

MR. AND MRS. KYROLA RESIDENCE

HOUSE ADDITION

798 W. IOWA AVENUE, SUNNYVALE, CA 94086



Innovative Design Architecture, Inc.

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(650) 660-7165

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<div>PROJECT TEAM</div> <div>CLIENT: MR. AND MRS. KYROLA 798 W. IOWA AVENUE, SUNNYVALE, CA 94086 TEL: (650) 660-7165</div> <div>ARCHITECT: IDA, INC. JOHN HA, AIA 510 LAWRENCE EXP. #105 SUNNYVALE, CA 94085 TEL: (408) 245-0991 FAX: (408) 245-0711</div>	<div>DRAWING INDEX</div> <div>ARCHITECTURAL: A-0 TITLE SHEET A-1 SITE PLAN, AREA CALCULATION, GENERAL NOTES A-2.1 PROPOSED FLOOR PLAN A-2.2 CEILING & LIGHTING PLAN A-3.1 ROOF PLAN, BUILDING SECTION, INTERIOR ELEVATION A-3.2 (E) BUILDING ELEVATIONS A-3.3 (N) BUILDING ELEVATIONS A-4.1 ARCHITECTURAL DETAILS A-4.2 ARCHITECTURAL DETAILS A-5 CALGREEN MANDATORY CHECKLIST</div> <div>STRUCTURAL: S-0 STRUCTURAL NOTES S-1 FOUNDATION FRAMING PLAN, STRUCTURAL DETAILS S-2 CEILING JOIST FRAMING PLAN, ROOF FRAMING PLAN, STRUCTURAL DETAILS</div>	<div>SYMBOL</div> <div><div><div><div></div></div><div>DOOR NUMBER DOOR SCHEDULE HARDWARE GROUP</div></div><div><div><div>3</div></div><div>WINDOW TYPE</div></div><div><div><div>3</div></div><div>REVISION NUMBER</div></div><div><div><div></div></div><div>WORK POINT, DATUM POINT OR CONTROL POINT</div></div><div><div><div><div>3</div><div>4.5</div></div></div><div>ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN</div></div><div><div><div><div>3</div><div>4.5</div></div></div><div>SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN</div></div><div><div><div><div>3</div><div>4.5</div></div></div><div>DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN</div></div><div><div><div><div>3</div><div>4.5</div></div></div><div>INTERIOR ELEVATION IDENTIFICATION SHEET WHERE INTERIOR ELEVATION IS DRAWN.</div></div><div><div><div></div></div><div>ROOM NAME ROOM NO. FLOOR SCHEDULE BASE SCHEDULE CEILING SCHEDULE WALL SCHEDULE</div></div></div>	<div>TABULATION</div> <div>APN: 165-04-003 ZONING: O-PD OCCUPANCY GROUP: R-3</div> <div>SITE AREA: 9,808 SF</div> <div>MAXIMUM LOT COVERAGE: 35% MAXIMUM FLOOR AREA RATIO: 35% MAXIMUM HEIGHT: BUILDING: 20 FT (SEE ELEVATION)</div> <div>SETBACKS: FRONT YARD: 20 FT 30'-8" SIDE YARD: 6 FT 6'-0" REAR YARD: 20 FT 6'-0"</div> <div>ADDITION AREA: 155 SF</div> <div>AREA CALCULATIONS IS ON SHEET 1/A1</div> <div>NUMBER OF STORIES: ONE</div> <div>FIRE SPRINKLER SYSTEM: NO</div> <div>CA BUILDING CODE 2013 CA FIRE CODE 2013 CA ELECTRICAL CODE 2013 CA MECHANICAL CODE 2013 CA PLUMBING CODE 2013 CA RESIDENTIAL CODE 2013 CA ENERGY CODE 2013 CA GREEN BUILDING CODE 2013</div> <div>CITY OF SUNNYVALE MUNICIPAL CODE</div>	<div>VICINITY MAP</div> <div></div>																																						
<div>ABBREVIATION</div> <div><table><tr><td>& @ # (E) (R) (N)</td><td>And Angle Centerline Diameter or Round Existing Relocated New</td><td>E.J. ELEC. ELEV. EMER. ENCL. ENGR. E.P. E.OPT. E.W.C. EXST. EXPO. EXP. EXT.</td><td>Expansion Joint Elevation Electrical Elevator Emergency Enclosure Engineer Electrical Panelboard Equal Equipment Electrical Water Cooler Existing Exposed Expansion Exterior</td><td>LAB. LAM. LAV. LKR. LT.</td><td>Laboratory Laminate Lavatory Locker Light</td><td>RWD. R.W.L.</td><td>Redwood Rain Water Leader</td></tr><tr><td>A.B. ACOUS. A.D. ADJ. AGGR. AL. ALT. A.P. APPROX. ARCH. ASB. ASPH. A.F.F.</td><td>Anchor Bolt Acoustical Area Drain Adjustable Aggregate Aluminum Alternate Access Panel Approximate Architectural Asbestos Asphalt Above Finish Floor</td><td>F.A. F.B. F.D. F.O.F. F.O.F. F.F.F. F.S. F.F. F.T. FURR. FUT.</td><td>Fire Alarm Flat Bar Floor Drain Foundation Fire Extinguisher Fire Extinguisher Cab. 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CTR.</td><td>Cabinet Catch Basin Cement Ceramic Cast Iron Corner Guard Construction Joint Ceiling Calking Closet Clear Cased Opening Column Concrete Connection Construction Continuous Corridor Carpet Countersunk Counter Center</td><td>H.B. H.C. H.DWD. HOWE. H.M. HORIZ. HR. HGT.</td><td>Hose Bibb Hollow Core Hardwood Hardware Hollow Metal Horizontal Hour Height</td><td>R. RAD. R.D. REF. REFR. RGTR. REINF. REQ. RESIL. RM. R.O. RUB.</td><td>Riser Radius Roof Drain Reference Refrigerator Register Reinforced Required Resilient Room Rough Opening Rubber</td><td>W. W/ WC. W.C. WD. WF. W.O. W/O. WP. WSC. WT. W.R.