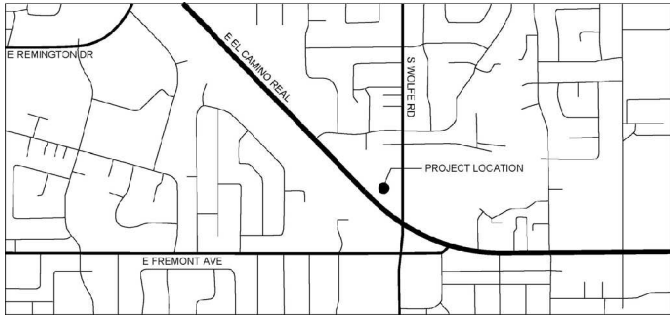




LAND USE SUBMITTAL



VICINITY MAP
SCALE: NTS

OWNER / DEVELOPER
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3	NORTHEAST VIEW
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6	VIEW OF PEDESTRIAN ENTRY ON EL CAMINO REAL
7	PATIO AND ENTRY FROM EL CAMINO REAL
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Hampton Inn & Suites - Northwest View

Sunnyvale, CA
09.08.2015

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Hampton Inn & Suites - Pedestrian Entry on El Camino Real

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Hampton Inn & Suites - Patio and Entry from El Camino Real

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Hampton Inn & Suites - Sidewalk on El Camino Real

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Hampton Inn & Suites - Patio Aerial View

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Hampton Inn & Suites - View from intersection of El Camino Real & Wolfe Road

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Hampton Inn & Suites - View from intersection Wolfe Road and Sunken Garden Terrace

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Hampton Inn & Suites - View looking southeast from El Camino Real

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⊕ UP TO 12:00 PM: < 10%



⊕ 1:00 PM: 25%



⊕ 2:00 PM: 65%



⊕ 3:00 PM: 100%



Hampton Inn & Suites - Building Solar Analysis

Sunnyvale, CA
09.08.2015

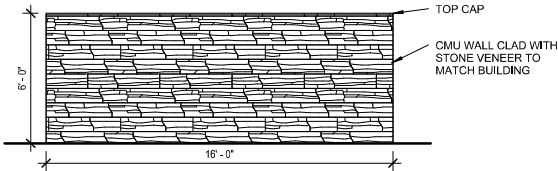
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SA



TYPICAL DUMPSTER / GENERATOR ENCLOSURE
SCALE: 1/4" = 1'-0"

SITE PLAN LEGEND

(REFERENCE ONLY - SEE ELECTRICAL DRAWINGS)

- POLE MOUNTED PARKING LOT LIGHT
- GROUND MOUNTED ACCENT LIGHT
- 10'-0" PEDESTRIAN POLE LIGHT
- BOLLARD
- OUTDOOR POOL SHOWER
- HOSE BIB
- ACCENT LIGHT
- WALL SCONCE
- FIRE HYDRANT

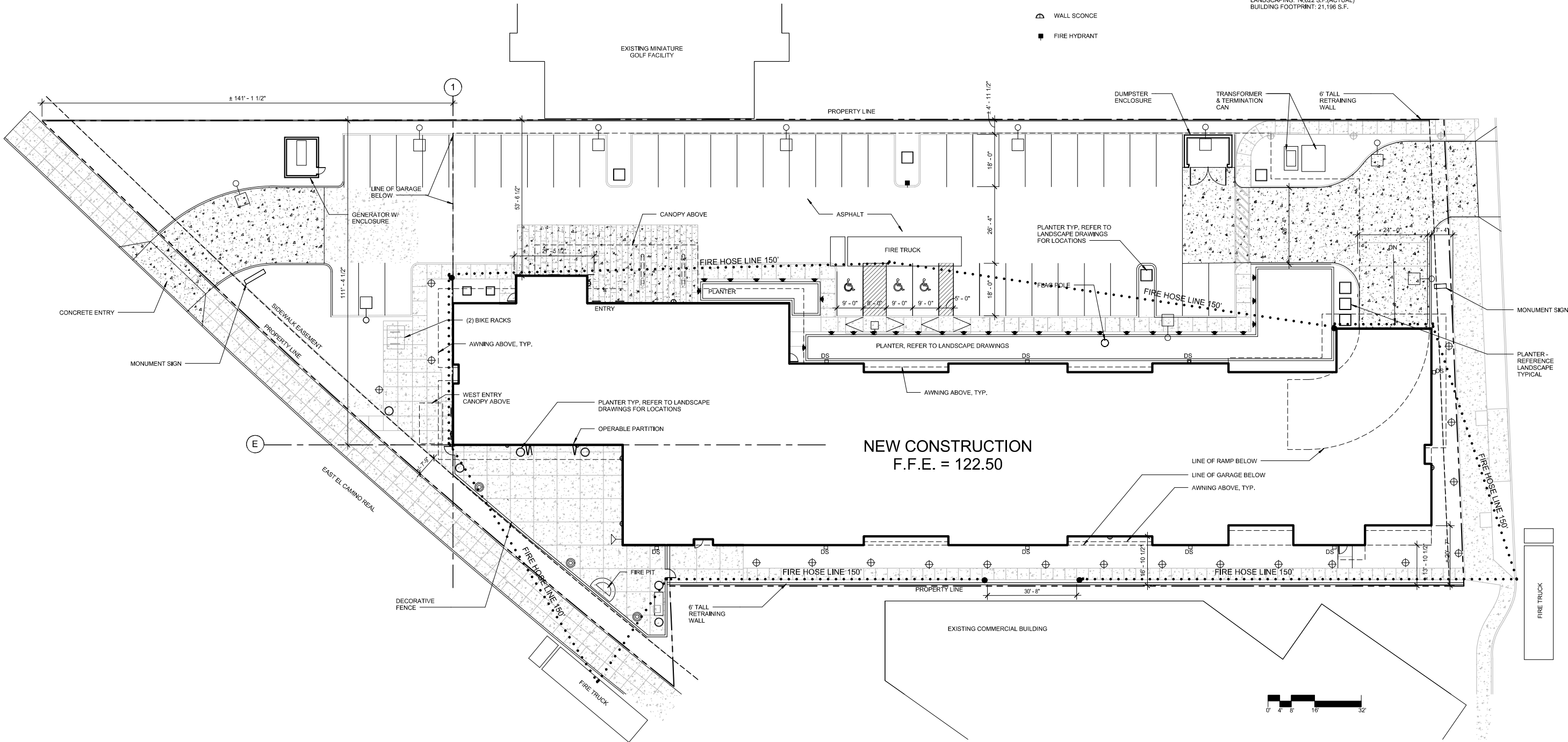
SITE PLAN INFORMATION

SITE DEVELOPMENT SUMMARY
SITE AREA: 1.5 ACRES
64,671 S.F.

BUILDING DATA
AREA: +/- 97,841 S.F. (HOTEL); 43,437 S.F. (GARAGE)
STORIES: 5
GUESTROOMS: 162
LOT COVERAGE: 35%
F.A.R.: 1.5
MAXIMUM HEIGHT: 62'-0" (ACTUAL); 75'-0" (ALLOWABLE)

PARKING DATA
TOTAL SURFACE PARKING STALLS: 46
TOTAL GARAGE PARKING STALLS: 103
TOTAL ACCESSIBLE STALLS: 6
TOTAL PARKING: 149

LANDSCAPE REQUIREMENT
LANDSCAPING: 12,935 S.F. (MINIMUM REQUIRED)
LANDSCAPING: 14,622 S.F. (ACTUAL)
BUILDING FOOTPRINT: 21,196 S.F.



