

CODY ANDERSON WASNEY

ARCHITECTS

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CONSULTANTS

NO.	REVISION	DATE
	PERMIT SUBMITTAL	2/12/16
	PERMIT RESUBMITTAL	4/19/16

PROJECT NAME

SUMMIT PUBLIC SCHOOL

APRIL 19, 2016

539 E. WEDDELL DR.

SUNNYVALE, CA 94089

SHEET TITLE

EXISTING SITE PLAN

PROJECT NO. 15017

DRAWN BY LS

CHECKED BY SH, BM

SHEET

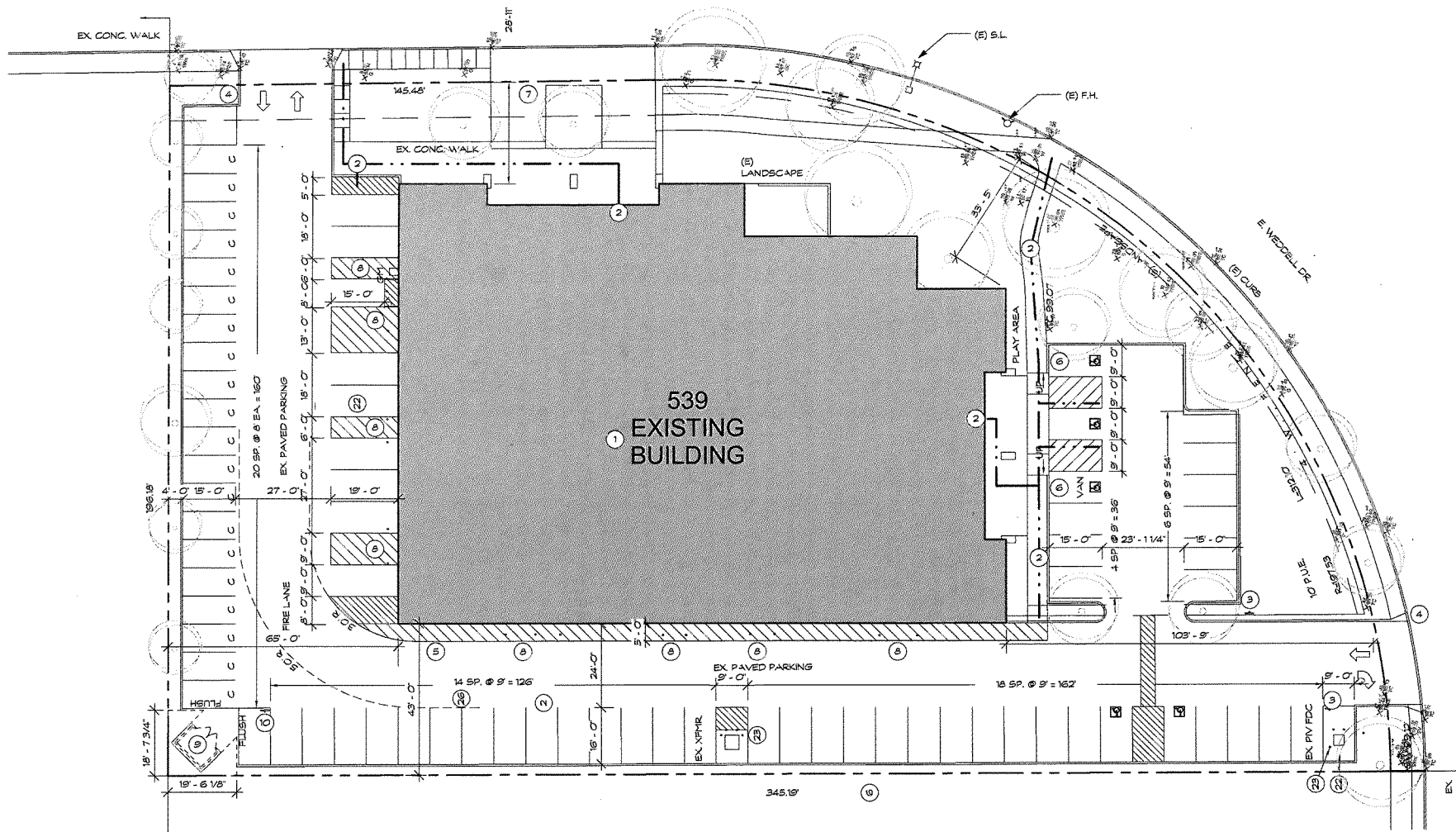
A0.01

GENERAL NOTES

1. ALL MATERIAL DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE NEW AND PROVIDED BY THE CONTRACTOR UNLESS OTHERWISE NOTED
2. ALL WALKWAYS AND SIDEWALKS INDICATED AS "ACCESSIBLE PATH" ARE CONTINUOUSLY ACCESSIBLE, HAVE MAXIMUM 1/2" CHANGES IN ELEVATION, ARE MINIMUM 48" IN WIDTH, AND DO NOT EXCEED 3% (1:20 SLOPE)
3. MAXIMUM PERMITTED SLOPE OF ACCESSIBLE PARKING SPACES IS 2% IN ANY DIRECTION
4. SEE CIVIL, DRAWINGS, LANDSCAPE DRAWINGS AND ARCHITECTURAL PROPOSED SITE PLAN FOR ADDITIONAL INFORMATION. NOT ALL ASPECTS OR AREAS OF DEMOLITION REQUIRED FOR THE SITE ARE SHOWN ON THIS DRAWING.
5. SEE PLUMBING DRAWINGS FOR SCOPE OF PLUMBING SITE WORK
6. CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOILS AT A PERMITTED CLASS II/III WASTE MANAGEMENTS UNIT. IF ADDITIONAL SOIL SAMPLING IS REQUIRED BY THE DESIGNATED WASTE MANAGEMENTS UNIT FOR DISPOSAL AND ACCEPTANCE PURPOSES, THE CONTRACTOR SHALL PROVIDE THESE ADDITIONAL REQUIREMENTS IN WRITING TO THE DISTRICT AND ALLOW 14 DAYS FOR TESTING AND REPORTING. CONTRACTOR MUST PROVIDE A LETTER OF ACCEPTANCE OR APPROVED PROFILE WITH AUTHORIZATION NUMBER FROM THE CLASS II/III WASTE MANAGEMENT UNIT TO THE OWNER PRIOR TO REMOVING ANY SOILS FROM THE SITE. RE-USE OF SOILS ON-SITE MAY BE CONSIDERED IF USED BELOW HARDSCAPE AREAS AND/OR AS TRENCH BACKFILL UP TO 12 INCHES BELOWS FINISHED GRADE PROVIDING SOILS MEET ALL OTHER CONTRACT AND REGULATORY REQUIREMENTS. UNDER NO CIRCUMSTANCES WILL THE OWNER ALLOW EXCESS SOILS TO BE REUSED AT ANOTHER SITE OR TRANSPORTED TO A RECYCLE FACILITY FOR RESALE AND REUSE.

KEYNOTES

- 1 (E) BUILDING
- 2 ACCESS, PATH OF TRAVEL
- 3 (E) SIGN - THE 43 PARKING SPACES BETWEEN THESE SIGNS ARE DEDICATED FOR THE USE BY 521 E. WEDDELL DURING THE HOURS OF 9 AM & 12:30 PM ON SUNDAYS
- 4 R100B STL. SIGN (TOW. AWAY) ON STL. POLE
- 5 R99 STL. SIGN (FIRE LANE)
- 6 R99 STL. SIGN (ACCESS PARKING)
- 7 (E) BIKE RACK
- 8 BOLLARDS
- 9 DEMOLISH (E) TRASH ENCLOSURE
- 10 (E) SIGN - THE 43 PARKING SPACES BETWEEN THESE SIGNS ARE DEDICATED FOR THE USE BY 521 E. WEDDELL DURING THE HOURS OF 9 AM & 12:30 PM ON SUNDAYS TO BE RELOCATED SEE PROPOSED SITE PLAN.



1 EXISTING SITE PLAN
1" = 20'-0"

PROPOSED SITE PLAN LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL AND EXIT DISCHARGE

GENERAL NOTES

- ALL WALKWAYS ALONG THE ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 4'-0" WIDE AND THERE SHALL BE NO DROP-OFFS OVER 4". AT THE EDGE OF WALK OR LANDING WHERE A 4" DROP OFF DOES OCCUR, PROVIDE A WARNING CURB 6" IN HEIGHT. (SEE CBC SECTION 11B-303.5)
- PATH OF TRAVEL (P.O.T.), AS INDICATED, IS A COMMON BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 12 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND ARE AT LEAST 48" WIDE. THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. PASSING SPACES (11B-403.5) AT LEAST 60" X 60" ARE LOCATED NOT MORE THAN 200' APART. PARTS OF THE P.O.T. WITH CONTINUOUS GRADIENTS HAVE SLOPE AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80' MIN. AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (11B-307).
- FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED TO ALL PORTIONS OF THE SITE DURING CONSTRUCTION. ALL FIRE LANES SHALL BE MAINTAINED CLEAR.
- THE FIRE AUTHORITY SHALL BE CONSULTED REGARDING ACCESS ROADS, GATES, PERIMETER FENCING, PORTABLE FIRE EXTINGUISHERS, AND OTHER FIRE PROTECTION SYSTEMS OR MEASURES DURING CONSTRUCTION.
- SEE CIVIL DRAWINGS FOR EXTENT OF NEW A.C. PAVING AND AREAS OF PAVEMENT REPAIR
- A STRIPING AND SIGNAGE PLAN FOR ON-SITE CIRCULATION SHALL BE SUBMITTED FOR DPW REVIEW AND APPROVAL. THE PLAN SHALL INCLUDE, BUT IT IS NOT LIMITED TO:
 - "DO NOT ENTER" SIGNS AT THE NORTHERN DRIVEWAY
 - "NO PARKING" AND "PASSENGER LOADING ONLY" (OR COMBINATION SIGNS) WHERE APPLICABLE
 - "ONE-WAY" SIGNS AT ENTRY DRIVEWAY
 - PAVEMENT ARROWS AT DRIVEWAYS AND INTERNAL CIRCULATION LANES
 - FIRE LANE RED CURB MARKING OR PAVEMENT RED STRIPE W/ WHITE TEXT ALONG THE NORTHERN AND WESTERN WALLS/WALKWAYS
 - ALL SIGNS AND PAVEMENT MARKINGS SHALL BE PER 2014 CA MUTCD SIGN CHART (AND SIGN SPECS) AND 2010 CALTRANS STANDARD PLANS.
- DELIVERIES SHALL ONLY TAKE PLACE BETWEEN 30 MIN. AFTER LAST A.M. BELL AND 30 MIN. BEFORE FIRST P.M. BELL
- ALL PARKING STALLS TO BE CONED OFF HALF HOUR PRIOR TO STUDENT ARRIVAL UNTIL HALF HOUR AFTER THE LAST A.M. BELL AND HALF HOUR PRIOR TO FIRST P.M. RELEASE TIME UNTIL HALF HOUR AFTER LAST P.M. BELL
- ALL FIRELANES AND RED CURBS SHALL BE RESTRIPTED AND REPAINTED

