

GENERAL NOTES

ALL WORK SHALL COMPLY WITH THE 2013 California Building Code, 2013 California Residential Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Electrical Code, 2013 California Green Building Code (CalGreen), 2013 California Fire Code (with local amendments), 2012 International Property Maintenance Code, 2013 State of California Title 24 Energy Regulations, Sunnyvale Municipal Code (including local amendments to the above adopted codes and local green building requirements)

EMERGENCY ESCAPE WINDOWS

EVERY SLEEPING ROOM TO BE PROVIDED WITH AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE, WHICH OPENS DIRECTLY TO STREET, PUBLIC ALLEY, YARD, OR EXIT CORRIDOR.

THE UNITS SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. ALL ESCAPE/RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. ESCAPE/RESCUE WINDOWS SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

GARAGE SEPARATION

ATTACHED GARAGE SHALL BE PROVIDED WITH 5/8" TYPE-X G.W.B. AT SEPARATION WALLS AND CEILING. SEPARATION DOORS SHALL BE SOLID CORE AND SELF-CLOSING WITH TWO SPRING HINGES. SEE DRAWINGS.

FIRE BLOCKING AND DRAFT STOPS

FIRE BLOCKING AND DRAFT STOPPING SHALL BE INSTALLED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN TOP STORY AND A ROOF OR ATTIC SPACE.

PROVIDE AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.

PROVIDE AT CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS.

PROVIDE AT OPENINGS AROUND VENTS, PIPES, DUCTS, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

SOUND INSULATION

PROVIDE SOUND INSULATION IN ALL WALLS BETWEEN BATHROOMS AND ADJACENT ROOMS.

FINISHES

MOISTURE RESISTANT G.W.B. (GREENBOARD) SHALL BE PROVIDED ON WALLS AT BATHROOMS, LAUNDRY ROOMS, KITCHENS AND AREAS SUBJECT TO MOISTURE.

MOISTURE-RESISTANT GWB SHALL NOT BE USED OVER A VAPOR RETARDER, IN AREAS SUBJECT TO HIGH HUMIDITY (SUCH AS SAUNAS), OR ON CEILINGS WHERE FRAME SPACING EXCEEDS 12" ON CENTER.

TYPICAL AT ALL SHOWERS AND TUB/SHOWER WALLS: A SMOOTH, HARD, NON-ABSORBENT SURFACE (E.G. CERAMIC TILE) OVER A MOISTURE RESISTANT UNDERLAYMENT SUCH AS TILE BACKER BOARD, TO A HEIGHT OF 72 IN. ABOVE DRAIN INLET.

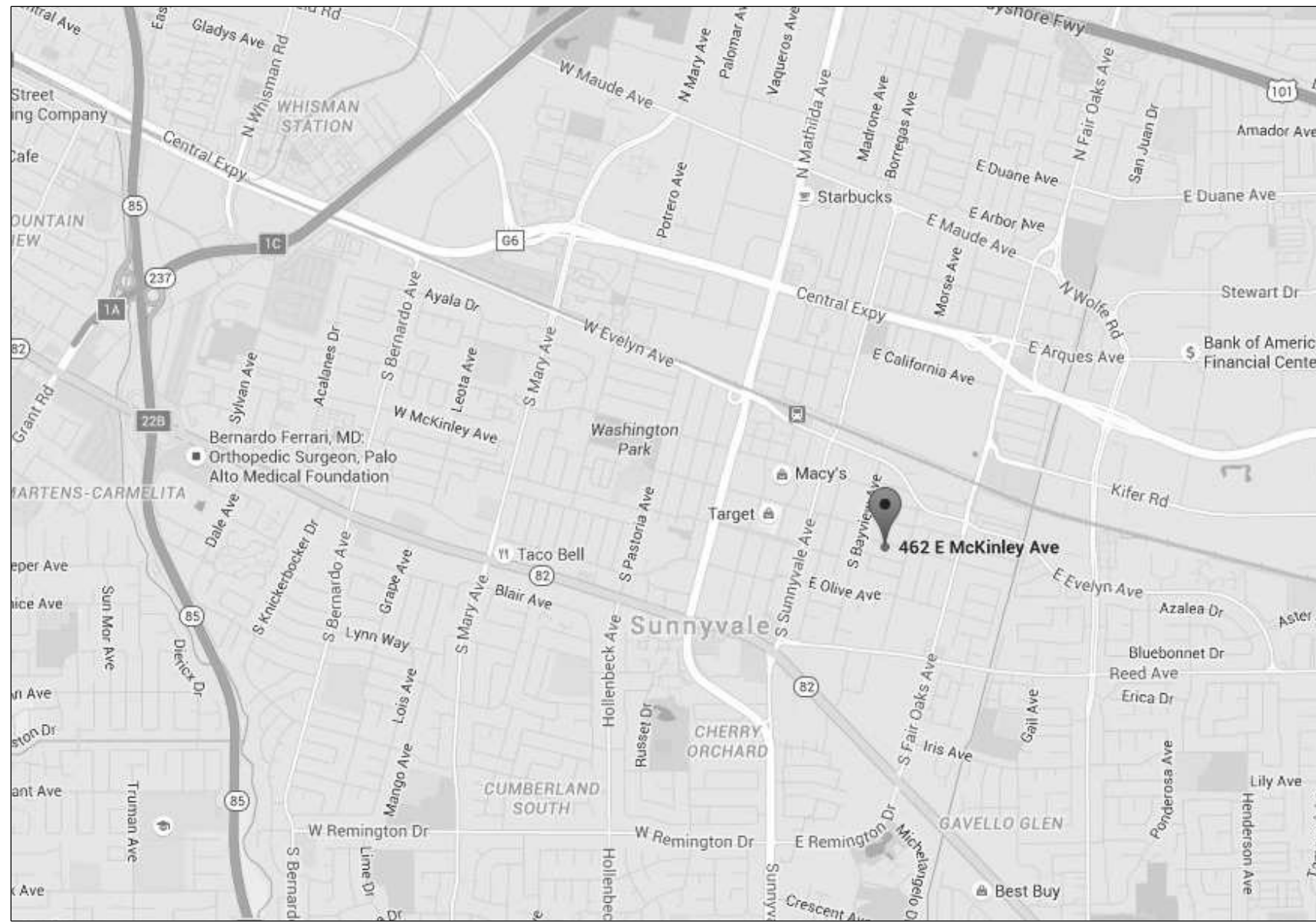
SHOWERS AND TUBS WITH SHOWERS REQUIRE TILE OR OTHER APPROVED SURFACE WITH WATERPROOF BACKING 6 FT. ABOVE THE FLOOR LINE. A CURTAIN ROD OR OTHER APPROVED ENCLOSURE SHALL BE PROVIDED.