LU 1 SITE PLAN

Hampton Inn & Suites - Site Plan

Sunnyvale, CA
09.08.2015

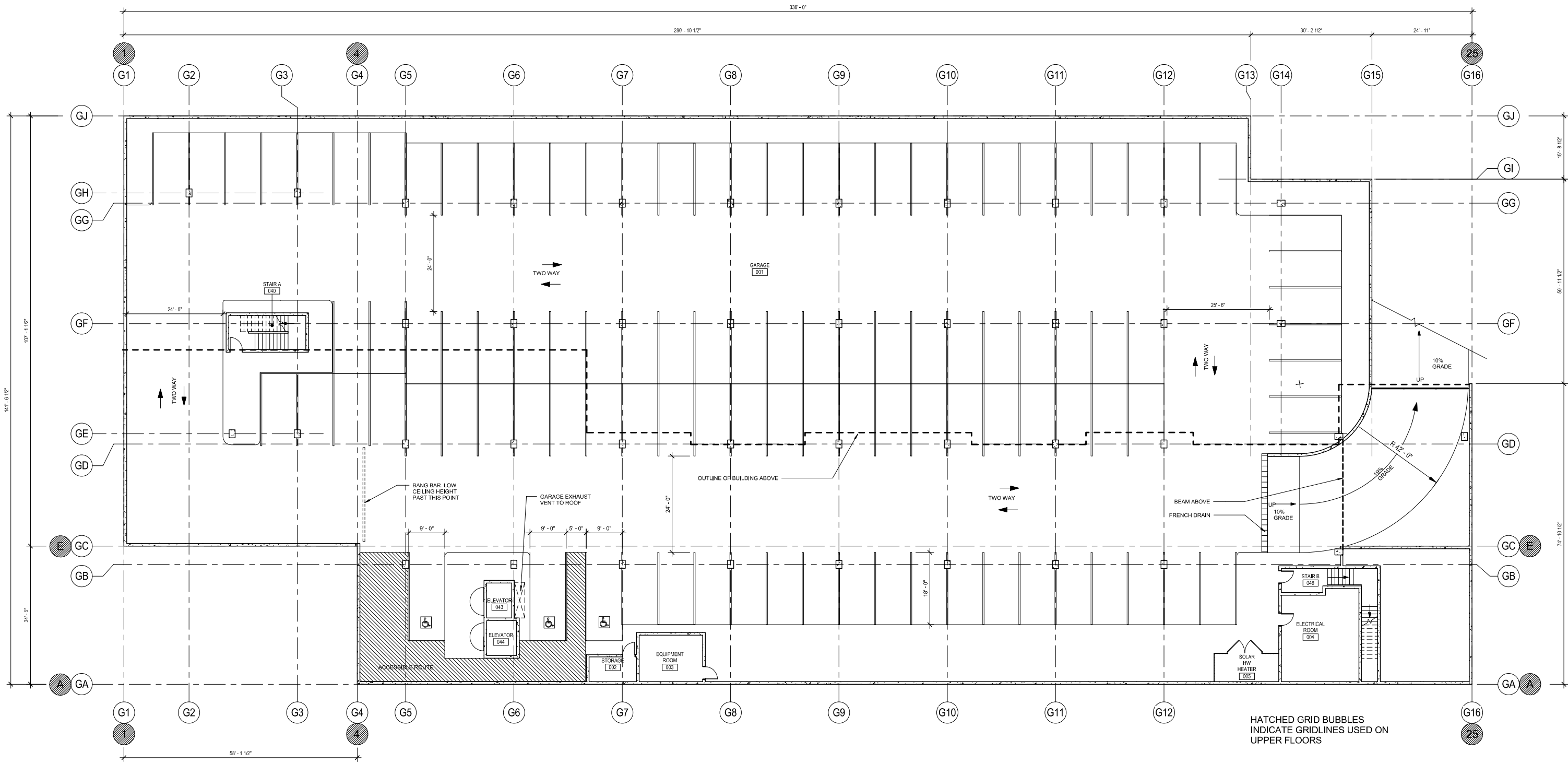
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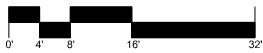
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A1



LU 2 GARAGE FLOOR PLAN



Hampton Inn & Suites - Garage Plan

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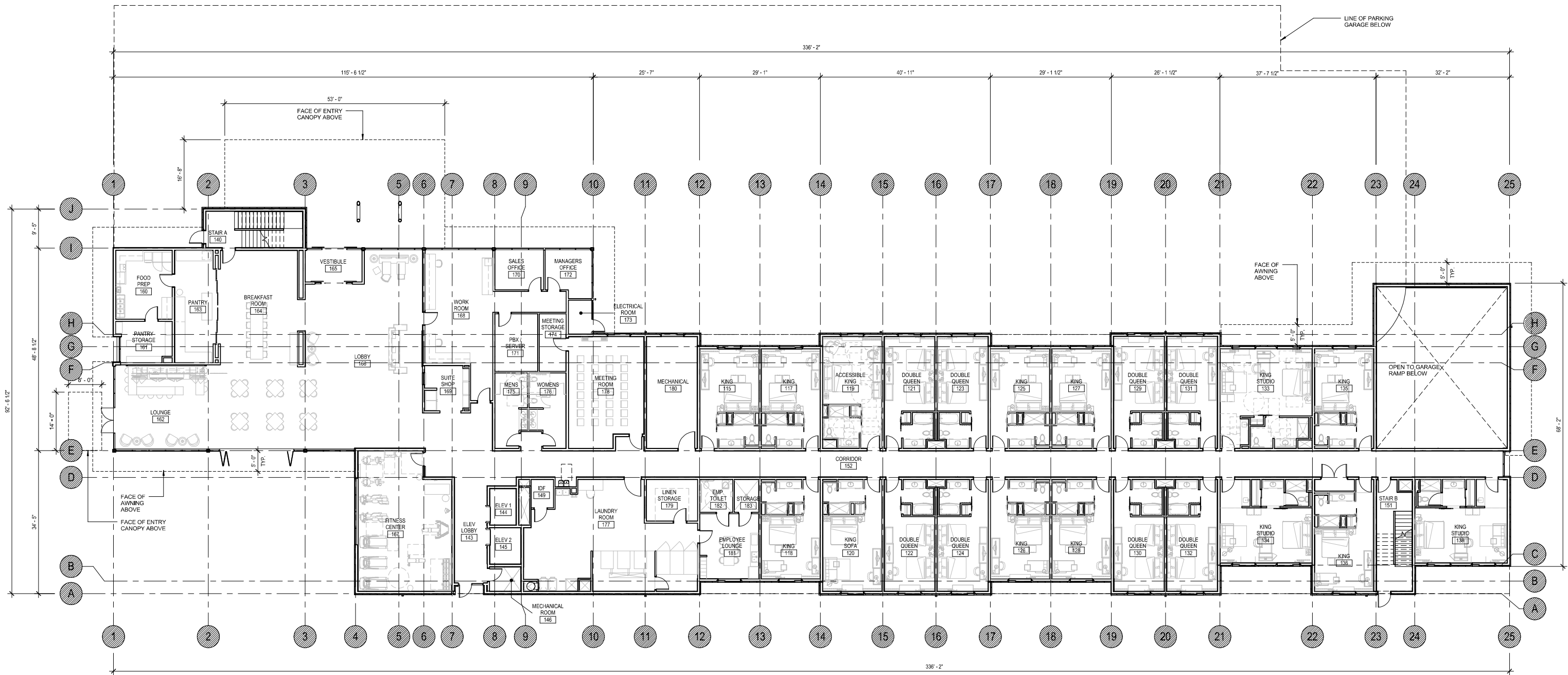
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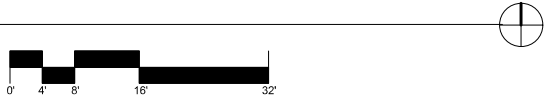
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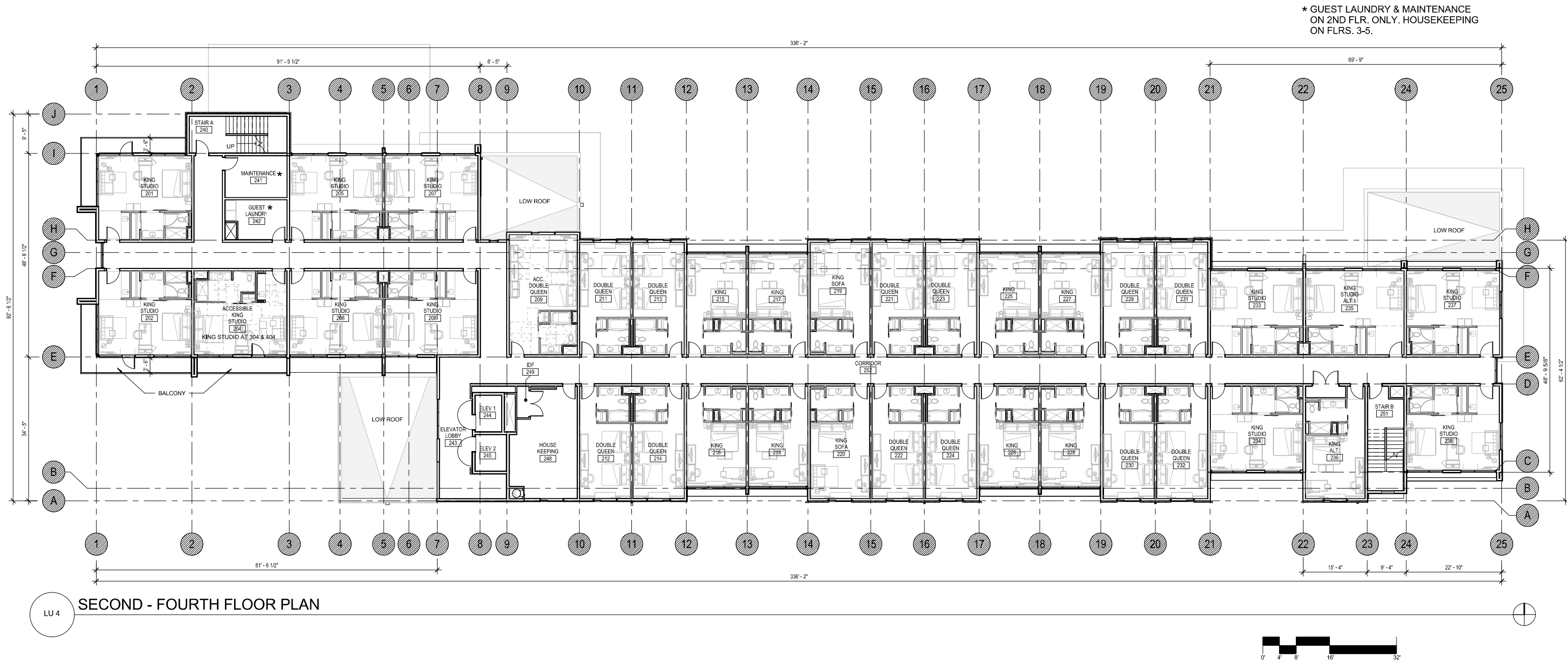
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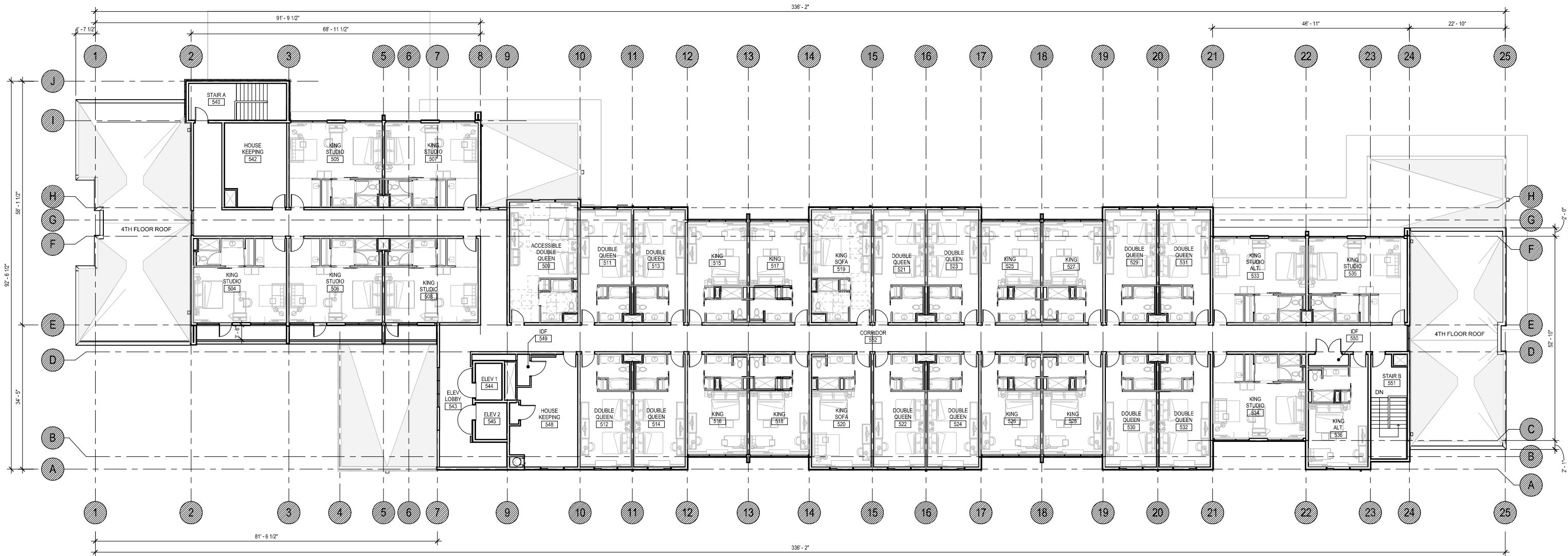
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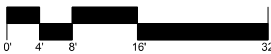
LU 3 GROUND FLOOR PLAN