</td><td>West With Wall Covering Water Closet Wood Wide Flange Where Occurs Without Waterproof Wainscot Weight Water Resistant</td></tr><tr><td>E. EA. E.B.</td><td>East Each Expansion Bolt</td><td>JAN. JT.</td><td>Janitor Joint Kitchen</td><td></td><td></td><td></td><td></td></tr></table></div>	& @ # (E) (R) (N)	And Angle Centerline Diameter or Round Existing Relocated New	E.J. ELEC. 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BLK. BLKG. BM. BOT.	Bulletin Board Board Bituminous Backing Building Block Blocking Beam Bottom	GA. GALV. G.B. GL. GND. GR. GYP.	Guage Galvanized Grab Bar Glass Ground Grade Gypsum	P.A.D. PRCST. P.LAM. PLAS. PLYWD. P.P. P.T. P.T.D. P.T.D/R PTN P.T.R.	Paint Powder Actuated Device Pre-cast Plastic Laminate Plaster Plywood Pair Point Paper Towel Dispenser Combination Paper Towel Dispenser & Receptacle Partition Paper Towel Reptacle	Q.T. QTY.	Quarry Tile Quantity	CAB. C.B. CBL. CER. C.I. C.J. C.G. CLG. CLKG. CLO. CLR. C.O. COL. CONC. CONN. CONSTR. CONT. CORR. CPT. CTSK CNTR. CTR.	Cabinet Catch Basin Cement Ceramic Cast Iron Corner Guard Construction Joint Ceiling Calking Closet Clear Cased Opening Column Concrete Connection Construction Continuous Corridor Carpet Countersunk Counter Center	H.B. H.C. H.DWD. HOWE. H.M. HORIZ. HR. HGT.	Hose Bibb Hollow Core Hardwood Hardware Hollow Metal Horizontal Hour Height	R. RAD. R.D. REF. REFR. RGTR. REINF. REQ. RESIL. RM. R.O. RUB.	Riser Radius Roof Drain Reference Refrigerator Register Reinforced Required Resilient Room Rough Opening Rubber	W. W/ WC. W.C. WD. WF. W.O. W/O. WP. WSC. WT. W.R.	West With Wall Covering Water Closet Wood Wide Flange Where Occurs Without Waterproof Wainscot Weight Water Resistant	E. EA. E.B.	East Each Expansion Bolt	JAN. JT.	Janitor Joint Kitchen					<div>FIRE DEPARTMENT NOTES</div> <div>COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE SUNNYVALE MUNICIPAL CODE (SMC), CALIFORNIA FIRE CODE (CFC), TITLE 19 CALIFORNIA CODE OF REGULATIONS, AND SUNNYVALE FIRE PREVENTION PROCEDURES/REQUIREMENTS.</div>	<div>GENERAL NOTES</div> <div><div>BY EXECUTING CONTRACTS, CONTRACTOR AND SUBCONTRACTORS REPRESENT THAT THEY HAVE: A. VISITED THE SITE AND ITS SURROUNDING AND MADE DUE ALLOWANCES FOR DIFFICULTIES AND CONTINGENCIES. B. COMPARED DRAWINGS WITH EXISTING CONDITIONS AND INFORMED THEMSELVES OF CONDITIONS TO BE ENCOUNTERED, INCLUDING WORK BY OTHERS, IF ANY, BEING PERFORMED; AND C. NOTIFIED THE ARCHITECT OF AMBIGUITIES, INCONSISTENCIES, AND ERRORS THEY HAVE DISCOVERED WITHIN DRAWINGS OR BETWEEN SCOPE AND EXISTING CONDITIONS.</div><div>FAILURE TO VISIT THE SITE AND BECOME FAMILIAR WITH CONDITIONS SHALL NOT RELIEVE CONTRACTOR OR A SUBCONTRACTOR FROM FURNISHING MATERIALS OR COMPLETING THE WORK IN ACCORDANCE WITH PLANS AND OTHER CONTRACT DOCUMENT AT NO ADDITIONAL COST.</div><div>CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO CONDITIONS THEY CAN DETERMINE BY EXAMINING THE SITE AND PLANS AND OTHER CONTRACT DOCUMENTS.</div><div>CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO AMBIGUITIES, INCONSISTENCIES OR ERRORS WITHIN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS, WHEN SUCH AMBIGUITIES, INCONSISTENCIES, OR ERROR ARE KNOWN TO CONTRACTOR OR SUBCONTRACTOR BEFORE CONTRACT EXECUTION UNLESS CONTRACTOR OR SUBCONTRACTOR HAS NOTIFIED THE OWNER IN WRITING OF SUCH CONDITION BEFORE EXECUTION OF AGREEMENT BETWEEN OWNER AND CONTRACTOR.</div><div>CONTRACTOR SHALL ACCEPT THE SITE AND THE EXISTING SURROUNDING IN THE CONDITIONS IN WHICH THEY EXIST AT THE TIME THE CONTRACTOR IS GIVEN ACCESS TO BEGIN THE WORK.</div><div>DAMAGE CAUSED BY CONTRACTOR TO EXISTING STRUCTURES, AND WORK BY OTHERS SHALL BE REPAIRED BY CONTRACTOR AND LEFT IN AS GOOD CONDITIONS AS EXISTING BEFORE THE DAMAGE, UNLESS SUCH EXISTING WORK IS SHOWN TO BE REMOVED OR REPLACED BY NEW WORK.</div><div>COMPLETE DOCUMENTATION OF EXISTING CONSTRUCTION IS NOT AVAILABLE. DIMENSIONS, LAYOUT, EXISTING MATERIALS, AND CONCEALED CONDITIONS HAVE NOT NECESSARILY BEEN VERIFIED AND AREA NOT REPRESENTED TO BE ACCURATE BEYOND THE LEVEL NECESSARY TO DEFINE THE APPROXIMATE SCOPE OF SURFACE RENOVATION AND SYSTEM REPLACEMENT.</div></div> <div>ADDRESS NUMBERS: ADDRESSES SHOULD BE CLEARLY MARKED AND VISIBLE FROM THE STREET.</div>
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REVISIONS:

PLANNING COMMENTS, 05/10/2016

PLANNING COMMENTS, 06/10/2016

SHEET TITLE:

TITLE SHEET

DATE 04/26/2016 PROJECT NO. 16-1B25

SCALE AS SHOWN DRAWN JH/GY

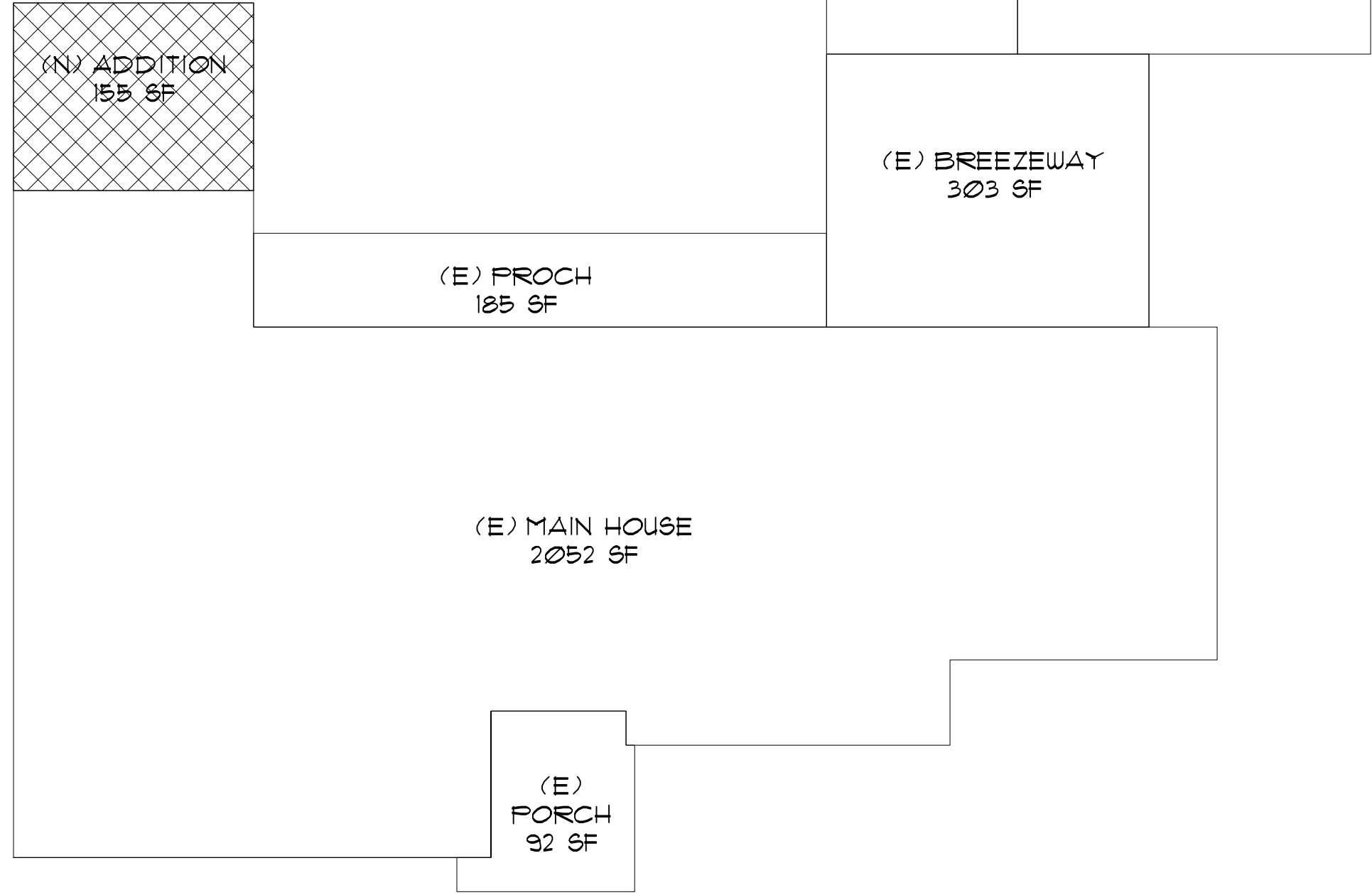
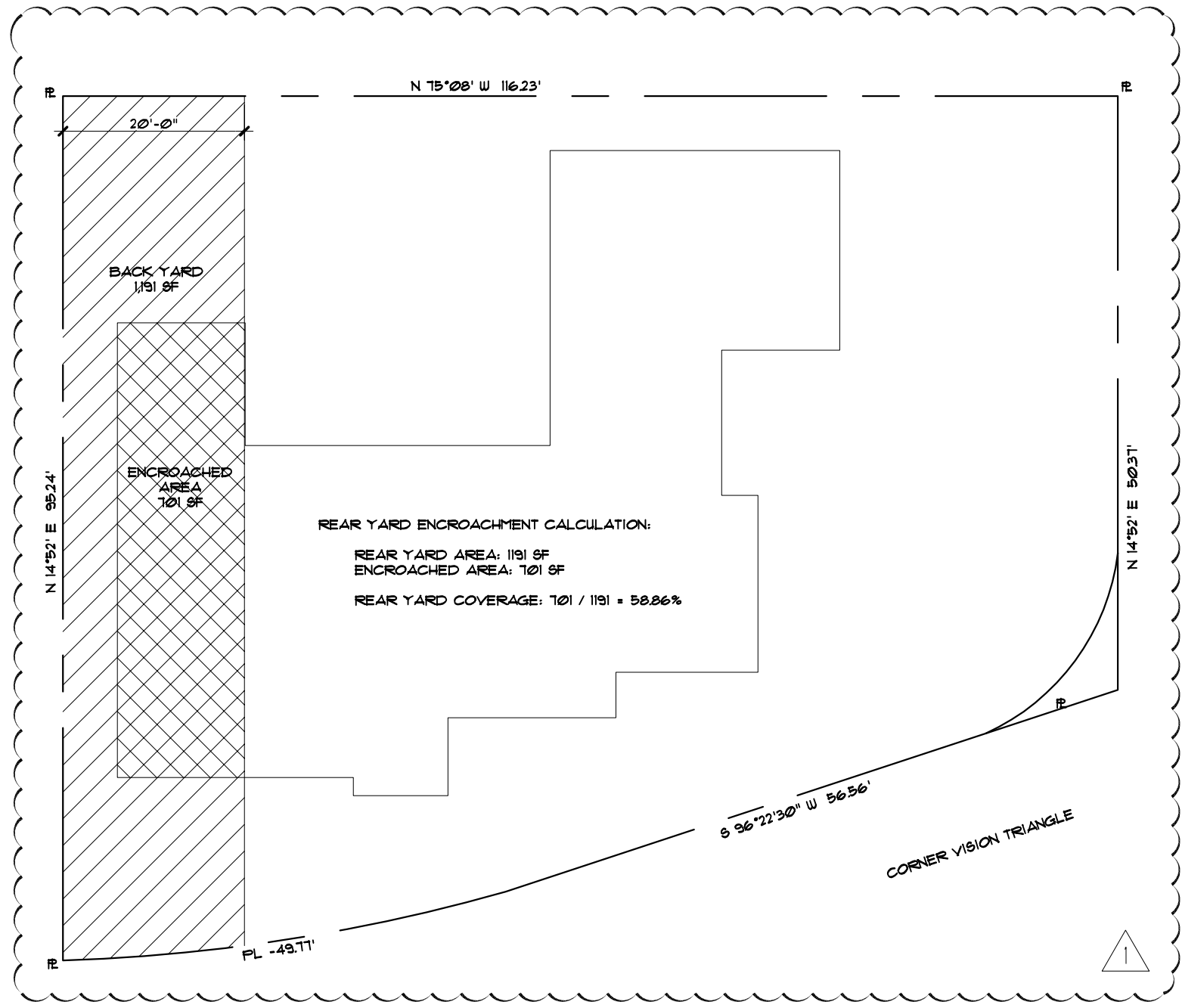
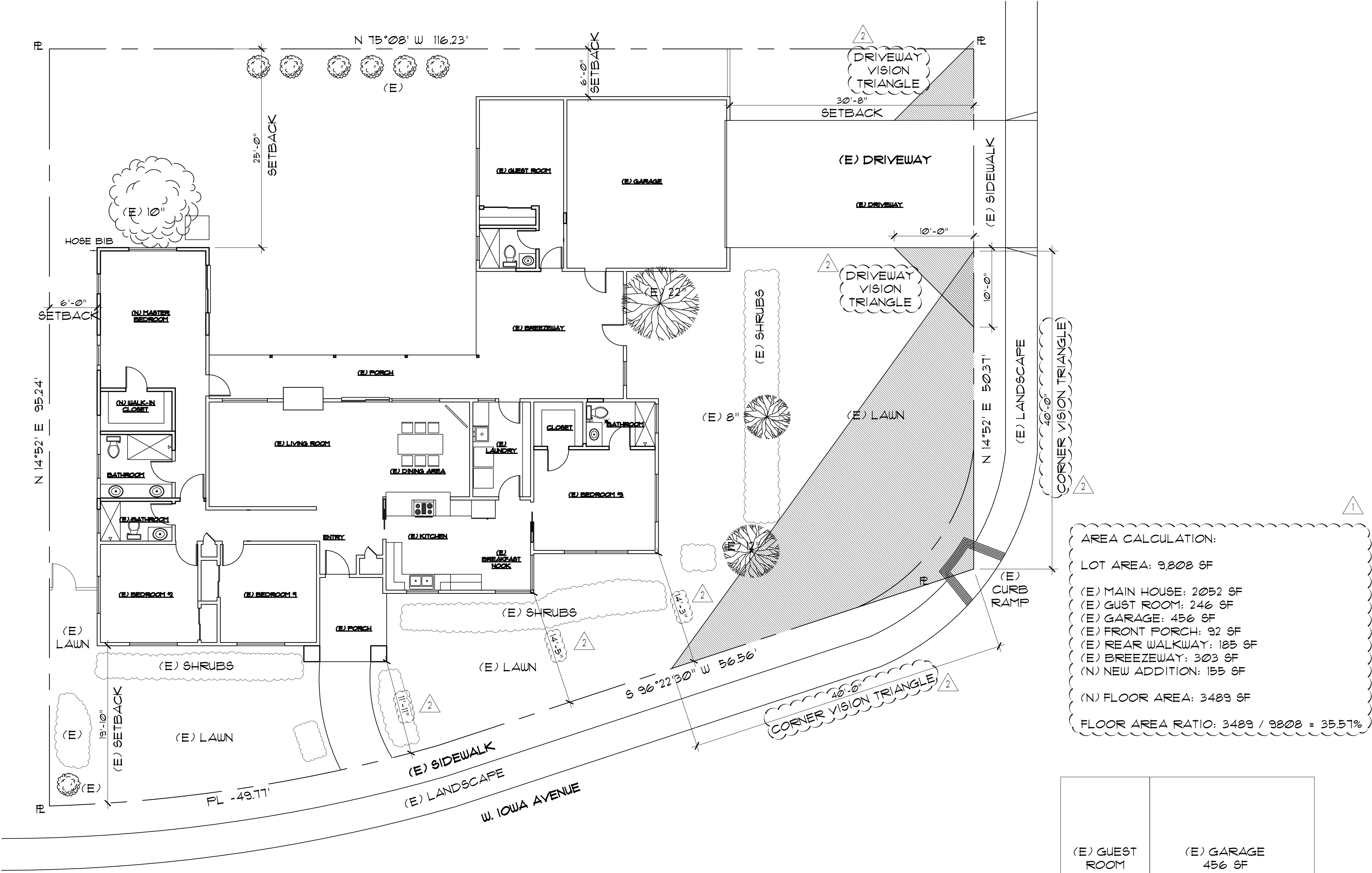
SHEET