WINDOWS, GLASS AND GLAZING

ALL GLAZING IN GLASS DOORS AND SIDELIGHTS, SHOWER DOORS, TUB ENCLOSURES AND STORM DOORS SHALL BE OF SAFETY GLAZING MATERIALS (TEMPERED OR LAMINATED SAFETY GLASS). GLASS TUB & SHOWER ENCLOSURES AND ADJACENT OPENINGS WITHIN 60" OF THE WALKING SURFACE IS TO BE SAFETY GLAZED. GLAZING WITHIN A 24" ARC OF THE VERTICAL EDGE OF A DOOR IN THE CLOSED POSITION, AND WHICH IS WITHIN 60" OF THE WALKING SURFACE TO BE SAFETY GLAZED.

ALL GLAZING IN DOORS AND IN WINDOWS SHALL BE DUAL GLAZING PER THE ENERGY CALCULATIONS

VICINITY MAP



MINIMUM STRUCTURAL SPECIFICATIONS

FRAMING LUMBER TO BE SYP #2

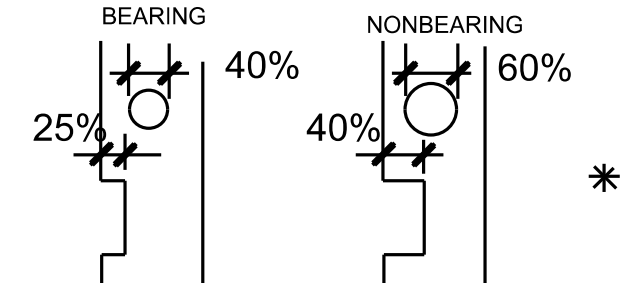
PRESSURE TREATED MUDSILLS TO BE SYP #2.

CONCRETE STRENGTH TO BE $f_c' = 2500$ psi IN 28 DAYS.

REBAR TO BE GRADE 60.

FRAMING / WALL CONSTRUCTION

NOTCHING AND BORING STUDS:



WHERE SOLE PLATES ARE CUT FOR PIPES, A METAL TIE MINIMUM 0.058 INCH THICK AND 1-1/2 INCHES WIDE SHALL BE FASTENED ACROSS THE OPENING WITH (6) 16d NAILS MINIMUM EACH SIDE, PER C.B.C. SECTION 2320.11.7.

ELECTRICAL NOTES

PROVIDE ARC FAULT PROTECTION.

ELECTRICAL RECEPTACLES SHALL BE NO MORE THAN 12 FT. APART INCLUDING ANY WALL 2 FT. OR WIDER (BATHROOMS AND UTILITY ROOMS EXCEPTED).

ALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED WITHIN 6 FT., MEASURED HORIZONTALLY OF THE KITCHEN SINK, IN BATHROOMS, IN GARAGES, OUTDOORS OR IN LAUNDRY ROOMS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPT PROTECTION.

RECEPTACLES AT CONSTRUCTION POST, GARAGE AND BATHS TO BE G.F.I.C.

GARAGE OUTLETS AT 42" HEIGHT

BATHROOMS SHALL BE PROVIDED WITH SWITCHES CONTROLLING LIGHT FIXTURES AND MECHANICAL VENTILATION.

EXTERIOR LIGHT FIXTURES SHALL BE PROVIDED AT ALL DOORS TO THE EXTERIOR. SWITCHES SHALL BE PROVIDED NEAR DOORS CONTROLLING OUTDOOR LIGHT FIXTURES.

PRE-WIRE FOR PHONE AND T.V.

REINFORCE ALL CEILING MOUNTED LIGHTS, FIXTURES, AND/OR DEVICES.

PROVIDE FRONT DOOR CHIME.

OUTLETS, SWITCH BOXES AND DEVICES ON EXTERIOR WALLS SHALL BE INSTALLED WITH SEALANT, GASKETING AND FLASHINGS AS REQUIRED.

LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES MUST HAVE LABEL STATING "SUITABLE FOR DAMP LOCATIONS"

AT LEAST ONE LIGHTING OUTLET SHALL BE INSTALLED IN ATTICS, UNDER FLOOR SPACE, IN UTILITY ROOMS, IN BASEMENTS USED FOR STORAGE OR WHERE EQUIPMENT REQUIRING SERVICING IS LOCATED, AND AT BASEMENT EXTERIOR EXITS.

PROVIDE A DEDICATED 20 AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.

RECEPTACLES ARE REQUIRED AT THE FRONT AND REAR OF THE HOME, AND THEY MUST BE WITHIN 6'-6" OF GRADE, AND WEATHERPROOF GFCI PROTECTED. EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS OR AUTOMATIC DAMPERS.

PROVIDE AN ELECTRICAL DISCONNECT FOR ALL HEATING APPLIANCES BY USE OF A SWITCH OR PLUG.

ELECTRICAL LIGHTING FIXTURES IN CLOTHES CLOSET SHALL BE INSTALLED WITH A MINIMUM OF 18 INCHES CLEARANCE TO COMBUSTIBLE MATERIALS. FIXTURES SHALL BE VERTICALLY CLEAR TO FLOOR OR RECESSED.

INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

FIRE-WARNING SYSTEMS

SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN THE HALLWAY OR AREA GIVING ACCESS TO EACH SLEEPING ROOM, AND ARE TO BE AUDIBLE IN ALL SLEEPING AREAS.

SMOKE DETECTORS ARE TO BE SUPPLIED BY A 110V CIRCUIT, AND TO HAVE BATTERY BACKUP.

ALL SMOKE DETECTORS TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTUATE ALL OF THE ALARMS IN THE DWELLING.

PROVIDE MINIMUM OF ONE SMOKE DETECTOR PER FLOOR.

MECHANICAL NOTES

DUCTS IN UNCONDITIONED SPACES TO BE PROVIDED WITH MINIMUM R-4.2 INSULATION.

DRYER EXHAUST VENT TO BE MIN. 4" DIA. SMOOTH SHEET METAL, VENTED THRU WALL OR PIPE EXTENDING UP THE WALL AND TRANSITIONING TO A 5" DIA. SMOOTH SHEET METAL PIPE IN ATTIC, AND EXTENDING TO THE OUTSIDE. ALL DRYER VENTS TO MUST HAVE A BACKDRAFT DAMPER.