SITE PLAN KEYNOTES

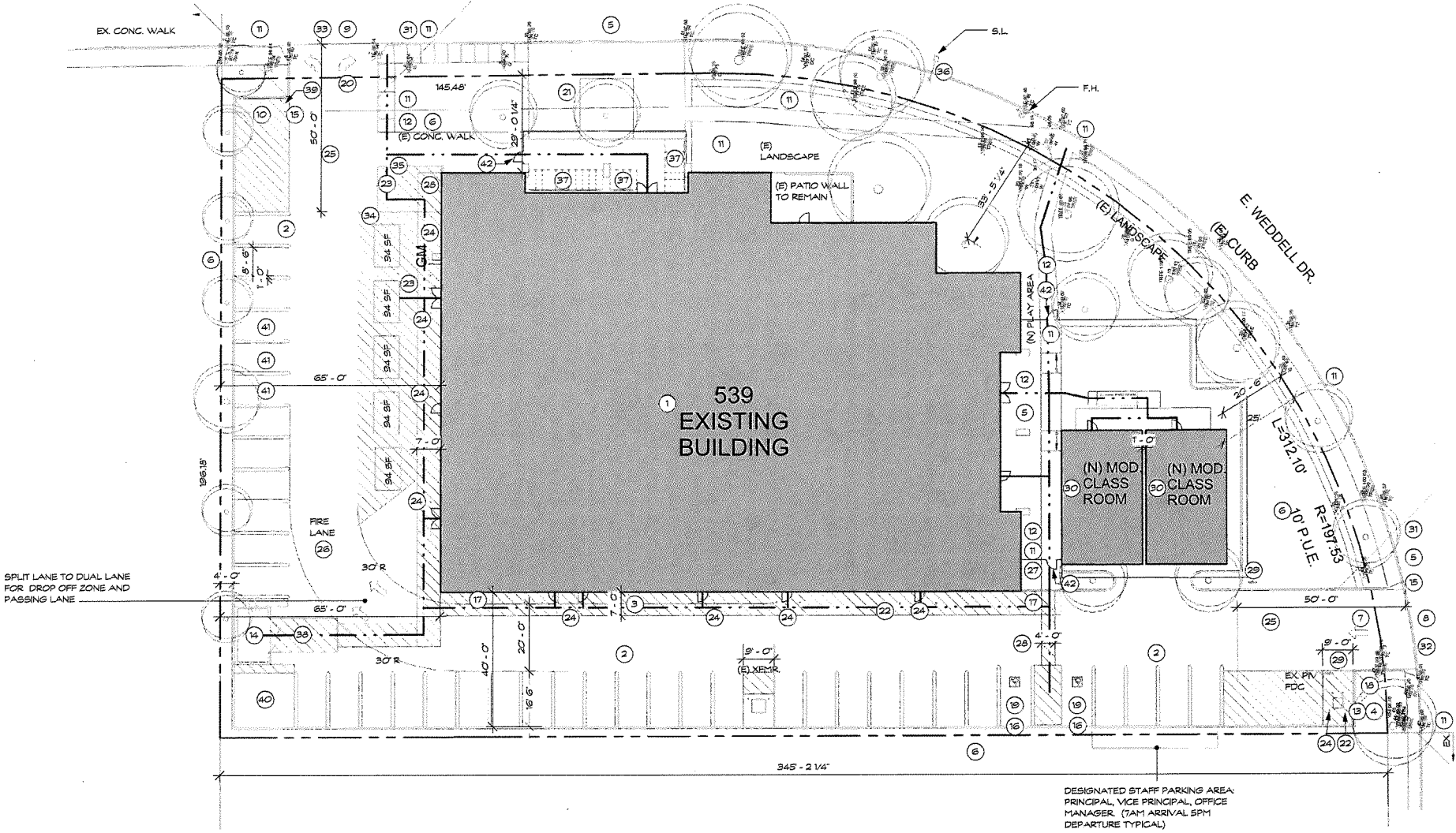
- (E) BUILDING TO REMAIN
- (E) PARKING TO BE RE-STRIPED.
- RESTRIPE AS SHOWN
- WATER METER - REFER TO CIVIL
- (E) CONCRETE TO REMAIN
- (E) LANDSCAPE TO REMAIN
- MODIFY (E) PAINTED DIRECTIONAL ARROW TO INDICATE DEDICATED ENTRY
- SIGNAGE INDICATING DEDICATED SINGLE LANE ENTRANCE, CA MUTCD R6-2 "ONE WAY"
- SIGNAGE INDICATING NO ENTRY, CA MUTCD R5-1 "DO NOT ENTER"
- REMOVE (E) ACCESS PARKING SPACE
- (E) CONCRETE WALK
- (E) ACCESSIBLE PATH OF TRAVEL. SEE GENERAL NOTE 2/A0.02.
- BACKFLOW - REFER TO CIVIL
- TRASH ENCLOSURE, SEE A7.10 FOR DETAILS
- (E) CALTRANS 1100B STL. SIGN (TOW. AWAY) ON STL. POLE TO BE RELOCATED TO ACCESSIBLE PARKING. SEE DETAIL 6/A7.10.
- RELOCATE (E) R99 STL. SIGN (ACCESS PARKING) ON BLDG. OR STL. POLE
- (E) R26 F (FIRE LANE) STL. SIGN SIGN ON STL. POLE
- REDUCED PRESSURE DETECTOR - REFER TO CIVIL
- RELOCATE (E) ACCESSIBLE PARKING. SEE 4/A7.10 FOR REQUIREMENTS.
- MODIFY (E) PAINTED DIRECTIONAL ARROWS TO INDICATE DEDICATED EXIT, LEFT OR RIGHT TURN ONLY
- (E) BIKE RACK FOR 13
- (E) 4" DIA. WHITE PAINTED STRIPES @ 3' O.C.
- ACCESSIBLE PATH OF TRAVEL. SEE GENERAL NOTE 2/A0.02
- (E) BOLLARDS, 26" FROM BUILDING (VERIFY IN FIELD). PENDING BUILDING DIVISION REVIEW, MAY NEED TO BE RELOCATED.
- MAINTAIN 50' CLR. ENTRANCE AND EXIT DISCHARGE TO STREET
- MAINTAIN 20' CLR. FIRE LANE
- (E) CURB CUT
- 4" DIA. WHITE PAINTED STRIPES AT 3' O.C.
- (E) SIGN TO REMAIN - THE 43 PARKING SPACES BETWEEN THESE SIGNS ARE DEDICATED FOR THE USE BY 521 E. WEDDELL DURING THE HOURS OF 9 AM & 12:30 PM ON SUNDAYS.
- INSTALL (2) 24X40' MODULAR CLASSROOM BLDGS.
- VISION TRIANGLES REQUIRED BY THE CITY
- MODIFY DRIVEWAY TO A ONE-WAY DRIVEWAY PER CITY STANDARDS AND SMC
- CHANGE TO EXPRESS DUAL LANE, RIGHT TURN AND LEFT TURN ONLY
- STUDENT DROP OFF AND TRUCK LOADING DELIVERY ZONE
- REMOVE PORTION OF (E) CURB TO ALLOW FOR FLUSH TRANSITION BETWEEN DROP OFF ZONE AND SIDEWALK
- (E) STREET LIGHT TO REMAIN, REPLACE WITH NEW LED (FOR REFERENCE ONLY)
- BIKE RACKS, SEE LANDSCAPE DRAWINGS.
- CONCRETE STRESS PAD, 10'-0" X 20'-0", SEE CIVIL.
- (E) SIGN "THE 43 PARKING SPACES BETWEEN THESE SIGNS ARE DEDICATED FOR THE USE BY 521 E. WEDDELL DURING THE HOURS OF 9 AM & 12:30 PM ON SUNDAYS" RELOCATED TO THIS LOCATION.
- LANDSCAPE, SEE LANDSCAPE DRAWINGS
- DESIGNATED CLEAN AIR VEHICLE PREFERRED SPACE
- FENCING AND ACCESSIBLE GATE, SEE LANDSCAPE DRAWINGS.

AREA CALCULATIONS

LOT AREA:	59,682 SF
BUILDING:	19,402 SF
PORTABLE CLASSROOMS:	945 (2) = 1,890 SF
TOTAL:	21,310 SF
F.A.R. W/ BLDG. ONLY:	19,402/59,682 = 32.5%
F.A.R. W/ BLDG. + PORTABLES:	21,310/59,682 = 36%

PARKING

STANDARD SPACES:	37
STANDARD ACCESSIBLE SPACES:	1
VAN ACCESSIBLE SPACES:	1
TOTAL:	39



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PROPOSED SITE PLAN

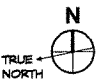
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1 PROPOSED SITE PLAN

1" = 20'-0"

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SHEET TITLE
FIRST FLOOR PLAN - DEMO