A-0

OF SHEETS

- NOTES:
1. PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10' O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES, CRC R302.11.
 2. AN APPROVED BACKWATER VALVE IS REQUIRED FOR DRAINAGE PIPING SERVING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLD COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THRU. THE BACKWATER VALVE. CLEAN OUTS FOR DRAINS THAT PASS THRU. A BACKWATER VALVE SHALL BE CLEARLY IDENTIFIED W/A PERMANENT LABEL STATING "BACKWATER VALVE DOWNSTREAM."
 3. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR CLOSER THAN 18" OR WOOD GIRDERS CLOSER THAN 12" TO THE EXPOSED CRAWL SPACE SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY, CRC R317.1 (1).
 4. FIELD-CUTTING ENDS, NOTCHES AND DRILLED HOLES OF RESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPFA M4.
 5. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY, CRC R317.2(2).
 6. MIN. SLOPE OF SEWER LINE AND DRAINAGE PIPING IS 2%.
 7. ISOKERN 48" GAS FIREPLACE (ICC * ER-5017) OR APPROVED EQUAL, PROVIDE MIN. 20" DEEP NON-COMBUSTABLE HEARTH & SURROUNDS, FUEL GAS LOOSE KEY LOG LIGHTER AND GLASS DOORS-INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 8. ALL BATHTUB AND SHW, SHOULD COMPLY WITH CRC R307.2 AND R702.4.2. TYP.
 9. GRANITE TILE ON HEARTH & FACE. FIREPLACE MANTLE TO BE DESIGNED & PRICED DEPARATELY.
 10. FIREPLACE & CHIMNEY SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTING AND THE MANUFACTURING'S INSTRUCTION AS SPECIFIED IN THE MECHANICAL CODE. FIREPLACE SHALL BE A LISTED GAS APPLIANCE.
 11. FIRE PLACE VALVES SHALL BE LOCATED OUTSIDE OF THE REQUIRED HEARTH AREA BUT NOT MORE THAN 48" AWAY (CPC 1211.7)
 12. GRANITE TILE ON HEARTH & FACE. FIREPLACE MANTLE TO BE DESIGNED & PRICED SEPARATELY.
 13. WOOD STAIRS TO BE DESIGN-BUILT BY CONTRACTOR W/ 10" TREAD MIN. & 1.75" RISE MAX.
WINDER TREADS MEASURED 12" FROM THE NARROW SIDE, & MIN. 10" TREAD DEPTH.
 14. ALL HOSE BIBS MUST BE PROTECTED BY AN ANTI SIPHON DEVICE, CPC 603.1
 15. ALL ELECTRICAL BOXES SHALL HAVE RATING FOR 1 HOUR FIRE-RESISTANCE.
 16. WATER-RESISTANT GYPSUM BOCKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS.
 17. NONABSORBENT SURFACE TO A HEIGHT OF 12" ON ALL TUB/SHOWER WALLS.

- NOTES:
1. TYPICAL ALL PLUMBING WALLS BEARING WALLS AND WALL EXCEED 10'-0" HIGH SHALL BE 2X6 DF #2 STUDS @ 16" O.C.
 2. ALL PLUMBING WALLS TO BE 2'X6' @ 16" O.C.
 3. ALL WALLS TO BE SMOOTH FINISH
 4. CONTRACTOR TO INCLUDE ALL FINISH AND COLOR SPECIFIED BY OWNER AND INTERIOR DESIGNER.
 5. ADD 3/8" CDX PLYWOOD THROUGH-OUT @ OUTSIDE FACE OF WALL.
 6. CONTRACTOR TO INCLUDE INSULATION OF CLOSET ORGANIZER. (SELECTED BY OWNER)
 7. CONTRACTOR TO VERIFY ALL OWNER'S APPLIANCE MANUAL SPEC. PRIOR TO CONSTRUCTION.
 8. DESIGN BUILT CABINET TO FIT
 9. CONTRACTOR TO VERIFY W/ OWNER'S INTERIOR DESIGNER FOR MATERIAL SELECTION AND COLOR PRIOR TO FINAL PRICING AND CONSTRUCTION.
 10. ALL INTERIOR, DOOR, WINDOW SIDE, HEAD AND SILL TO BE WOOD MOLDING.
 11. PROVIDE 5/8" TYPE "X" GYP. BD. @ ALL WALLS AND CEILING IN STORAGE RM UNDER STAIR
 12. FURNACE COMBUSTION AIR TO COMPLY WITH 602 CMC
 13. WATER HEATER / FURNACE SHOULD BE STRAPPED & RAISED 18" OFF THE FLOOR PER CPC / CMC
 14. THE CEILING IN GARAGE AND FURNACE AND FLUES SHALL COMPLY WITH CBC CHAPTER 3
 15. VENTILATION @ LAUNDRY & WATER CLOSET ROOM TO COMPLY WITH CBC CHAPTER 3
 16. ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20".
 17. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR. PER CRC R310.1, R310.1.1 R310.1.3
 18. EXTERIOR CONCRETE LANDING TO COMPLY 2013 CRC R311.3
 19. ATTIC VENTILATION TO COMPLY 2013 CRC R206.2
 20. CRAWL SPACE VENTILATION TO COMPLY CRC R408.2
 21. FIRE PLACE TO COMPLY ICBO #3501 FM1
 22. ALL BATH ROOM LIGHTS SHALL BE FLUORECENT LIGHTS.
 23. ALL SHOWER OR TUB GLASS DOOR SHALL BE TEMPERED GLASS.
 24. ALL BATHTUB AND SHOWER SHOULD COMPLY WITH CRC R307.2 AND R702.4.2. TYP.
 25. GROUND ADJACENT TO THE FOUNDATION SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET MEASURE PERPENDICULAR TO THE FACE OF THE FOUNDATION WALL. (2013 CRC R401.3)



Innovative Design Architecture, Inc.

IDA

JOHN HA, AIA

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REVISIONS:	
<div><div></div><div>CITY COMMENTS, 05/18/2016</div></div>	
SHEET TITLE: PROPOSED FLOOR PLAN	
DATE 04/26/2016	
PROJECT NO. 16-1B25	
SCALE AS SHOWN	
DRAWN JH/GY	
SHEET	
A-2.1	
OF SHEETS	

- NOTES:
- PROVIDE FIRE BLOCKING IN CONCEALED SPACES 10' O.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, CONCEALED SPACES BETWEEN STAIR AND LANDING, OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS AND FIREPLACES, CRC R302.11.
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 - FIELD-CUTTING ENDS, NOTCHES AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4.
 - ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" TO THE EXPOSED GROUND SHALL BE PRESSURE TREATED OR NATURALLY DURABLE TO DECAY, CRC R311.2(2).
 - MIN. SLOPE OF SEWER LINE AND DRAINAGE PIPING IS 2%.
 - ISOKERN 48" GAS FIREPLACE (ICC * ER-5011) OR APPROVED EQUAL, PROVIDE MIN. 20" DEEP NON-COMBUSTABLE HEARTH & SURROUNDS, FUEL GAS LOOSE KEY LOG LIGHTER AND GLASS DOORS-INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 - ALL BATHTUB AND SHOWER SHOULD COMPLY WITH CRC R301.2 AND R102.42. TYP.
 - GRANITE TILE ON HEARTH & FACE. FIREPLACE MANTLE TO BE DESIGNED & PRICED DEPARATELY.
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 - FIRE PLACE VALVES SHALL BE LOCATED OUTSIDE OF THE REQUIRED HEARTH AREA BUT NOT MORE THAN 48" AWAY (CFC 1211.17)
 - WOOD STAIRS TO BE DESIGN-BUILT BY CONTRACTOR W/ 9" THREAD MIN. AND 8" RISE MAX, 6" MIN. Ø SMALLER TREAD SIDE, 12" FROM EDGE OF STAIRS TO HAVE MIN. 9" THREAD.
 - ALL HOSE BIBS MUST BE PROTECTED BY AN ANTI SIPHON DEVICE, CFC 603.1
 - ALL ELECTRICAL BOXES SHALL HAVE RATING FOR 1 HOUR FIRE-RESISTANCE.
 - WATER-RESISTANT GYPSUM BOARDING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS.
 - NONABSORBENT SURFACE TO A HEIGHT OF 12" ON ALL TUB/SHOWER WALLS.

LEGEND

EXTERIOR WALL
2X WOOD STUDS @ 16" O.C. W/ ½" THK. GYP. BD. INTERIOR SIDE ¾" CEMENT PLASTER OVER PAPER BACKED LATH OVER ½" CDX PLYWOOD OR ¾" CDX PLAYWOOD PER SHEAR WALL LAYOUT ON STRUCTURAL PLANS. SEE ELEVATIONS FOR EXTERIOR FINISH

INTERIOR WALL
2X WOOD STUDS @ 16" O.C. W/ ½" THK. GYP. BD. ON BOTH SIDES
USE W/R GREEN GYP. BD. @ WET WALLS (CDX PLYWOOD OVER STUD @ SHEAR WALLS. SEE STRUCTURAL DRAWINGS)

