

ATTACHMENT 6



CUSTOM HOME
BEDI RESIDENCE

1094 LILY AVE
SUNNYVALE CA

APN NUMBER 132-90-59

RE-SUBMITTAL FOR
PLANNING COMMISSION

6JUL16



ATTACHMENT 6
PAGE 1 OF 20

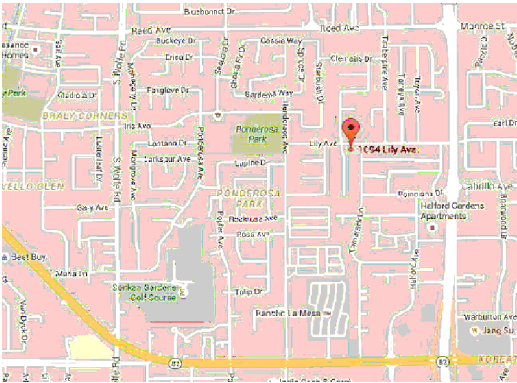
PERSPECTIVES
Architecture Planning Interiors Consulting

AREA CALCULATIONS

LOT AREA = 11,470
FIRST FLOOR LIVING AREA = 2757
GARAGE = 597
TOTAL FIRST FLOOR BUILT UP AREA = 3354
SEC FLOOR LIVING AREA = 1763 SF
ATRIUM = 239 SF
SEC FLOOR LIVING AREA = 1763 SF
REAR COVERED PORCH = 341 SF
TOTAL FAR = 5117+239+341 = 5697 /11470 = 49.6%
FRONT PORCH = 115 SF
TOTAL LIVING AREA = 2757+1763+239+115 = 4874 SF
TOTAL PORCHES = 115+341=456 SF
LOT COVERAGE = 2757+597+341+115=3810/11470=33.2%
BASEMENT = 1219 SF

PROPOSED IS A NEW 5,812 SQUARE FOOT, TWO-STORY SINGLE-FAMILY HOME (4,874SQ. FT. LIVING AREA; 597 SQ. FT. GARAGE; 456 SQ. FT. OF FRONT & REAR YARD PORCHES) AT 49.6% FAR. THE PROPOSAL ALSO INCLUDES A 1,219 SQUARE FOOT BASEMENT. THE EXISTING HOUSE WILL BE DEMOLISHED.

VICINITY MAP



DRAWING INDEX

ARCHITECTURAL/CIVIL/LANDSCAPE

- | | |
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PROJECT TEAM

OWNER
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1094 LILY AVE
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FREMONT CA 94539
PH: 510 623 7861

LANDSCAPE
YU-WEN HUANG
LANDSCAPE ARCHITECTURE
3367 SAINT MICHAEL CT
PALO ALTO CA 94306
(415) 695-0800

GENERAL CONTRACTOR
TBD

GENERAL CONSTRUCTION NOTES

1. ANY CONFLICTS BETWEEN ACTUAL ON SITE CONDITIONS AND THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO RESOLVE WITH THE ARCHITECT IMMEDIATELY, PRIOR TO PROCEEDING WITH THE WORK IN QUESTION OR ANY PORTION OF THE WORK, EITHER AT THE START OF CONSTRUCTION OR OR AT ANY TIME THROUGHOUT THE COURSE OF THE CONSTRUCTION TO COMPLETION.

2. ANY ERRORS, OMISSIONS OR CONFLICTS BETWEEN TRADES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEERS.

3. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH CURRENT CODES AND REGULATIONS.

4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS PREVAIL.

5. ALL DIMENSIONS ARE TO FOF UON.

6. ALL EXTERIOR AND INTERIOR MATERIALS AND COLORS TO BE APPROVED BY THE OWNER BEFORE ORDERING AND INSTALLATION.

7. ALL PLUMBING, MECHANICAL, ELECTRICAL, LIGHTING FIXTURES AND APPLIANCES TO BE APPROVED BY THE OWNER.

8. ALL FOUNDATION AND ATTIC VENTS TO BE COVERED WITH 1/4" CORROSION RESISTANT WIRE MESH.

9. ENERGY FORM CF-6R, THE INSTALLATION AND INSULATION CERTIFICATES SHALL BE POSTED ON THE JOB SITE DURING CONSTRUCTION OF THE PROJECT.

10. THE CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE LATEST SET OF DOCUMENTS.

11. HEATING SYSTEM TO BE DESIGN BUILD BY SUBCONTRACTOR AND TO CONFIRM COMPLIANCE WITH TITLE 24 REQUIREMENTS.

12. FLOORS SHALL BE LEVEL TO WITHIN 1/4 INCH PER 10'-0" SPAN. PROVIDE FLOOR LEVELING WHERE REQUIRED.

13. INCLUDE FINAL CLEANING, TO INCLUDE BUT NOT LIMITED TO: GLASS, GLOSSY SURFACES, FLOORS, WALLS, DOORS AND FRAMES, TOILET FIXTURES AND WALL BASE.

14. TAPE AND SAND ALL PARTITIONS. PARTITIONS SHALL BE LEFT IN A SMOOTH CONDITION READY TO PAINT, U.O.N.

15. ALL FINISHES SHALL BE PROVIDED BY CONTRACTOR. (UNLESS NOTED NIC)

16. DO NOT SCALE DRAWINGS FOR DIMENSIONS.

17. WHERE FLOORING BREAKS AT DOOR OR CASED OPENING, THE SEAM IS TO ALIGN WITH THE INTERIOR FACE OF THE CASE OPENING OR INTERIOR FACE OF THE DOOR IN ITS CLOSED POSITION

18. FOR WINDOW SCHEDULE SEE A5.2

19. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL INFORMATION

20. FOR ELECTRICAL PLANS, SEE A7.1

21. NOT USED

22. LIGHTING IN BATHROOMS AND KITCHEN TO COMPLY WITH STATE ENERGY REGULATIONS.

23. ALL EXISTING INFORMATION SHOWN ON THE DRAWINGS IS FOR REFERENCE ONLY AND DOES NOT REFLECT AS-BUILT CONDITIONS. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS THAT REQUIRE ACCURACY AND CRITICAL DIMENSIONS.

24. CONTRACTOR TO LAYOUT BUILDING OUTLINE TO VERIFY ALL REQUIRED SETBACKS, PRIOR TO POURING THE FOUNDATION

25. THE AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF A CONTRACT (LATEST EDITION) IS HEREBY INCORPORATED INTO THE CONTRACT DOCUMENTS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE WORK.

PROJECT DATA

ADDRESS	1094 LILY DRIVE SUNNYVALE CA
ZONING	R 0
EXISTING HOME TO BE DEMOLISHED BUILT IN 1949	
APPLICABLE CODES:	2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA RESIDENTIAL CODE 2013 CALIFORNIA GREEN BUILDING CODE

CONSTRUCTION TYPE:	TYPE V -B
OCCUPANCY CLASSIFICATION:	R-3/U
NUMBER OF FLOORS:	TWO PLUS PARTIAL BASEMENT

FIRE PROTECTION:	FULLY SPRINKLERED
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PROJECT SUMMARY

THE EXISTING STRUCTURES CONSISTING OF A 1572 SQ FT SINGLE STORY HOME WITH PARTIAL BASEMENT BUILT IN 1949, A DETACHED GARAGE OF 649 SQ FT AND SHED OF 95 SQ FT WILL BE DEMOLISHED. THE HOUSE HAS A MEDITERRANEAN CHARACTER WITH RED TILE ROOF.