LU 5 FIFTH FLOOR PLAN



Hampton Inn & Suites - Fifth Floor Plan

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09.08.2015

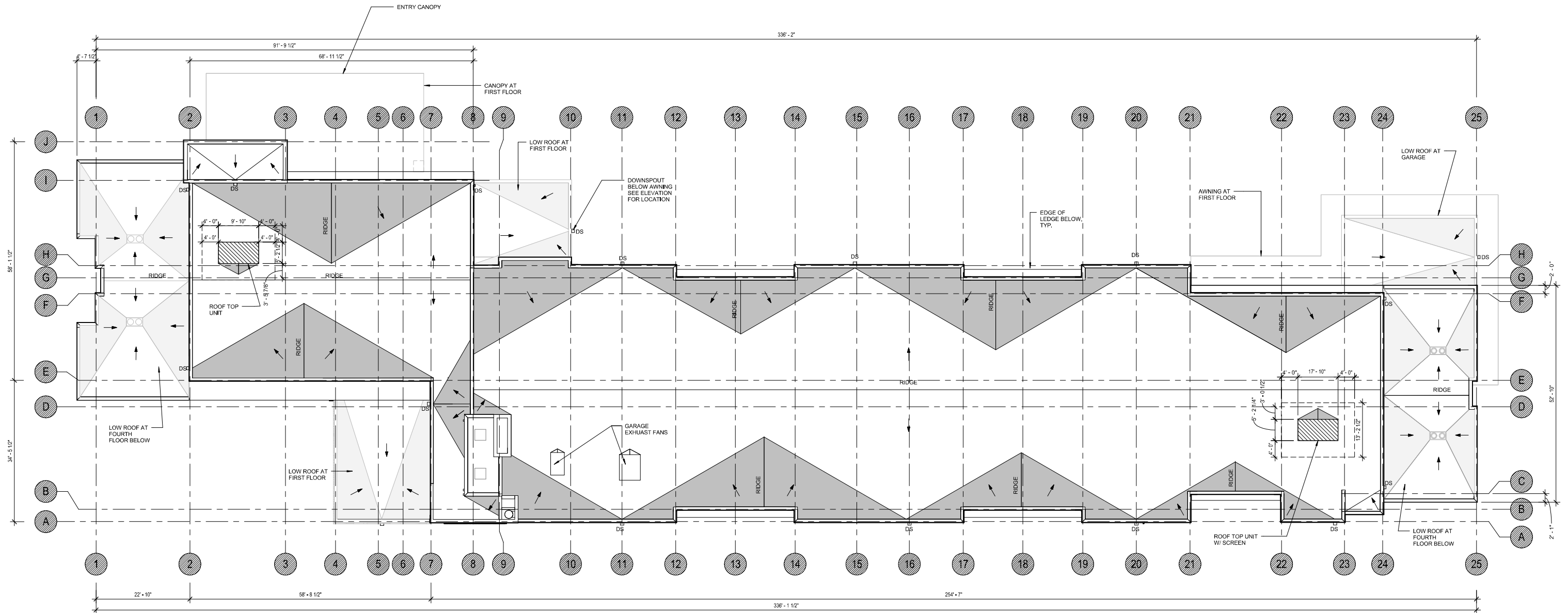
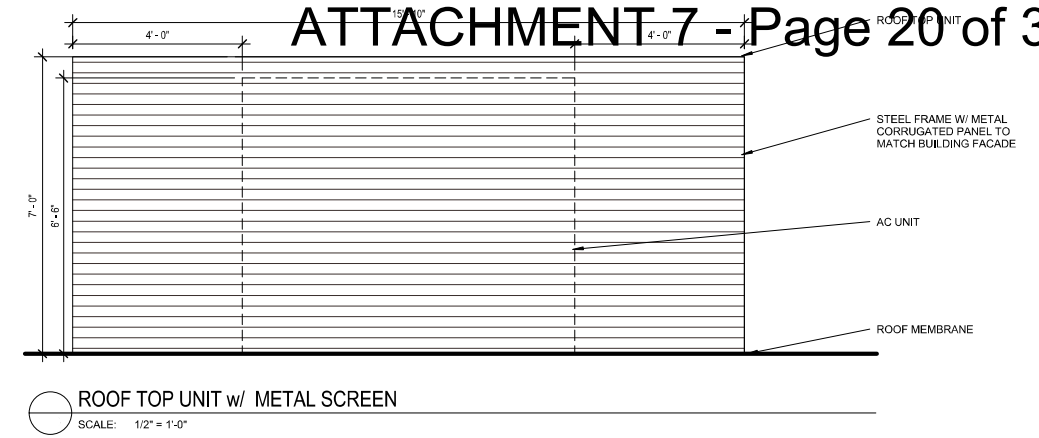
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LU 6 ROOF PLAN



Hampton Inn & Suites - Roof Plan

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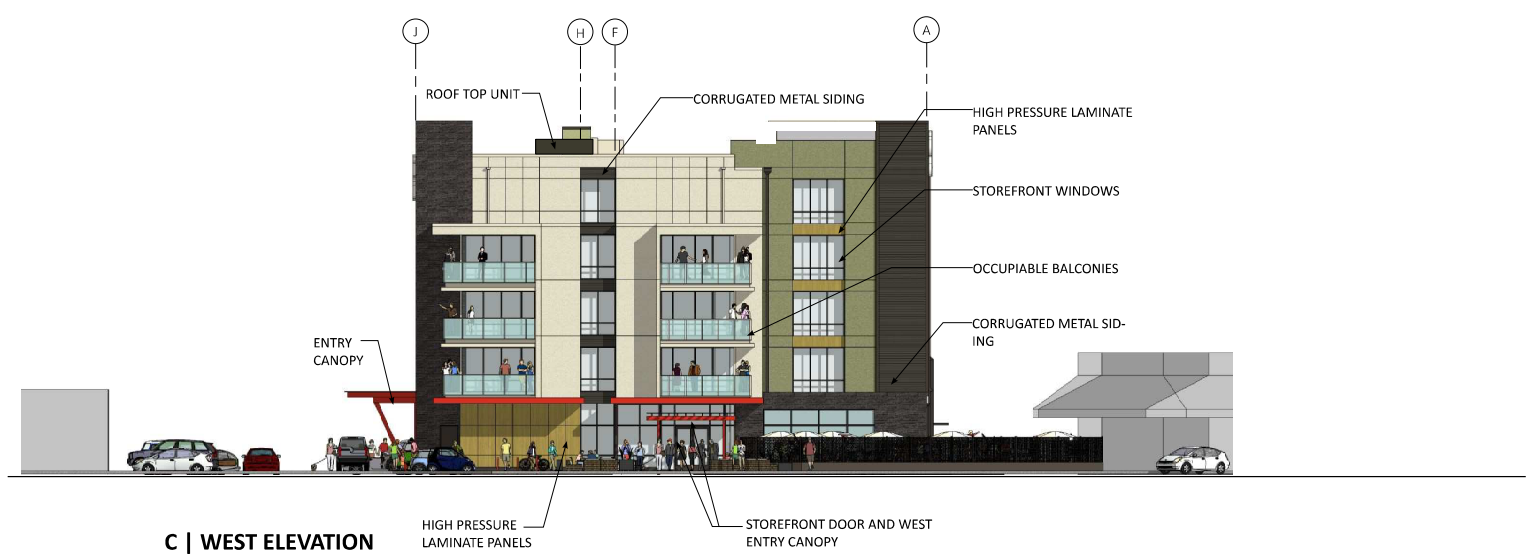
A6