EXTERIOR WINDOW

HEATING REGISTER ON THE FLOOR

MIRROR

DUPLEX 110VAC OUTLET

240V ELECTRICAL RECEPTACLE

5/8" HOSE BIB

EXHAUST FAN

TELEPHONE JACK

INTERNET JACK

TV CABLE JACK

EMERGENCY OPENING

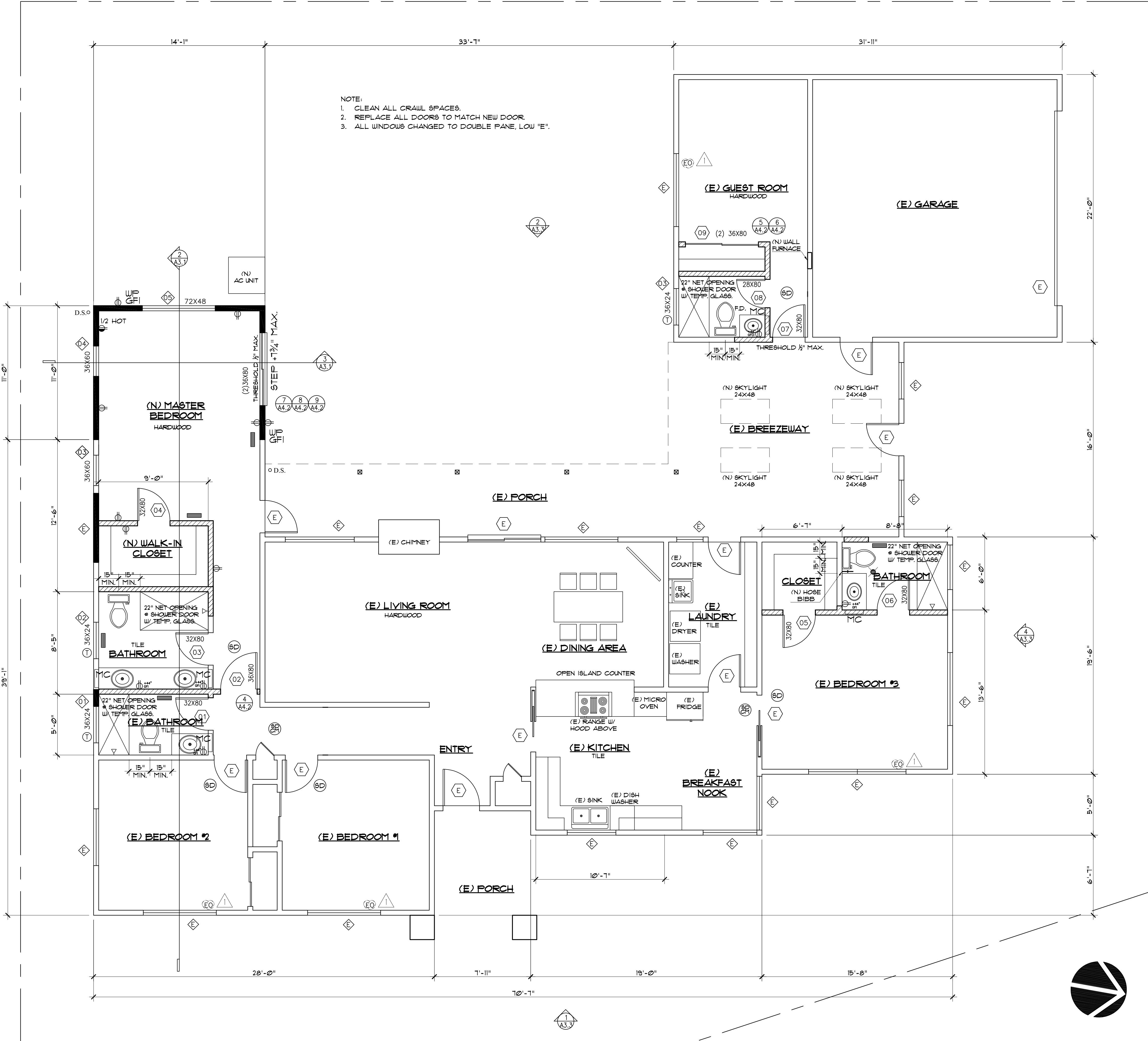
TEMP. GLASS

110V HOT WIRE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP, INTERLOCK W/ SD/CM

110V HOT WIRE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP, INTERLOCK W/ SD

MEDICINE CABINET

PROPOSED FLOOR PLAN



JOHN HA, AIA
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SUITE # 105
SUNNYVALE, CA 94085
TEL: (408) 245-0991
TEL: (408) 245-0711

OWNER:
AAPO KYROLA

798 W. IOWA AVENUE
SUNNYVALE, CA 94086

(650) 660-7165

MR. & MRS. KYROLA RESIDENCE

HOUSE ADDITION

798 W. IOWA AVENUE
SUNNIVALE, CA 94086

REVISIONS:

 CITY COMMENTS, 05/18/2016

SHEET TITLE:

CEILING & LIGHTING PLAN

DATE
04/26/2016

PROJECT NO.
16-1525

SCALE
AS SHOWN





DRAWN
JH/GY

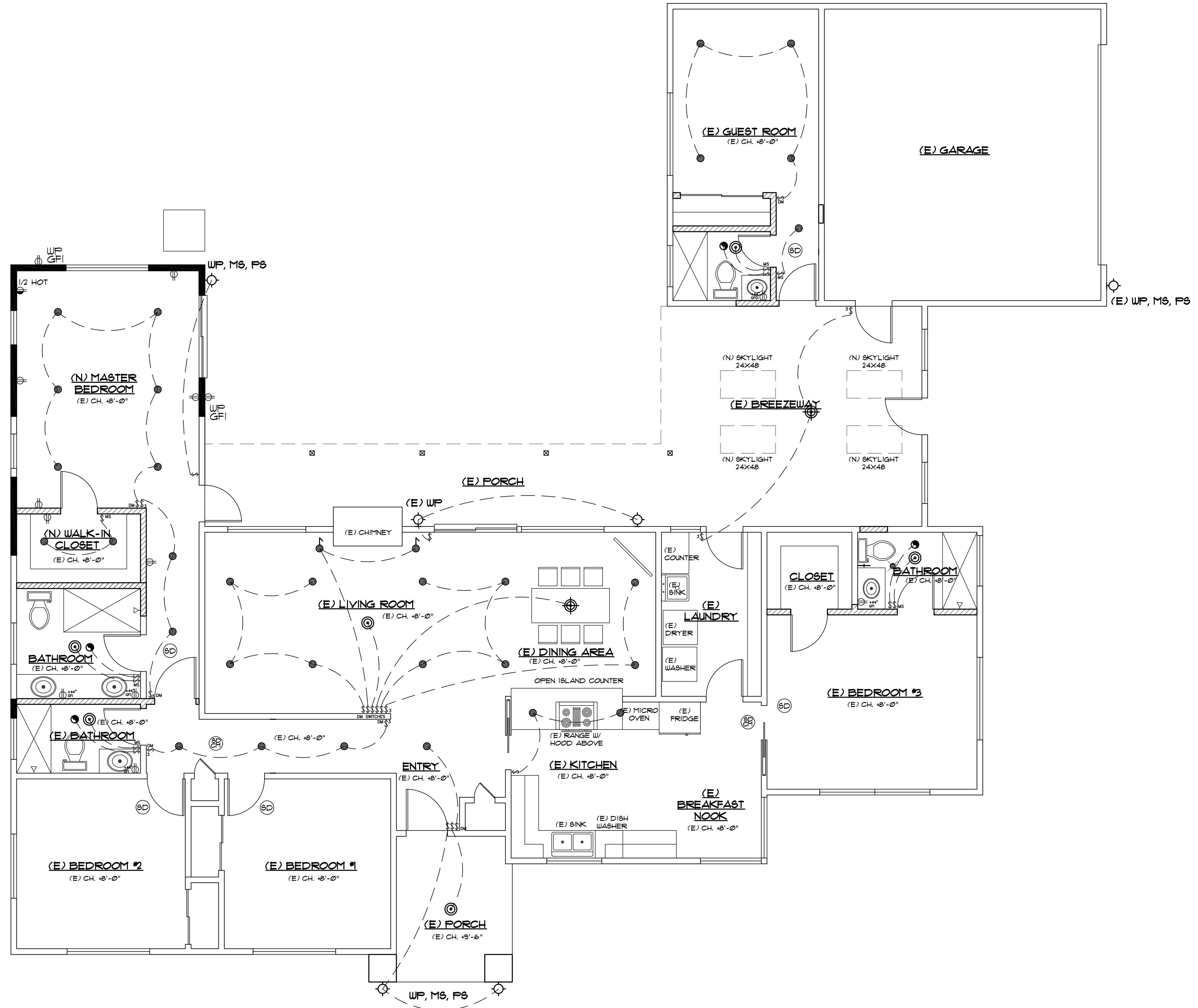
SHEET

A-2.2

OF SHEETS

LEGEND

- | | |
|---|--|
|  | 8W LED LIGHT (L-1) |
|  | CEILING MOUNT LIGHT (L-2) |
|  | EXTERIOR WALL MOUNTED SCONCE |
|  | EXHAUST FAN -- VENT DIRECTLY TO OUTSIDE AIR.
W/ BACK DRAFT DAMPER |
| W/P | WATER PROOF FIXTURE / TRIM |
| GFI | GFI (GROUND FAULT INTERRUPTER) FIXTURE |
| DM | DIMMER |
| MS | MOTION DETECTOR |



