

CHEUNG  
PROJECT

523 CARROLL STREET,  
SUNNYVALE, CA 94087



20370 TOWN CENTER LN  
SUITE 139  
CUPERTINO, CA 95014  
408.865.0577

# CHEUNG PROJECT



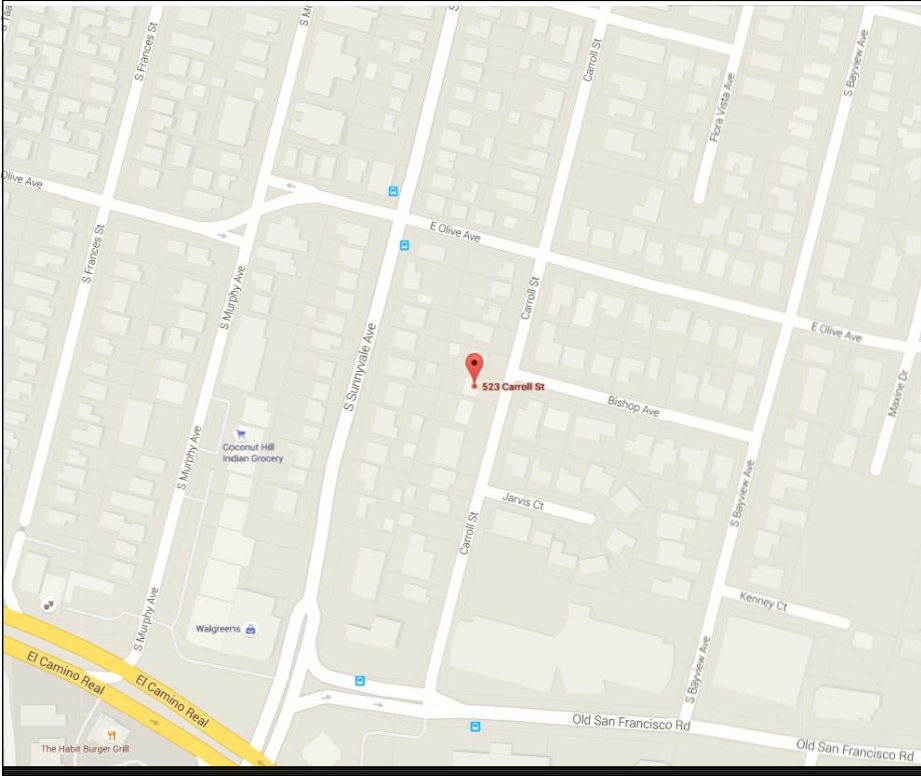
SUNNYVALE . CALIFORNIA

## PROJECT INFO

## PROJECT DATA

## SHEET INDEX

## GENERAL NOTES



### VICINITY MAP

#### GENERAL INFORMATION

PROPERTY ADDRESS: APN: DESCRIPTION OF WORK:	523 CARROLL ST. SUNNYVALE, CA 94087 209-31-007 <N> 2 STORY HOUSE WITH GARAGE
ARCHITECT OF RECORD:	SUSAN CHEN 20370 TOWN CENTER LN, SUITE 139 CUPERTINO, CA 95070 408.865.0577
ZONING: OCCUPANCY GROUP: TYPE OF CONSTRUCTION: STORIES:	R-O R-3 TYPE V-B TWO STORY'S

LOT SIZE WITHOUT STREET SIDE EASEMENT:	6,339.3 SQ.FT.
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#### SET-BACK INFORMATION

SETBACK:	REQUIRED:	PROPOSED:
FRONT	20'-0"	20'-1"
SIDE MIN. COMBINED 11'-0"	4'-0"	5'-0"
REAR	20'-0"	43'-3"
MAX. HEIGHT	30'-0"	24'-9"

#### NOTES

ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.

FLOOR CALCULATION	
HOUSE DESIGN DATA	
FIRST FLOOR	1,701 SQ.FT.
SECOND FLOOR	1,054 SQ.FT.
GARAGE / BASEMENT STAIR	402 SQ.FT.
EXCLUDED SQUARE FOOTAGE NOTE COVERED	
FRONT COVERED ENTRY	124 SQ.FT.
CHIMNEY	8 SQ.FT.
REAR BALCONY	52 SQ.FT.
F.A.R. CALD: 45% 2,852.6 SQ.FT.	
F.A.R. MODIFICATION	49.4% @ 3,157 SQ.FT.
(N) TOTAL BUILDING AREA ON SITE	3,157 SQ.FT.
LOT COVERAGE	
(N) FIRST FLOOR FOOT PRINT	2,101 SQ.FT.
(N) PORCH	124 SQ.FT.
(N) SECOND BALCONY OVERHANG	67 SQ.FT.
(N) CHIMNEY	8 SQ.FT.
TOTAL:	2,313 SQ.FT.
TOTAL LOT COVERAGE 36.3% @ 2,302 SQ.FT.	
LANDSCAPING	
LANDSCAPE PLAN WILL BE A DEFERRED SUBMITTAL PER THIS PROJECT AND WILL INCLUDE NEW IRRIGATION PLAN FENCING REPAIR PLAN AND PLANT TYPES	

CODE & REGULATION
ALL WORK TO COMPLY WITH THE 2013 C.R.C., C.B.C., C.M.C., C.P.C. & 2013 C.E.C., CALIFORNIA TITLE 24 AMENDMENTS, AND CITY OF SUNNYVALE MUNICIPAL CODE.
BUILDING CODE USED PERFORM THE WORK ACCORDING TO THE BUILDING CODES, ORDINANCES AND LAWS OF THE AUTHORITY HAVING JURISDICTION OF THE PROJECT WHICH INCLUDE BUT ARE NOT LIMITED TO:
A. 2013 CALIFORNIA BUILDING CODE B. 2013 CALIFORNIA RESIDENTIAL CODE C. 2013 CALIFORNIA MECHANICAL CODE D. 2013 CALIFORNIA PLUMBING CODE E. 2013 CALIFORNIA ELECTRICAL CODE F. 2013 CALIFORNIA FIRE CODE G. 2013 CALIFORNIA GREEN BUILDING STANDARD CODE F. CITY OF SUNNYVALE MUNICIPAL CODE

ARCHITECTURAL
A-0.0 COVER SHEET
A-1.0 SITE PLAN
A-2.0 PROPOSED FLOOR PLAN
A-3.0 PROPOSED ELEVATION
A-3.1 CROSS SECTIONS
A-4.0 BLOCK DIAGRAM / SOLAR STUDY

#### STRUCTURAL

ADDITIONAL NOTES:
THE ROOF WILL COMPLY WITH COOL ROOF REQUIREMENTS OF THE 2013 C.E.C. 2013 110.8
NFPA 13D AUTOMATIC SPRINKLER SYSTEM WILL BE INSTALLED. PLANS TO BE DEFERRED
FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.
INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION. (2010 CMC 303.1 AND 2013 CPC 310.4)
PROPERTY LINE SURVEY WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.
BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.

LANDSCAPE PLAN TO BE A DEFERRED SUBMITTAL PER THIS PROJECT DURING CONSTRUCTION. THIS HAS TO BE APPROVED PRIOR THE FINAL INSPECTION AT THE PROJECT SITE.