PROJECT NO. 15017
DRAWN BY LS
CHECKED BY SH, BM

SHEET

A1.01

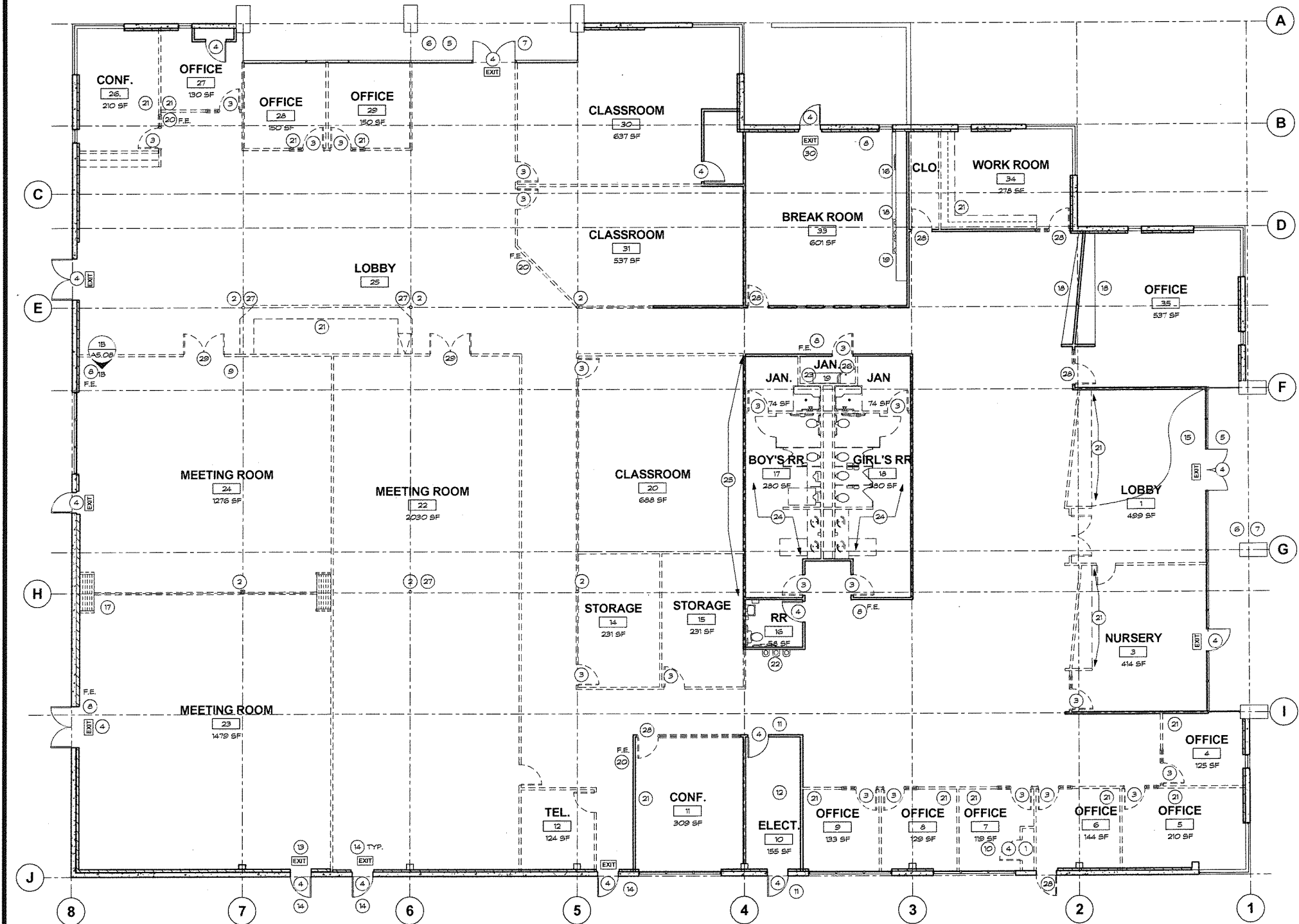
DEMO FLOOR PLAN KEYNOTES

- (E) FIRE SPRINKLER RISER
- (E) STEEL COLUMN TO REMAIN
- REMOVE (E) DOOR, FRAME AND HARDWARE. PROTECT FOR RE-USE. SEE DOOR SCHEDULE.
- (E) DOOR TO REMAIN, PROTECT IN PLACE.
- (E) 'INTERNATIONAL SYMBOL OF ACCESS' DECAL TO REMAIN.
- (E) RECESSED 'KNOX BOX (KEY LOCK & GO A.F.F.)
- (E) 6" ADDRESS NUMBER DECALS ON GLASS
- (E) 2A; 10B; C.F.E. & 40" A.F.F.
- (E) 'ASSISTIVE LISTENING DEVICES AVAILABLE: SIGN, RELOCATE PER A2.01
- (E) SIGN 'FIRE SPRINKLER RISER'
- (E) SIGN: 'ELECTRICAL ROOM/ FIRE ALARM PANEL INSIDE'
- UPGRADE FIRE ALARM PANEL
- (E) EXIT SIGN TO BE REMOVED AND REPLACED.
- (E) SIGN 'FIRE EXIT - DO NOT BLOCK' (TYP.) TO BE REMOVED AND REPLACED- SEE ELECTRICAL.
- (E) SIGN 'THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS'.
- (E) CABINETS & NEW COUNTER TOP
- REMOVE (E) FOLDING DOOR SYSTEM, SUPPORTS AND TRACK.
- (E) CASEWORK TO REMAIN
- RESIDENTIAL APPLIANCES BY OWNER
- RELOCATE (E) FIRE EXTINGUISHER. SEE PROPOSED FLOOR PLAN, SHEET A2.01
- (E) CASEWORK TO BE REMOVED
- (E) DRINKING FOUNTAINS
- DEMO WATER HEATER
- REMOVE COMPLETELY (E) TOILET ROOM FIXTURES, RELATED PLUMBING, AND FINISHES. REMOVE (E) FLOOR TILE & SETTING BED, PREPARE FOR NEW FLOORING. REMOVE ALL TILE AND EPOXY FINISHES FROM WALLS AND FLOORS. REMOVE COMPARTMENT PARTITIONS, ANCHORAGES, AND APPURTENANCES. REMOVE CEILINGS AND CEILING FINISH ONLY AS REQUIRED FOR NEW WORK. SEE DEMO RCP FOR DETAILS.
- REMOVE GYP. BOARD ON BOTH SIDES OF WALL
- DEMO (E) MOP SINK.
- (E) COLUMN CASING TO BE REMOVED, WHERE OCCURS.
- (E) DOOR SWINGS TO BE REVERSED, (E) DOOR TO BE SALVAGED, (N) FRAME TO BE PROVIDED.
- SALVAGE TO OWNER
- REMOVE (E) EXIT SIGN.

DEMO FLOOR PLAN LEGEND

- (E) WALL OR PARTITION TO REMAIN
- (E) WALL OR PARTITION TO BE REMOVED
- (E) CONCRETE WALL TO REMAIN
- (E) FURRING

- DEMO/REMOVE EXISTING CONSTRUCTION AS REQUIRED (AND ONLY AS REQUIRED) TO INSTALL NEW CONSTRUCTION AND SYSTEMS. SOME DEMOLITION IS SHOWN ON DRAWINGS. HOWEVER, ADDITIONAL DEMOLITION AND SUBSEQUENT PATCH AND REPAIR WILL BE REQUIRED. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SELECTIVE DEMOLITION, PATCH AND REPAIR, WHETHER SPECIFICALLY SHOWN ON DRAWINGS OR NOT.
- REMOVE EXISTING CONCRETE FLOOR SLAB AS REQUIRED TO INSTALL NEW PLUMBING AND ANY OTHER IMPROVEMENTS. INSTALL NEW SLAB OVER VAPOR BARRIER OVER COMPACTED DRAIN ROCK OVER BACKFILL.
- REMOVE ANY NON-STRUCTURAL METAL FASTENERS EXPOSED BY DEMOLITION
- REMOVE ALL EXISTING SIGNAGE FROM DOORS AND/OR WALLS. REMOVE ALL ASSOCIATED ADHESIVE FASTENERS. PATCH SURFACES AS REQUIRED.
- NO NEW OR EXISTING CONDUIT OR PIPING IS PERMITTED ANYWHERE ON THE EXTERIOR OF THE BUILDING. COORDINATE CONCEALMENT/RELOCATION/ROUTING OF NEW OR EXISTING PIPING OR CONDUIT IN FIELD WITH ARCHITECT.
- ALL EXISTING DOORS NOT TO BE REUSED ARE TO BE SALVAGED TO OWNER. SEE DOORS SCHEDULE A2.03 FOR DOORS TO BE RELOCATED



1 FIRST FLOOR PLAN - DEMO

1/8" = 1'-0"

GENERAL NOTES

- BEFORE ANY DEMOLITION IS TO OCCUR, CONTRACTOR TO VERIFY EXTENT OF WORK AND ISOLATE WORK AREA.
- CONTRACTOR TO ENSURE FIRE DEPT. ACCESS IS MAINTAINED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL ALSO ENSURE THAT CONSTRUCTION PARKING & MATERIAL STORAGE AREAS DO NOT OBSTRUCT FIRE LANES OR ACCESS ROUTES.
- MAINTAIN FIRE EXITING REQUIREMENTS FOR AREAS REMAINING OCCUPIED DURING CONSTRUCTION
- THE CONTRACTOR SHALL FIELD INSPECT ALL EXISTING CONDITIONS WHICH MAY REMAIN OR BE REMOVED FOR REUSE. IDENTIFY ANY DAMAGED CONDITIONS AND PROVIDE PATCHING AND REPAIR AS REQUIRED.
- PROTECT ALL EXISTING FINISHES TO REMAIN DURING CONSTRUCTION. CONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTING REMOVED ITEMS AND SUBSEQUENT PATCHING AND REPAIRING OF ALL EXISTING FINISHES TO REMAIN.
- LEAVE CLEAN, STRAIGHT EDGES WITH NO LOOSE OR CRACKED MATERIAL WHERE NEW FINISHES SUCH AS GYP. BOARD, PLASTER, TRIM, OR SEALANT WILL ADJOIN EXISTING FINISHES.
- CLEAN AND PREPARE ALL EXISTING SURFACES FOR NEW WORK.
- SAWCUT (E) SLABS AND WALLS WHERE DEMO OCCURS AND PROVIDE STRAIGHT, CLEAN LINES BETWEEN NEW & (E) CONCRETE AT EXPOSED FACE. COORDINATE WORK WITH STRUCTURAL REQUIREMENTS. ALL FLOOR SLABS SHALL BE PATCHED BACK BY G.C. FOR SMOOTH SURFACE.
- CONTRACTOR TO MAINTAIN FIRE RATINGS FOR ALL RATED ASSEMBLIES WHERE NEW OR DEMOLITION WORK OCCURS.
- FOR WORK AT CEILINGS, SEE REFLECTED CEILING PLANS.
- SEE STRUCTURAL DRAWINGS FOR EXTENT OF STRUCTURAL INTERVENTION AND REQUIRED DEMOLITION.
- SEE ELECTRICAL DRAWINGS FOR EXTENT OF ELECTRICAL DEMOLITION, INCLUDING TELECOM, & FIRE ALARM.
- SEE MECHANICAL DRAWINGS FOR MECHANICAL DEMOLITION.
- SEE PLUMBING DRAWINGS FOR PLUMBING DEMOLITION.
- PROVIDE SOLID BACKING AT ALL ATTACHMENTS TO WALLS INCLUDING BUT NOT LIMITED TO HANDRAILS, TOILET ACCESSORIES AND PARTITIONS, CASEWORK, COUNTERTOPS, AND MISC. EQUIPMENT. BACKING IS NOT REQUIRED BY SIGNAGE.
- ALL EXISTING EXTERIOR WINDOWS TO REMAIN.
- ALL WALLS TO BE DEMOLISHED ENTIRELY TO BOTTOM OF ROOF STRUCTURE
- REMOVE ALL CASEWORK UNLESS OTHERWISE NOTED.