IDA

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HOUSE ADDITION

798 W. IOWA AVENUE
SUNNYVALE, CA 94086

REVISIONS:

1

A4.1

CITY COMMENTS, 05/18/2016

SHEET TITLE:

ROOF PLAN
BUILDING SECTIONS
INTERIOR ELEVATION

DATE
04/26/2016

PROJECT NO.
16-1B25

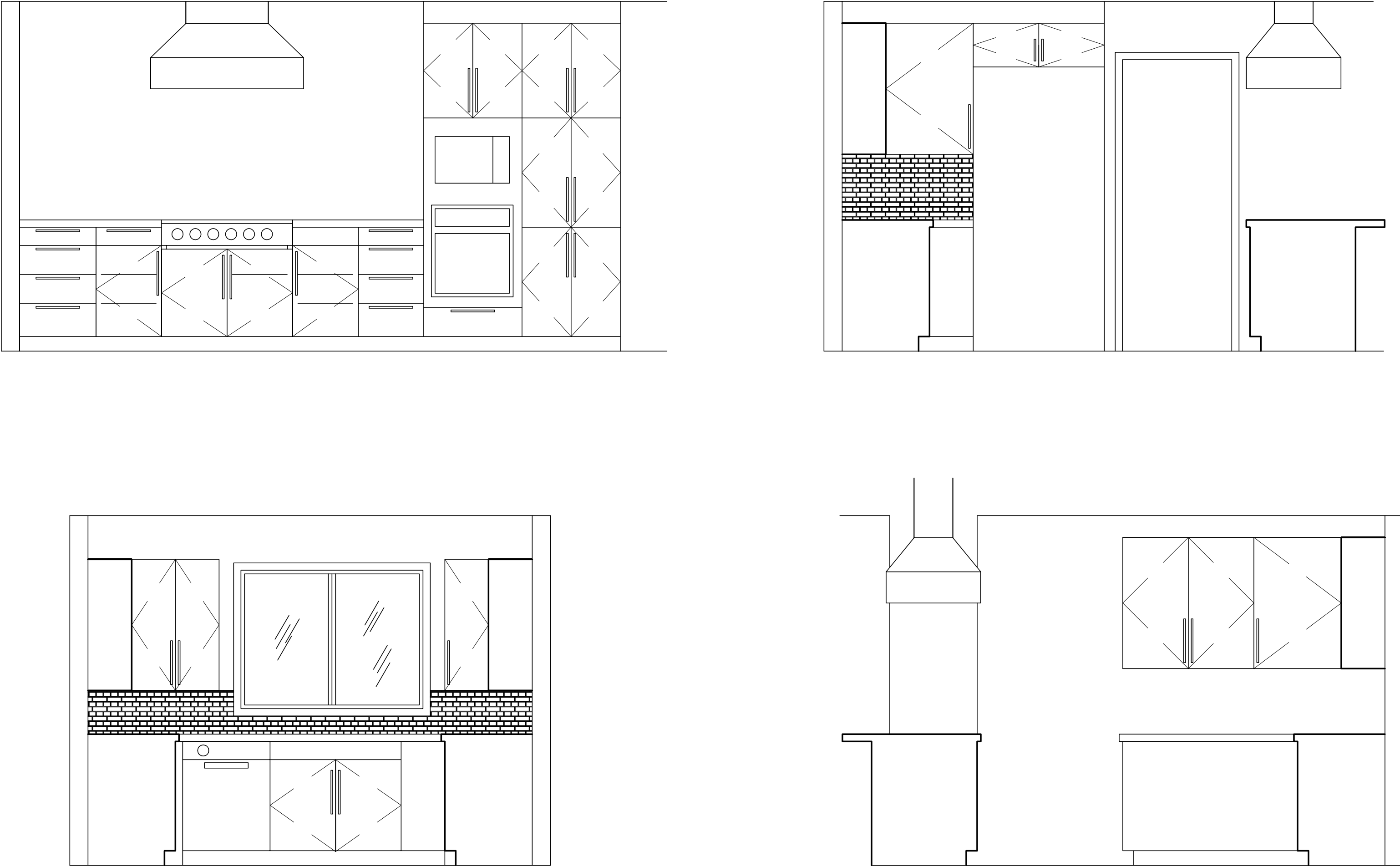
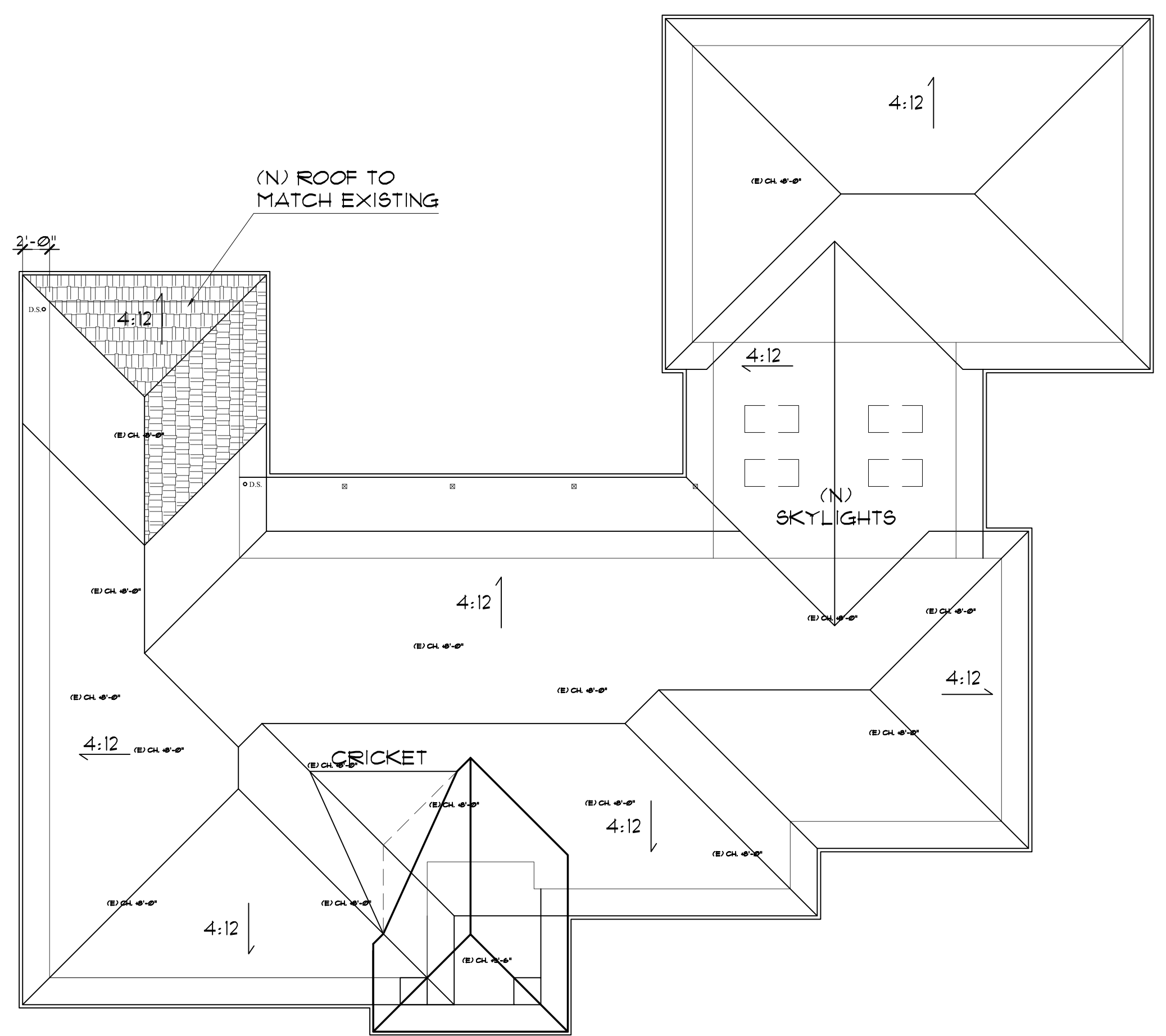
SCALE
AS SHOWN