A | NORTH ELEVATION



B | EAST ELEVATION



C | WEST ELEVATION



D | SOUTH ELEVATION

Hampton Inn & Suites - Elevations

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A | STREET ELEVATION ALONG SOUTH WOLFE ROAD



B | STREET ELEVATION ALONG EL CAMINO REAL ROAD

Hampton Inn & Suites - Elevations

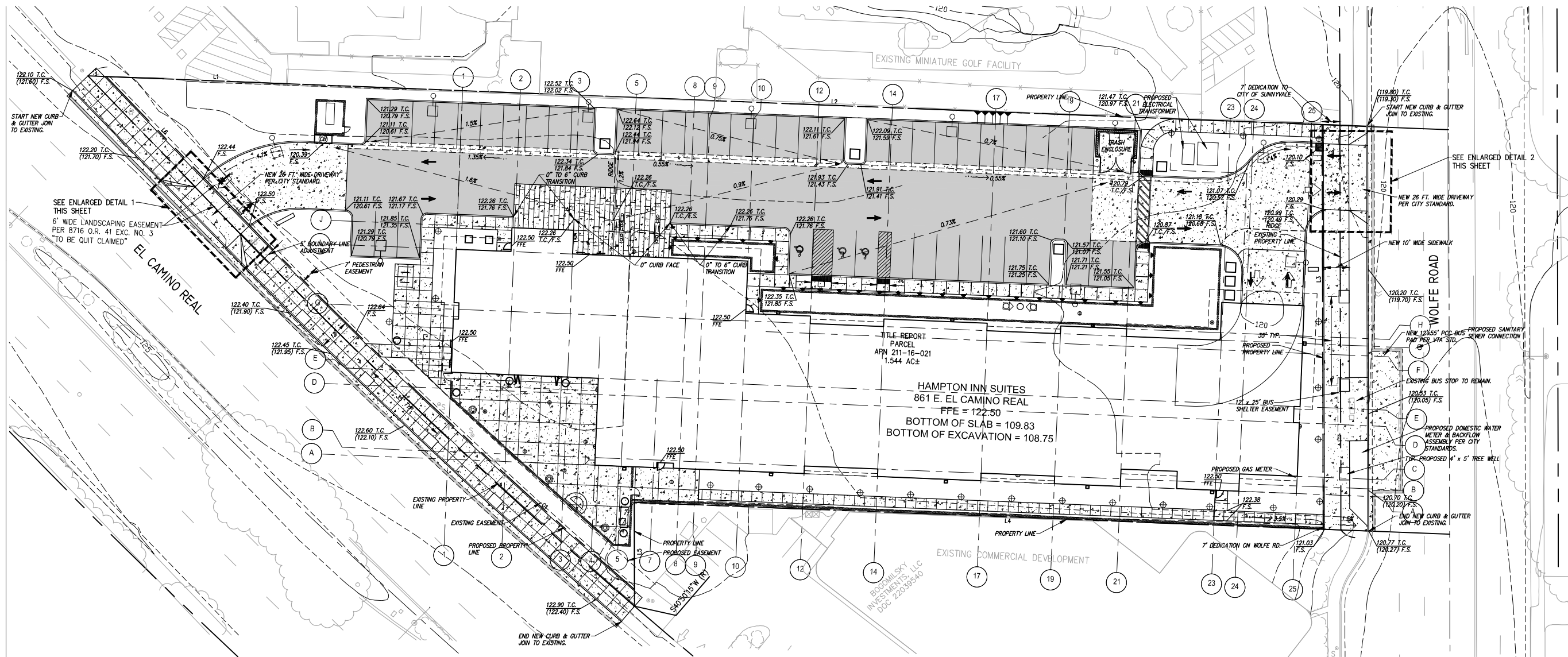
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EXISTING PROPERTY LINE DATA: NEW PROPERTY LINE DATA:

LINE TABLE		
LINE	LENGTH	BEARING
L1	235.00	N87°44'00"W
L2	260.75	N87°44'00"W
L3	160.09	N00°09'00"W
L4	279.79	S87°45'15"E
L5	41.13	N00°07'00"W
L6	78.70	S43°55'50"E

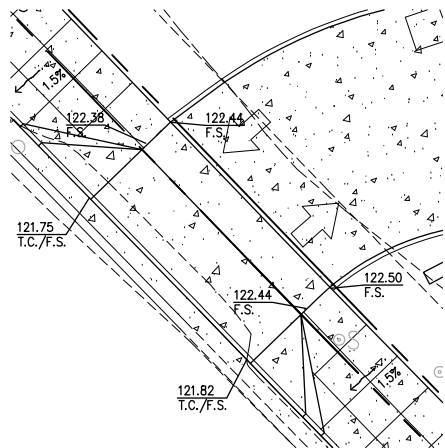
CURVE TABLE		
CURVE	LENGTH	RADIUS
C1	222.81	2440.00

LINE TABLE			
LINE #	LENGTH	DIRECTION	
L1	228.50	N87° 44' 00.00"W	
L2	253.75	N87° 44' 00.00"W	
L3	160.10	N00° 09' 00.00"W	
L4	272.79	S87° 45' 15.00"E	
L5	35.17	N00° 07' 00.00"W	
L6	74.01	S43° 55' 50.00"E	

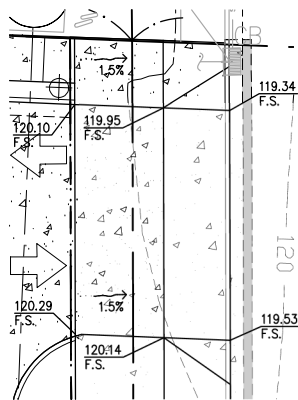
CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	218.01	2435.00	5° 13' 55"

ENGINEER'S NOTE

1. ANY AND ALL MINOR DEFICIENT PUBLIC IMPROVEMENTS (SUCH AS CURB & GUTTER, SIDEWALK, BACKFLOW PREVENTER, ETC.) WHICH ARE NOT IN ACCORDANCE TO THE LATEST CITY STANDARDS AND ARE NOT SPECIFICALLY IDENTIFIED IN THE PROJECT CONDITIONS, SHALL BE REQUIRED BY THE DIRECTOR OF PUBLIC WORKS AS PART OF THE OFF-SITE IMPROVEMENT PLAN REVIEW APPROVAL.
2. DEVELOPER SHALL BE RESPONSIBLE TO RECTIFY ANY DAMAGE TO THE EXISTING PUBLIC IMPROVEMENTS FRONTING AND ADJACENT TO THE PROJECT SITE AS A RESULT OF PROJECT CONSTRUCTION, TO CITY'S SATISFACTION BY DIRECTOR OF PUBLIC WORKS.



DETAIL 1
SCALE : 1"=10'



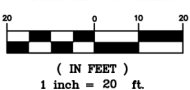
DETAIL 2
SCALE : 1"=10'

LEGEND:

- FLOW DIRECTION: 1.0%
- NEW ASPHALT
- NEW PCC SIDEWALK
- PARKING CIRCULATION



GRAPHIC SCALE



CONTRACTOR NOTE

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.

UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
811
CALL TWO BUSINESS DAYS BEFORE YOU DIG

Hampton Inn & Suites - Grading Plan

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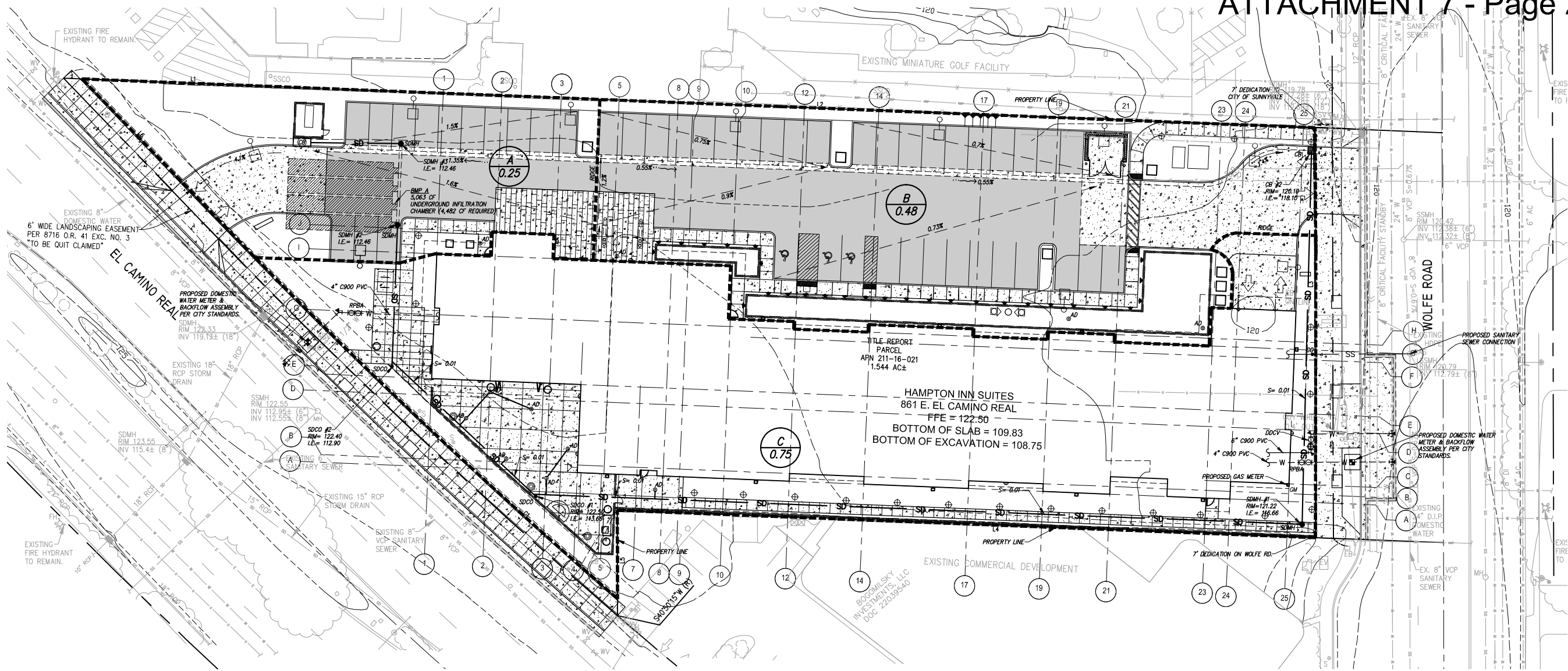
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C1



BMP A: UNDERGROUND INFILTRATION CHAMBER

RECEIVING BASINS	RUNOFF COEFFICIENT	LOCAL INTENSITY (IN/HR)	AREA (AC)	PEAK FLOW RATE, Q (CFS)	REQUIRED VOLUME (CF)
A	0.8	2.82	0.25	0.56	757
B	0.8	2.82	0.48	1.08	1,454
C	0.8	2.82	0.75	1.69	2,271
TOTAL			1.48	3.33	4,482

LEGEND:

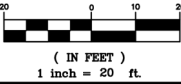
- FLOW ARROWS
- DRAINAGE BASIN BOUNDARY
- DRAINAGE BASIN ACREAGE

ENGINEER'S NOTE

DEVELOPER TO PROVIDE A MAINTENANCE AGREEMENT STATING THE PARTIES RESPONSIBILITY FOR MAINTENANCE OF PROPOSED BMPs.



GRAPHIC SCALE



CONTRACTOR NOTE

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.

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811
CALL TWO BUSINESS DAYS
BEFORE YOU DIG