THE PROJECT COMPRISES OF A BRAND NEW TWO STORY HOME WITH ATTACHED 2 CAR GARAGE PLUS PARTIAL BASEMENT. IT WILL HAVE 5 BEDROOMS PLUS 5 AND 1/2 BATH. IT WILL INCLUDE A NEW FRONT ENTRY, A LIVING ROOM, A DINING ROOM, KITCHEN/FAMILY RM/NOOK, GAME ROOM, LAUNDRY AND MEDIA ROOM.

THE NEIGHBORHOOD IS BLENDED WITH OLD AND NEW HOMES. IT CONSISTS OF MANY OLDER RANCH HOMES BOTH SINGLE STORY AND TWO STORY. THE NEIGHBORING PROPERTIES ON THE EAST HAVE FOUR TWO STORY MEDITERRANEAN HOMES. THE PROPERTY ON THE RIGHT IS A SINGLE STORY RANCH STYLE HOME AS ARE THOSE ACROSS THE STREET.

THE PROPOSED HOME WILL BE A MEDITERRANEAN STYLE HOME WITH PANTILE ROOF, RECESSED WINDOWS WITH WITH MOLDED TRIMS. THERE WILL BE A CENTRAL PORCH ENTRY IN FRONT OF A CIRCULAR ATRIUM WITH UPPER WINDOWS. THE GARAGE TO THE LEFT WILL HAVE A LOW EAVE LINE. THE ROOF PITCH WILL BE 4 IN 12. THE TWO STORY PORTION OF THE HOUSE WILL BE AT THE REAR. THE HOUSE WILL BE SETBACK ABOUT 26' FROM THE FRONT SETBACK. AND MOST SETBACKS WILL EXCEED THE MINIMUM REQUIRED.

PROJECT NAME

BEDI RESIDENCE

1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE

GENERAL INFORMATION
& MISC CONSTRUCTION
NOTES

SCALE
AS NOTED

DATE
23MAR16

PROJECT NO
14-2

SHEET NO

A1.0



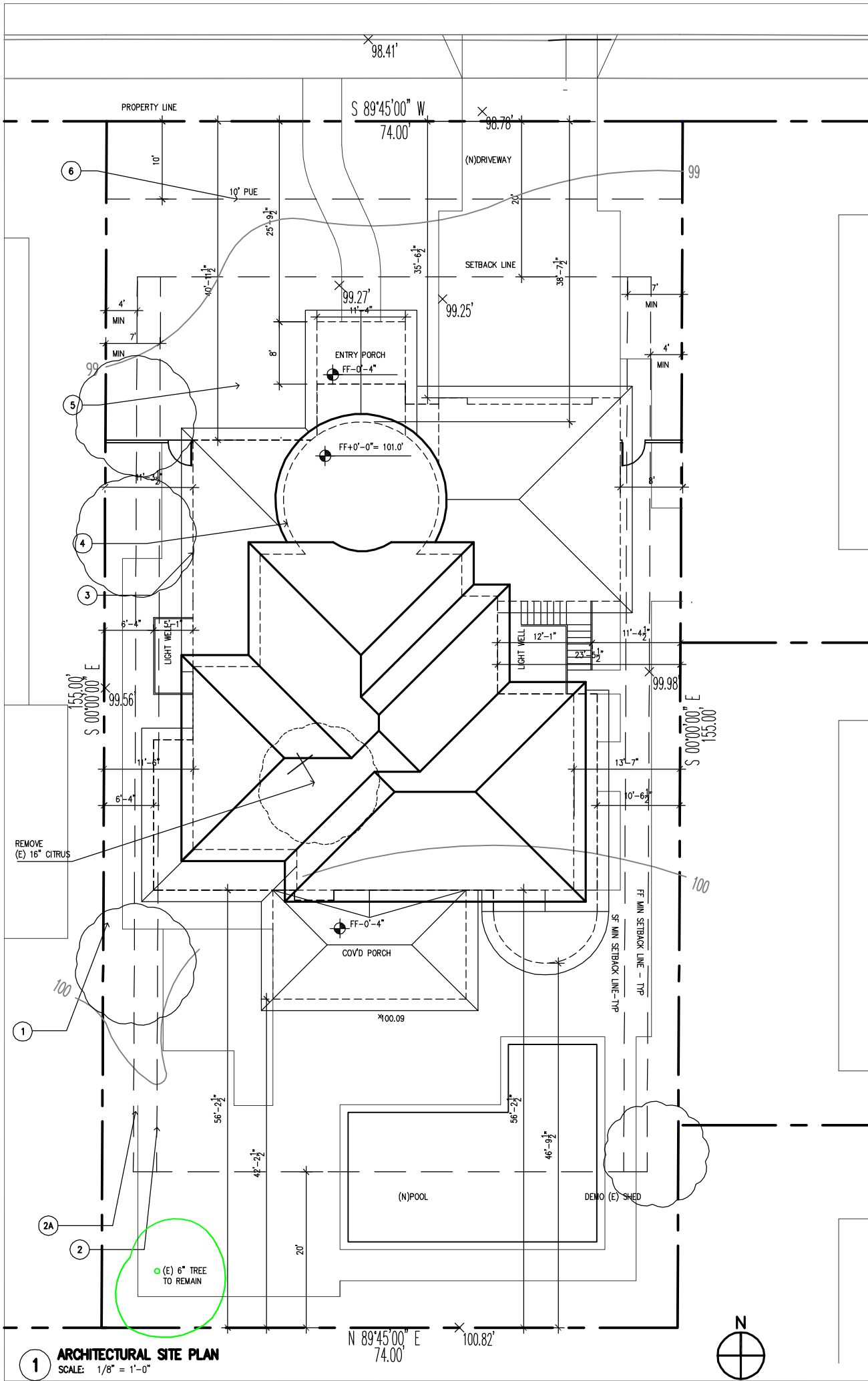
Examples of new homes in the neighborhood on
Tamarack Lane



Examples of New Homes in the Neighborhood:
On Timberpine Lane



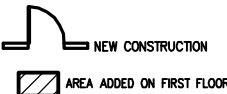
Proposed Residence: 1094 Lily Ave, Sunnyvale



SITE PLAN SHEET NOTES

A. FF ELEVATION +0'-0" EQUALS 10.38' ABSOLUTE.
SEE CIVIL DRAWINGS FOR ABSOLUTE LEVELS.
B. SEE CIVIL DRAWING CO FOR EXISTING TOPO/SURVEY.