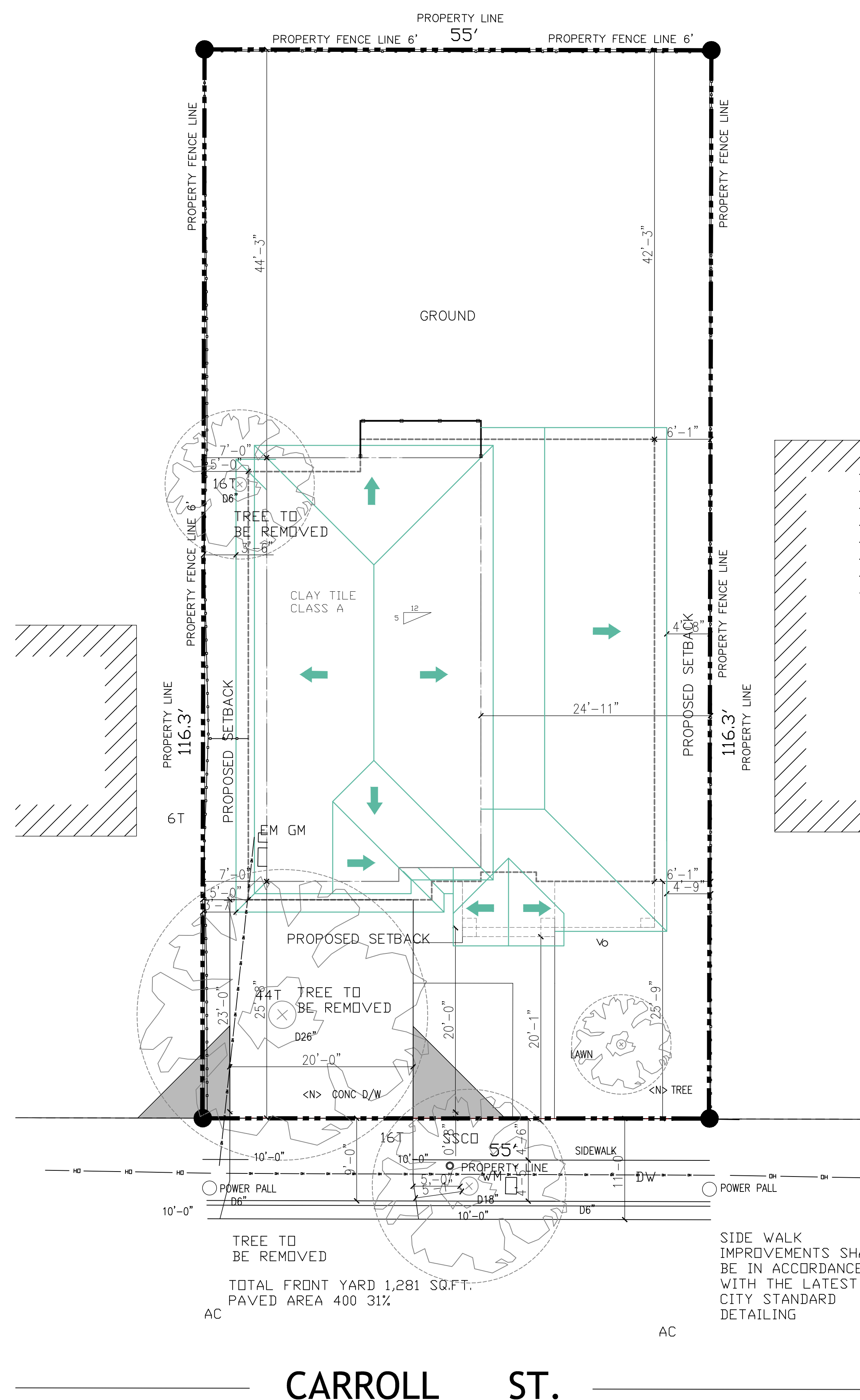
1. WORKING HOURS: NO WORK SHALL COMMENCE ON THE JOB SITE PRIOR TO 7:00 A.M. NOR CONTINUE LATER THAN 7:00 P.M., MONDAY THROUGH FRIDAY, 9:00 A.M. NOR CONTINUE LATER THAN 6:00 P.M. SATURDAY AND 10:00 A.M. - 6:00 PM ON SUNDAY AND HOLIDAYS.
2. GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING, OR GRADING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN REROUTING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. G. C. SHALL MAINTAIN ALL ELECTRICAL AND COMMUNICATION SYSTEMS IN HOUSE AT ALL TIMES.
3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES, AND REGULATIONS. G. C. SHALL BECOME FAMILIAR WITH ALL CITY OF BURLINGAME ASPECTS OF WORKING. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND EXECUTION OF THE WORK SHOWN OR IMPLIED IN THE CONSTRUCTION DOCUMENTS AND IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND PROCEDURES.
4. GENERAL CONTRACTOR SHALL COORDINATE ALL FACETS OF HIS WORK AND ALL TRADES INVOLVED TO AVOID CONFLICT IN THE LOCATION, INSTALLATION, AND CONSTRUCTION OF ALL ITEMS OF WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS. IF ANY WORK IS TO BE INSTALLED BY THE OWNER DIRECTLY, ALLOWANCES FOR THE OWNER'S WORK MUST BE MADE. COORDINATE WITH ARCHITECT / OWNER.
5. GENERAL CONTRACTOR SHALL LEAVE THE JOB SITE "BROOM CLEAN" AT THE END OF EACH WORKING DAY. ALL MATERIALS SHALL BE STORED IN A NEAT AND SAFE PLACE TO AVOID ACCIDENTS, FOR CONSTRUCTION AND FOR THE OWNER.
6. IN CASE OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS, CONSULT THE ARCHITECT BEFORE PROCEEDING.
7. NO DIMENSIONS SHALL BE TAKEN BY SCALING FROM THE DRAWINGS. DETAILS TAKE PRECEDENCE OVER GENERAL SECTIONS OR FLOOR PLANS. IF DIMENSIONS MUST BE CLARIFIED, CONSULT THE ARCHITECT. REFER TO THE COVER SHEET FOR DIMENSIONING STANDARDS.
8. VERIFY ALL DIMENSIONS ON THE JOB SITE PRIOR TO ORDERING OR MANUFACTURING.
9. GENERAL CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL DRAWINGS BEFORE FRAMING. COORDINATE RECESSED LIGHT FIXTURE LOCATIONS, SHAFTS, AND HVAC DUCTWORK PRIOR TO FRAMING. IT IS IMPERATIVE THAT FRAMING MEMBER LOCATIONS DO NOT CONFLICT WITH LOCATIONS OF RECESSED LIGHT FIXTURES. IF CONFLICT EXISTS, NOTIFY ARCHITECT.
10. GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS. ALL GUARANTEES, INSTRUCTION BOOKLETS, AND INFORMATION REGARDING NEW EQUIPMENT SHALL BE HANDED DIRECTLY TO THE OWNER IN ONE MANILA ENVELOPE AT THE TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL VERIFY THAT EVERY PIECE OF EQUIPMENT AND EVERY APPLIANCE IS IN PERFECT WORKING ORDER AND THAT INFORMATION ABOUT ALL WARRANTIES AND GUARANTEES IS MADE KNOWN TO THE OWNER.
11. THE INSTALLER OF EACH MAJOR UNIT OF WORK IS REQUIRED TO INSPECT THE SUBSTRATE AND CONDITIONS TO RECEIVE WORK AND SHALL REPORT ALL UNSATISFACTORY CONDITIONS TO THE GENERAL CONTRACTOR AND NOT PROCEED UNTIL SATISFACTORY CONDITIONS ARE ATTAINED.
12. FOR MOUNTING HEIGHTS NOT CLEARLY OUTLINED IN THE PLANS OR SCHEDULES, COORDINATE WITH THE ARCHITECT. ARCHITECT SHALL CONFIRM ALL ELECTRICAL DEVICE AND LIGHT FIXTURE LOCATIONS BEFORE CONTRACTOR PULLS WIRE.
13. PROVIDE SOLID BLOCKING AS NECESSARY FOR WALL MOUNTED SHELVES, FIXTURES, AND FITTINGS, EVEN WHEN WORK IS TO BE DONE BY OWNER DIRECTLY. REVIEW SCOPE OF WORK AND LOCATIONS FROM INTERIOR ELEVATIONS AND COORDINATE WITH OWNER/ARCHITECT.
14. ALL FASTENING DEVICES TO BE CONCEALED, UNLESS OTHERWISE SHOWN.
15. WEATHER-STRIP ALL EXTERIOR DOORS AND WINDOWS.
16. CAULK OR OTHERWISE SEAL AROUND ALL OPENINGS TO LIMIT INFILTRATION, INCLUDING BUT NOT LIMITED TO: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
17. GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WATERTIGHT. ALL JOINTS EXPOSED TO THE ELEMENTS SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO SUBSTANTIAL COMPLETION.