DRAWN
JH/GY

SHEET

A-3.1

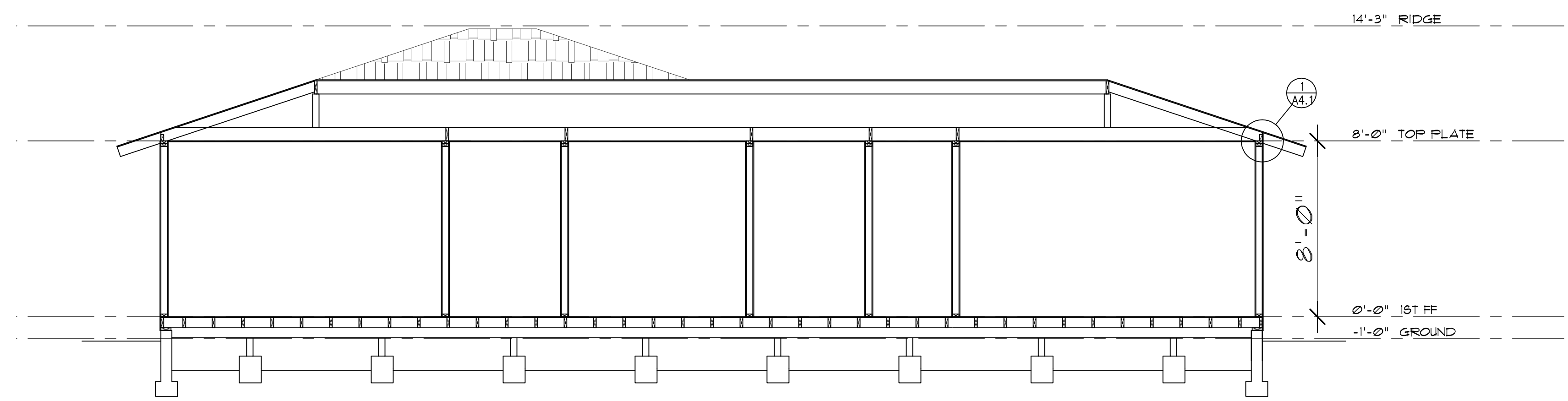
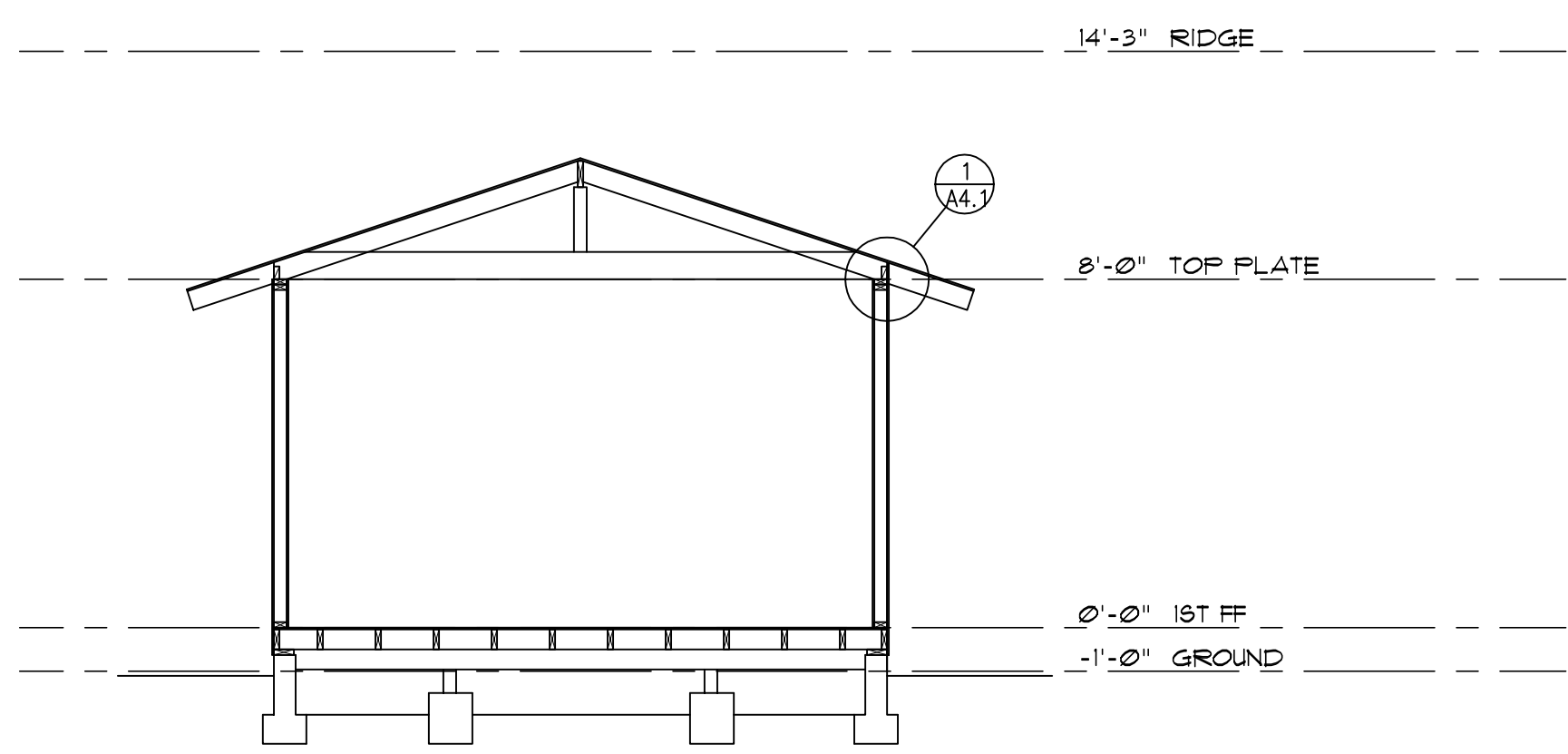
OF SHEETS



KITCHEN INTERIOR ELEVATIONS

1/2" 4 ROOF PLAN

1/8" 1



BUILDING SECTON

1/4" 3 BUILDING SECTION

1/4" 2

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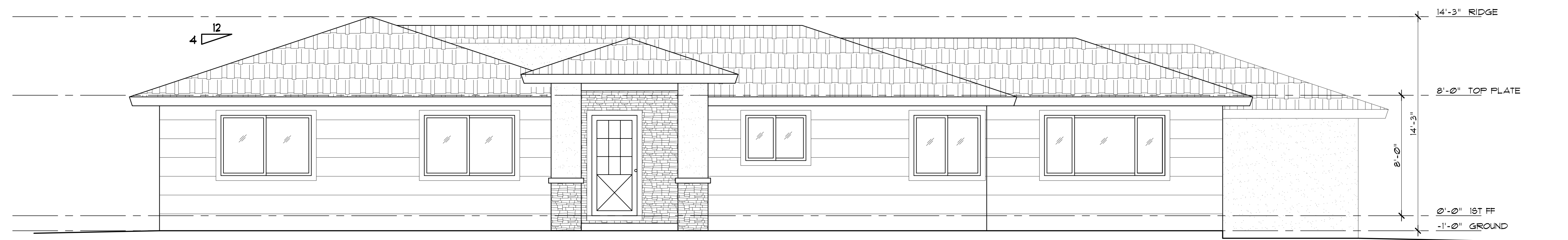
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HOUSE ADDITION

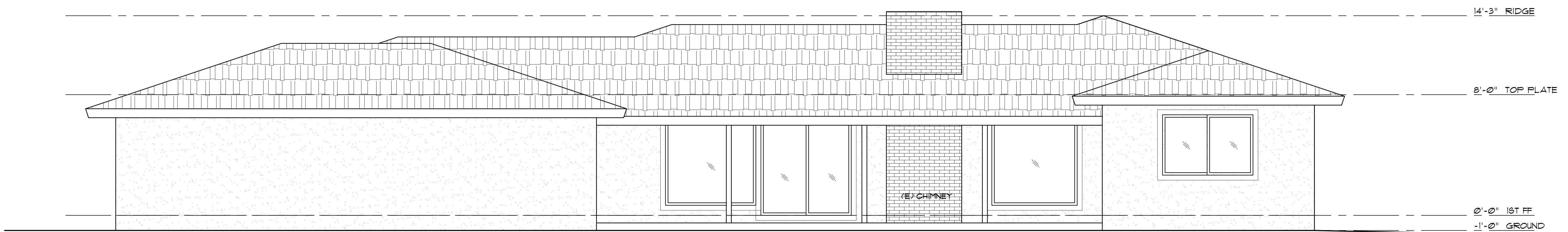
798 W. IOWA AVENUE
SUNNUVALE, CA 94086

REVISIONS:	
⚠	CITY COMMENTS, 05/18/2016
⚠	PLANNING COMMENTS, 06/10/2016
SHEET TITLE: EXISTING BUILDING ELEVATIONS	
DATE 04/26/2016	PROJECT NO. 16-1B25
SCALE AS SHOWN	DRAWN JH/GY
SHEET	
A-3.2	
OF SHEETS	