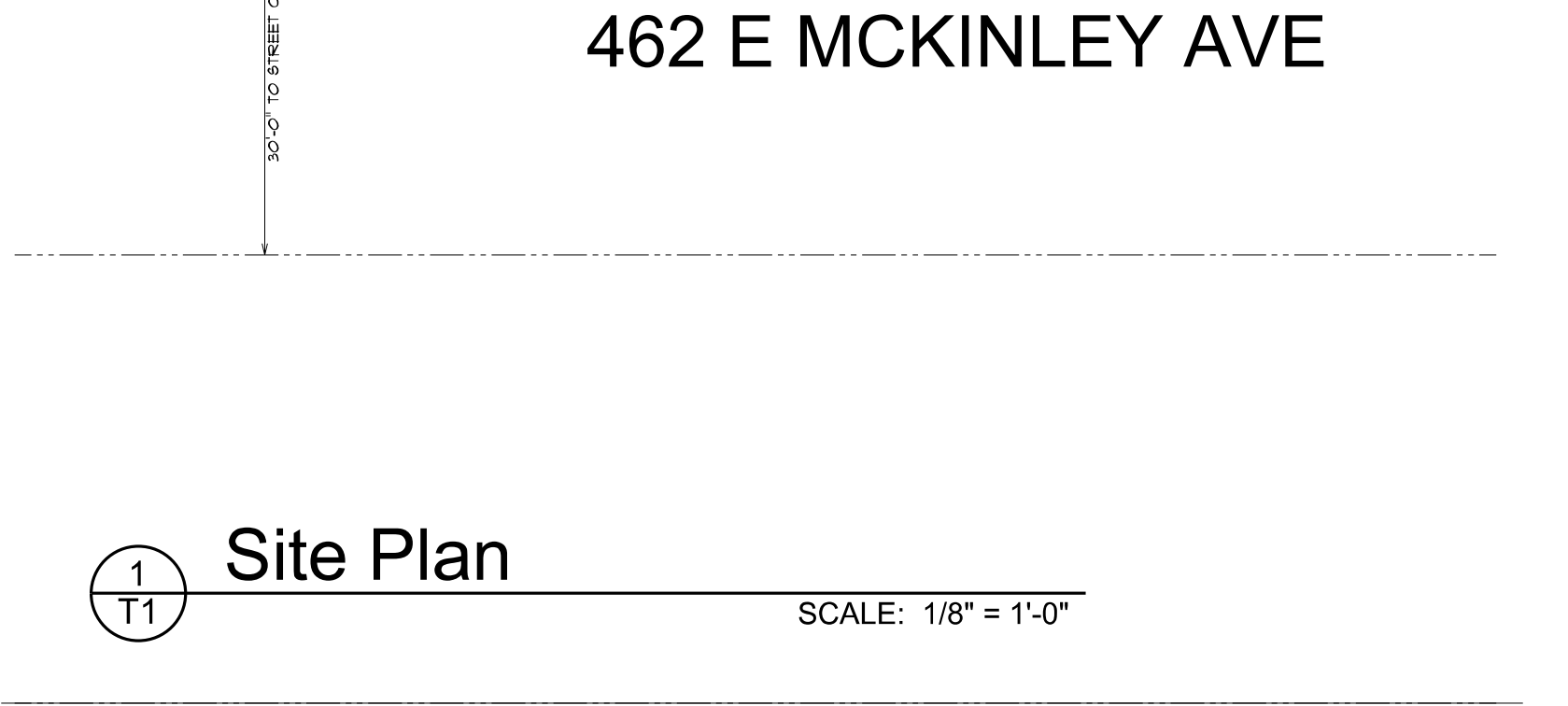
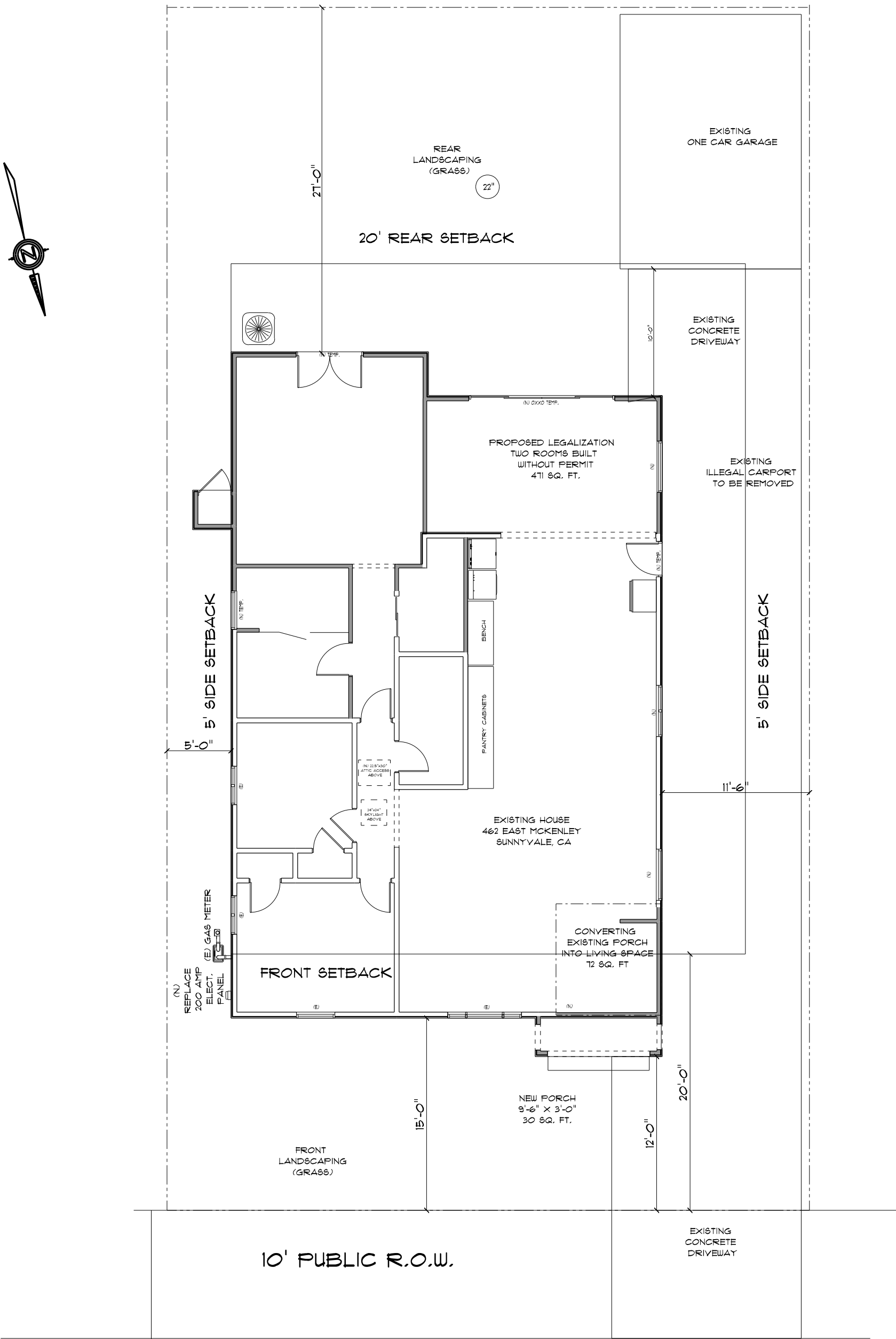
APPLIANCES GENERATING A GLOW, SPARK, OR FLAME MUST BE AT LEAST 18 IN. ABOVE THE FLOOR IN A GARAGE

PROVIDE COMBUSTION AIR OPENINGS WITHIN 12 IN. OF FLOOR AND CEILING FOR GAS BURNING EQUIPMENT.