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#### SITE PLAN

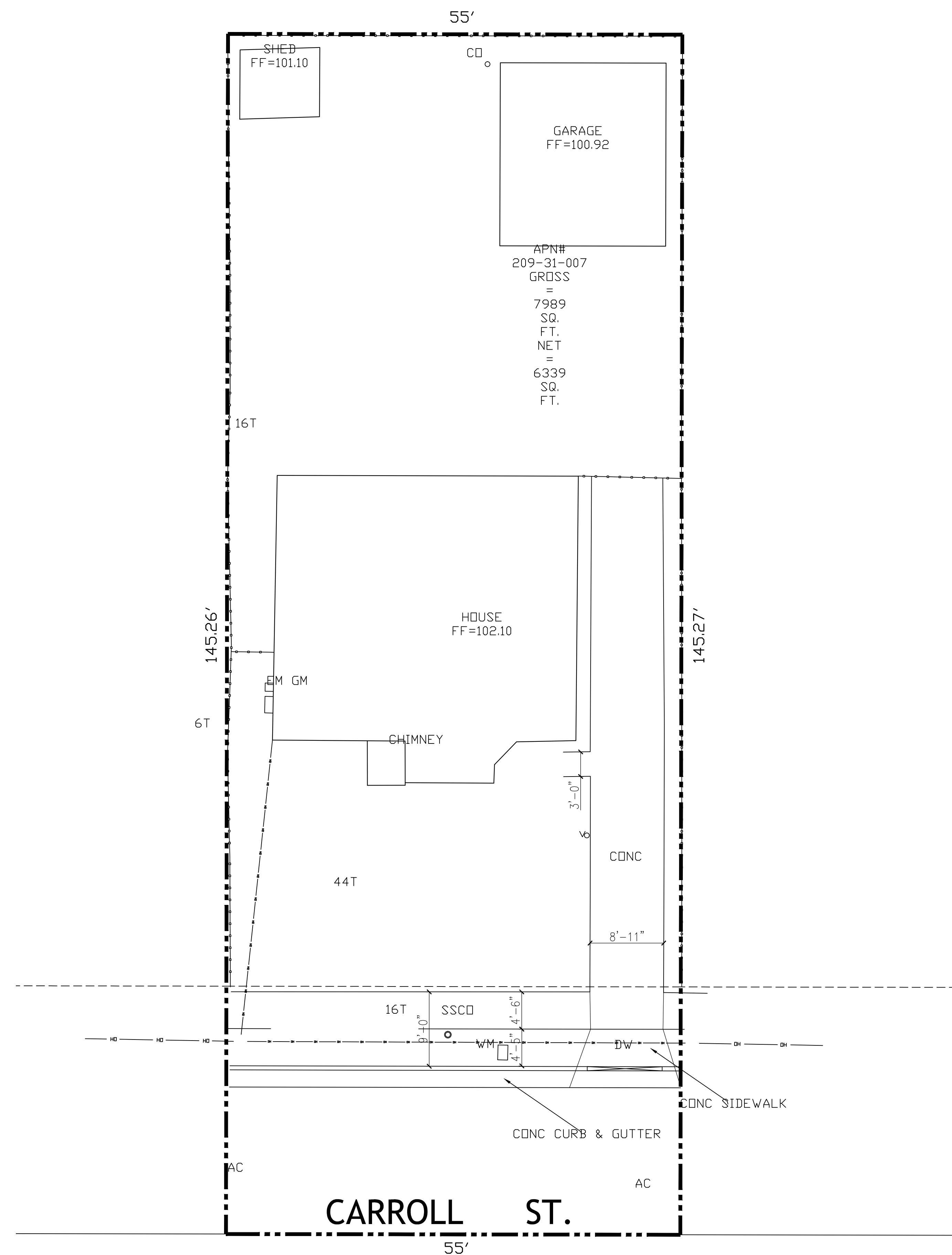
A-0.0



## 1.3 PROPOSED SITE PLAN

SCALE:  $\frac{1}{8}'' = 1'-0''$

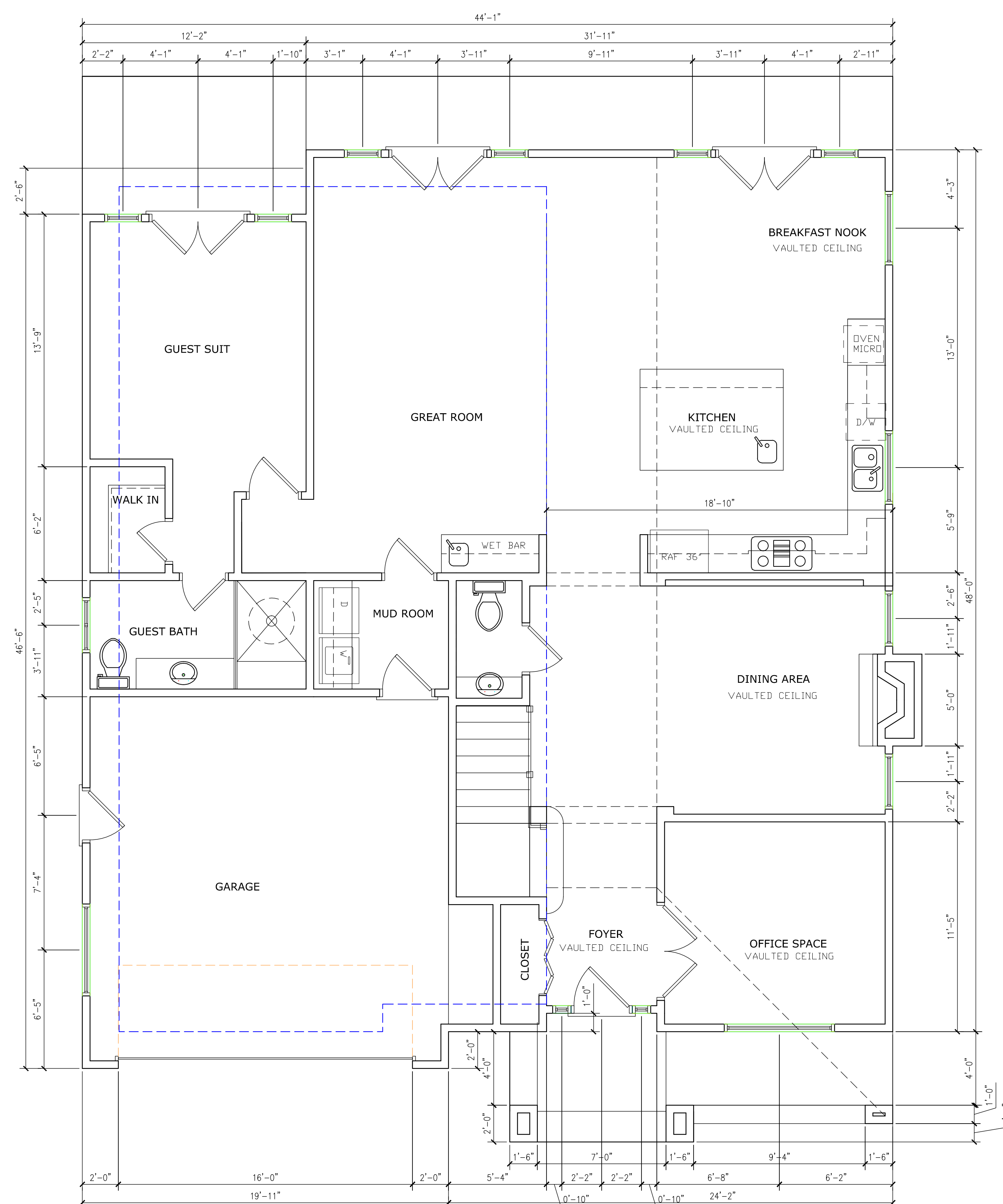
**SITE NOTES:**  
ALL DIMENSIONS AND SETBACK POINTS NEED TO BE CHECKED BEFORE THE  
ADDITION TAKE PLACE. PLEASE VERIFY ALL SETBACKS FROM THE BOUNDARY OF  
THE PROPERTY TO THE <N> HOUSE PRIOR TO DIGGING NEW  
FOUNDATION AND POURING OF THE CONCRETE OR FORM WORK SETUP.  
IF THE SETBACK AT THE SITE DOES NOT MATCH UP TO THE DRAWING OR IS OVER  
THE ALLOWABLE SETBACK PLEASE CONTACT THE PROJECT ARCHITECT FOR FURTHER  
GUIDANCE ON THE PROJECT.