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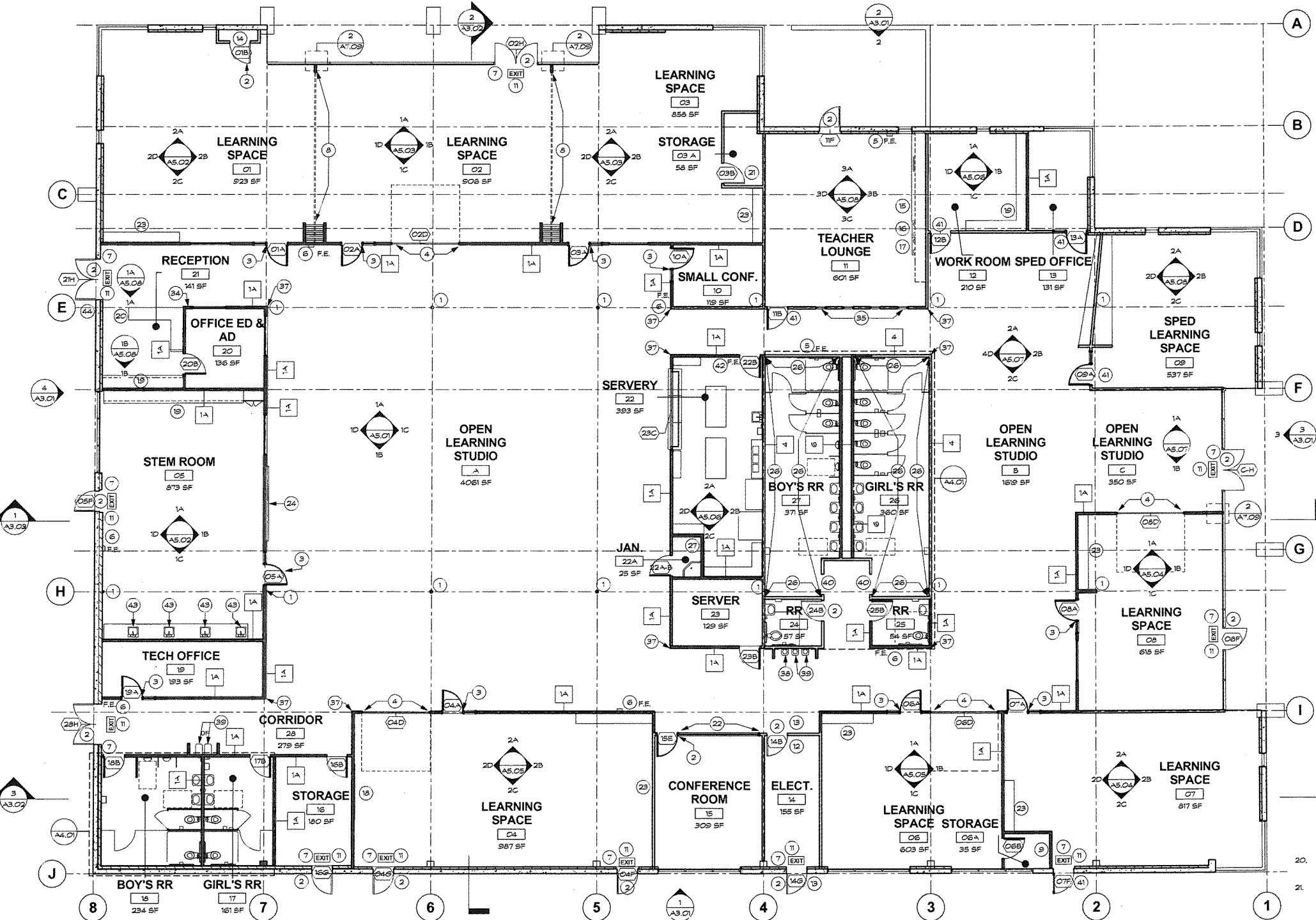
KEYNOTES

- (E) COLUMN TO REMAIN
- (E) DOOR TO REMAIN
- INSTALL RELOCATED DOOR AND SITE LITE, SEE DOOR SCHEDULE
- INSTALL GLASS OVERHEAD SECTIONAL DOOR, SEE DET A15.15 ON SHEET A7.06
- (E) FIRE EXTINGUISHERS
- INSTALL RE-LOCATED FIRE EXTINGUISHERS
- EXIT SIGNS TYP. SEE ELECTRICAL
- MODERN FOLD PARTITION WALL, MARKERBOARD FINISH. VERIFY DIMENSIONS FOR STORAGE POCKETS W/ MANUFACTURERS, SEE DETAILS 1-5/A7.08
- (E) FIRE SPRINKLER RISER
- (E) SIGN: "FIRE SPRINKLER RISER"
- TACTILE EXIT SIGN ("EXIT"), EXT. EXIT DOOR, SEE DETAIL 6/A7.01
- UPGRADE FIRE ALARM/PANEL, SEE FIRE ALARM DRAWINGS
- SIGN: "ELECTRICAL ROOM/FIRE ALARM PANEL INSIDE"
- (E) MPOE TO REMAIN
- (E) CABINETS TO REMAIN, INSTALL COUNTERTOP, SEE DETAILS 2/A7.02, 4/A7.02
- (E) CASEWORK TO REMAIN, SEE ELEVATION 3B/A5.08
- RESIDENTIAL APPLIANCES BY OWNER
- NOT USED
- CASEWORK, UPPERS AND LOWERS, SEE DETAILS 1,2,4,6 ON SHEET A7.02
- RECEPTION DESK, SEE DETAIL 6/A7.02
- (E) ROOF LADDER TO REMAIN
- (E) INTERIOR WINDOW TO REMAIN
- LOWER CASEWORK IN LEARNING SPACES, SEE DETAILS 1, 2 ON SHEET A7.02
- CEILING MOUNTED PROJECTOR
- NOT USED
- PREPARE SURFACE TO INSTALL FRP PANELS, PATCH SURFACE WHERE NECESSARY
- WATERHEATER, PLEASE SEE DETAIL VP5.1
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- "ASSISTIVE LEARNING DEVICES AVAILABLE" SIGN
- (E) INTERIOR WINDOWS AND PARTITION TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION
- NOT USED
- INSTALL PCV CORNER GUARD
- INSTALL NEW DRINKING FOUNTAIN
- INSTALL ACCESSIBLE HIGH-LOW DRINKING FOUNTAINS
- NO DOOR TO BE REINSTALLED AT THIS LOCATION.
- DOOR SWING TO BE REVERSED. (E) DOOR TO BE SALVAGED, FRAME TO BE PROVIDED.
- FIRE EXTINGUISHER TO BE INSTALLED
- ACCESSIBLE SINK, SEE DETAIL 3/A7.02
- INSTALL RECESSED KNOX BOX, KEY LOCK @ 60" A.F.F.

FLOOR PLAN LEGEND

- (E) WALL OR PARTITION TO REMAIN
- (N) WALL
- (E) FLOORING TO REMAIN
- (E) CONCRETE WALL TO REMAIN
- WALL TAG
- DOOR TAG

- CONTRACTOR SHALL PROVIDE AND INSTALL ANCHORAGE FOR ALL CASEWORK AND SHELVING PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- IN ALL JANITOR CLOSETS INSTALL FRP PANELS AT WALLS BEHIND AND ADJACENT TO JANITORS SINKS AS REQUIRED BY CODE. SEE FLOOR PLANS FOR LOCATIONS OF MOP SINKS.
- INSTALL BATT INSULATION FOR SOUND ATTENUATION AT ALL NEW PARTITIONS AND AT ALL EXISTING PARTITIONS (AND PORTIONS THEREOF) THAT ARE OPEN DURING CONSTRUCTION. SEE SPECIFICATIONS.
- PROVIDE EMERGENCY EVACUATION PLANS IMMEDIATELY INSIDE ALL PUBLIC ENTRANCES TO THE BUILDING, SUBMIT A TEMPLATE TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO POSTING THROUGHOUT THE BUILDING.
- CONTRACTOR SHALL PROVIDE AND INSTALL PORTABLE FIRE EXTINGUISHER WHERE SHOWN ON PLANS.
- LARGE AREAS OF FLOORING ARE EXISTING TO REMAIN AND TO BE REFINISHED. CONTRACTOR SHALL PROTECT FLOORING IN THESE AREAS SUCH THAT NO DAMAGE TO FLOORING WILL BE CAUSED DUE TO THE EXECUTION OF THE WORK.
- PROVIDE SOLID BACKING AT ALL ATTACHEMENTS TO WALLS, INCLUDING BUT NOT LIMITED TO HANDRAILS, TOILET ACCESSORIES AND PARTITIONS, CASEWORK, COUNTERTOPS AND MISCELLANEOUS EQUIPMENT, BACKING NOT REQUIRED FOR SIGNAGE.
- CONFIRM KEYING FOR ALL DOORS AND CASEWORK WITH OWNER AND ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
- IN ALL JANITOR CLOSETS INSTALL FRP PANELS AT WALLS BEHIND AND ADJACENT TO JANITOR SINKS AS REQUIRED BY CODE. SEE FLOOR PLANS FOR LOCATIONS OF MOP SINKS.
- MANUAL ROLLING SHADES SHALL BE PROVIDED AT ALL EXTERIOR WINDOWS AND INTERIOR DOOR SIDELITES AT THE FOLLOWING LOCATIONS: LEARNING SPACES 01, 08, SPED LEARNING SPACE, STEM ROOM. ALL OTHER WINDOW COVERS TO BE (E) TO REMAIN, UNLESS DAMAGED.