PROVIDE COMBUSTION AIR VENTS (WITH SCREEN AND BACK DAMPER) FOR ANY APPLIANCE WITH OPEN FLAME PROVIDE INDIVIDUAL SHUT-OFF VALVE FOR AT MAXIMUM 3 FEET FROM EVERY GAS APPLIANCE

INSTALLATION INSTRUCTIONS FOT ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

SOTELO RESIDENCE
462 E MCKINLEY AVE, SUNNYVALE, CA 94086



SITE PLAN NOTES:

- ALL STUMPS AND ROOTS SHALL BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES BELOW THE SURFACE WITHIN BUILDING FOOTPRINT AREA.
- SEWER NOTE: A BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED AS REQUIRED BY THE UNIFORM PLUMBING CODE SECTION 409.
- IF GRADING OR OTHER CONSTRUCTION OPERATIONS UNCOVER ARCHAEOLOGICAL, HISTORIC OR OTHER RESOURCES, CONSTRUCTION SHALL CEASE AND THE PLANNING DEPARTMENT SHALL BE NOTIFIED OF THE EXTENT AND LOCATION OF DISCOVERED MATERIALS SO THAT THEY MAY BE RECORDED BY A QUALIFIED ARCHAEOLOGIST. DISPOSITION OF ARTIFACTS SHALL COMPLY WITH STATE AND FEDERAL LAWS.
- OM DESIGN BUILD HAS NOT STUDIED OR EXPRESSED ANY OPINION CONCERNING STABILITY OF SOILS, OR THE RISK OF SLIDES, FLOODING OR EARTH MOVEMENT, UNDER OR EARTH MOVEMENT, UNDER OR IN THE VICINITY OF THE BUILDING SITE. SUCH STUDIES AND OPINIONS CAN BE GIVEN ONLY BY A QUALIFIED, LICENSED SOILS ENGINEER.

DRAWING INDEX:

T1	COVER SHEET
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A3	ELEVATIONS
A4	ELECTRICAL
A5	DETAILS
A6	TITLE 24
A7	TITLE 24
A8	CALGreen
A9	CALGreen
S1	STRUCTURAL PLAN
S2	STRUCTURAL DETAILS

SQ. FT. CALCULATIONS

AREA	EXIST.	NEW	TTL	
TOTAL LOT AREA:			5,000	SQ. FT.
1st FLOOR LIVABLE	APPROX. 1171	543	1714	SQ. FT.
2nd FLOOR LIVABLE	APPROX.			SQ. FT.
ATTACHED GARAGE	APPROX.			SQ. FT.
TOTAL BUILDING AREA	APPROX. 1171	543	1714	SQ. FT.
COVERED PORCHES	APPROX. 30		30	SQ. FT.
DRIVEWAY	APPROX. 962		962	SQ. FT.
SIDEWALKS	APPROX.			SQ. FT.
DETACHED GARAGE	APPROX. 280		280	SQ. FT.
DECKS	APPROX.			SQ. FT.
TOTAL IMPERVIOUS COVERAGE	APPROX.			SQ. FT.
IMPERVIOUS COVERAGE		1994	40%	
BUILDING COVERAGE		2024	40%	
FLOOR AREA RATIO			%	

SCOPE OF WORK

THE SCOPE INCLUDES THE LEGALIZATION OF A SINGLE STORY ADDITION AND COMPLETE RENOVATION OF AN EXISTING HOME TO CREATE NEW BEDROOMS AND BATHROOMS AND REMODEL THE EXISTING AREAS OF THE RESIDENCE.

ARCHITECTURAL

THE SCOPE INCLUDES THE RENOVATION OF AN EXISTING ONE STORY RESIDENCE, INCLUDING THE INSTALLATION OF INTERIOR PARTITIONS, FRAMING, DRYWALL, FLOORING, CABINETS, OPENINGS, ROOFING AND PAINT.

ELECTRICAL

THE SCOPE INCLUDES THE INSTALLATION OF NEW ELECTRICAL FIXTURES AND WIRING.

PLUMBING & MECHANICAL

THE SCOPE INCLUDES THE INSTALLATION OF NEW PLUMBING FIXTURES, WATER LINES, AND WASTE LINES.

Om
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Residential &
Light Commercial
Design

12100 Skyline Blvd.
Los Gatos, CA 95033

512.810.1987

omdesignbuild.com

SOTELO
RENOVATION

REMODEL WITH
ADDITION
for

ROBERTO
SOTELO

462 E MCKINLEY AVE
SUNNYVALE, CA 94086

RENOVATION
1688 SQ. FT.

REMARKS	DATE
FINAL DWGS	3/18/16
REVISION	4/9/16
REVISION	5/7/16

ALL FIELD CHANGES TO APPROVED SET OF PLANS SHALL BE FIRST APPROVED BY THE LOCAL BUILDING DEPARTMENT. FAILURE TO PROVIDE CHANGES TO THE CAUSE FOR THE DEPARTMENT TO BUILDING DEPARTMENT WILL BE ISSUE A STOP WORK NOTICE.