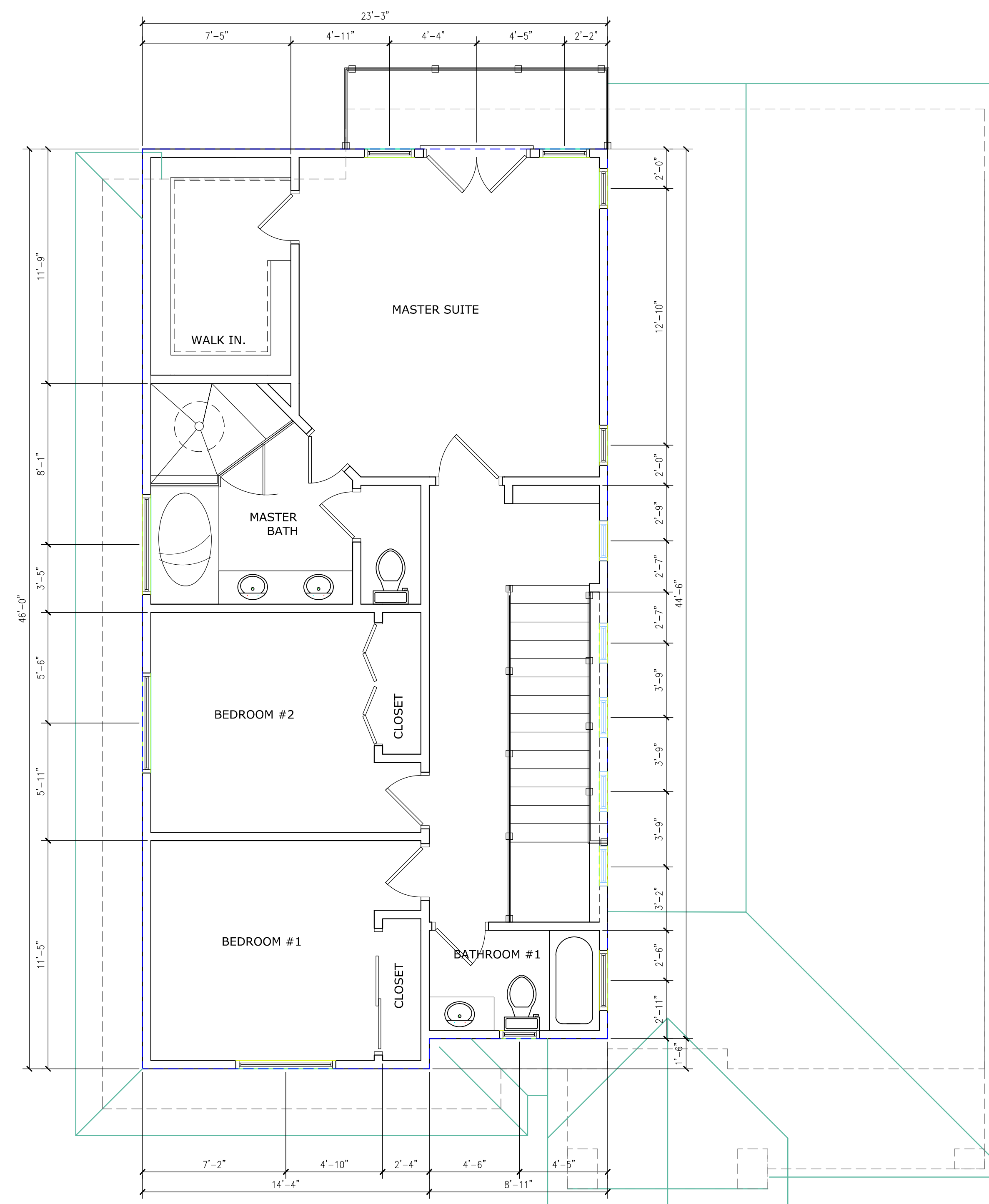
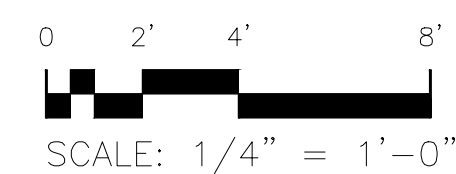
EXISTING SITE PLAN