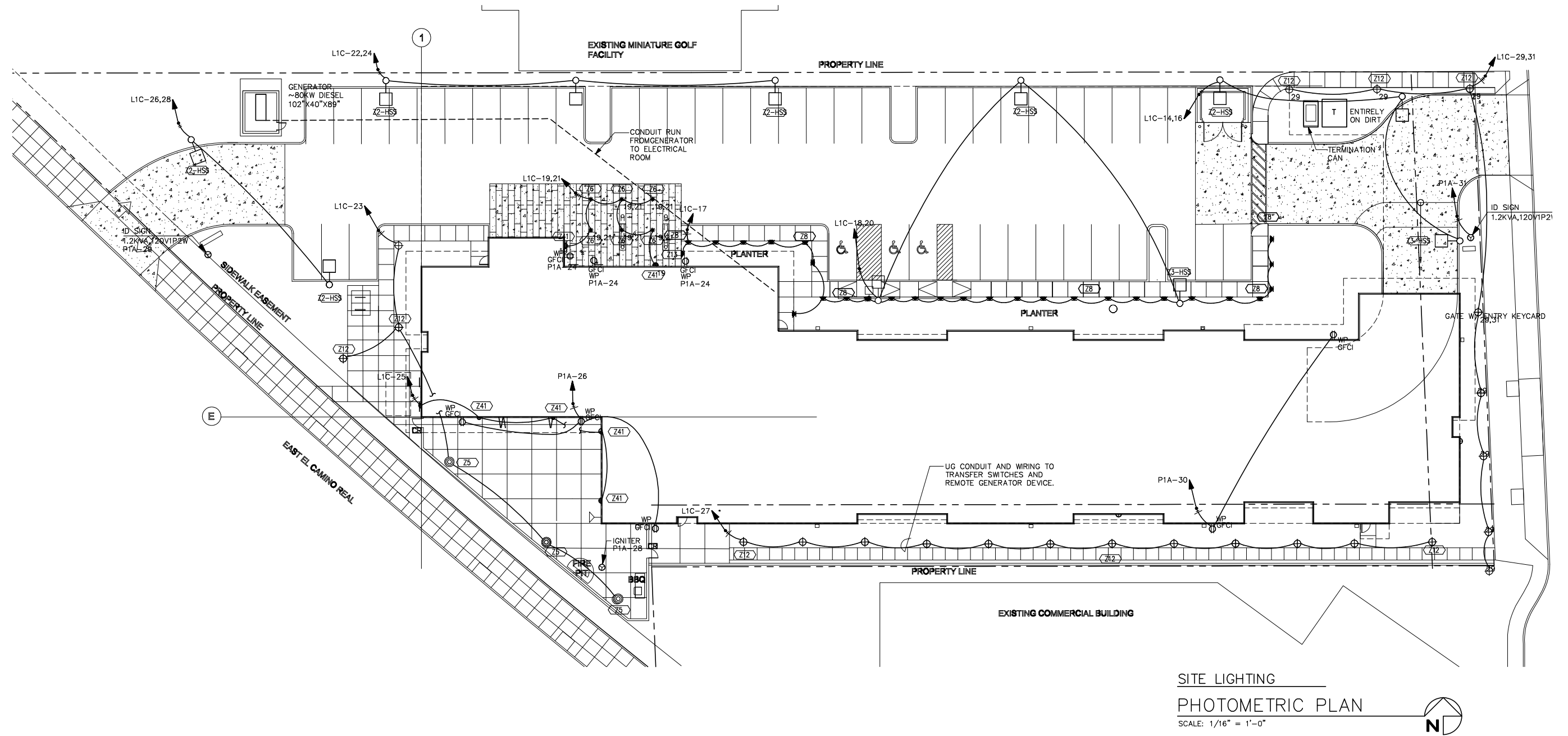
LUMINAIRE SCHEDULE								
CALLOUT	SYMBOL	DESCRIPTION	LAMP	BALLAST	MODEL	INPUT WATTS	VOLTS	NOTES
F2		2'X2' FLUORESCENT LENSED TROFFER, SINGLE BALLAST, NON-DIMMABLE	(2) 32W T8	ELECTRONIC	COOPER LIGHTING: 2GC8-2U6T8-A-UNV-EB81-U	62	120V 1P 2W	MEETING ROOM, FITNESS
F7		5.75" W X 4' L FLUORESCENT WRAP	(2) 32W T8	ELECTRONIC	LIGHTOLIER LSW-4-R-2-32-120-HI	62	120V 1P 2W	BACK OF HOUSE
F9		2X4 LENSED, RECESSED TROFFER	(3) 32W T8	ELECTRONIC	LIGHTOLIER SPS2GFSVA332-120-03	93	120V 1P 2W	KITCHEN, LAUNDRY
F9B		2X4 LENSED, RECESSED TROFFER	(2) 32W T8	ELECTRONIC	COOPER LIGHTING: 2GC8-332-A125-UNV-EB81-U	62	120V 1P 2W	KITCHEN, LAUNDRY
G2		FLUORESCENT RECESSED CAN, 6.75" APERTURE, GLASS LENS, POLYCARBONATE FLANGE	(1) 18W CFL	ELECTRONIC	LIGHTOLIER 1101F18U WITH TRIM 1190	21	120V 1P 2W	GUESTROOM BATHROOM & WETBAR
LT5		INDOOR: BARN LIGHT LED PENDANT	(1) 12W LED	LED DRIVER	BARN LIGHT ELECTRIC BLE-C-WHA-LED	12	120V 1P 2W	BREAKFAST AREA
LT6		INDOOR: DECORATIVE PENDANT	(1) 14W LED	LED DRIVER	LZF ESCAPE	14	120V 1P 2W	COMMUNITY TABLE
LT9		INDOOR: ROUND HANGING LAMP WITH FABRIC SHADE AND METAL CANOPY IN SATIN NICKEL	(1) 11W LED	LED DRIVER	USONA HOME HANING LAMP10039	11	120V 1P 2W	MEETING ROOM
LT10		INDOOR: DECORATIVE WALL SCNCE	(3) 48W INCAND		ACCESS LIGHTING 62288	144	120V 1P 2W	PUBLIC RESTROOM
LT11		INDOOR: DECORATIVE WALL SCNCE, NON-DIMMABLE	(2) 18W CFL	ELECTRONIC	KICHLER LIGHTING 10696SN	36	120V 1P 2W	CORRIDORS
LT505		GUESTROOM VANITY LIGHT, 1 LAMP HARD WIRED BATH BARR VANITY LIGHT	(1) 39W T5	ELECTRONIC	TRINITY LIGHTING HAMPTON ID#GR-201 CUSTOMIZED	39	120V 1P 2W	GUESTROOM VANITY
LT507		16" DIAMETER SURFACE LIGHT WITH BRUSHED NICKEL-FORSTED WHITE	(2) 24W GU24	SELF-BALLASTED	TRINITY LIGHTING 552000-D-BNICK, HAMPTON ID#GF-200 HILTON #LT-700	52	120V 1P 2W	GUESTROOM ENTRY AND BATHROOM LIGHT
P1		4' LED ENCLOSED GARAGE STRIP LIGHT.	(1) 64W LED	ELECTRONIC	WILLIAMS 97-4-L79/840-FR-TBD-DIM-120	64	120V 1P 2W	PARKING GARAGE
P1E		4' LED ENCLOSED GARAGE STRIP LIGHT WITH EMERGENCY BALLAST	(1) 64W LED	ELECTRONIC	WILLIAMS 97-4-L79/840-FR-EM-DIM-120	64	120V 1P 2W	PARKING GARAGE
R1		FLUORESCENT RECESSED DIMMABLE CAN, 6.75" APERTURE, SPECULAR CLEAR ALZAK TRIM	(1) 27W LED	LED DRIVER	OMEGA OM6LED27U-R6LED30KWDCSS	27	120V 1P 2W	PUBLIC SPACE
R1L		4" LED DOWNLIGHT, CLEAR SEMI-SPECULAR REFLECTOR, 0-10V DIM	(1) 20W LED	LED DRIVER	OMEGA OM4LED27U-R4LED30KWDCSS	20	120V 1P 2W	PUBLIC SPACE BUFFET
R2		6" LED DOWNLIGHT, CLEAR DIFFUSE REFLECTOR, 650 LUMENS, 30K CCT	(1) 12.5W LED	LED DRIVER	LIGHTOLIER 1004IC-NQ/1013-CD-L-30K	12.5	120V 1P 2W	CORRIDOR
R4		6" RECESSED CAN DIMMABLE CFL WALL WASH	(1) 26W CFL	DIMMING	LIGHTOLIER 1101FD26L1 / 1101CLSW	28	120V 1P 2W	PUBLIC SPACE WALL WASH
S1		4' FLUORESCENT WALL WRAP, (2) 32W T8 LAMPS, WITH BUILT-IN OCCUPANCY SENSOR, ULTRA SONIC, BATTERY BAL	(2) 32W T8	ELEC W/BATTERY	TEXAS FLUORESCENT SS213A232MV-EM	62	120V 1P 2W	STAIRS, BUILT-IN OCCUPANCY SENSOR, BATTERY BALLAST
X1		LED EXIT SIGN, SINGLE OR DOUBLE SIDED, UNIVERSAL MOUNT, PROVIDE WITH BATTERY BALLAST	(1) 2W LED	BATTERY	LIGHTOLIER LDS-N-1-G-W, SINGLE SIDED LIGHTOLIER LDS-N-2-G-W, DOUBLE SIDED	2	120V 1P 2W	UNIVERSAL KNOCK-OUTS FOR DIRECTIONAL MARKERS, PROVIDE BATTERY BALLAST
X2		EMERGENCY EGRESS BUGEYE	(2) 1.5W WHITE LED	BATTERY	LITHONIA ELM2LED	3	120V 1P 2W	EMERGENCY EGRESS LIGTHING MOUNT AT 7'6" TO CENTER TYPICAL
X3		LED WALL MOUNTED EXIT SIGN, SINGLE UNIVERSAL MOUNT, PROVIDE WITH BATTERY BALLAST EXTERIOR RATED	(1) 2W LED	BATTERY	LIGHTOLIER LWL2A1GB SINGLE SIDED	2	120V 1P 2W	UNIVERSAL KNOCK-OUTS FOR DIRECTIONAL MARKERS, PROVIDE BATTERY BALLAST
Z2-HSS		260W LED PARKING LUMINAIRE, MOTION RESPONSE, 50% DIM, TYPE IV, 40K, SINGLE MOUNT, BACKLIGHT CONTROL	(1) 260W LED	LED DRIVER	GARDCO P32-MR50-A1-1-BLC-260LA-NW-EHHS BRONZE POWDERCOATED SHOEBOX TYPE POLE MOUNTED PARKING LOT LIGHT, HORIZONTAL FULL CUTOFF, HOUSE SIDE	260	208V 2P 2W	PARKING LOT, MOUNT ON 20' POLE, 3000K CCT; PROVIDE HOUSE SIDE SHIELD
Z3-HSS		260W LED PARKING LUMINAIRE, MOTION RESPONSE, 50% DIM, TYPE II, 40K, SINGLE MOUNT, BACKLIGHT CONTROL OPTICAL SYSTEM	(1) 260W LED	LED DRIVER	GARDCO P32-MR50-A1-1-2-260LA-NW-EHHS BRONZE POWDERCOATED SHOEBOX TYPE POLE MOUNTED PARKING LOT LIGHT, HORIZONTAL FULL CUTOFF, HOUSE SIDE SHIELD, TYPE 4 DIST	260	208V 2P 2W	PARKING LOT, MOUNT ON 10' POLE, 3000K CCT; PROVIDE HOUSE SIDE SHIELD
Z5		10' PEDESTRIAN POLE LIGHT W/ SYMMETRICAL LED LUMINAIRE	(1) 150W MH	ELECTRONIC	ARCHITECTURAL AREA LIGHTING SL-VT-H3-150MH-MAL	150	120V 1P 2W	EXTERIOR POOL; FINISH: TBD; 3000K CCT
Z6		100W METAL HALIDE DOWNLIGHT, WHITE REFLECTOR, REGRESSED CLEAR LENS	(1) 100W MH	ELECTRONIC	CAPRI CM6-ML100-V66C-CH24	100	MULTIPLE	PORTE COCHERE, 3000K CCT
Z8		LIGHT COLUMN BOLLARD	(1) 10W T8 LINEAR LED 4000K		FORMS+SURFACES LBLCO-604 OR EQUIVALENT	10	208V 2P 2W	POOL
Z12		LIGHTED BOLLARD	(1) 27 LEDS IN 3 ARRAYS. LUMEN RATING = 1601	ELECTRONIC	ARCHITECTURAL AREA LIGHTING , PROB-LED-27	29	120V 1P 2W	
Z13		OUTDOOR PATHWAYS UPLIGHT	(1) 8.4W LED 3000K	ELECTRONIC	BEGA 3065 LED	10.2	120V 1P 2W	
Z41		WET LOCATION WALL SCNCE MATTE SILVE PAINT, NON-DIMMABLE	(1) 26W CLF	ELECTRONIC	LIGHTOLIER EFX3126MSUEM	28	120V 1P 2W	EXTERIOR PATIO

"PROVIDED BY FF&E"
FIXTURES ARE TO BE PURCHASED BY FF&E (INCLUDING LAMPS) & INSTALLED BY EC.

ALL OTHER FIXTURES ARE TO BE FURNISHED & INSTALLED BY THE EC.

NOTE:
STAIR LIGHTS AND EXIT SIGNS TO BE PROVIDED WITH BATTERY BACKUP, IN ADDITION TO BEING POWERED FROM THE EMERGENCY POWER SYSTEM

ALL OUTDOOR LUMINAIRES & OUTDOOR/INDOOR CFL LAMPS TO BE 3000K COLOR TEMPERATURE.