1 PROPOSED FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

- REFER TO DEMOLITION PLANS AND GENERAL NOTES FOR DEMO COORDINATION AND SCOPE OF WORK.
- PROTECT ALL EXISTING FINISHES TO REMAIN DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ALL EXISTING SURFACES, MATERIALS AND FINISHES TO REMAIN THAT BECOME DAMAGED DURING DEMOLITION OR CONSTRUCTION WORK.
- GENERAL CONTRACTOR TO BE RESPONSIBLE FOR ACCESSIBLE CLEARANCE REQUIREMENTS FOR ALL SPACES, DOOR STRIKES, EXITS, AND ASLE WAYS AS THEY PERTAIN TO CODE ENFORCEMENT INTERPRETATION.
- ALL INTERIOR FINISHES AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF CBC CHAPTER 6.
- ALL EXPOSED SURFACES THROUGHOUT THE FACILITY SHALL BE CLEANED, PREPPED, PRIMED, & PAINTED. SEE FINISH SCHEDULE FOR DETAILS. SEE INTERIOR ELEVATIONS FOR LOCATION ON WALLS.
- GENERAL CONTRACTOR TO PROVIDE ALL NECESSARY HARDWARE AND FIXTURES TO MEET ACCESSIBILITY CODES.
- ANY DISCREPANCIES BETWEEN PLANS AND CODE REQUIREMENTS THAT MAY AFFECT THE INSTALLATION, FABRICATION, OR OVERALL WORK IN ANY WAY SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY BY THE GENERAL CONTRACTOR.
- REFER TO REFLECTED CEILING PLANS FOR CEILING SCOPE, COORDINATE WORK WITH ELEVATION DRAWINGS AND DETAILS.
- REFER TO BOTH ELECTRICAL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR ELECTRICAL SCOPE, DEVICE LOCATIONS, SWITCHING, LIGHTING, DATA/PHONE/CABLE PORT LOCATIONS, EMERGENCY LIGHTING AND SIGNAGE.
- REFER TO PLUMBING DRAWINGS FOR PLUMBING SCOPE, FIXTURE LOCATIONS, AND GENERAL PIPE ROUTING.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL SCOPE.
- REFER TO FIRE ALARM DRAWINGS FOR FIRE ALARM SCOPE.
- PROVIDE SOLID BACKING AT ALL ATTACHEMENTS TO WALLS INCLUDING, BUT NOT LIMITED TO, HANDRAILS, WALL PARTITIONS, CASEWORK, COUNTERTOPS, SHELVING, TOILET ACCESSORIES, AND MISC. EQUIPMENT. REVIEW LOCATIONS WITH ARCHITECT PRIOR TO CLOSING WALLS.
- NO CONDUIT OR PIPING SHALL BE PAINTED SHALL BE ROUTED ON THE EXTERIOR FACE OF THE BUILDING OR ON THE FACE OF INTERIOR WALLS/CEILINGS WITHOUT THE ARCHITECT'S ACCEPTANCE PRIOR TO INSTALLATION. ANY SUCH INSTALLATION, IF ALLOWED, SHALL BE ROUTED WITHIN STRUCTURAL BAYS IN AN ORGANIZED AND EFFICIENT MANNER. CONTRACTOR SHALL PROPOSE SPECIFIC ROUTING FOR INSTALLATION.
- ANY EXPOSED CONDUIT, PIPING, ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACE. ALL INSULATED PIPE TO BE COVERED WITH PVC PIPE JACKET-DO NOT PAINT.
- REFER TO FINISH PLANS FOR SIGN LOCATIONS AND FIRE EXTINGUISHER LOCATIONS. SIGNS, FIRE EXTINGUISHERS, AND CABINETS/BACKETS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR.
- FOR PENETRATIONS THROUGH RATED ASSEMBLIES, SEE MECHANICAL AND ELECTRICAL DRAWINGS. SEAL AROUND ALL PENETRATIONS.
- DEMOL/ REMOVE EXISTING CONSTRUCTION AS REQUIRED TO INSTALL NEW CONSTRUCTION AND SYSTEMS. GENERAL EXTENT OF DEMOLITION IS SHOWN ON DRAWINGS, HOWEVER, ADDITIONAL DEMOLITION AND SUBSEQUENT PATCH AND REPAIR WILL BE REQUIRED. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SELECTIVE DEMOLITION, PATCH AND REPAIR, WHETHER SPECIFICALLY SHOWN ON DRAWINGS OR NOT.
- INSTALL NEW ROOM SIGNAGE AND ACCESSIBILITY SIGNAGE THROUGHOUT. SEE SHEET A8.1 FOR SIGN SIZE, FORMAT AND MOUNTING HEIGHT. ROOM NAMES AND NUMBERS AS INDICATED ON DRAWINGS, ATTACHMENT TO BE PROVIDED BY TWO TAMPER RESISTANT SCREWS. PROVIDE A COMPLETE LISTING OF ALL ROOMS AND NUMBERS FOR REVIEW BY ARCHITECT AND OWNER PRIOR TO FABRICATION.
- CONTRACTOR SHALL PROVIDE AND INSTALL ANCHORAGE FOR ALL CASEWORK AND SHELVING PER MANUFACTURERS INSTALLATION INSTRUCTIONS.

GENERAL NOTES

1. BEFORE ANY DEMOLITION IS TO OCCUR, CONTRACTOR TO VERIFY EXTENT OF WORK AND ISOLATE WORK AREA.

2. THE CONTRACTOR AND SUB-CONTRACTOR SHALL FIELD INSPECT ALL EXISTING CONDITIONS WHICH MAY REMAIN AFTER DEMOLITION, IDENTIFY AND DAMAGED CONDITIONS AND PROVIDE PATCHING AND REPAIR AS REQUIRED.

3. PROTECT ALL EXISTING FINISHES TO REMAIN DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ALL EXISTING SURFACES, MATERIALS OR FINISHES TO REMAIN THAT BECOME DAMAGED DURING DEMOLITION OR CONSTRUCTION WORK.

4. WHERE NEW EMBEDDED, CONCEALED OR RECESSED WORK OCCURS, REMOVE EXISTING FINISH ONLY AS REQUIRED FOR INSTALLATION OF NEW WORK.

5. CONTRACTOR TO MAINTAIN FIRE RATINGS FOR ALL RATED ASSEMBLIES WHERE NEW OR WHERE DEMOLITION WORK OCCURS.
6. FOR WORK AT CEILINGS, SEE REFLECTED CEILING PLANS.

7. LEAVE CLEAN, STRAIGHT EDGES WITH NO LOOSE OR CRACKED MATERIAL WHERE NEW FINISHES SUCH AS SEALANT WILL ADJOIN EXISTING FINISHES.

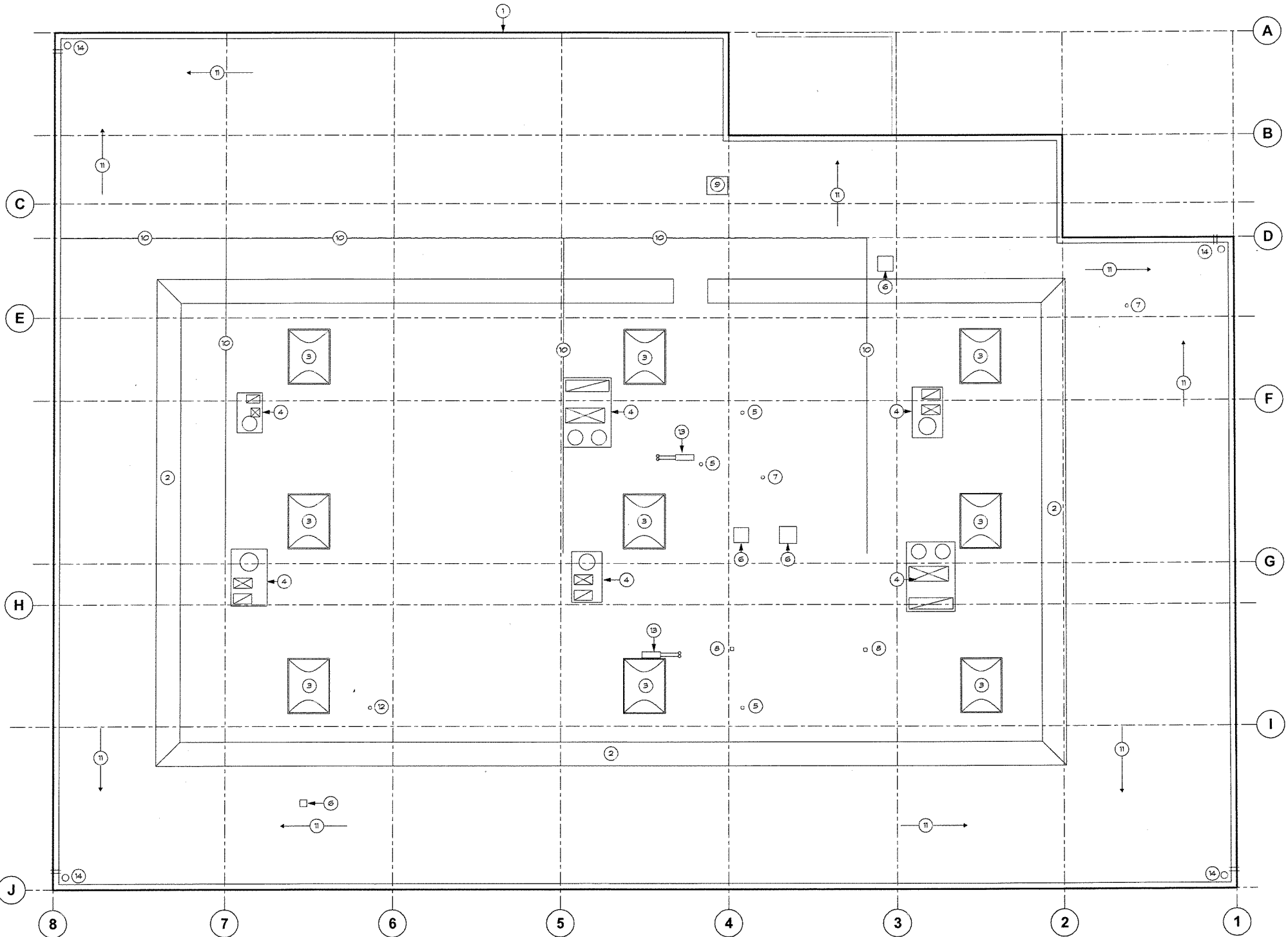
8. REMOVE ANY NON-STRUCTURAL METAL FASTENERS EXPOSED BY DEMOLITION.

9. DEMO/REPAIR EXISTING CONSTRUCTION AS REQUIRED (AND ONLY AS REQUIRED) TO INSTALL NEW CONSTRUCTION AND SYSTEMS. SOME DEMOLITIONS AND SUBSEQUENT PATH AND REPAIR WILL BE REQUIRED. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SELECTIVE DEMOLITION, PATCH AND REPAIR, WHETHER SPECIFICALLY SHOWN ON DRAWINGS OR NOT.

10. CONTRACTOR TO VERIFY EXACT SKYLIGHT LOCATIONS IN FIELD.

KEYNOTES

- 1 (E) PARAPET TYP.
- 2 (E) SCREEN TO REMAIN
- 3 (E) SKYLIGHT TO REMAIN
- 4 AC UNITS PER MECHANICAL DRAWINGS
- 5 (E) EXHAUST FAN
- 6 EXHAUST FAN, SEE MECHANICAL DRAWINGS.
- 7 (E) ROOF VENTS
- 8 EXHAUST FAN DISCHARGE, SEE MECHANICAL DRAWINGS.
- 9 (E) ROOF ACCESS HATCH TO REMAIN
- 10 (E) GAS PIPING TO REMAIN
- 11 (E) ROOF SLOPE
- 12 (E) ABANDONED EXHAUST FAN TO REMAIN
- 13 COIL UNIT
- 14 (E) ROOF DRAIN TO REMAIN