DESIGNER'S SIGNATURE

JOSEPH W. HALL
BUILDING DESIGNER
OM DESIGN

ENGINEER'S SEAL

CADD FOLDER	SOTELO
CADD FILE	T1
DRAWN BY	JW

COVER SHEET

T-1

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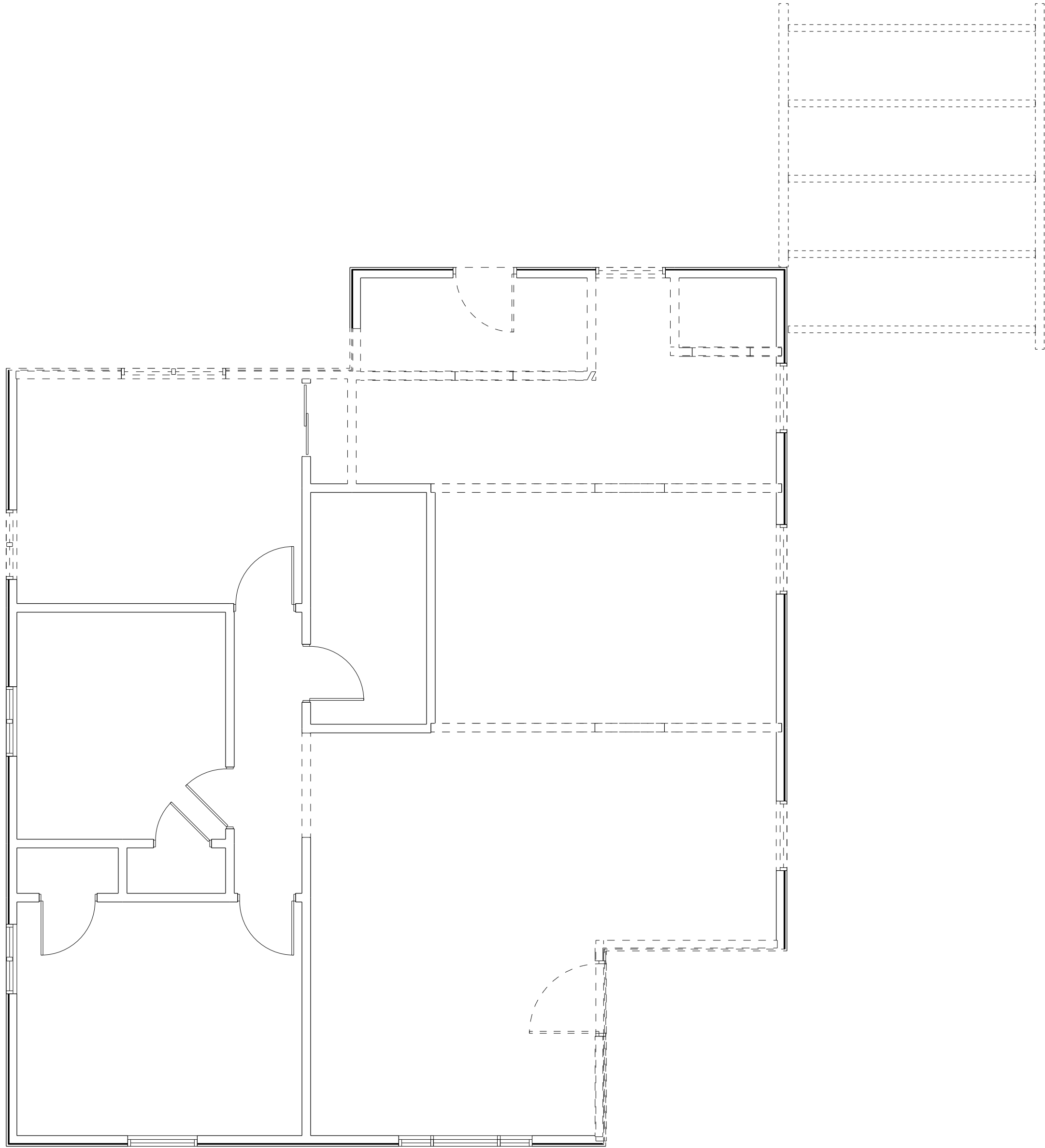
Joseph W. Hall
JOSEPH W. HALL
BUILDING DESIGNER
OM DESIGN
8/7/2014
ENGINEER'S SEAL

CADD FOLDER SOTELO
CADD FILE A1
DRAWN BY JW

FLOOR PLANS

A-1

WRITTEN DIMENSIONS ON THESE DOCUMENTS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE PROJECT.



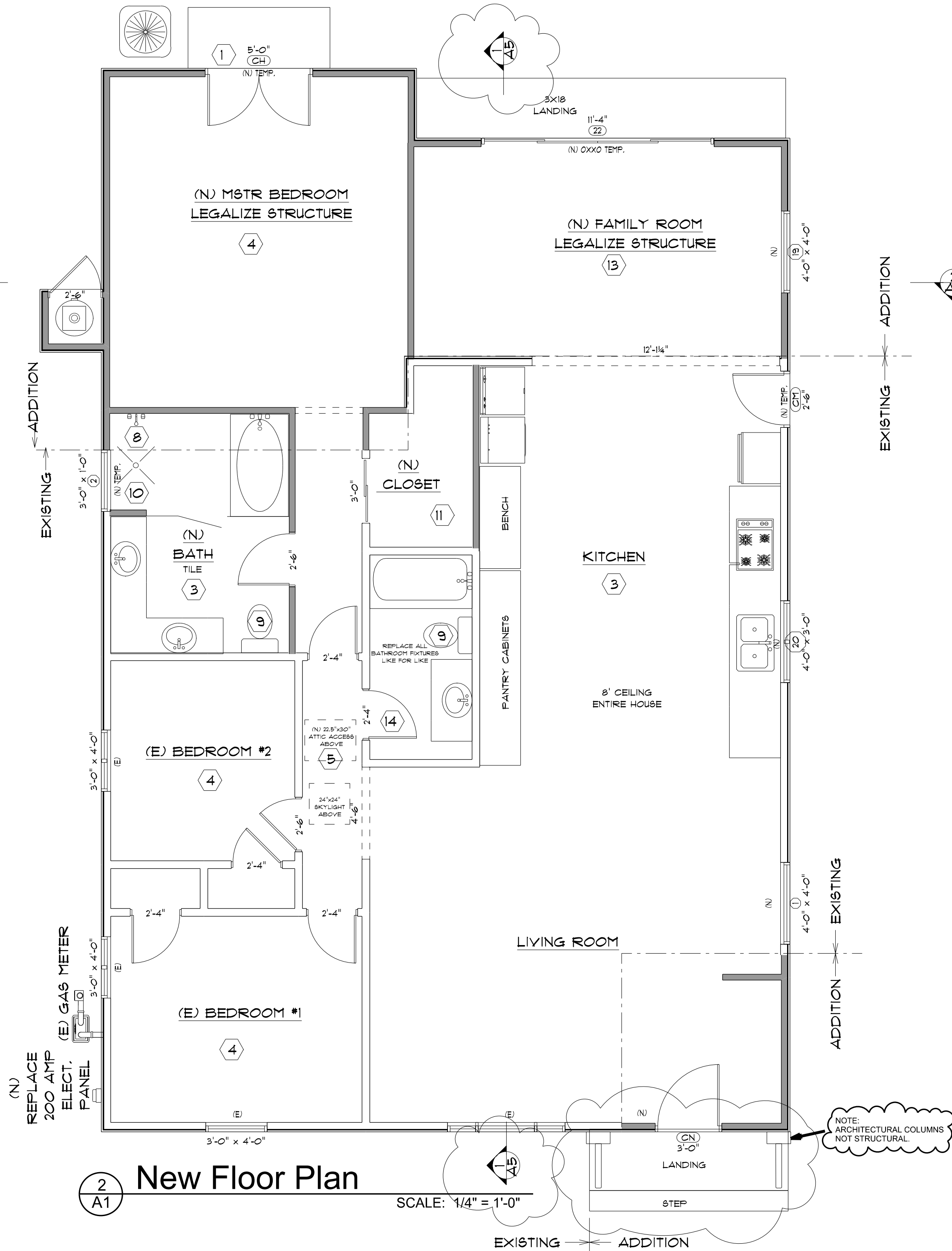
1
A1 Existing Floor Plan w/ Demolition
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

TOP PLATE SPLICING: USE A MINIMUM OF 4 FT. LAP SPLICE WITH (10) 16d'S INTO EACH SIDE OF LAP OR USE ST6224 STRAP ACROSS PLATE BREAKS.