SITE PLAN LEGEND

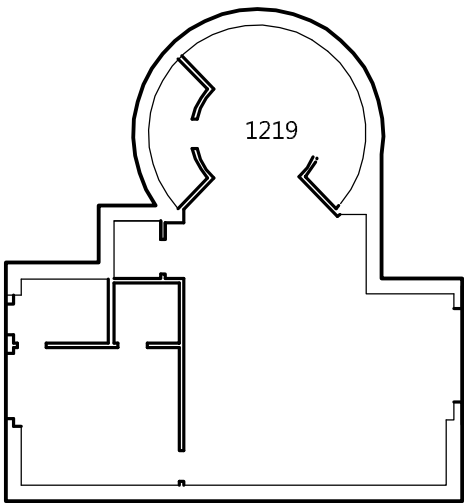


SITE PLAN KEY NOTES

- 1 PROPERTY LINE TYP
- 2 FIRST FLOOR SETBACK LINE TYP
- 2A SECOND FLOOR SETBACK LINE - TYP
- 3 BUILDING FOOTPRINT TYP
- 4 SECOND FLOOR BUILDING OUTLINE
- 5 (E) BUILDING TO BE DEMOLISHED
- 6 NO BLDGS AND STRUCTURES OF ANY KIND PERMITTED WITHIN THE PUE

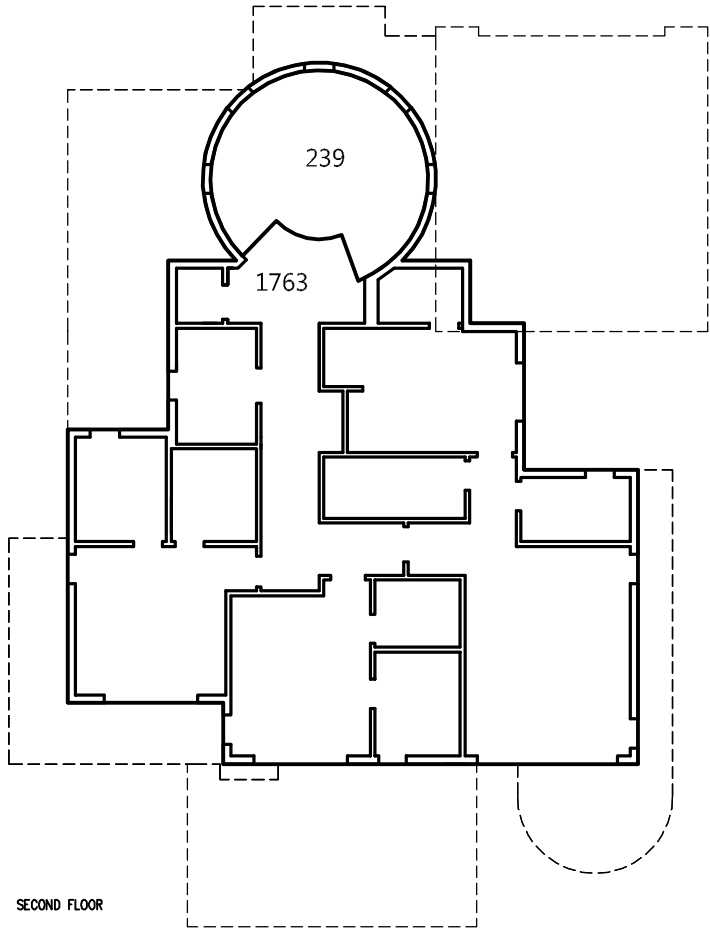
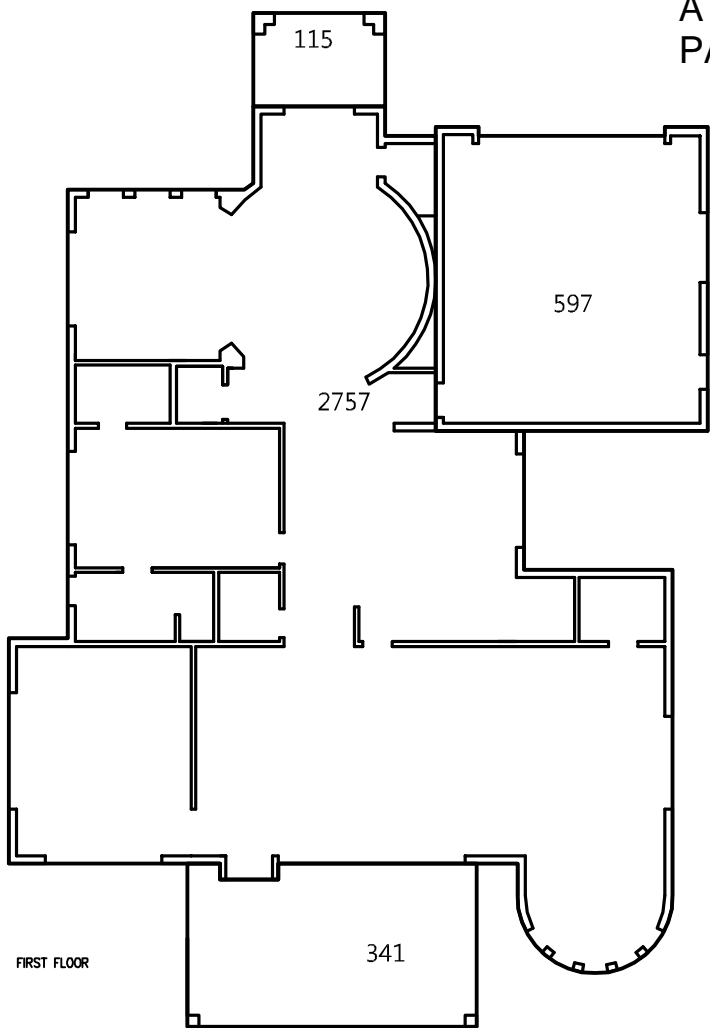
BUILDING DATA

	EXISTING	DEMOLISHED	PROPOSED	ALLOWABLE
FIRST FLOOR LIVING AREA	1572	-1572	2757	
GARAGE	649	-649	597	
REAR COVERED PORCH			341	
SECOND FLOOR LIVING AREA	0	0	1763	
SECOND FLOOR ATRIUM AREA	0	0	239	
FRONT ENTRY PORCH	103	-103	115	
BASEMENT LIVING AREA	0		1219	
FLOOR AREA RATIO	20.2%		49.6%	
LOT COVERAGE (INCL COVD PORCHES)	20.2%		33.2%	40%
TOTAL FIRST FLOOR AREA	2221	-2221	(2757+597) = 3354	
TOTAL LIVING AREA (INCL ATRIUM)	1572	-1572	4874	
TOTAL FLOOR AREA	2324	-2324	5812	
TOTAL PORCHES	103	-103	456	
SHED	95	-95	0	
FRONT SETBACK (1ST STORY/2ND STORY)	23'-3 1/2" / NA		25'-9 1/2" / 38'-7 1/2" 20'/25'	
LEFT SETBACK (1ST STORY/2ND STORY)	12'-10" / NA		6'-4" / 10'-5 1/2" 14.8'/20.8' COMBINED	
RIGHT SETBACK (1ST STORY/2ND STORY)	24'-3 1/2" / NA		11'-6" / 13'-7" 14.8'/20.8' COMBINED	
REAR SETBACK (1ST STORY/2ND STORY)	26'-7" / NA		12'-2 1/2" / 56' 2 1/2" 20'/20'	