SCALE:  $\frac{1}{8}" = 1'-0"$

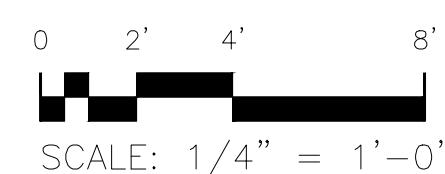




—1-0—PROPOSED FIRST FLOOR



—2-0—PROPOSED SECOND FLOOR



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## PROPOSED FLOORPLAN

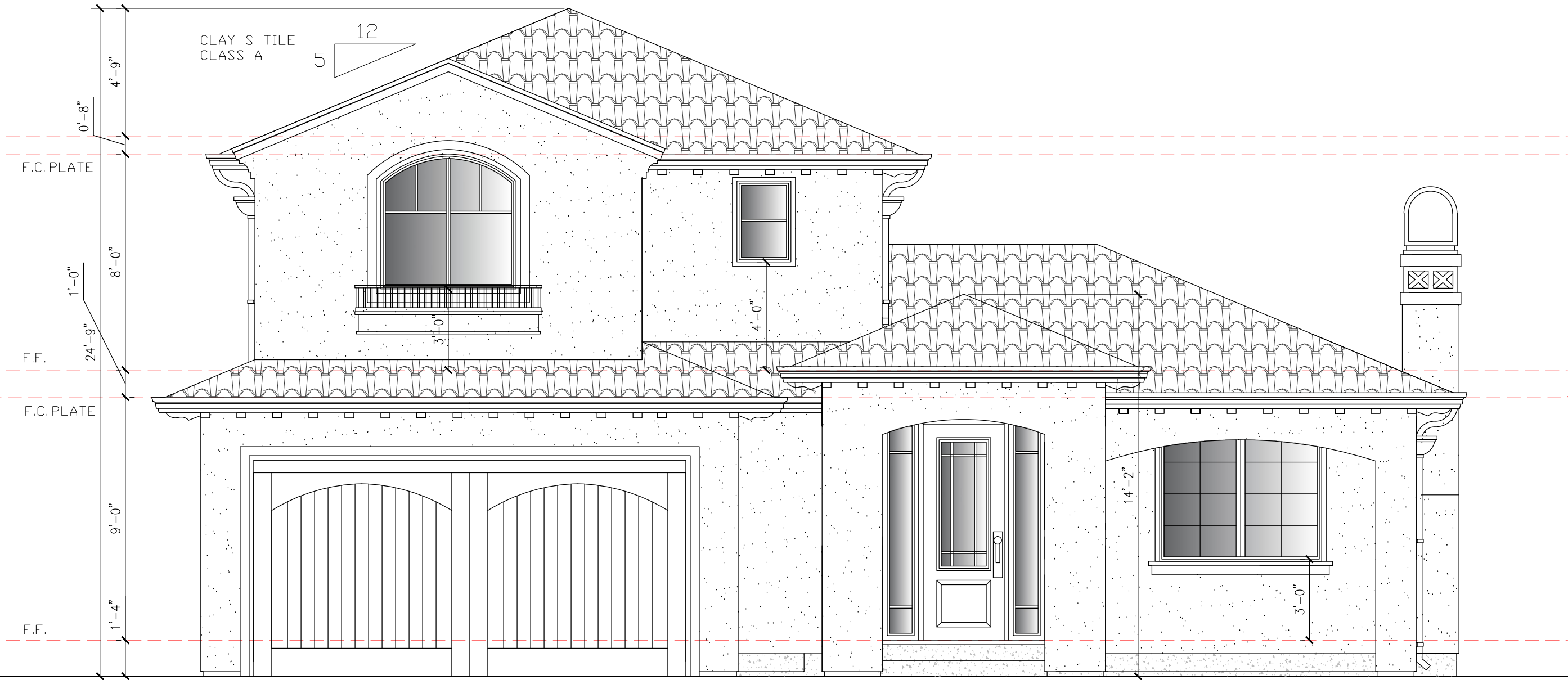
## A-2.0

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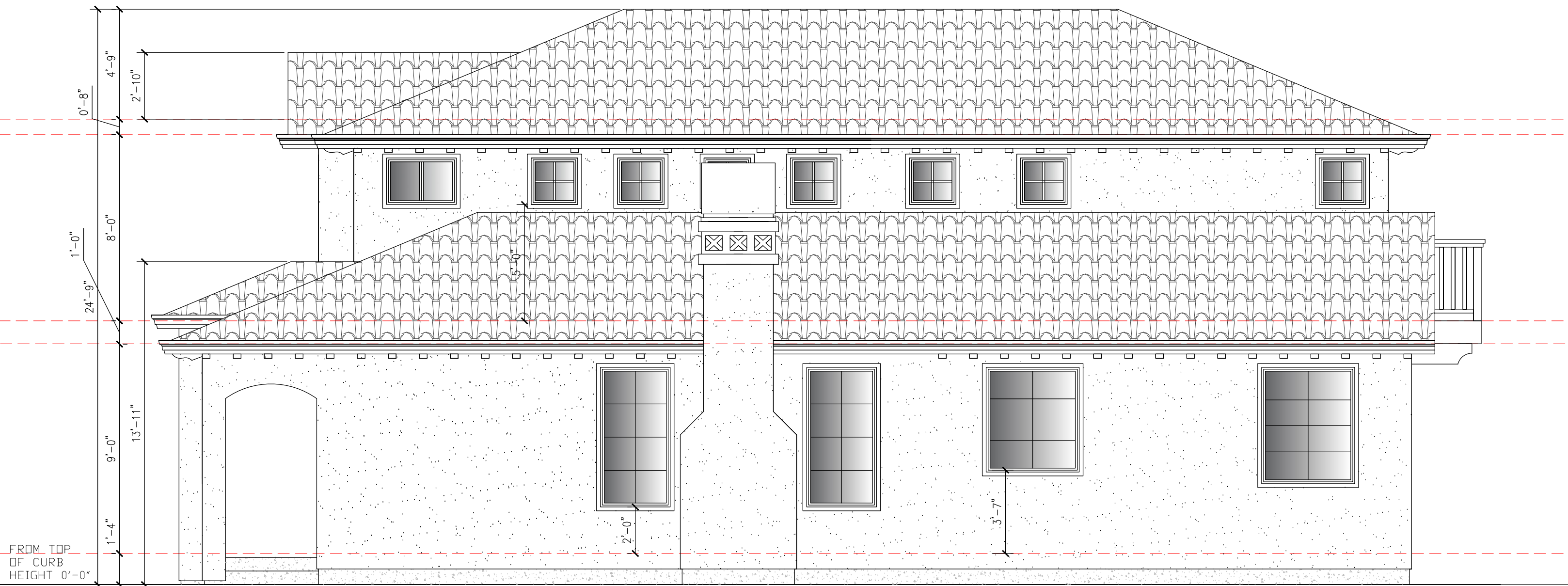
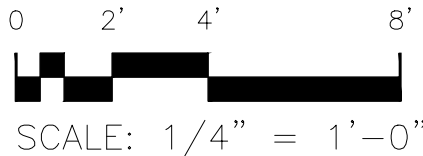
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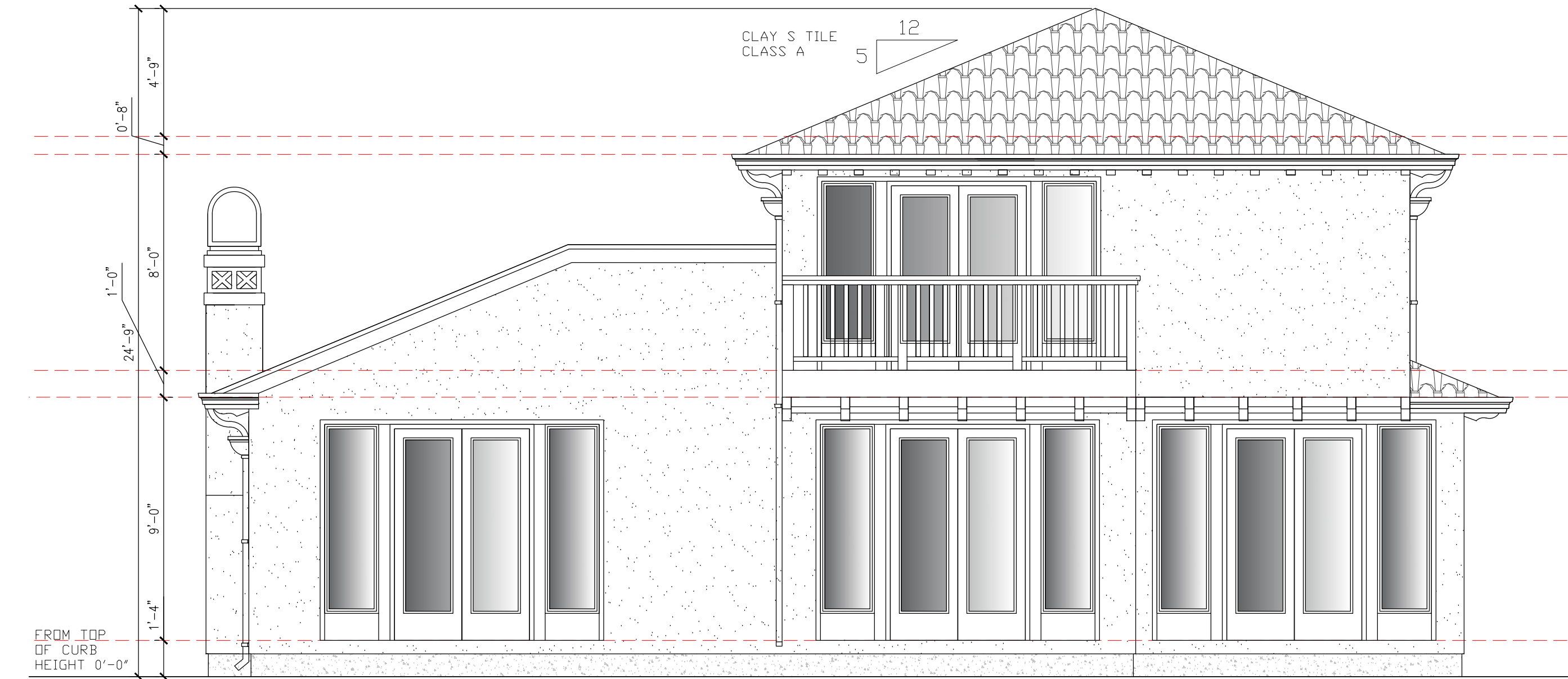
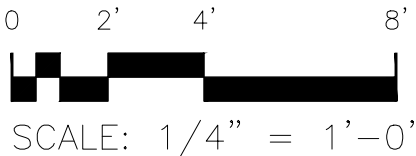
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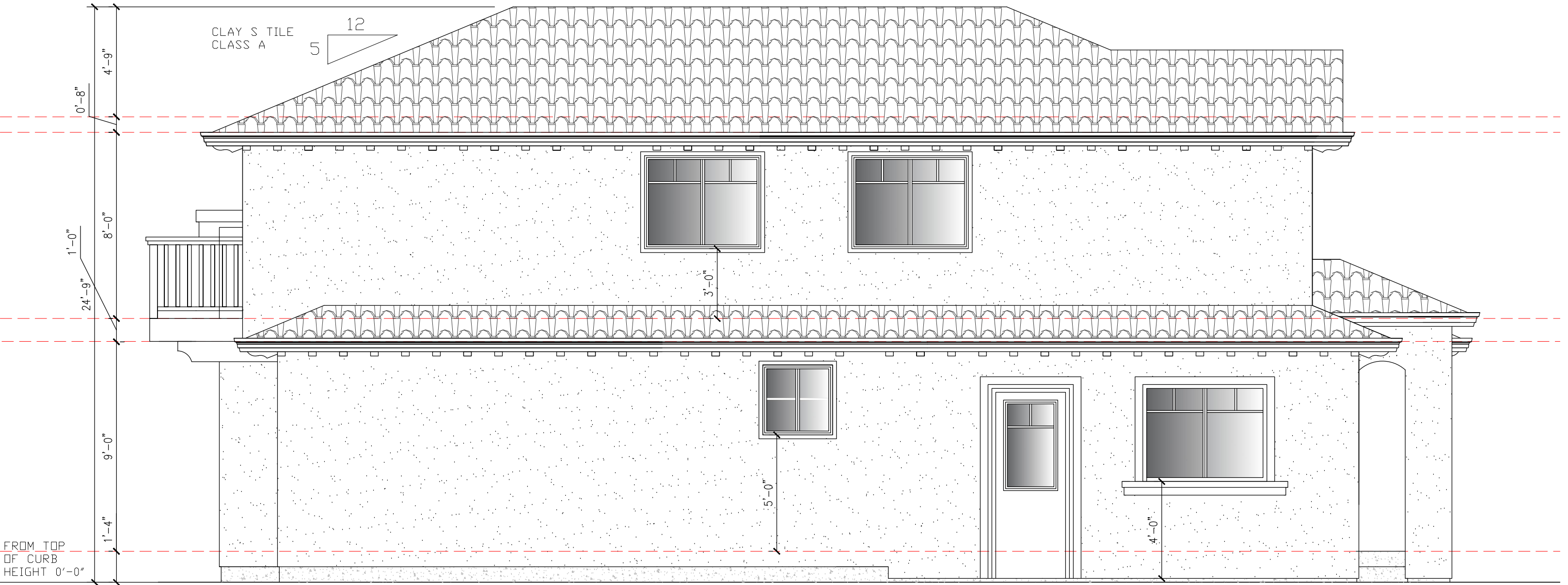
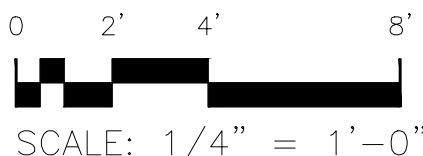
1-0 PROPOSED ELEVATION FRONT