- EGRESS WINDOW
MINIMUM NET OPENING OF 5.7 SQ. FT.
MAXIMUM SILL HEIGHT OF 44"
MINIMUM OPENABLE DIMENSION OF 24" H x 20" W
- AFCI PROTECTION: REQUIRED FOR ALL CIRCUITS.
- GFCI PROTECTION: SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS ON KITCHEN COUNTERTOPS, IN BATHROOMS, GARAGES, OUTDOORS, WITHIN 6' OF LAUNDRY, UTILITY, OR WETBAR, AND IN UNFINISHED BASEMENTS.
- SMOKE DETECTORS: REQUIRED IN ALL BEDROOMS, AT ALL HALLWAYS LEADING TO BEDROOMS, AND AT EACH FLOOR LEVEL, INCLUDING BASEMENTS. SMOKE DETECTORS SHALL BE HARD WIRED TOGETHER IN A SERIES INCLUDING A BATTERY BACKUP. IRC R313
- CARBON MONOXIDE DETECTORS/ ALARMS: REQUIRED ON EVERY HABITABLE LEVEL OF A RESIDENCE THAT CONTAINS A FUEL BURNING APPLIANCE.
- ALTERATIONS, REPAIRS AND ADDITIONS: WHEN INTERIOR REPAIRS OR ALTERATIONS REQUIRING A PERMIT OCCUR, THE DWELLING SHALL BE PROVIDED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS. IN EXISTING CONSTRUCTION, BATTERY TYPE ALARMS MAY BE PROVIDED WHEN HARD WIRING AND INTERCONNECTION IS NOT FEASIBLE.

- WASHER AND DRYER BY OWNER
- SHOWER ENCLOSURE AND DOOR SHALL BE TEMPERED OR LAMINATED SAFETY GLAZING
- WATER CLOSET STOOL SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 36" IN WIDTH AND HAVE A CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL NOT LESS THAN 24" SECTION 2904 OF THE CBC. WATER CLOSETS MUST BE ULTRA LOW FLUSH FIXTURES, WHICH USE NO MORE THAN 1.6 GALLONS PER FLUSH.
- ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF ONE THOUSAND TWENTY-FOUR (1024) SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. THIS MEASUREMENT SHALL BE MAINTAINED TO A POINT 70" ABOVE THE SHOWER DRAIN. SECTION 412.7 OF THE CPC. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MFR'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120°F (49°C). THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISIONS
- SHELF AND POLE
- UPPER / WALL CABINETS
- REPLACE CEILING JOIST THIS AREA MATCH EXISTING 8'-0" CEILING
- ATTIC ACCESS ABOVE WITH LIGHT ON SWITCH AND SERVICE OUTLET. PROVIDE LARGE ACCESS DOOR TO ACCOMMODATE ATTIC MOUNTED MECHANICAL EQUIPMENT.



2
A1 New Floor Plan
SCALE: 1/4" = 1'-0"

Legend

- NEW WALLS**
TOP PLATE SPLICING: USE A MINIMUM OF 4 FT. LAP SPLICE WITH (10) 16d'S INTO EACH SIDE OF LAP OR USE ST6224 STRAP ACROSS PLATE BREAKS.
- EXISTING WALLS TO REMAIN**
- EXISTING EXTERIOR WALL TO REMAIN**
-- EXTERIOR WALL TO BECOME INTERIOR WALL
-- REMOVE EXISTING SIDING
- EXISTING WALLS TO BE DEMOLISHED**
-- SHORE AND BRACE EXISTING ROOF / STRUCTURE AS REQUIRED
-- PATCH AND REPAIR SURROUNDING SURFACES AS REQUIRED
- AREAS OF NEW CONSTRUCTION / ADDITIONS**

Legend

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TO BE DEMOLISHED**
-- SHORE AND BRACE EXISTING
ROOF / STRUCTURE AS REQUIRED
-- PATCH AND REPAIR SURROUNDING SURFACES
AS REQUIRED

**AREAS OF NEW CONSTRUCTION
/ ADDITIONS**

OPENING SCHEDULE

OPENING ID	COUNT	LIBRARY NAME	WIDTH	HEIGHT	TYPE
1	1	Window\Double Hung	4'-0"	4'-0"	WINDOW
19	1	Window\Double Hung	4'-0"	4'-0"	WINDOW
20	1	Window\Double Hung	4'-0"	3'-0"	WINDOW
22	1	Manufacturer\Andersen\400-Frenchwood Gliding Patio Doors	11'-4"	6'-8"	COMBINED UNIT
CH	1	Exterior Door\French	5'-0"	6'-8"	DOOR
CM	1	Exterior Door\Colonial	2'-6"	6'-8"	DOOR
CN	1	Exterior Door\Colonial	3'-0"	6'-8"	DOOR
CS	1	Interior Door\Colonial	2'-6"	6'-8"	DOOR

FLOOR PLAN NOTES:

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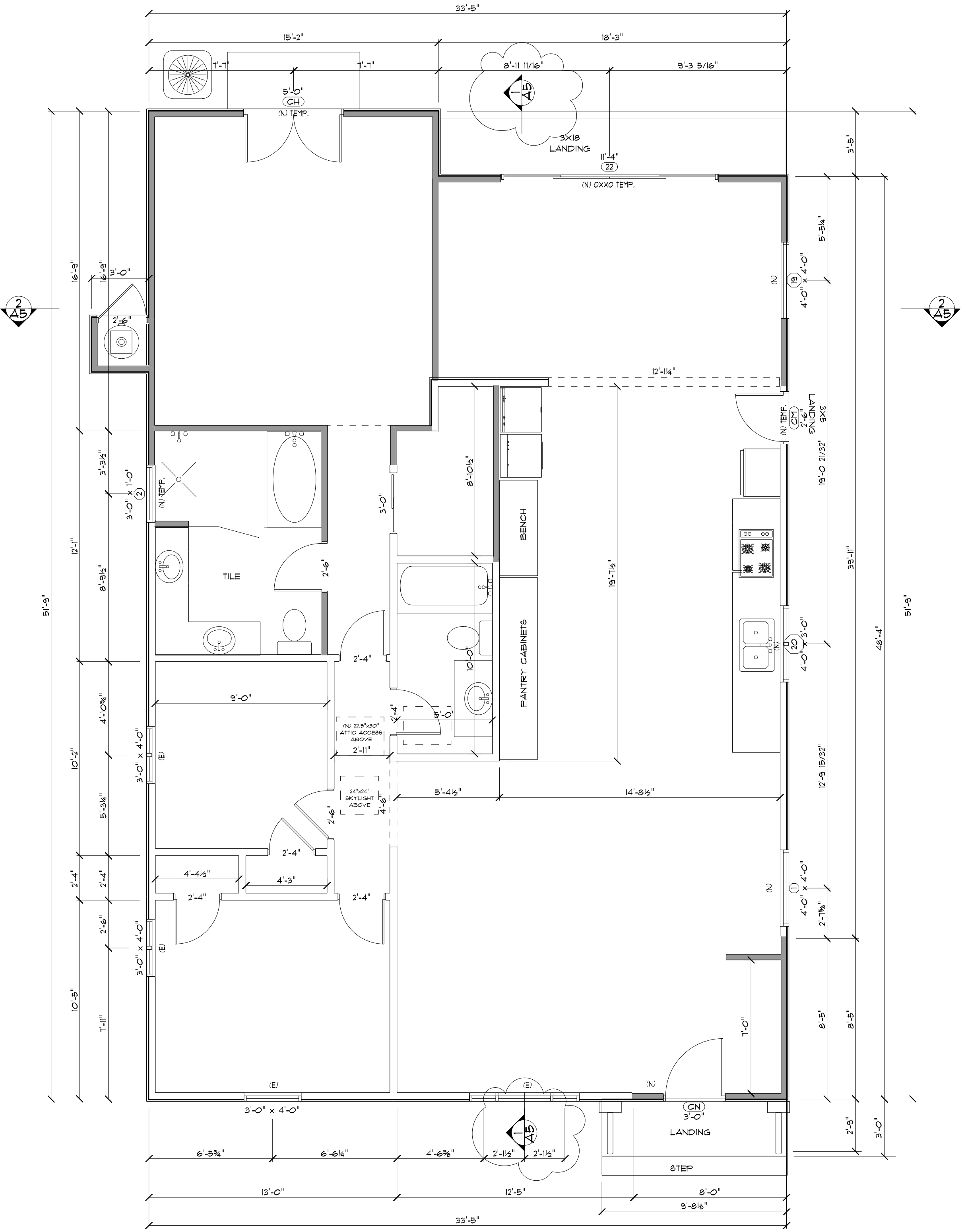
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DESIGNER'S SIGNATURE

Joseph W. Hall
JOSEPH W. HALL
BUILDING DESIGNER
OM DESIGN
8/7/2014

ENGINEER'S SEAL

CADD FOLDER	SOTELO
CADD FILE	A2
DRAWN BY	JW

DIMENSIONS

A-2

ELEVATION NOTES

ROOF

CLASS B ASPHALT SHINGLE ROOF
TO MATCH EXISTING.

STANDARD PREFINISHED METAL GUTTERS AND DOWNSPOUTS.

WINDOWS AND DOORS

WINDOWS: TO BE SELECTED BY OWNER

DOOR HARDWARE TO BE SELECTED BY OWNER.

EXTERIOR FINISHES

FASCIA: OWNER TO SELECT

SHINGLE MOLD: OWNER TO SELECT

SIDING: FIBER CEMENT COMPOSITE

TRIMS: CHOICETRIM (OR EQUAL)

EXTERIOR WINDOW AND DOOR TRIMS: CHOICETRIM (OR EQUAL)

FRIEZE BOARD: 5/4 CHOICETRIM (OR EQUAL) TRIMS.

EAVES: TO MATCH EXISTING

PRIME / PAINT ALL EXTERIOR MATERIALS.

VENTILATION CALCULATIONS

ROOF: 1714/150=11.43 SQ. FT

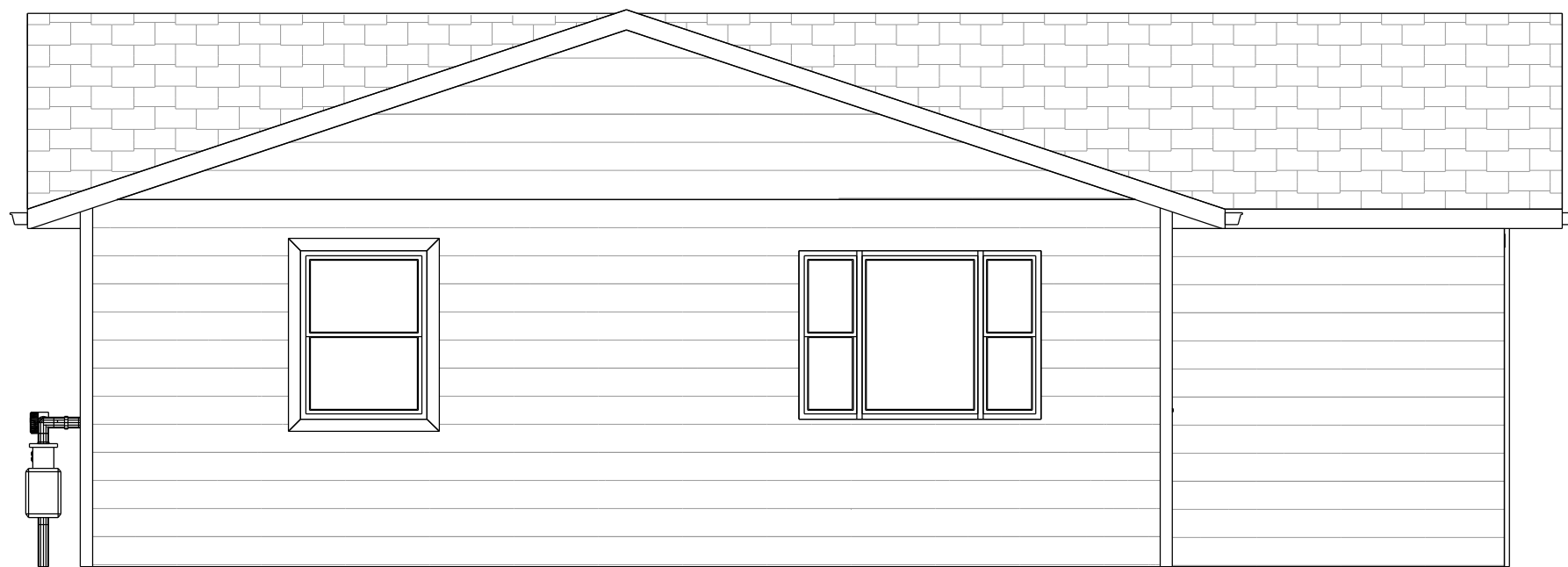
REAR ADDITION: 450/150=3 SQ. FT.

LR ADDITION: 93/150 = .62 SQ. FT

CRAWLSPACE: 1714/150=11.43 SQ. FT

REAR ADDITION: 450/150=3 SQ. FT.