1 ROOF PLAN
1/8" = 1'-0"

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CONSULTANTS

NO.	REVISION	DATE
	PERMIT SUBMITTAL	2/12/16
	PERMIT RESUBMITTAL	4/19/16

PROJECT NAME

SUMMIT PUBLIC SCHOOL

APRIL 19, 2016

539 E. WEDDELL DR.

SUNNYVALE, CA 94089

SHEET TITLE

ROOF PLAN

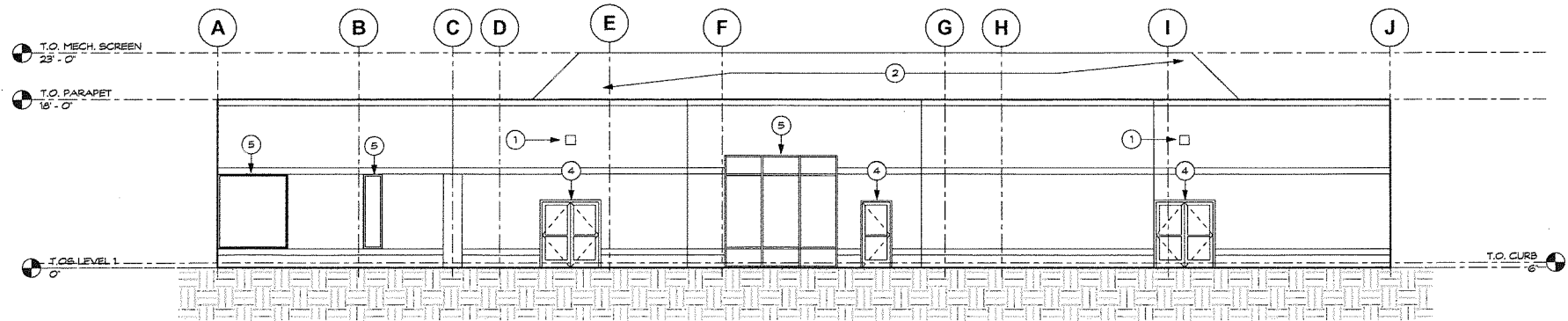
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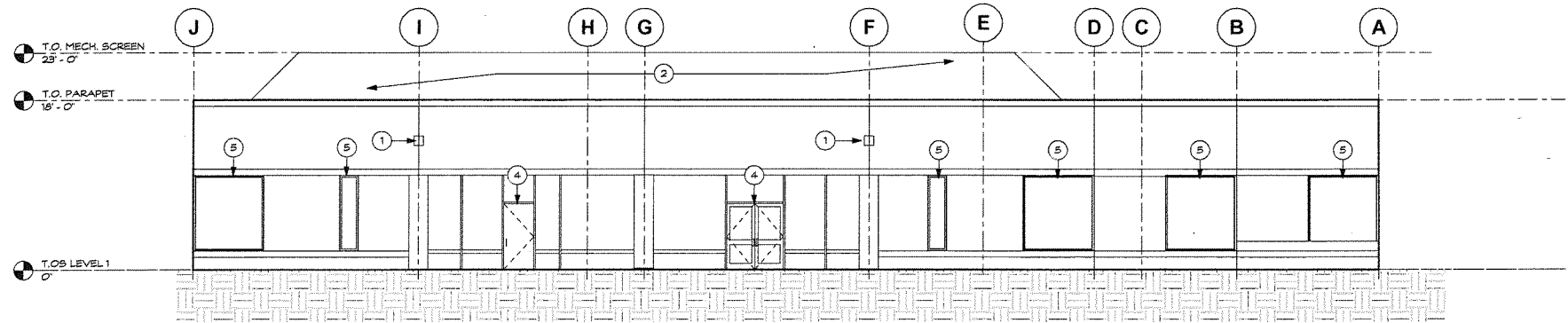
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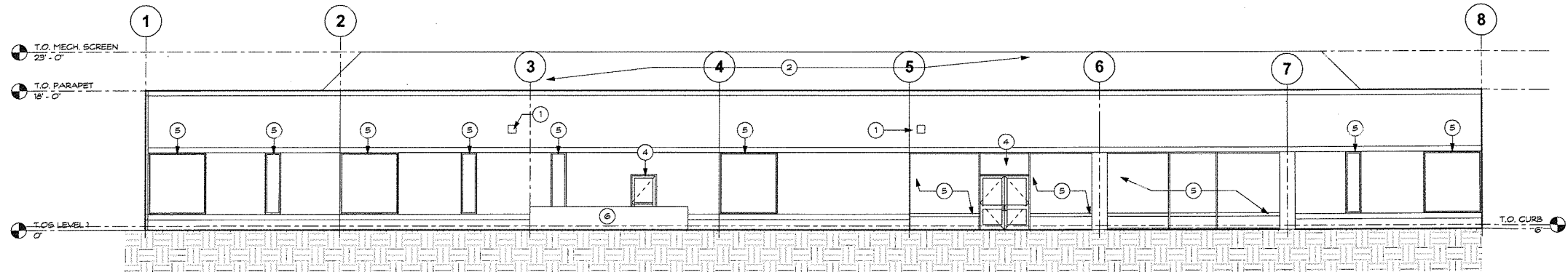
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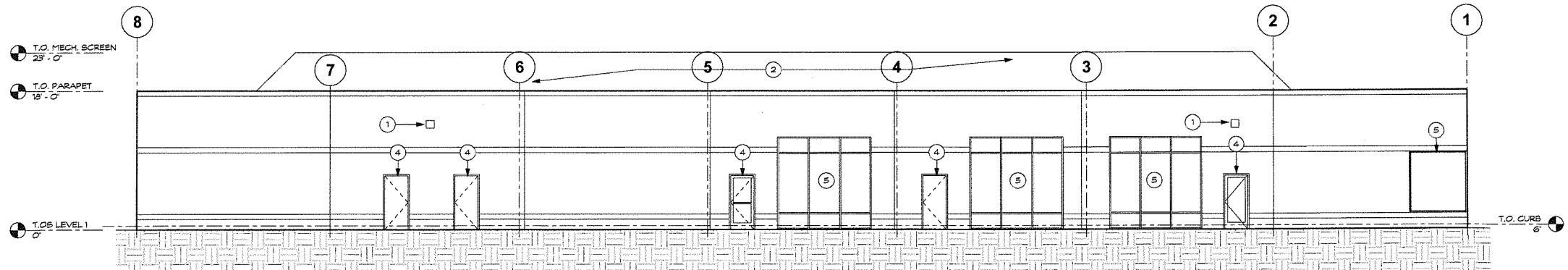
4 PROJECT WEST ELEVATION - FOR REFERENCE ONLY
1/8" = 1'-0"



3 PROJECT EAST ELEVATION - FOR REFERENCE ONLY
1/8" = 1'-0"



2 PROJECT NORTH ELEVATION - FOR REFERENCE ONLY
1/8" = 1'-0"



1 PROJECT SOUTH ELEVATION - FOR REFERENCE ONLY
1/8" = 1'-0"

GENERAL NOTES

- 1 EXTERIOR TO BE PREPPED AND PAINTED

KEYNOTES

- 1 (S) LIGHT
2 (S) MECHANICAL SCREEN
3 NOT USED
4 (S) DOOR, SEE DOOR SCHEDULE
5 (S) WINDOW
6 (S) PATIO WALL TO REMAIN

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APRIL 19, 2016
539 E. WEDDELL DR.
SUNNYVALE, CA 94089

SHEET TITLE

EXISTING EXTERIOR
ELEVATIONS - FOR
REFERENCE ONLY

PROJECT NO. 15017

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SHEET

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TREE/PLANT PROTECTION NOTES:

- 1. PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
- 2. PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL, OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIAL; AS WELL AS FROM PUDDLING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE OWNER IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS CLEAN UP.
- 3. CONTRACTOR SHALL BE RESPONSIBLE TO ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.
- 4. PROTECT TREES AGAINST CUTTING BREAKING, SKINNING AND BRUISING OF BARK; PERMIT NO TRAFFIC OR STOCKPILING WITHIN DRIP LINE OUTSIDE THE LIMIT OF WORK.
- 5. DO NOT PARK VEHICLES OR STORE MATERIALS, SUPPLIES AND CONSTRUCTION EQUIPMENT WITHIN DRIP LINE OF TREES.
- 6. INSTALL A TEMPORARY 4- HIGH ORANGE PLASTIC FENCE AT THE LIMIT OF WORK.
- 7. OWNER REPRESENTATIVE TO BE PRESENT AT BEGINNING OF EXCAVATION AND INCREMENTALLY AS REQUIRED TO REVIEW WORK.
- 8. AIR SPADING IS REQUIRED FOR EXCAVATION IN THE CRITICAL FOOT ZONES OF ANY TREES FOR THE INSTALLATION OF INFRASTRUCTURE WHERE ROOTS 2 INCHES IN DIAMETER AND LARGER ARE ENCOUNTERED. THE ARBORIST / OWNER'S REPRESENTATIVE SHALL DEFINE THE CRITICAL ROOT ZONE AND THE CONTRACTOR SHALL EXCAVATE USING A PNEUMATIC EXCAVATOR AIR-SPADE OR EQUIVALENT AS FOLLOWS; THE OPERATOR OF THE EQUIPMENT SHALL BE ASSISTED BY A SPOTTER WHO SHALL INSPECT THE EXCAVATION FOR ROOTS. IF A ROOT OF TWO INCHES DIAMETER IS ENCOUNTERED THE SPOTTER SHALL HALT MECHANICAL EXCAVATION. ONCE ROOTS HAVE BEEN IDENTIFIED THEY SHALL MAINTAIN SOIL COVER AS SHOWN ON THE CIVIL PLANS.
- 9. THE CONTRACTOR SHALL CONTROL DUST AND THE SPREAD OF SOILS EXCAVATED. THE AIR-SPADE OPERATOR SHALL MOISTEN THE SOIL TO FIELD CAPACITY AND TO A MINIMUM PROBE DEPTH OF 2.5 FEET WITH A WATERING NEEDLE (HYDRO-SPEAR) 48 HOURS PRIOR TO PNEUMATIC EXCAVATION. THE SPREAD OF EXCAVATED SOIL SHALL BE CONTAINED TO THE AREA ADJACENT TO THE TRENCH PATH WITH UPRIGHT PLYWOOD SHEETING.
- 10. CONTRACTOR SHALL PROTECT TREES WITH STRAPPED 'BARREL STAVE-LIKE' SURROUNDING OF 2X4'S AROUND THE FULL CIRCUMFERENCE OF THE TREE.
- 11. PROVIDE PERIODIC WATERING FOR ALL PLANTING WITHIN CONTRACTOR LIMIT AND ANY ADJACENT AREAS AFFECTED BY THE WORK AS ACCEPTED BY THE OWNER.
- 12. PLANT REPLACEMENT: CONTRACTOR SHALL REPLACE TREES CUT OR SEVERELY DAMAGED DUE TO CONTRACTOR'S WORK AS DETERMINED BY OWNER.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
ACE RUB	ACER RUBRUM 'ARMSTRONG'	COLUMNAR RED MAPLE	24" BOX	2

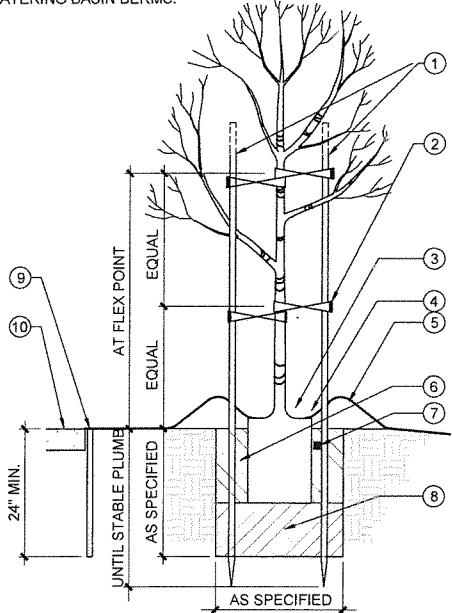
MATERIAL LEGEND

CHAIN LINK FENCE WITH WINGED PRIVACY SLATS	DETAIL 1 / L2.1
PRIVACY SLAT BY HOOVER FENCE, COLOR: BROWN	
IRON PICKET FENCE	DETAIL 3 / L2.1
RECYCLED PLASTIC HEADER	DETAIL 2 / L1.1

NOTES:

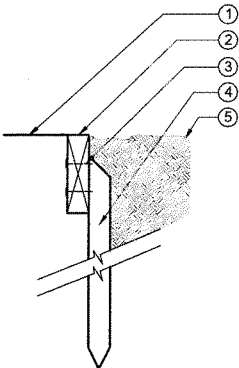
- 1. INSTALL ROOT BARRIERS BACK OF CURB OR EDGE OF PAVEMENT. COORDINATE INSTALLATION WITH OTHER TRENCHING WORK.
- 2. INSTALL 3" LAYER OF MULCH THROUGHOUT ENTIRE PLANTING BED, INCLUDING PLACING MULCH OVER TREE AND SHRUB WATERING BASIN BERMS.