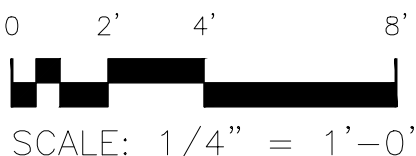
2-0 PROPOSED ELEVATION RIGHT SIDE



3-0 PROPOSED ELEVATION REAR



4-0 PROPOSED ELEVATION LEFT SIDE



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PROPOSED  
ELEVATIONS

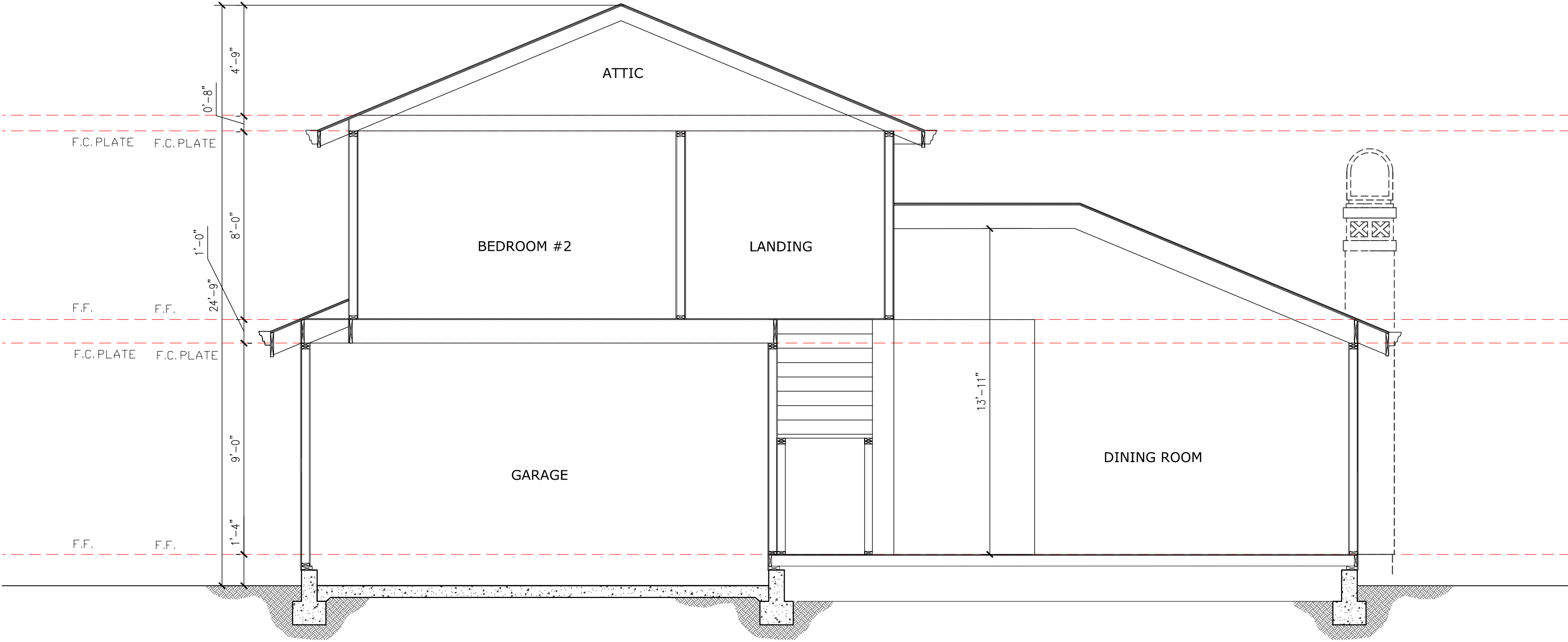
A3.0

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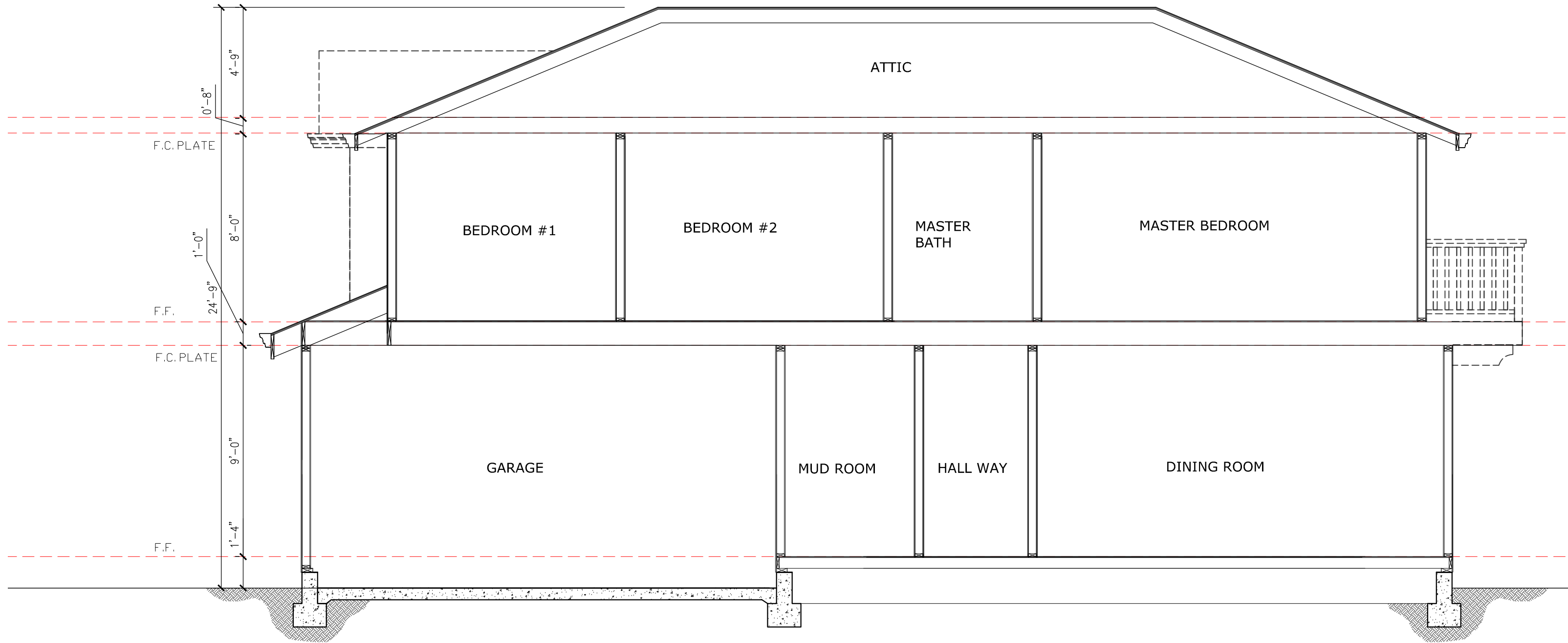
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**— A-A** PROPOSED CROSS SECTION

0 2' 4' 8'