BASEMENT

AREA DIAGRAMS



26MAY16	PLANNING REV
29APR2015	PARTIAL PLANNING COMMENTS
DATE	DESCRIPTION

PROJECT NAME
BEDI RESIDENCE

1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE
**ARCHITECTURAL
SITE PLAN**

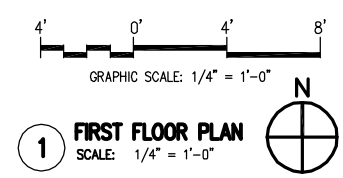
SCALE
AS NOTED


DATE
23MAR16

PROJECT NO
16-02

SHEET NO

A1.1



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DATE	DESCRIPTION	

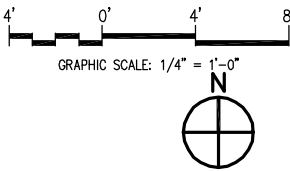
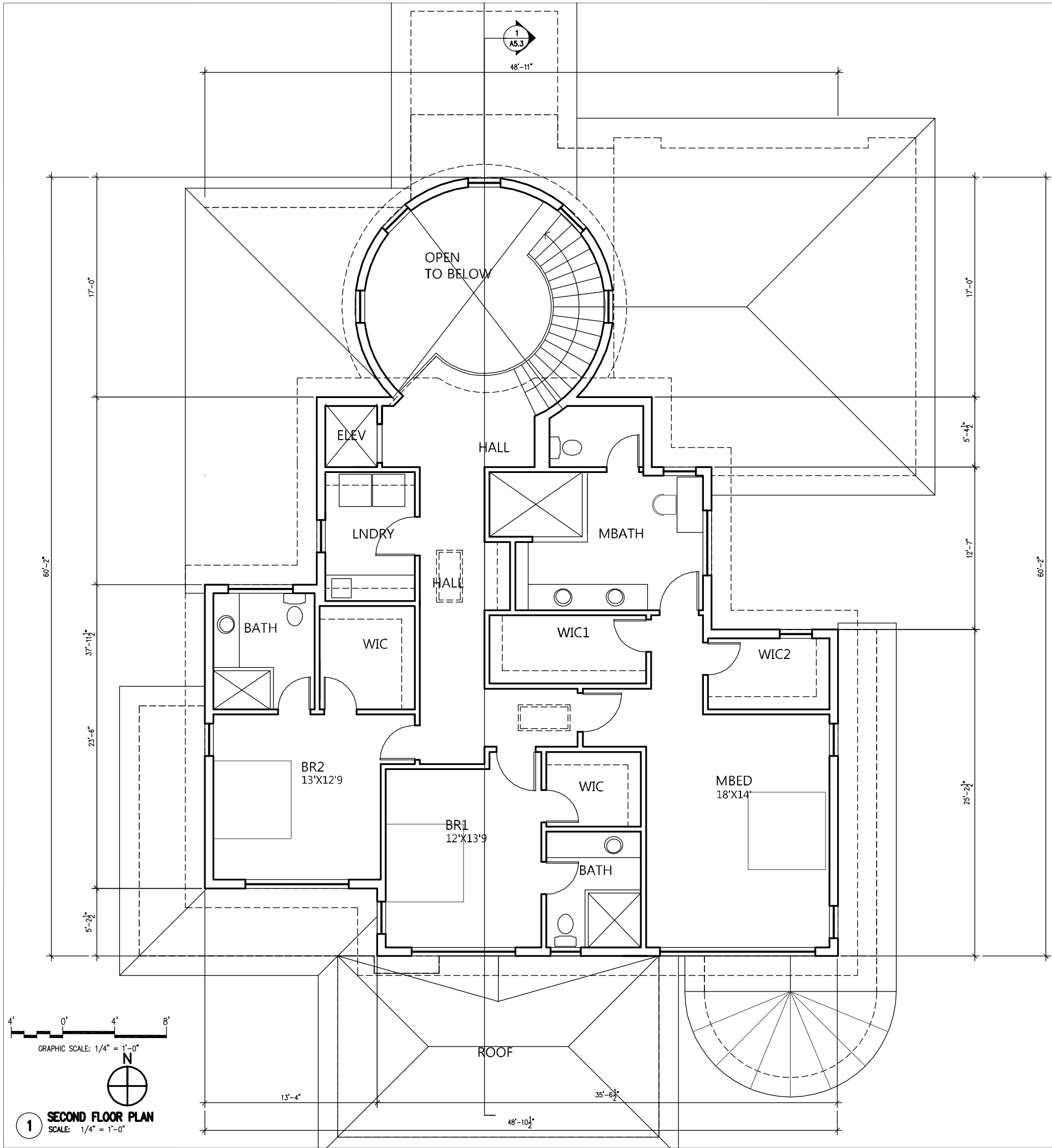
PROJECT NAME

BEDI RESIDENCE

1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE
FIRST FLOOR PLAN

SCALE AS NOTED	SHEET NO A2.1
DATE 23MAR16	
PROJECT NO 16-02	



1
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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DATE	DESCRIPTION	