Hampton Inn & Suites - Site Lighting Plan

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09.08.2015

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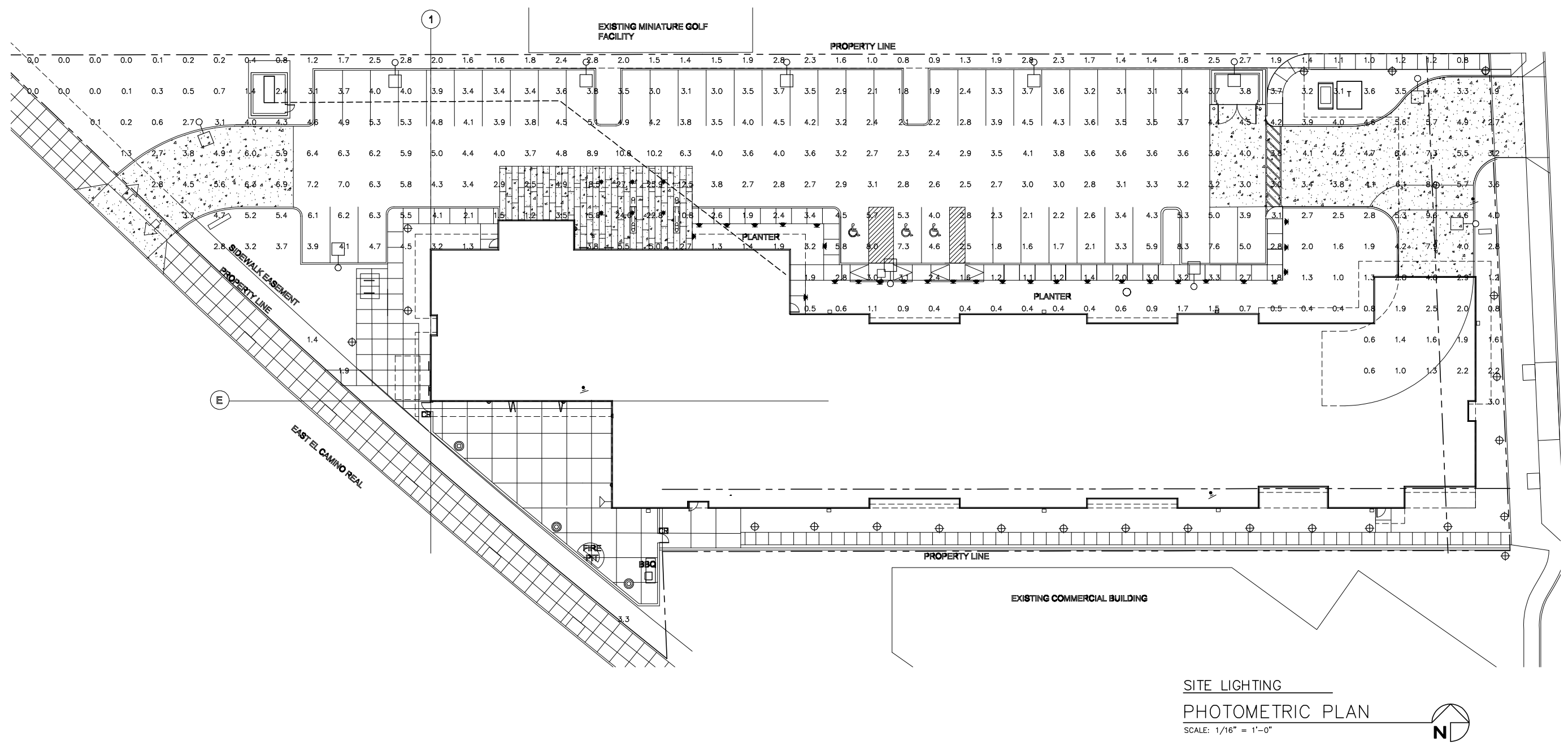
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Hampton Inn & Suites - Photometric Plan

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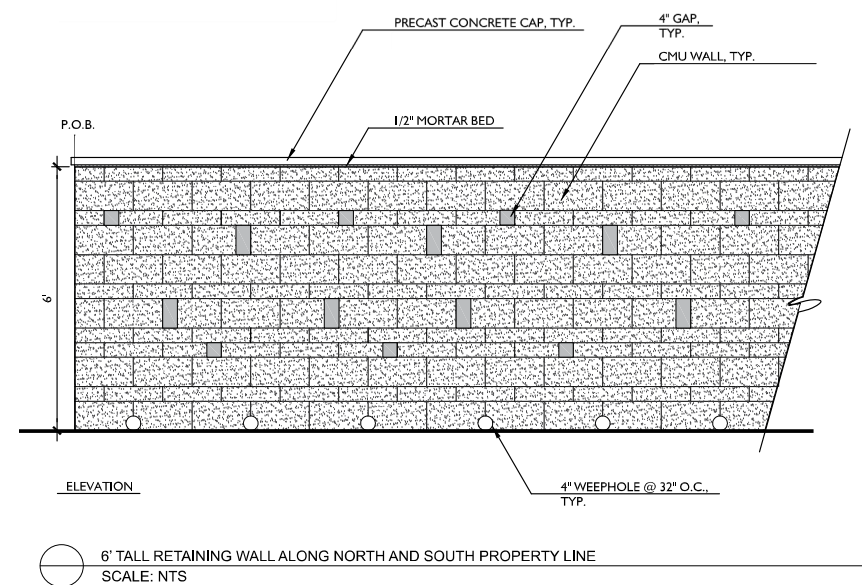
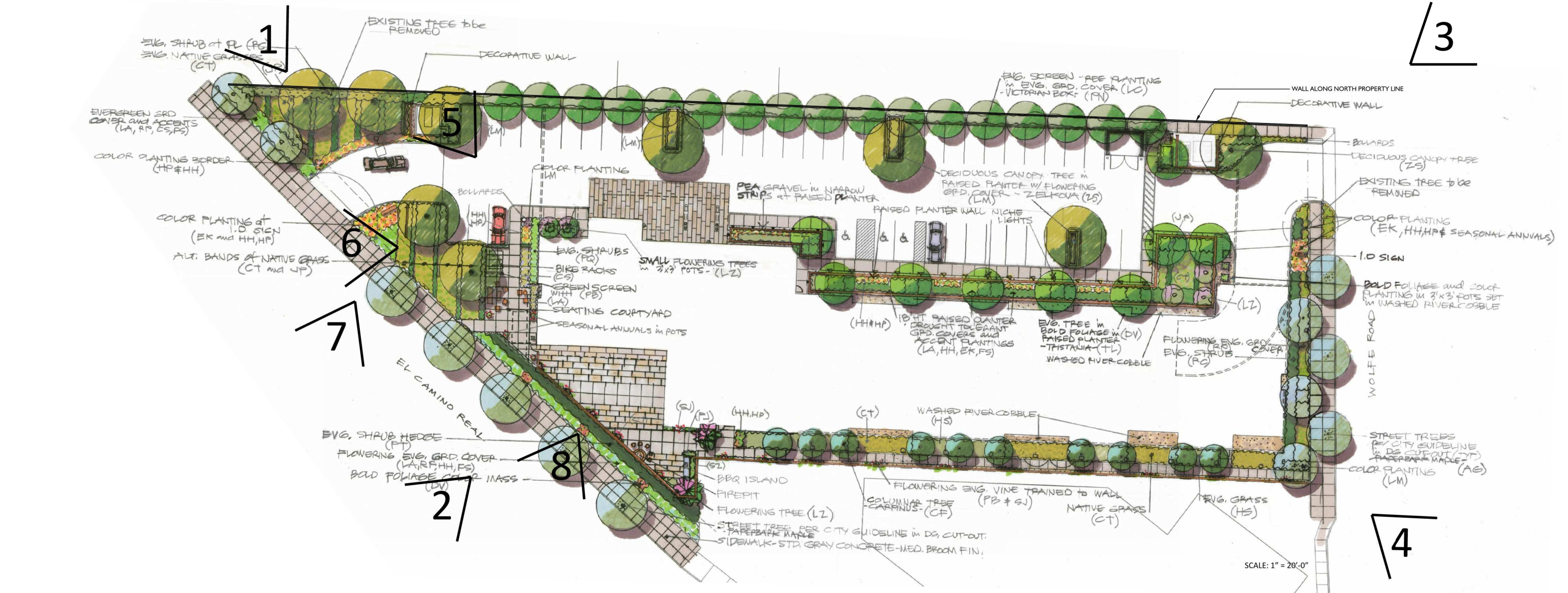
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
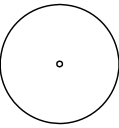
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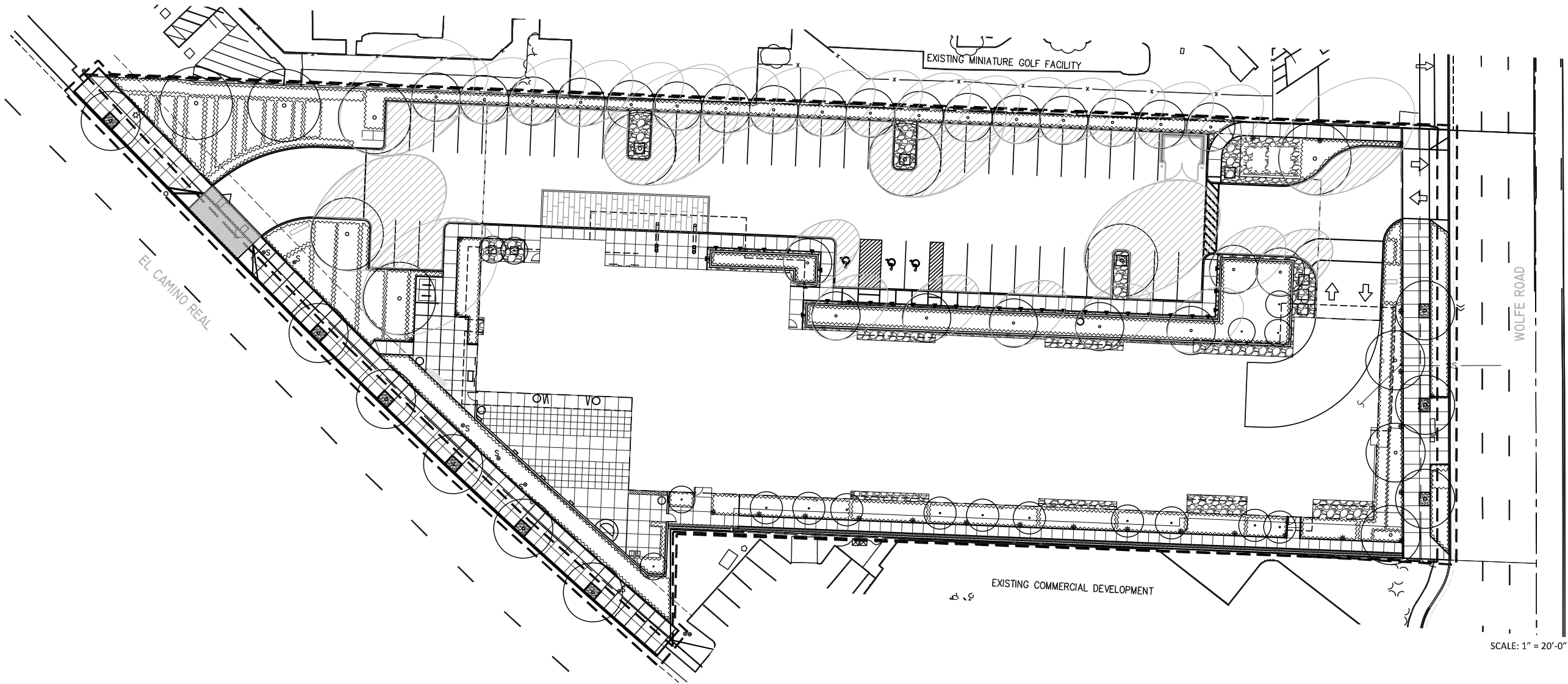
E3