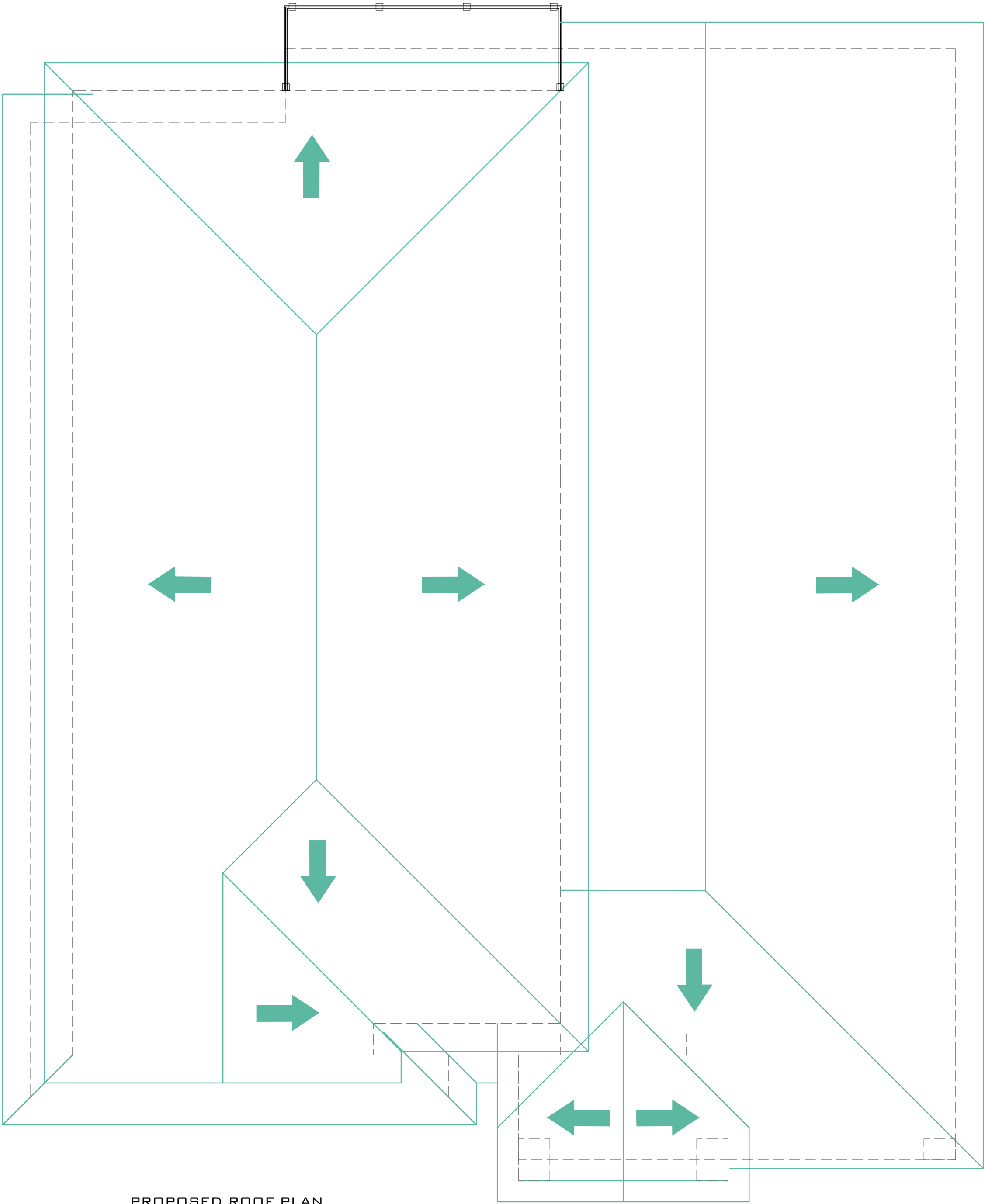
SCALE: 1/4" = 1'-0"



**— B-B** PROPOSED CROSS SECTION

0 2' 4' 8'

SCALE: 1/4" = 1'-0"



**— 1-0** PROPOSED ROOF PLAN

0 2' 4' 8'

SCALE: 1/4" = 1'-0"

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PROPOSED  
CROSS  
SECTION  
ROOF  
PLAN