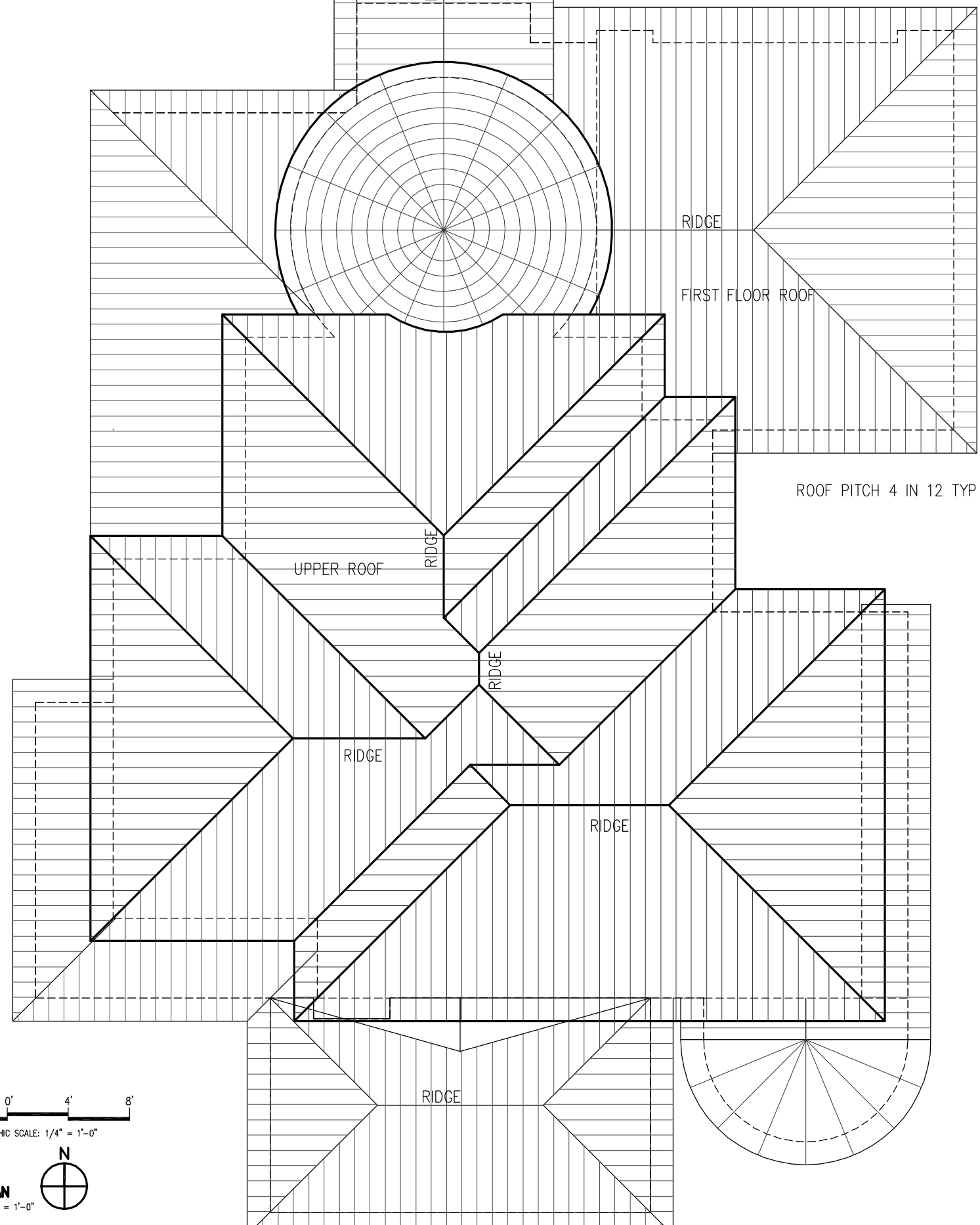
PROJECT NAME

BEDI RESIDENCE

1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE
SECOND FLOOR PLAN

SCALE AS NOTED	SHEET NO
DATE 23MAR16	A2.2
PROJECT NO 16-02	



1 ROOF PLAN
SCALE: $1/4" = 1'-0"$

2	28MAY16	PLANNING REV
DATE	DESCRIPTION	

PROJECT NAME

BEDI RESIDENCE

1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE
SECOND FLOOR PLAN

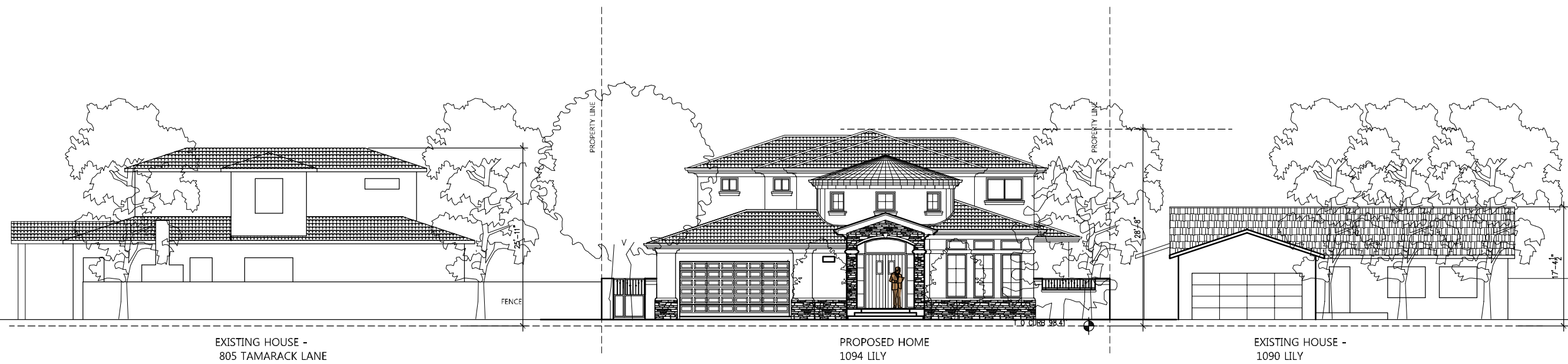
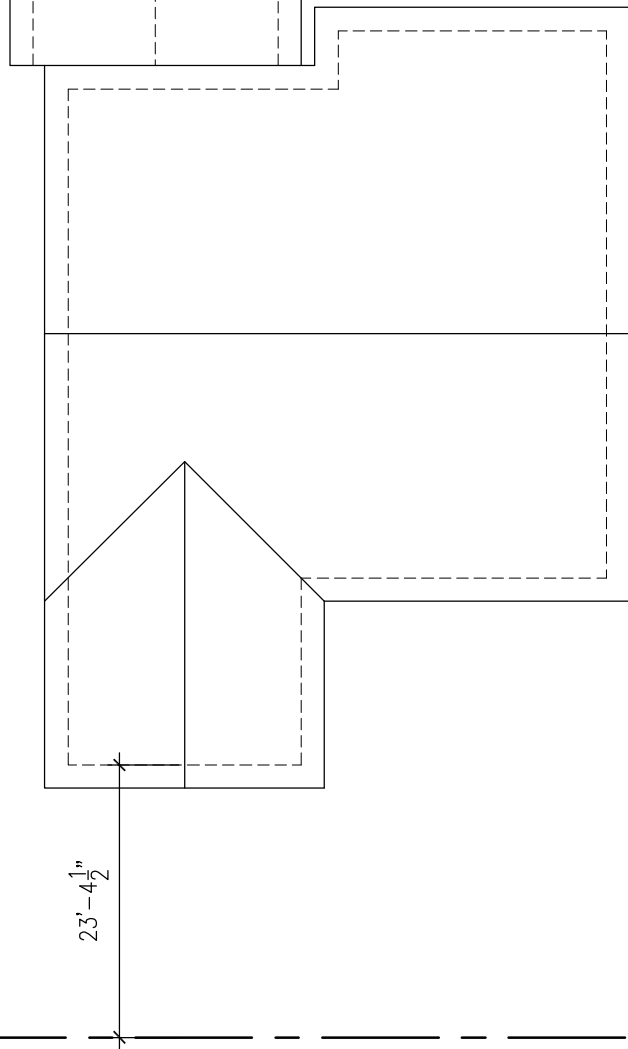
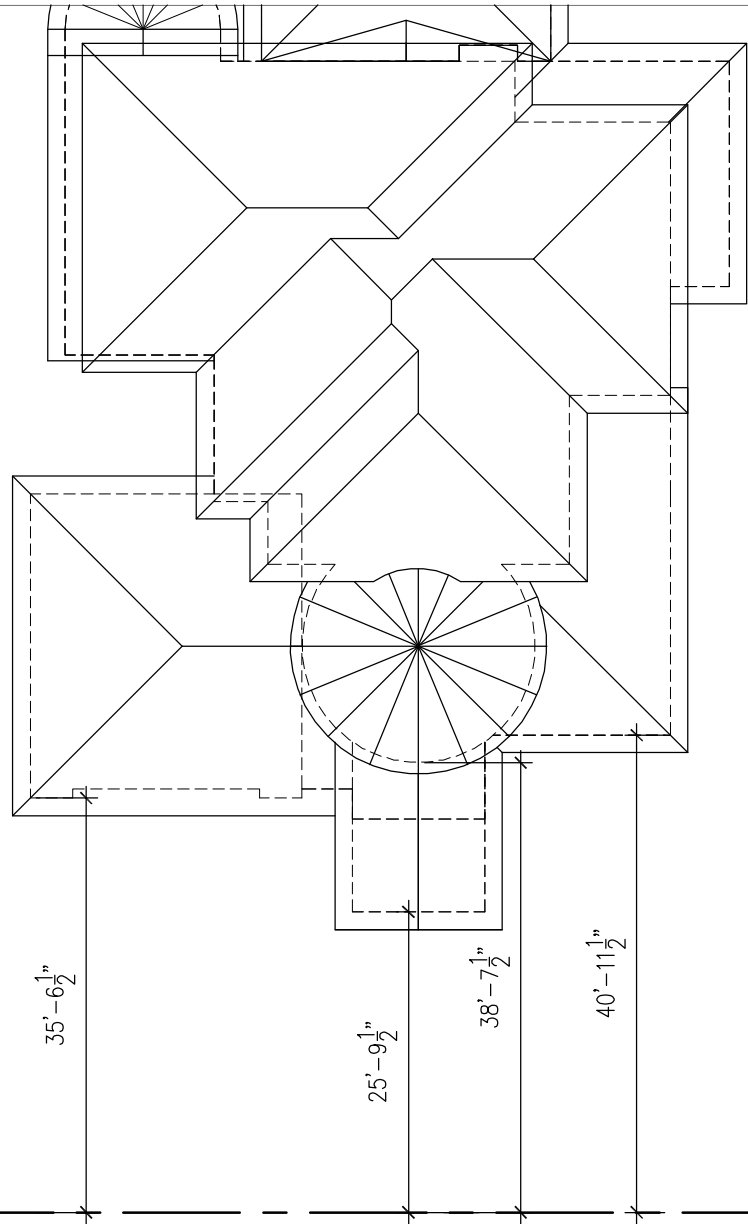
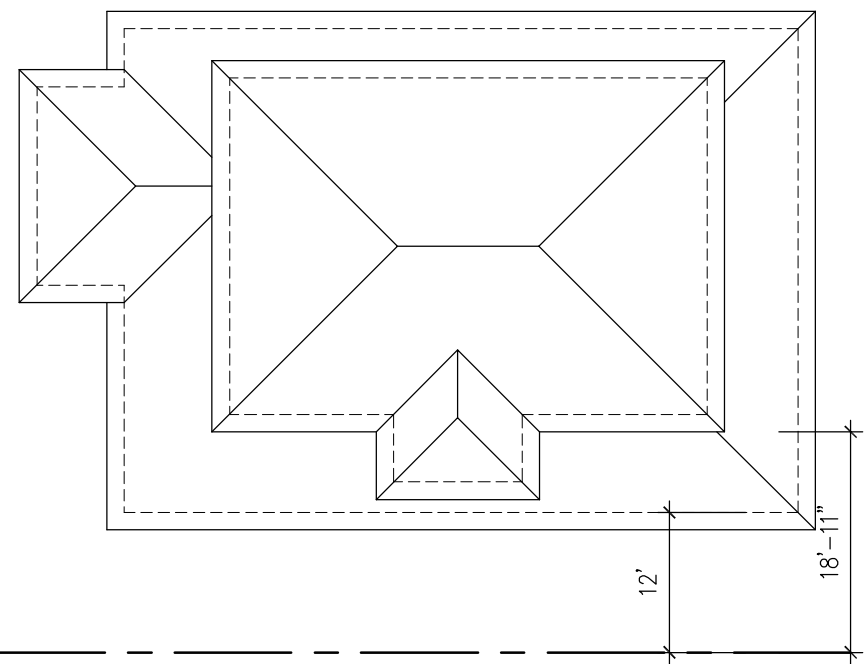
SCALE
AS NOTED

DATE
23MAR16

PROJECT NO
16-02

SHEET NO

A2.3



29APR2015	PARTIAL PLANNING COMMENTS
DATE	DESCRIPTION

PROJECT NAME
BEDI RESIDENCE
1094 LILY AVE
SUNNYVALE, CA

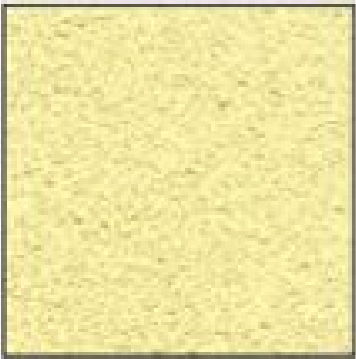
SHEET TITLE
STREETSCAPE

SCALE
AS NOTED

DATE
23MAR16

PROJECT NO
16-02

SHEET NO
A1.2



BAMBOO S-605



DATE	DESCRIPTION	

PROJECT NAME

BEDI RESIDENCE

1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE

FRONT ELEVATION