- 1 LODGEPOLE PINE STAKES SIZE AS SPECIFIED SET UPWIND, TRIM TOP OF STAKE AS REQUIRED
- 2 24" MIN. LING V.I.T. CINCH TREE TIE OR APPROVED EQUAL-TWIST IN FIGURE 8 PATTERN, NAIL @ BACK OF STAKE W/ 1" GALV. ROOFING NAIL
- 3 SET ROOTCROWN 2" HIGHER THAN FINISH GRADE
- 4 3" LAYER OF MULCH
- 5 6" HIGH BERM @ EDGE OF CONTAINER, EXCEPT IN TURF AREAS
- 6 BACKFILL MIX, AS SPECIFIED
- 7 FERTILIZER TABLETS: 2"-3" BELOW SURFACE, ADJACENT TO ROOTBALL. SEE SPECS FOR QUANTITY
- 8 EXCAVATE, LOOSEN BOTTOM OF HOLE, REPLACE EXISTING SOIL & FOOT TAMP NO BACKFILL MIX UNDER ROOTBALL
- 9 ROOT BARRIER, WITHIN 7' OF ALL HARDSCAPE AREAS
- 10 PAVING

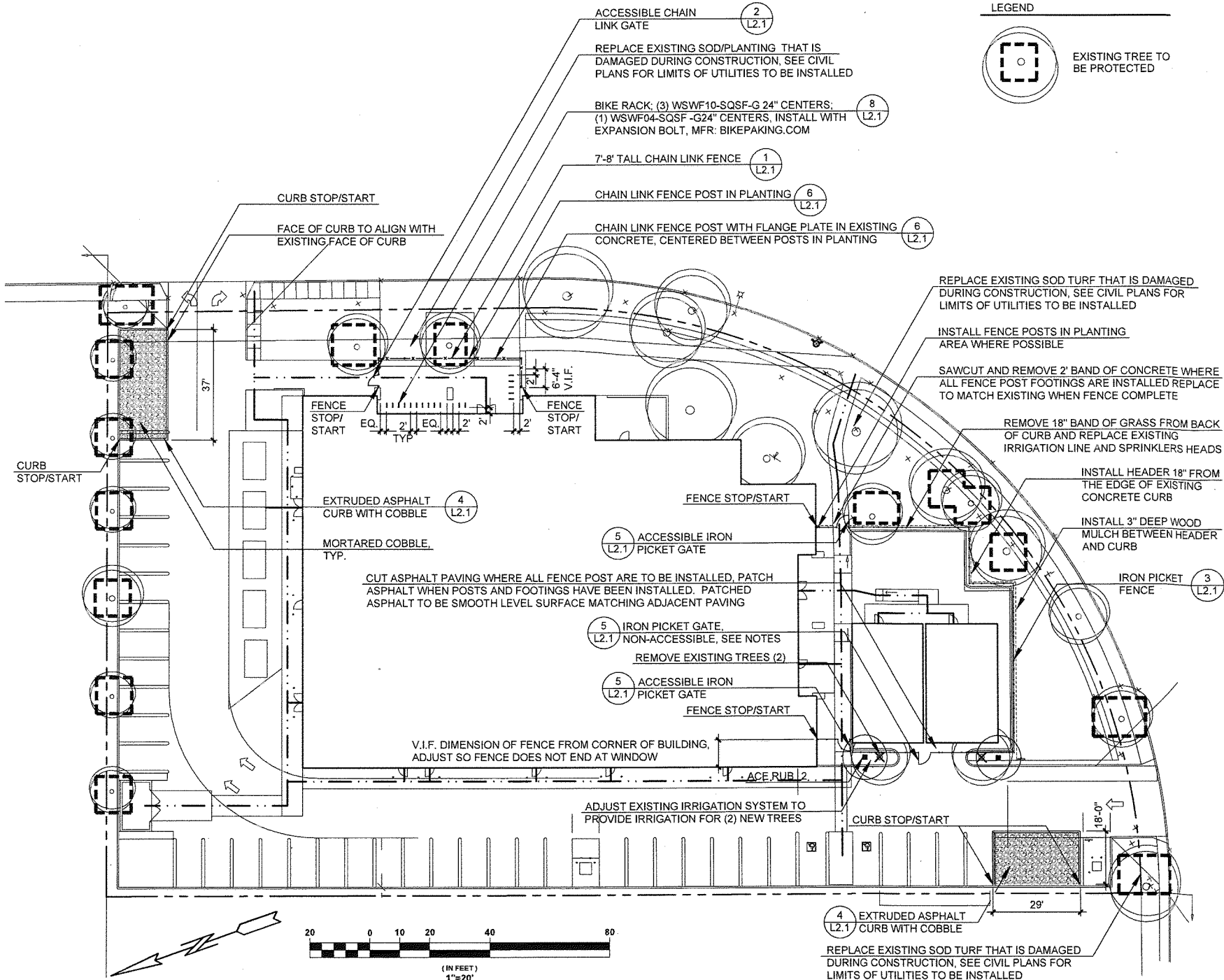


1 TREE PLANTING / ROOT GUARD
SCALE: 3/4" = 1'-0"

- 1 TURF
- 2 2X6 RECYCLED PLASTIC LUMBER, TREX OR EQUAL. ON CURVED RUNS USE (4) 1/4"X6" LAMINATED RECYCLED PLASTIC MATERIALS, COLOR: SADDLE
- 3 GALVANIZED SELF TAPPING SCREWS (2 EACH LOCATION)
- 4 2X2 RECYCLED PLASTIC LUMBER @ 3'-0" O.C. MAX. BEVEL TOP OF STAKE 45° AS SHOWN 2" BELOW SURFACE.
- 5 PLANTING, SEE PLANS



2 RECYCLED PLASTIC HEADER
SCALE: 1" = 1'-0"



LEGEND



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PROJECT NAME

SHEET TITLE

LANDSCAPE PLAN

PROJECT NO. 15017

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PROPOSED SITE PLAN LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL

GENERAL NOTES

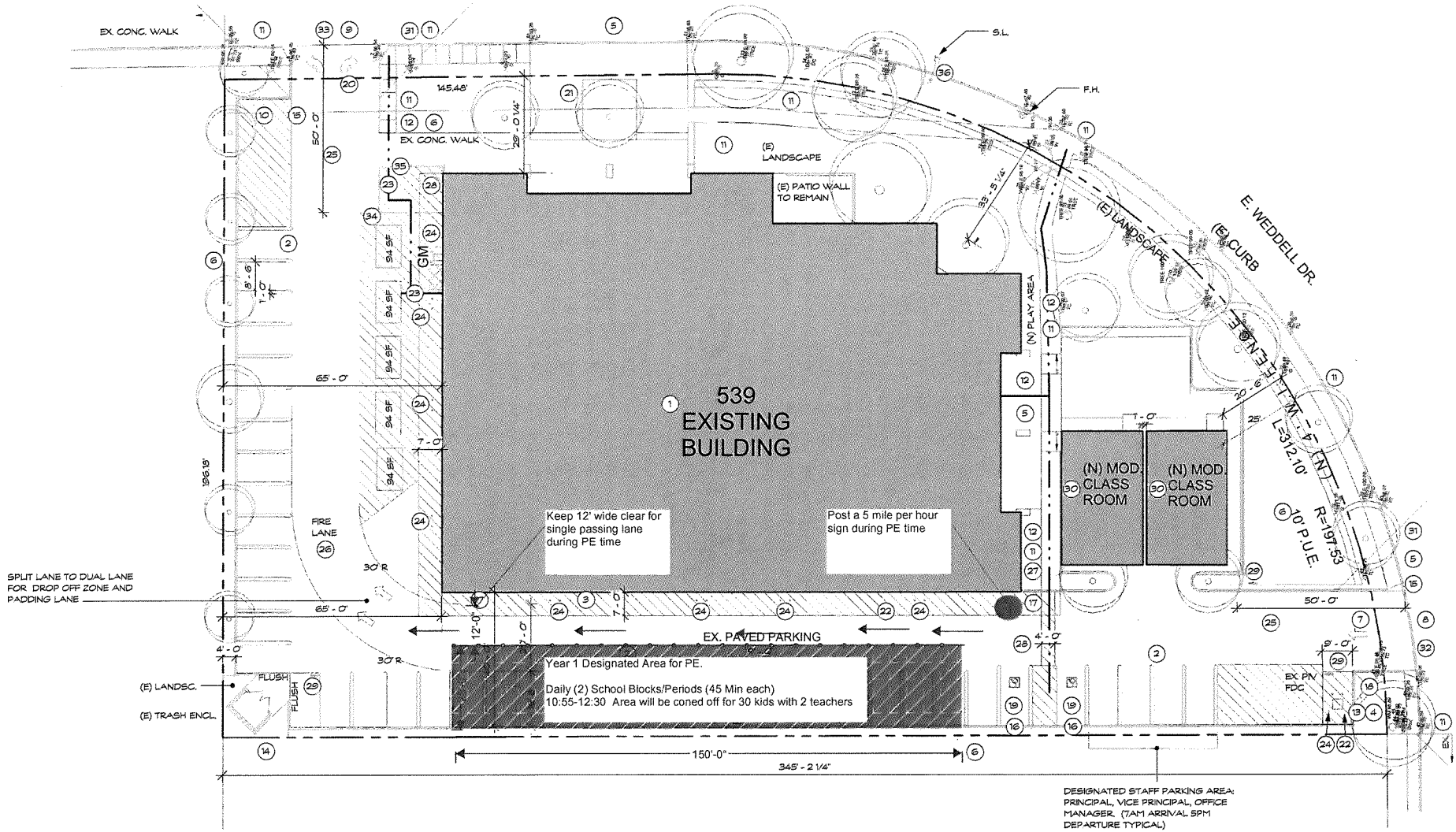
- ALL WALKWAYS ALONG THE ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 4'-0" WIDE AND THERE SHALL BE NO DROP-OFFS OVER 4". AT THE EDGE OF WALK OR LANDING WHERE A 4" DROP OFF DOES OCCUR, PROVIDE A WARNING CURB 6" IN HEIGHT. (SEE CBC SECTION 11B-303.5)
- PATH OF TRAVEL (P.O.T.), AS INDICATED, IS A COMMON BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND ARE AT LEAST 48" WIDE. THE PATH SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. PASSING SPACES (11B-403.5) AT LEAST 60" X 60" ARE LOCATED NOT MORE THAN 200' APART. PARTS OF THE P.O.T. WITH CONTINUOUS GRADIENTS HAVE SLOPE AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80' MIN. AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (11B-307).
- FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED TO ALL PORTIONS OF THE SITE DURING CONSTRUCTION. ALL FIRE LANES SHALL BE MAINTAINED CLEAR.
- THE FIRE AUTHORITY SHALL BE CONSULTED REGARDING ACCESS ROADS, GATES, PERIMETER FENCING, PORTABLE FIRE EXTINGUISHERS, AND OTHER FIRE PROTECTION SYSTEMS OR MEASURES DURING CONSTRUCTION.
- SEE CIVIL DRAWINGS FOR EXTENT OF NEW A.C. PAVING AND AREAS OF PAVEMENT REPAIR
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SITE PLAN KEYNOTES