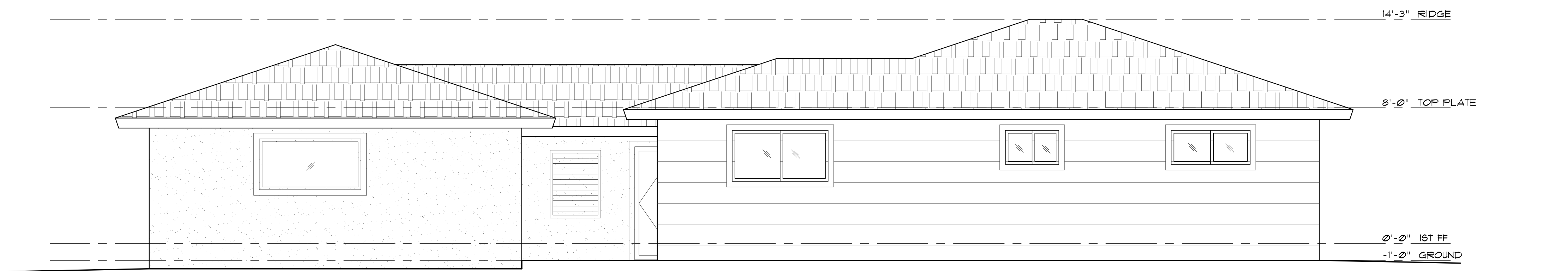
(E) FRONT ELEVATION

1/4" 1



(E) REAR ELEVATION

1/4" 2



(E) LEFT ELEVATION

1/4" 3



(E) RIGHT ELEVATION

1/4" 4

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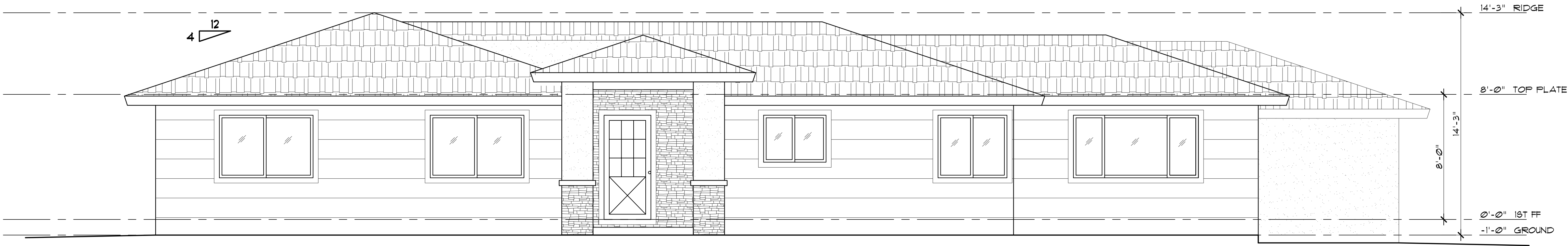
OWNER:
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SUNNYVALE, CA 94086
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HOUSE ADDITION

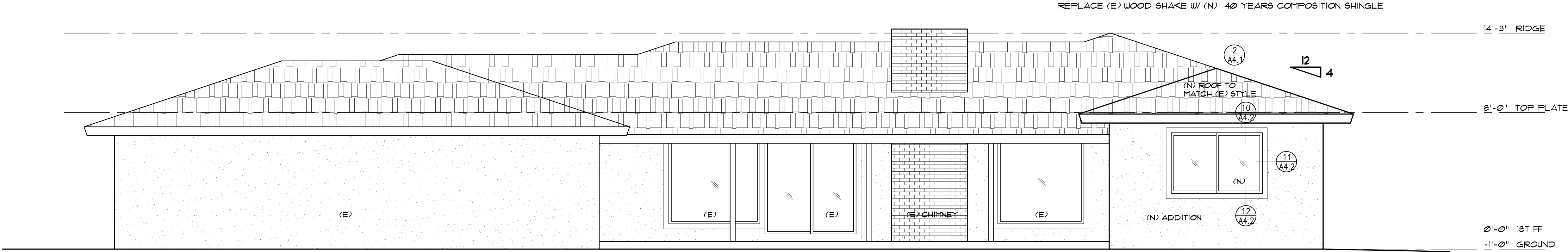
798 W. IOWA AVENUE
SUNNUVALE, CA 94086

REVISIONS:	
	CITY COMMENTS, 05/18/2016
	PLANNING COMMENTS, 06/20/2016
SHEET TITLE: NEW BUILDING ELEVATIONS	
DATE 04/26/2016	PROJECT NO. 16-1B25
SCALE AS SHOWN	DRAWN JH/GY
SHEET	
A-3.3	
OF SHEETS	



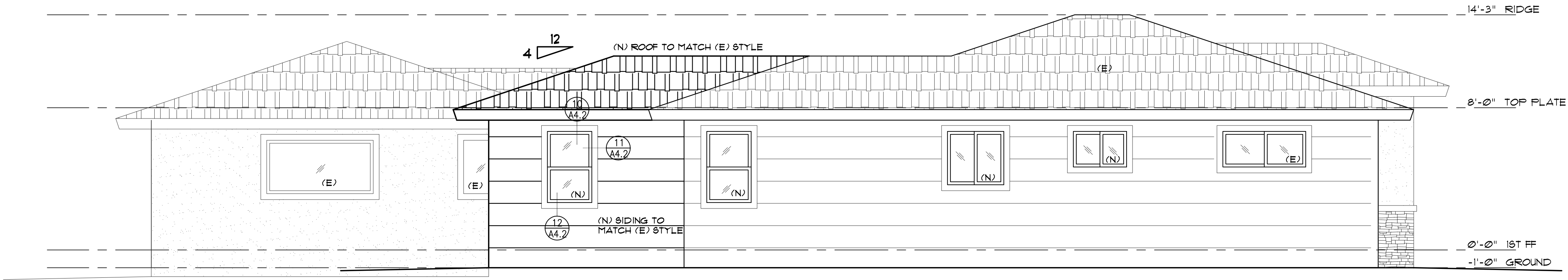
(E) FRONT ELEVATION (NO CHANGE)

1/4" 1



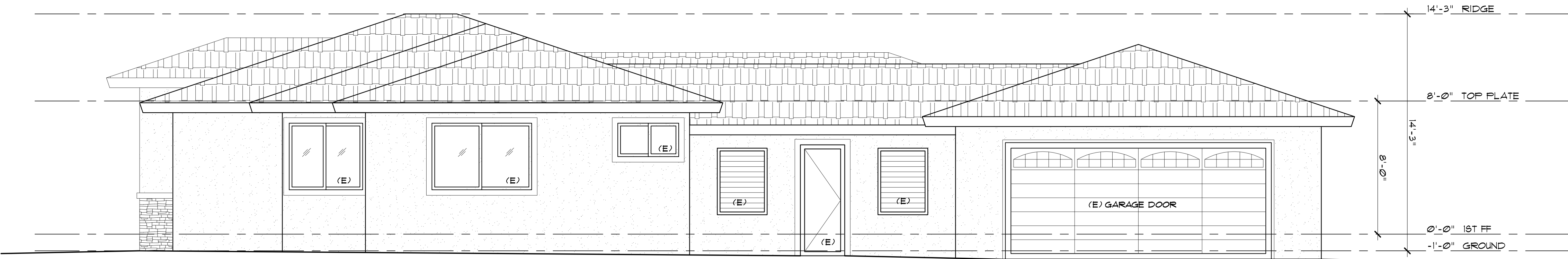
(N) REAR ELEVATION

1/4" 2



(N) LEFT ELEVATION

1/4" 3



(N) RIGHT ELEVATION

1/4" 4