020 s.f.	5,000 s.f. min.
☐ Gross Floor Area (sq. ft.)	1,832	2,026	3,600 s.f. max.
☐ Lot Coverage (%)	21.4%	24.2%	45 % max.
☐ Number of Units	1	1	2 max.
☐ Density (units/acre)			max.
☐ Meets 75% min?			max.
☐ Bedrooms / Unit	3	3	max.
☐ Unit Sizes (sq. ft.)	1,510 s.f.	1,704 s.f.	
☐ Lockable Storage / Unit (cu. ft.)	322 s.f.	322 s.f.	max.
☐ Number of Buildings On-Site	2	2	
☐ Distance Between Buildings	29'-7"	25'-1"	5'-0" min.
☐ Building Height (ft.)	± 20'-1"	± 20'-1"	30'-0" max.
☐ No. of Stories	1 + basement	1 + basement	2 max.
☐ Front Setbacks (1 st Story/2 nd Story)	40'-8"	40'-8"	20'-0" min.
☐ Left Side Setbacks(1 st Story/2 nd Story facing property)	4'-10"	4'-10"	4'-10" min.
☐ Right Side Setbacks(1 st Story/2 nd Story facing property)	6'-8"	6'-8"	5'-2" min.
☐ Rear Setback	78'-7"	68'-11"	20'-0" min.
☐ Landscaping (total sq. ft.)	3,613 s.f.	3,470 s.f.	min.
☐ Landscaping (sq. ft./unit)	3.613 s.f.	3,470 s.f.	
☐ Useable Open Space (sq. ft./unit)	2,840 s.f.	2,697 s.f.	15 ft. min.
☐ Parking Lot Area Shading (%)			50% min. in 15 yrs.
☐ Water Conserving Plants (%)			70% min.
☐ Total No. of Parking Spaces	3	3	3 min.
☐ Standards			min.
☐ Compacts / % of total			max.
☐ Accessible Spaces			min.
☐ Covered Spaces	2	2	2 min.
☐ Aisle Width (ft.)			
☐ Bicycle Parking			
☐ Impervious Surface Area (sq. ft.)	3,407	3,550 s.f.	
☐ Impervious Surface (%)	48.5%	50.6%	

One-Stop Permit Center – City Hall – 456 W. Olive Avenue – (408) 730-7444

Planners and Building Division staff are available 8:00 a.m. to noon and 1:00 to 5:00 p.m.

www.SunnyvalePlanning.com / www.SunnyvaleBuilding.com

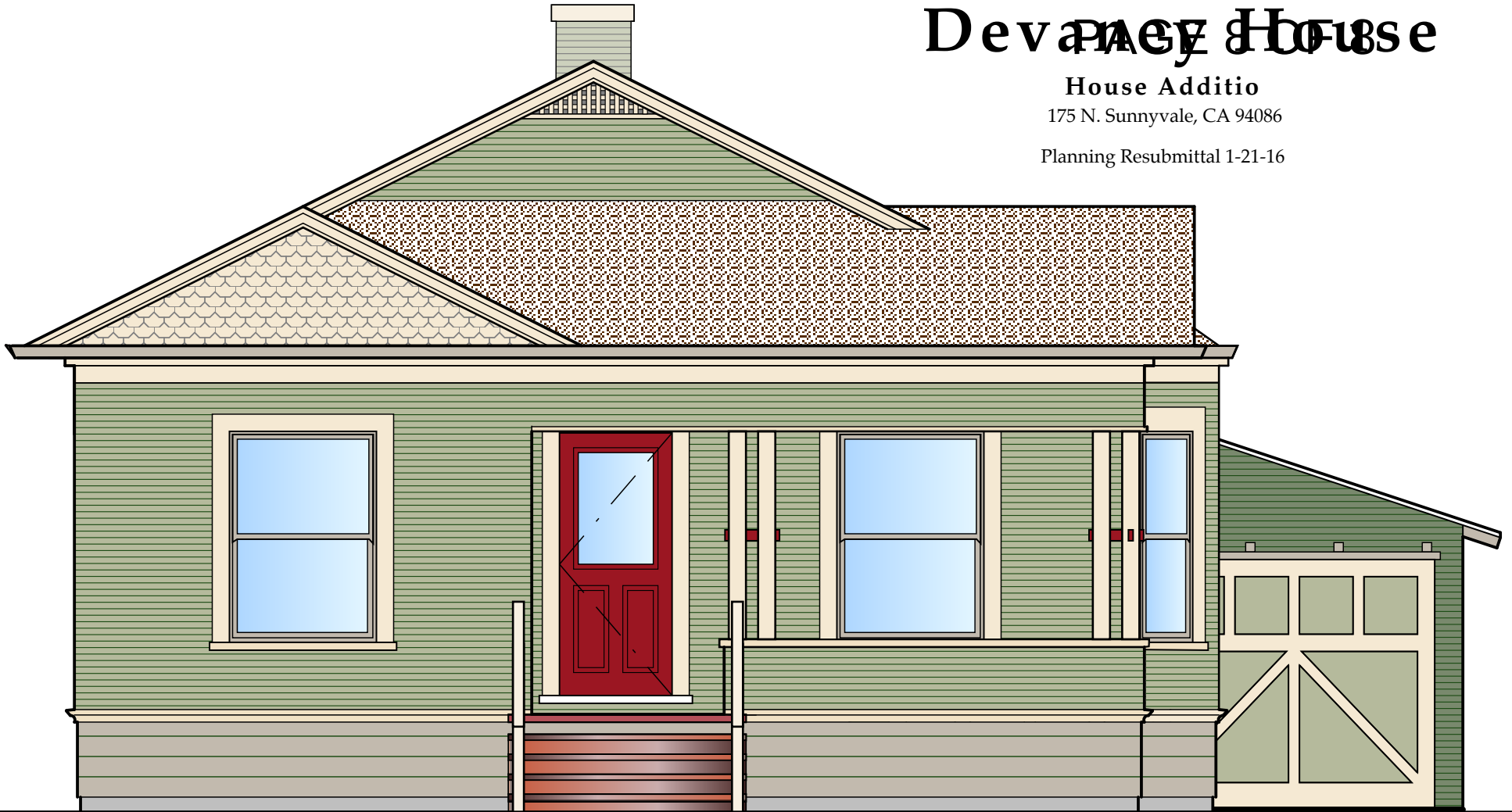
ATTACHMENT 6

Devaney House

House Additio

175 N. Sunnyvale, CA 94086

Planning Resubmittal 1-21-16



Main house wall

Trim

Foundation wall

Door

*Brick pathway
& steps*

Garage