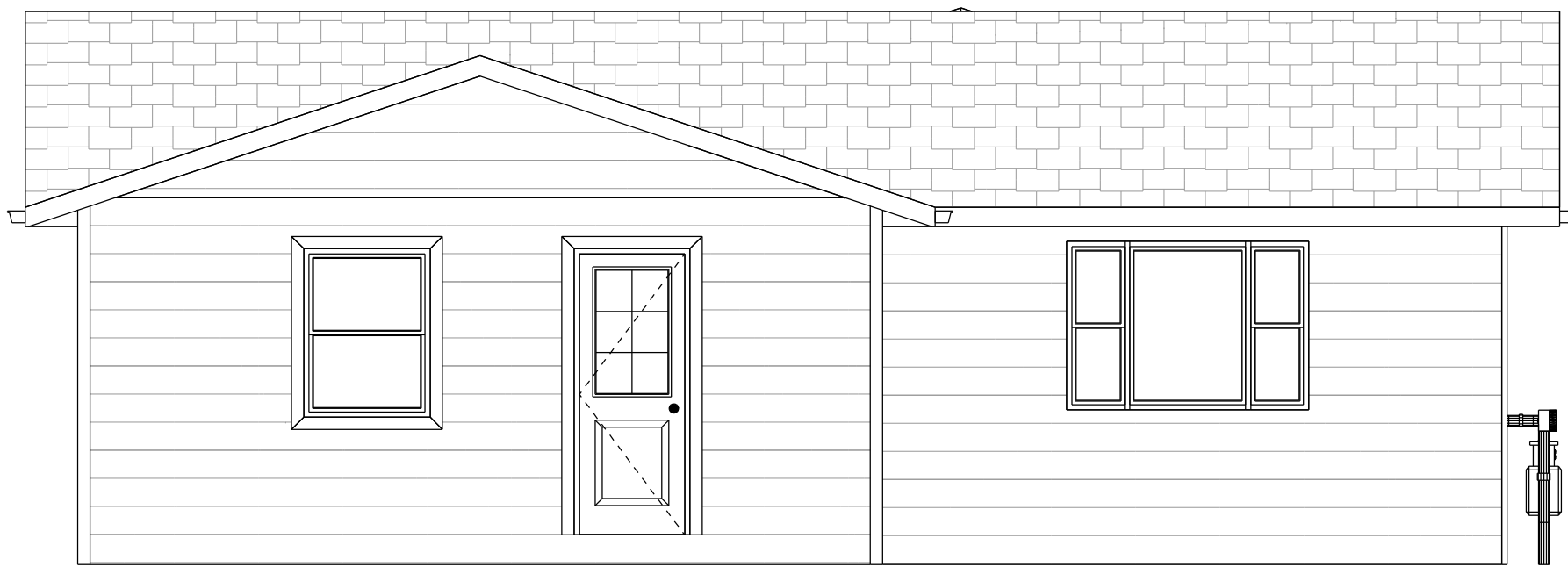
LR ADDITION: 93/150 = .62 SQ. FT



1
A2.2 (E) Front Elevation



5
A2.2 (N) Front Elevation



2
A2.2 (E) Rear Elevation



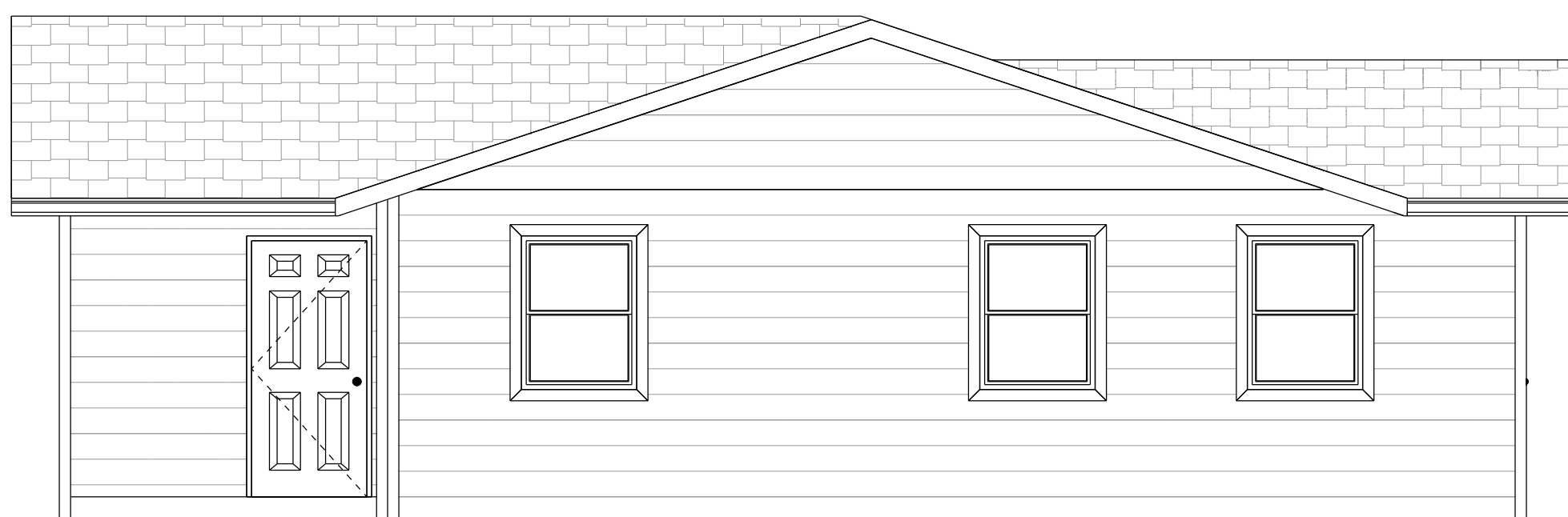
6
A2.2 (N) Rear Elevation



3
A4 (E) Left Elevation



7
A4 (N) Left Elevation



4
A2.2 (E) Right Elevation



8
A2.2 (N) Right Elevation

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SOTELO
RENOVATION

REMODEL WITH
ADDITION
for

ROBERTO
SOTELO

462 E MCKINLEY AVE
SUNNYVALE, CA 94086

RENOVATION
1688 SQ. FT.

REMARKS	DATE
FINAL DWGS	3/18/16
REVISION	4/9/16
REVISION	5/7/16

ALL FIELD CHANGES TO APPROVED
SET OF PLANS SHALL BE FIRST
APPROVED BY THE LOCAL
BUILDING DEPARTMENT. FAILURE
TO PROVIDE CHANGES TO THE
CAUSE FOR THE DEPARTMENT TO
BUILDING DEPARTMENT WILL BE
ISSUE A STOP WORK NOTICE.

DESIGNER'S SIGNATURE

Joseph W. Hall

JOSEPH W. HALL
BUILDING DESIGNER
OM DESIGN

8/7/2014

ENGINEER'S SEAL

CADD FOLDER SOTELO
CADD FILE A2
DRAWN BY JW

ELEVATIONS

A-3