A3.1

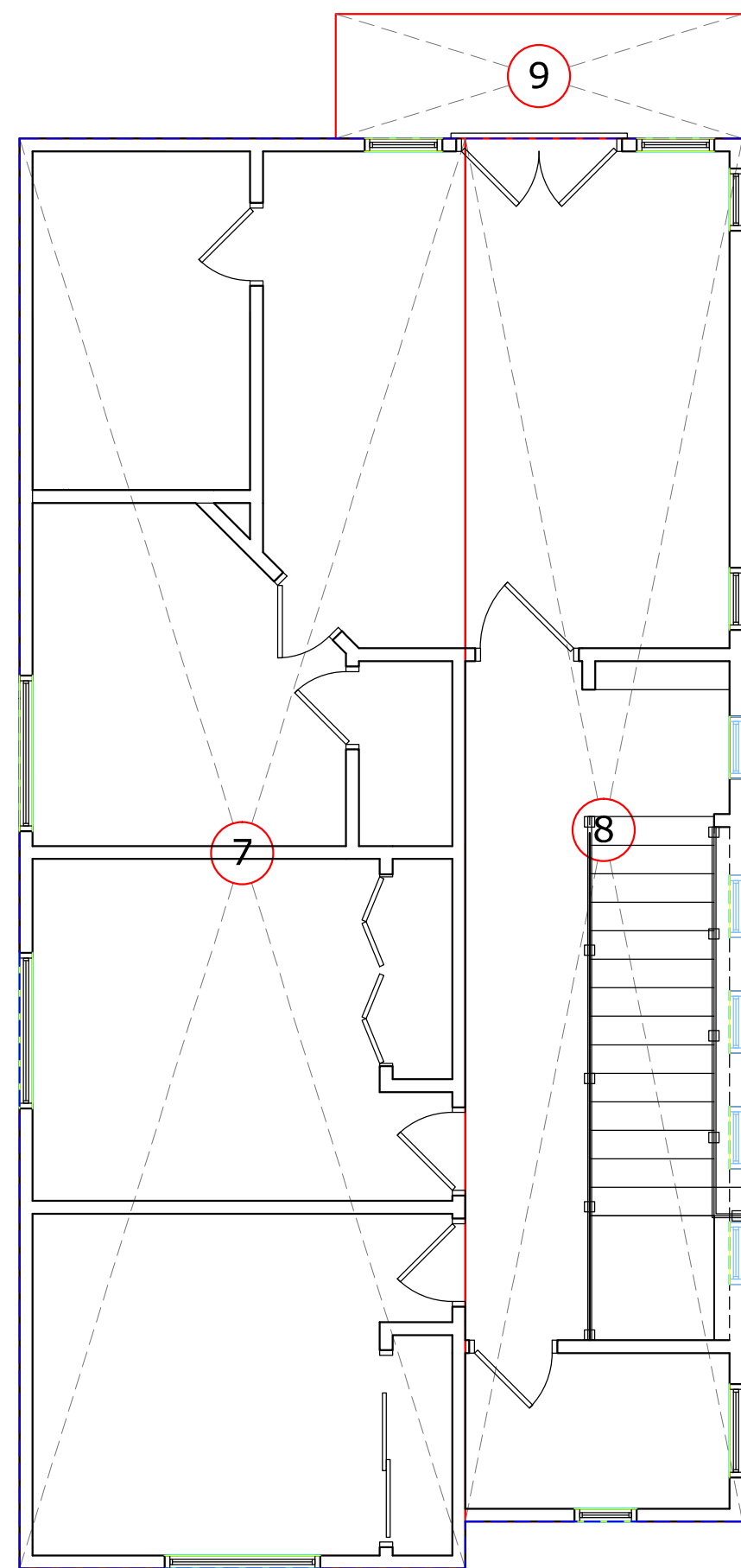
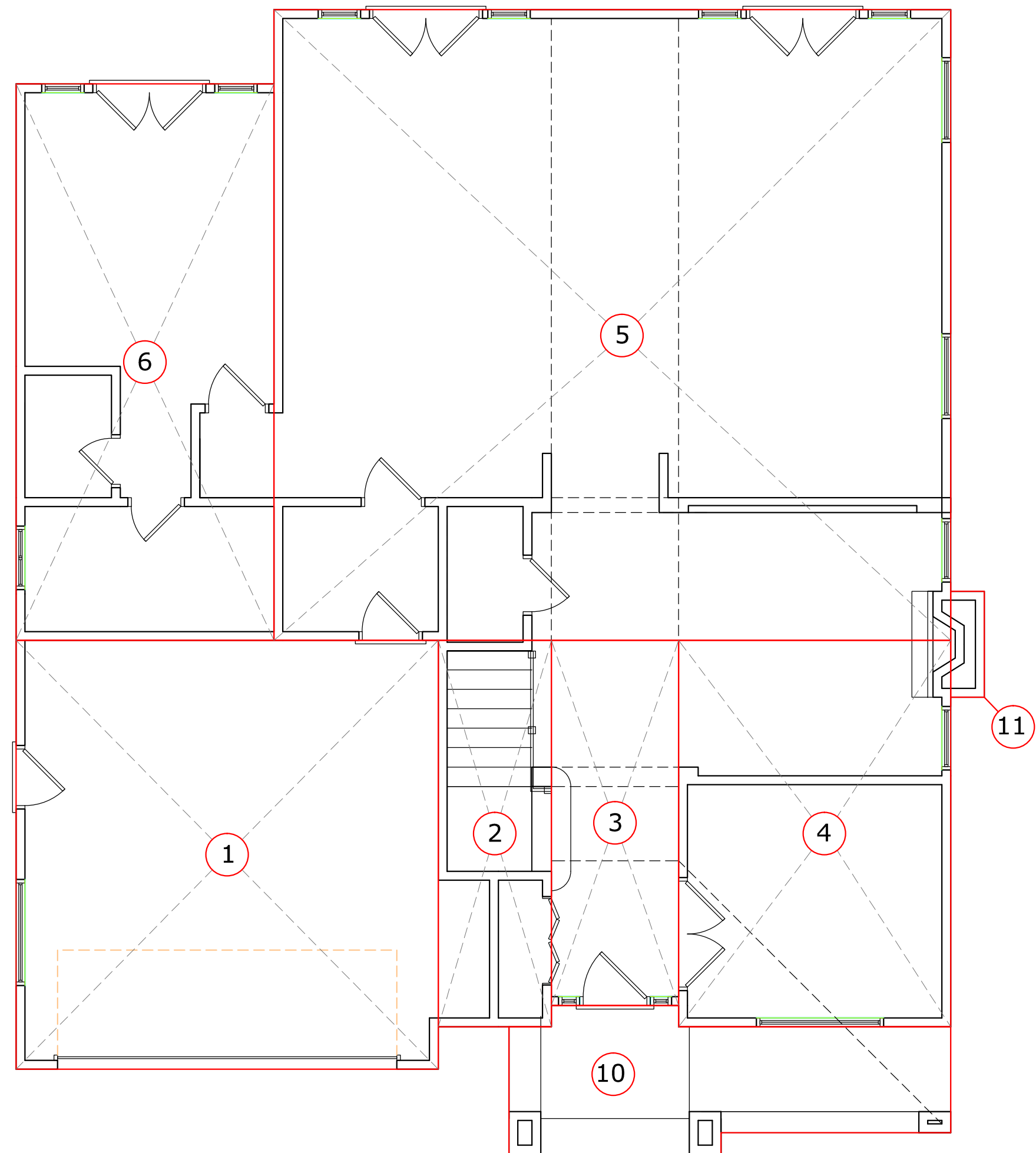
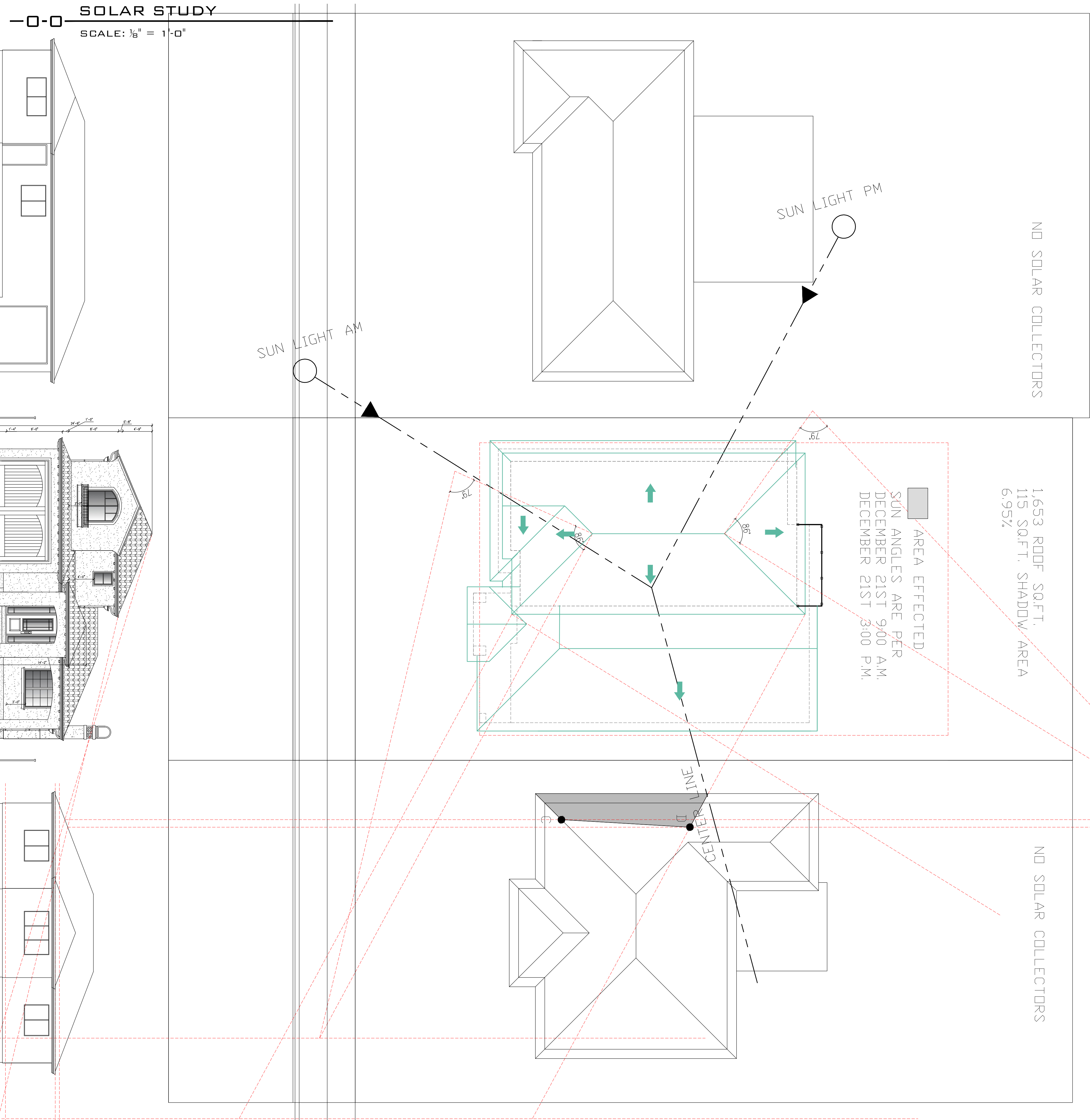


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- |                        |            |
|------------------------|------------|
| (1) = GARAGE           | 402 SQ.FT. |
| (2) = STAIRCASE        | 97 SQ.FT.  |
| (3) = ENTRY / HALLWAY  | 103 SQ.FT. |
| (4) = OFFICE / DINING  | 233 SQ.FT. |
| (5) = KITCHEN / FAMILY | 949 SQ.FT. |
| (6) = GUEST ROOM       | 319 SQ.FT. |
| (7) = BD #1 AND #2     | 658 SQ.FT. |
| (8) = MASTER BEDROOM   | 396 SQ.FT. |
| (9) = BALCONY          | 52 SQ.FT.  |
| (10) = FRONT PORCH     | 120 SQ.FT. |
| (11) = CHIMNEY         | 10 SQ.FT.  |

TOTAL: 3,157 SQ.FT.  
TOTAL WITH NONE  
COUNTED SPACE 3,343 SQ.FT.

**-0-1 BLOCK DIAGRAM**  
SCALE:  $\frac{3}{16}" = 1'-0"$

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BLOCK  
DIAGRAM  
SOLAR STUDY

A4.0