SCALE
AS NOTED

DATE
13MAR16

PROJECT NO
16-02

SHEET NO

A5.1A

ELEV/SECT KEY NOTES

- 1 CONC PAN ROOF TILE, ON 1/2" CDX PLYWD SOLID SHEATHING WITH 30 LB WATERPROOF MEMBRANE. INSTALL PER MANUFACTURER'S INSTRUCTIONS. ROOF SLOPE : 4 IN 12
- 1A BUILDING NUMBER PLAINLY VISIBLE FROM STREET. CRC SECTION R319
- 2 5" OGEE GUTTER OVER PAINTED 1X10 WOOD FACIA. COLOR TO BE SELECTED BY OWNER. PROVIDE DOWNSPOUT TO SPLASHBLOCK. ROUTE STORM WATER TO LANDSCAPING
- 3 STUCCO SOFFIT W/ CONTINUOUS VENT AND DRIP SCREED. PROVIDE LOW VOLTAGE SOFFIT LIGHTS AT FRONT FACADE.
- 4 CUSTOM ENTRANCE DOOR SYSTEM
- 5 STUCCO FACADE WITH SMOOTH FINISH - TYP
- 6 (N) DOUBLE-PANE, LOW "E" WINDOWS TYP. BRAND TO BE SELECTED BY OWNER
- 7 CUSTOM CARRIAGE STAINED WD GARAGE DOOR
- 8 2" RECESS TYP AROUND WINDOWS. 4" AT WINDOW SILLS WHERE SHOWN
- 9 PRECAST STONE TRIM
- 10 6" HIGH FENCE
- 11 PRECAST STONE BASE TRIM
- 12 DECORATIVE WROUGHT IRON RAIL
- 13 PRECAST STONE TRIM
- 14 LEDGERSTONE STYLE MANUFACTURED STONE CLADDING