- (E) BUILDING TO REMAIN
- (E) PARKING TO BE RE-STRIPED.
- RESTRIPED AS SHOWN
- (N) WATER METER - REFER TO CIVIL
- (E) CONCRETE TO REMAIN
- (E) LANDSCAPE TO REMAIN
- MODIFY (E) PAINTED DIRECTIONAL ARROW TO INDICATE DEDICATED ENTRY
- (N) SIGNAGE INDICATING DEDICATED SINGLE LANE ENTRANCE
- (N) SIGNAGE INDICATING NO ENTRY
- REMOVE (E) ACCESS PARKING SPACE
- (E) CONCRETE WALK
- (E) ACCESS PATH OF TRAVEL
- (N) BACKFLOW - REFER TO CIVIL
- (E) TRASH ENCLOSURE WITH RECYCLE AREA
- (E) RICOB STL. SIGN (TOW. AWAY) ON STL. POLE
- RELOCATE (E) R99 STL. SIGN (ACCESS PARKING) ON BLDG. OR STL. POLE
- (E) R26 F (FIRE LANE) STL. SIGN ON STL. POLE
- (N) REDUCED PRESSURE DETECTOR - REFER TO CIVIL
- RELOCATE (E) ACCESS PARKING
- MODIFY (E) PAINTED DIRECTIONAL ARROWS TO INDICATE DEDICATED EXIT, LEFT OR RIGHT TURN ONLY
- (E) BIKE RACK FOR 13
- (E) 4" DIAG. WHITE PAINTED STRIPES @ 3' O.C.
- (N) ACCESS PATH OF TRAVEL
- (E) BOLLARDS, 26" FROM BUILDING (VERIFY IN FIELD). PENDING BUILDING DIVISION REVIEW, MAY NEED TO BE RELOCATED.
- MAINTAIN 50' CLR ENTRANCE AND EXIT DISCHARGE TO STREET
- MAINTAIN 20' CLR. FIRE LANE
- (E) CURB CUT
- (N) 4" DIAG. WHITE PAINTED STRIPES AT 3' O.C.
- (E) SIGN - THE 43 PARKING SPACES BETWEEN THESE SIGNS ARE DEDICATED FOR THE USE BY 521 E. WEDDELL DURING THE HOURS OF 9 AM & 12:30 PM ON SUNDAYS.
- INSTALL (2) 24'X40' MODULAR CLASSROOM BLDGS.
- VISION TRIANGLES REQUIRED BY THE CITY
- MODIFY DRIVEWAY TO A ONE-WAY DRIVEWAY PER CITY STANDARDS AND SMC
- CHANGE TO EGRESS DUAL LANE, RIGHT TURN AND LEFT TURN ONLY
- STUDENT DROP OFF AND TRUCK LOADING DELIVERY ZONE
- REMOVE PORTION OF (E) CURB TO ALLOW FOR FLUSH TRANSITION BETWEEN DROP OFF ZONE AND SIDEWALK
- (E) STREET LIGHT TO REMAIN, REPLACE WITH NEW LED

AREA CALCULATIONS

LOT AREA:	59,682 SF
BUILDING:	19,402 SF
PORTABLE CLASSROOMS:	945 (2) ± 1,890 SF
TOTAL:	21,310 SF
F.A.R. W/ BLDG. ONLY:	19,402/59,682 = 32.5%
F.A.R. W/ BLDG. + PORTABLES:	21,310/59,682 = 36%



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CONSULTANTS

NO. REVISION DATE

PROJECT NAME

SUMMIT CHARTER SCHOOL

539 WEDDELL DR.
SUNNYVALE, CA
94089

SHEET TITLE

PROPOSED SITE PLAN

PROJECT NO. 15017

DRAWN BY LS

CHECKED BY SH, BM

SHEET

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PROPOSED SITE PLAN LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL

GENERAL NOTES

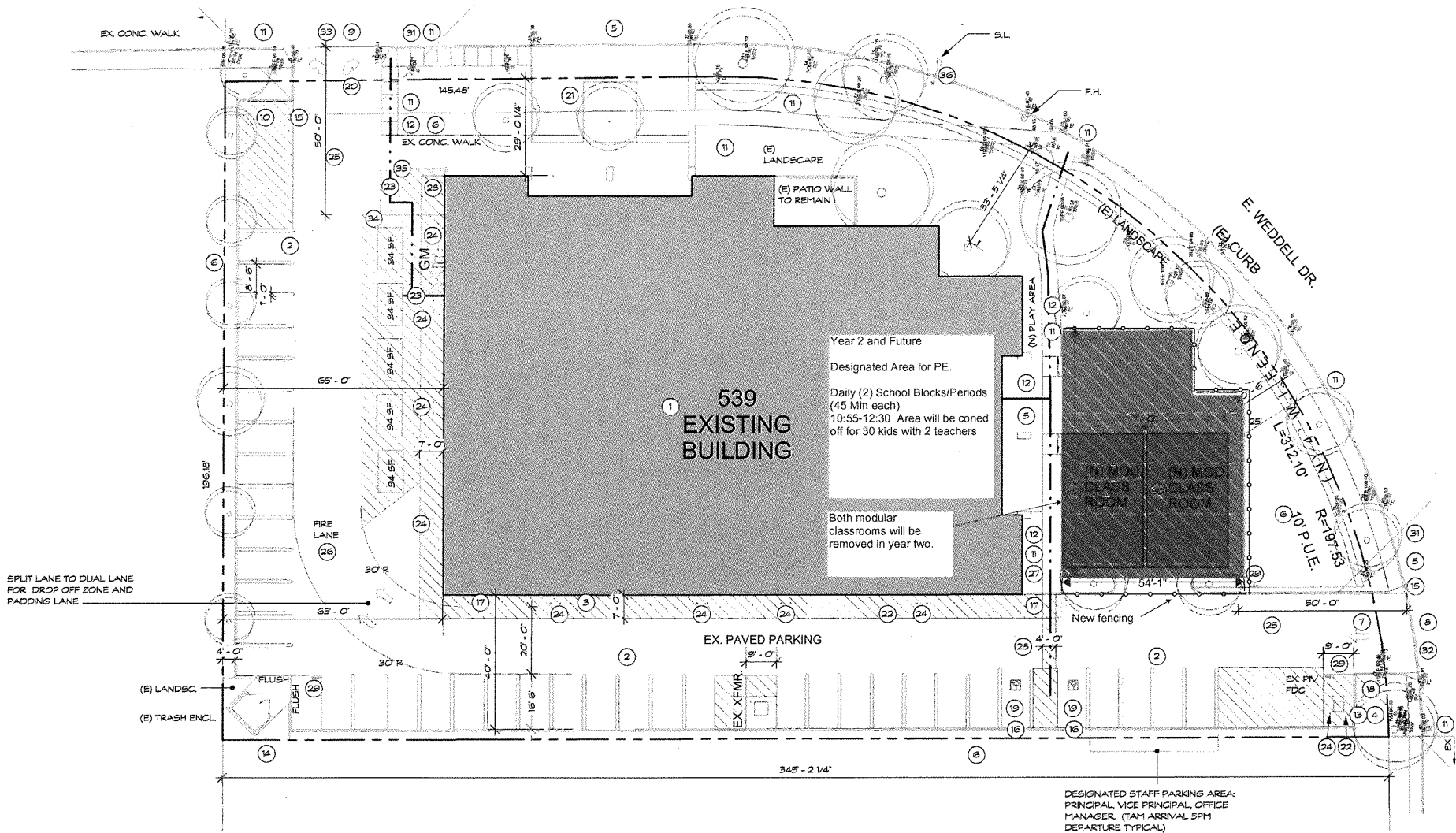
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- (E) LANDSCAPE TO REMAIN
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- (E) ACCESS PATH OF TRAVEL
- (N) BACKFLOW - REFER TO CIVIL
- (E) TRASH ENCLOSURE WITH RECYCLE AREA
- (E) R100B STL. SIGN (TOW AWAY) ON STL. POLE
- RELOCATE (E) R26 STL. SIGN (ACCESS PARKING) ON BLDG. OR STL. POLE
- (E) R26 F (FIRE LANE) STL. SIGN ON STL. POLE
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- (E) SIGN - THE 43 PARKING SPACES BETWEEN THESE SIGNS ARE DEDICATED FOR THE USE BY 521 E. WEDDELL DURING THE HOURS OF 9 AM & 12:30 PM ON SUNDAYS.
- INSTALL (2) 24"x40" MODULAR CLASSROOM BLDGS.
- VISION TRIANGLES REQUIRED BY THE CITY
- MODIFY DRIVEWAY TO A ONE-WAY DRIVEWAY PER CITY STANDARDS AND SMC
- CHANGE TO EGRESS DUAL LANE, RIGHT TURN AND LEFT TURN ONLY
- STUDENT DROP OFF AND TRUCK LOADING DELIVERY ZONE
- REMOVE PORTION OF (E) CURB TO ALLOW FOR FLUSH TRANSITION BETWEEN DROP OFF ZONE AND SIDEWALK
- (E) STREET LIGHT TO REMAIN, REPLACE WITH NEW LED

AREA CALCULATIONS

LOT AREA:	59,682 SF
BUILDING:	19,402 SF
PORTABLE CLASSROOMS:	945 (2) = 1,890 SF
TOTAL:	21,310 SF
F.A.R W/ BLDG. ONLY:	19,402/59,682 = 32.5%
F.A.R W/ BLDG. + PORTABLES:	21,310/59,682 = 35%



1 PROPOSED SITE PLAN
1" = 20'0"

CODY ANDERSON WASNEY

ARCHITECTS

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STAMP

CONSULTANTS

NO. REVISION DATE

PROJECT NAME

SUMMIT CHARTER SCHOOL

539 WEDDELL DR.
SUNNYVALE, CA
94089

SHEET TITLE

PROPOSED SITE PLAN

PROJECT NO. 15017

DRAWN BY LS

CHECKED BY SH, BM

SHEET

A0.02