TREE SHADE CALCULATIONS PER CITY OF SUNNYVALE ORDINANCE SECTION 19.46.120.H

SYMBOL	TREE CANOPY SIZE	QUANTITY @ FULL SHADE/SQ. FT.	QUANTITY @ 3/4 SHADE/SQ. FT.	QUANTITY @ 1/2 SHADE/SQ. FT.	QUANTITY @ 1/4 SHADE/SQ. FT.	TOTAL (SQ. FT.)
	18' DIA	8 @ 254	17 @ 190.5	0 @ 127	0 @ 63.5	5,271
	25' DIA	7 @ 491	0 @ 368.25	0 @ 245.5	0 @ 122.75	3,437
TOTAL TREE SHADE						8,708

SURFACE AREA:			PARKING LOT	17,262	TOTAL SURFACE AREA	17,262
SHADE AREA REQUIRED						8,631
TOTAL SHADE PROVIDED						8,708
PERCENT SHADE						50.4%



Hampton Inn & Suites - Shade Calculation Plan

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TREES



Acer griseum



Carpinus betulus 'Fastigiata'



Tristania conferta



Pittosporum undulatum



Zelkova 'Musachino'



Raphiolepis 'Majestic Beauty' standard

SHRUBS AND GROUNDCOVER



Carex tumicola



Dianella tasmanica 'Variegata'



Euonymus japonica 'Microphylla'



Festuca glauca



Helictotrichon sempervirens



Cistus



Myoporum 'Putah Creek'



Roses



Westringia fruticosa 'Morning Light'



Juncus patens



Phormium hybrids



Phormium hybrids



Lantana montevidensis

PLANT ATTACHMENT 7 - Page 30 of 31

TREES						
SYM	Botanical Name	Common Name	Size	Spacing	Water Use	Source
AG	ACER GRISEUM	PAPER BARK MAPLE	24" BOX	As Shown	MOD	WUCOLS
CF	CARPINUS BETULUS 'FASTIGIATA'	EUROPEAN HORNBEAM	24" BOX	As Shown	MOD	WUCOLS
RM	RHAPHIOLEPIS 'MAJESTIC BEAUTY'	INDIAN HAWTHORN STANDARD	15 Gal.	As Shown	LOW	WUCOLS
PN	PITTOSPORUM UNDULATUM	VICTORIAN BOX	24" BOX	As Shown	MOD	WUCOLS
TL	TRISTANIA LAURINA	WATER GUM	24" BOX	As Shown	MOD	WUCOLS
ZS	ZELKOVA SERRULATA 'VILLAGE GREEN'	SAW-LEAF ZELKOVA	24" BOX	As Shown	MOD	WUCOLS

SHRUBS						
SYM	Botanical Name	Common Name	Size	Spacing	Water Use	Source
CD	CISTUS 'SUNSET'	SUNSET ROCKROSE	5 Gal.	3'-0" O.C.	LOW	WUCOLS
DV	DIANELLA TASMANICA 'VARIEGATA'	TASMAN FLAX LILY	5 Gal.	2'-0" O.C.	MOD	WUCOLS
EM	EUONYMUS JAPONICUS 'MICROPHYLLUS VARIEGATUS'	VARIEGATED BOX-LEAF EUONYMUS	5 Gal.	24" O.C.	MOD	WUCOLS
FS	FESTUCA GLAUCA 'ELIJAH BLUE'	COMMON BLUE FESCUE	1 Gal.	12" O.C.	LOW	WUCOLS
HL	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 Gal.	12" O.C.	LOW	WUCOLS
HF	HEMEROCALLIS 'MASTER MAGICIAN'	DAYLILY	1 Gal.	1'-6" O.C.	MOD	WUCOLS
JP	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 Gal.	24" O.C.	MOD	WUCOLS
LA	LAVANDULA x INTERMEDIA 'PROVENCE'	LAVENDER	1 Gal.	2'-6" O.C.	LOW	WUCOLS
PM	POLYSTICHUM MUNITUM	SWORD FERN	5 Gal.	3'-0" O.C.	MOD	WUCOLS
PJ	PHORMIUM 'JACK SPRATT'	NEW ZEALAND FLAX	1 Gal.	18" O.C.	LOW	WUCOLS
PQ	PHORMIUM 'APRICOT QUEEN'	NEW ZEALAND FLAX	5 Gal.	4'-0" O.C.	LOW	WUCOLS
PM	PITTOSPORUM 'TENUIFOLIUM 'MARJORIE CHANNON'	TOBIRA	5 Gal.	5'-0" O.C.	LOW	WUCOLS
RC	RHAPHIOLEPIS 'CLARA'	CLARA RAP-HIOLEPIS	5 Gal.	4'-0" O.C.	LOW	WUCOLS
RK	ROSA KNOCKOUT 'PINK'	KNOCKOUT ROSE	5 Gal.	3'-0" O.C.	LOW	WUCOLS
RP	ROSA MEIDLAND 'PINK DWARF ROSES'	GROUND COVER ROSE	5 Gal.	3'-0" O.C.	LOW	WUCOLS
SZ	STRELITZIA REGINAE	GIANT BIRDS OF PARADISE	15 Gal.	5'-0" O.C.	MOD	WUCOLS
WF	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	5 Gal.	3'-0" O.C.	LOW	WUCOLS

GROUND COVER						
SYM	Botanical Name	Common Name	Size	Spacing	Water Use	Source
CT	CAREX TUMICOLA	BERKELEY SEDGE	1 GAL	18" O.C.	LOW	WUCOLS
LM	LANTANA MONTEVIDENSIS	LANTANA	1 GAL	2'-0" O.C.	LOW	WUCOLS
MY	MYOPORUM PARVIFOLIUM 'PUTAH CREEK'	MYOPORUM	1 GAL	4'-0" O.C.	LOW	WUCOLS

VINES						
SYM	Botanical Name	Common Name	Size	Spacing	Water Use	Source
PC	PASSIFLORA CAERULEA	COMMON PASSION FLOWER	15 GAL	AS SHOWN	MOD	WUCOLS
SJ	SOLANUM JASMINOIDES	POTATO VINE	15 GAL	AS SHOWN	MOD	WUCOLS

WATER CONSERVATION CONCEPT STATEMENT

- The plant list is preliminary in nature. Species shall be added and subtracted to fulfill the design and horticultural requirements as necessary.
- Irrigation on grade shall be designed for recycled water per City MWEL0 and SBWR requirements.
- The irrigation system shall be designed with water conservation in mind while achieving the goal of effectively and efficiently providing the landscape with water by means of subsurface, drip, bubbler and spray irrigation to the shrubs/groundcover areas and bubblers to the trees per AB1881 and MWEL0 requirements.
- A state-of-the-art irrigation controller shall be specified for this project to control the water allocated to each valve grouped per individual hydrozone (based on plant type and exposure).
- Site soil shall be tested by an accredited soils analysis firm. Recommendations for horticultural suitability shall be integrated into soil structure to provide plant growth.
- Plant material locations shown are diagrammatic and may be subject to change in the field by the landscape architect. Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows, signed nor impede access.
- The design intent of the planting plan is to establish an attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and in some cases removal of trees and shrubs as an on-going maintenance procedure. The contractor shall provide a final maintenance schedule for the owner to properly maintain the landscape in an attractive and healthy condition.

Hampton Inn & Suites - Landscape Plant List