1 FRONT (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



1 SIDE (EAST) ELEVATION
SCALE: 1/4" = 1'-0"

	26MAY16	PLANNING REV
	29APR2015	PARTIAL PLANNING COMMENTS
DATE	DESCRIPTION	

PROJECT NAME
BEDI RESIDENCE

1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE
EXTERIOR ELEVATIONS

SCALE
AS NOTED

DATE
13MAR16

PROJECT NO
16-02

SHEET NO

A5.1



1 REAR (SOUTH ELEVATION)
SCALE: 1/4" = 1'-0"



2 SIDE (WEST) ELEVATION)
SCALE: 1/4" = 1'-0"

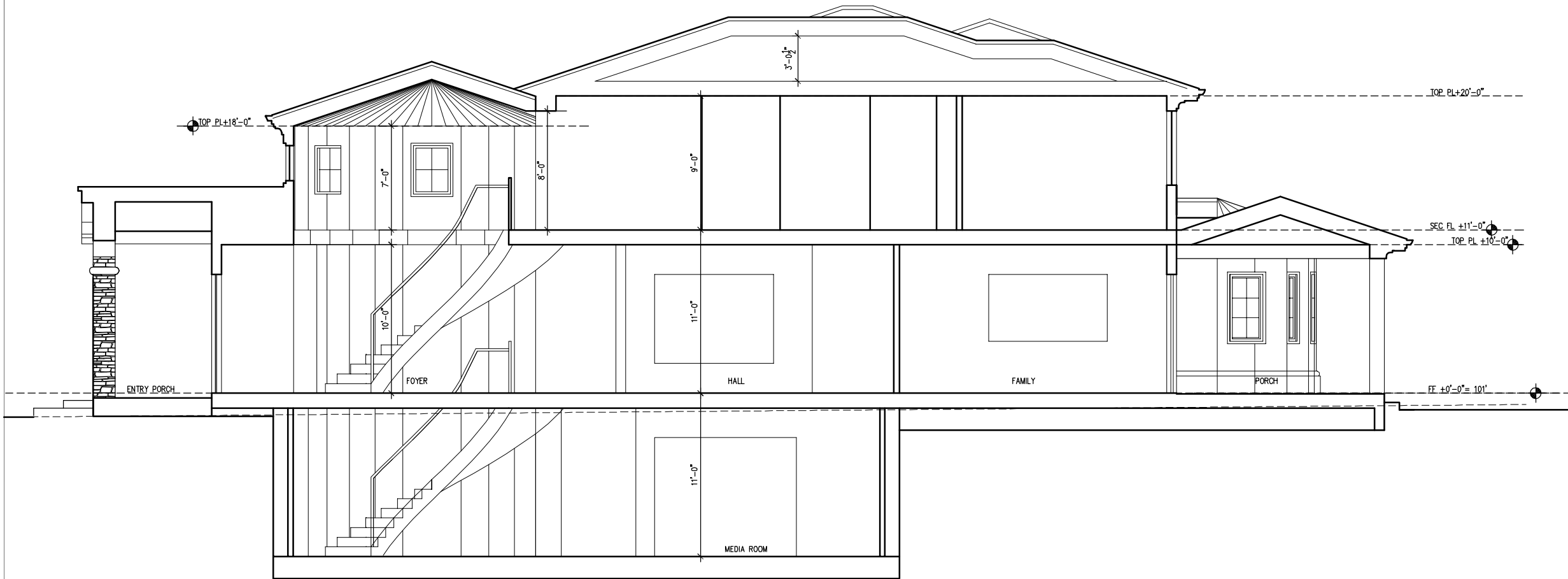
	26MAY16	PLANNING REV
DATE	DESCRIPTION	

PROJECT NAME
BEDI RESIDENCE

1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE
EXTERIOR ELEVATIONS

SCALE AS NOTED	SHEET NO
DATE 23MAR16	A5.2
PROJECT NO 16-02	



1 SECTION 1
SCALE: 1/4" = 1'-0"

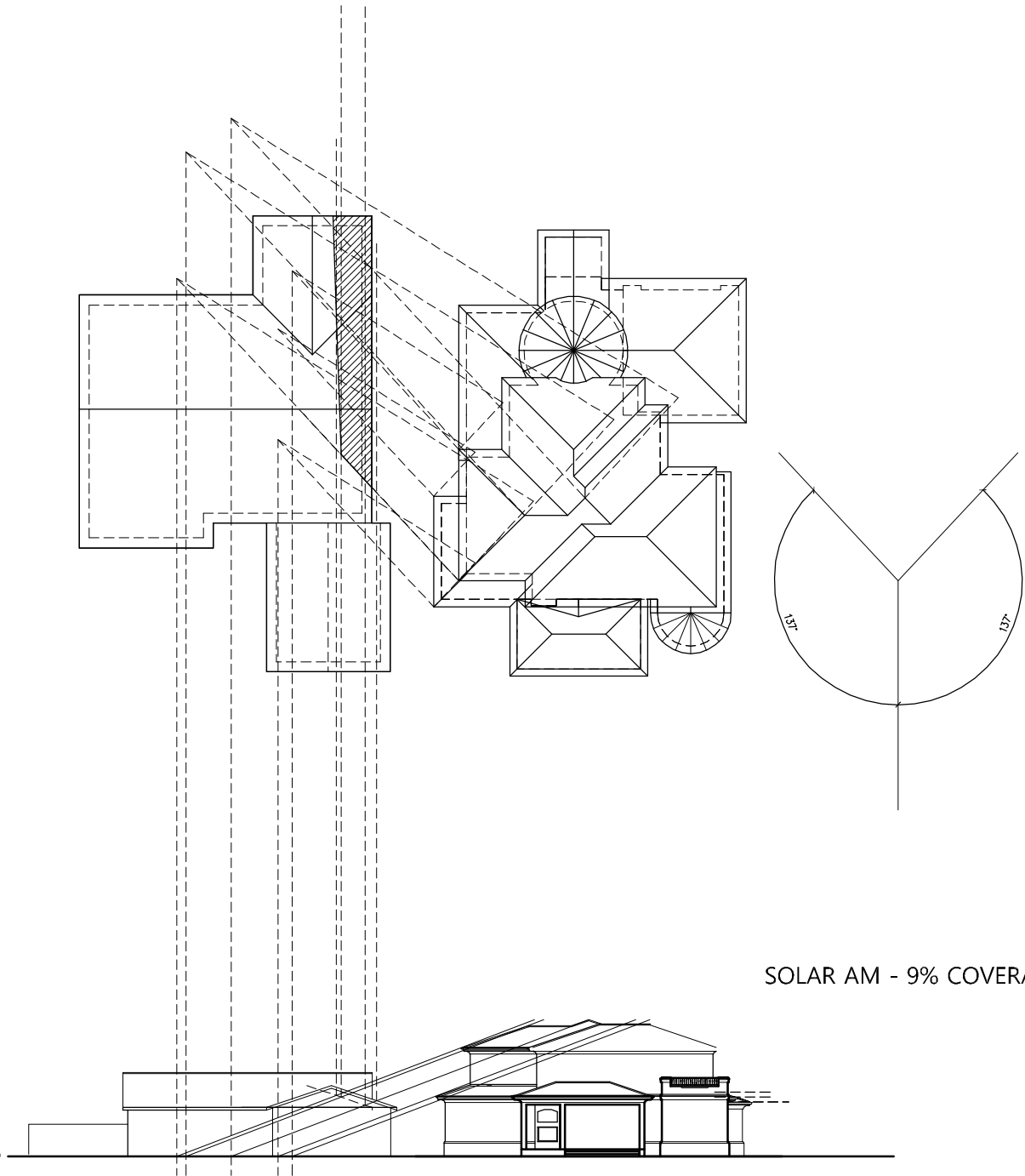
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△	29APR2015	PARTIAL PLANNING COMMENTS
DATE	DESCRIPTION	

PROJECT NAME
BEDI RESIDENCE

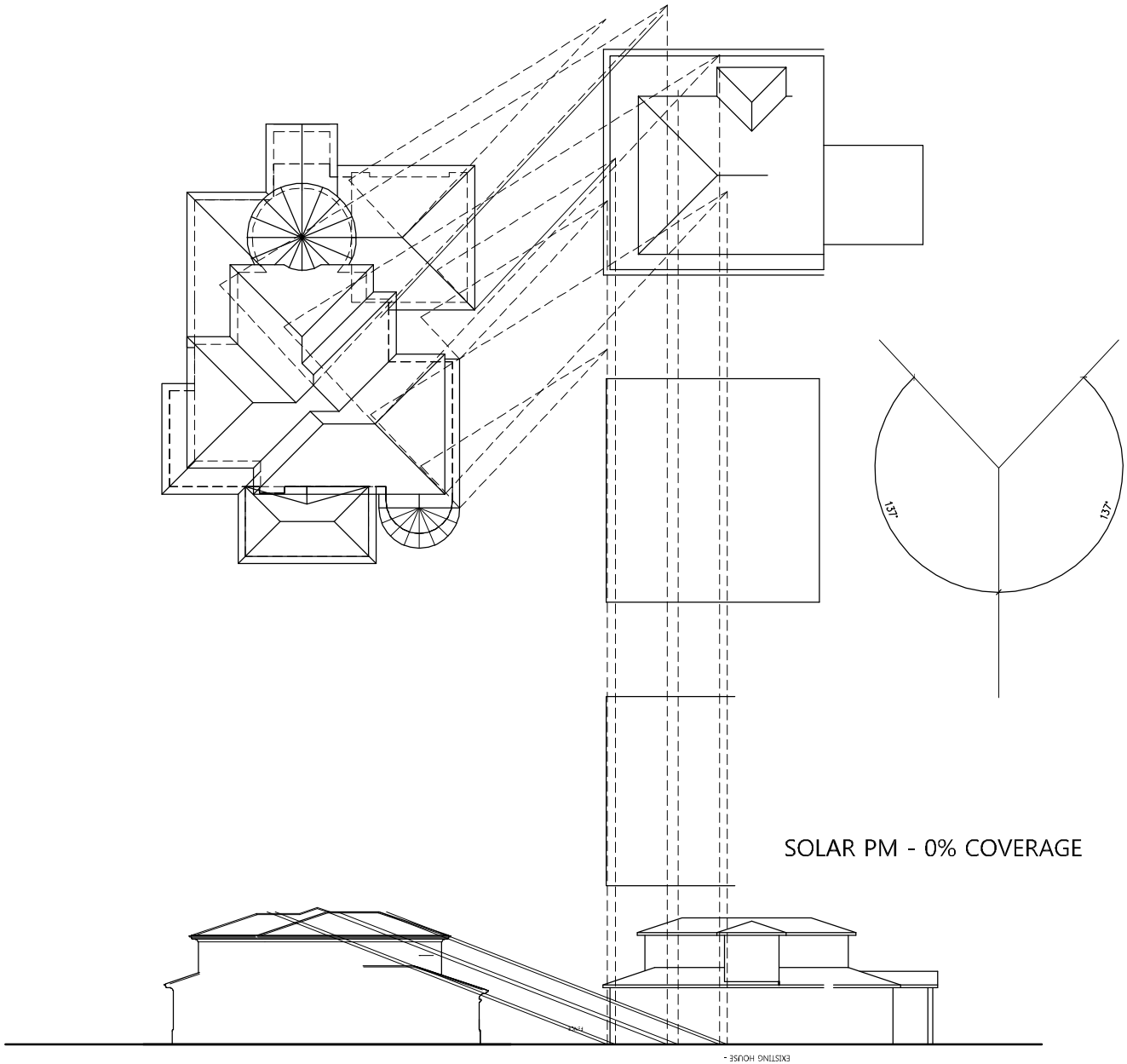
1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE
BUILDING SECTIONS

SCALE AS NOTED	SHEET NO
DATE 23MAR16	A5.3
PROJECT NO 16-02	



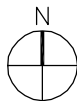
SOLAR AM - 9% COVERAGE



SOLAR PM - 0% COVERAGE

1 SOLAR STUDY
SCALE: 1/16" = 1'-0"

NOTE: PROPOSED SHADING DOES NOT INCLUDE ANY ACTIVE SOLAR PANELS ON THE NEIGHBOR'S ROOF.



26MAY16	PLANNING REV
DATE	DESCRIPTION

PROJECT NAME
BEDI RESIDENCE
1094 LILY AVE
SUNNYVALE, CA

SHEET TITLE
SOLAR STUDY

SCALE AS NOTED	SHEET NO
DATE 23MAR16	A6.1
PROJECT NO 16-02	

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

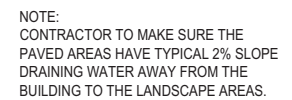
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SCALE:

JOB: _____

LANDSCAPE
LAYOUT PLAN

L-1



NOTE:
CONTRACTOR TO MAKE SURE THE
PAVED AREAS HAVE TYPICAL 2% SLOPE
DRAINING WATER AWAY FROM THE
BUILDING TO THE LANDSCAPE AREAS.

1094 LILY AVENUE
SUNNYVALE, CA

YU-WEN HUANG
LANDSCAPE ARCHITECTURE

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



ISSUED		
No.	Description	Date

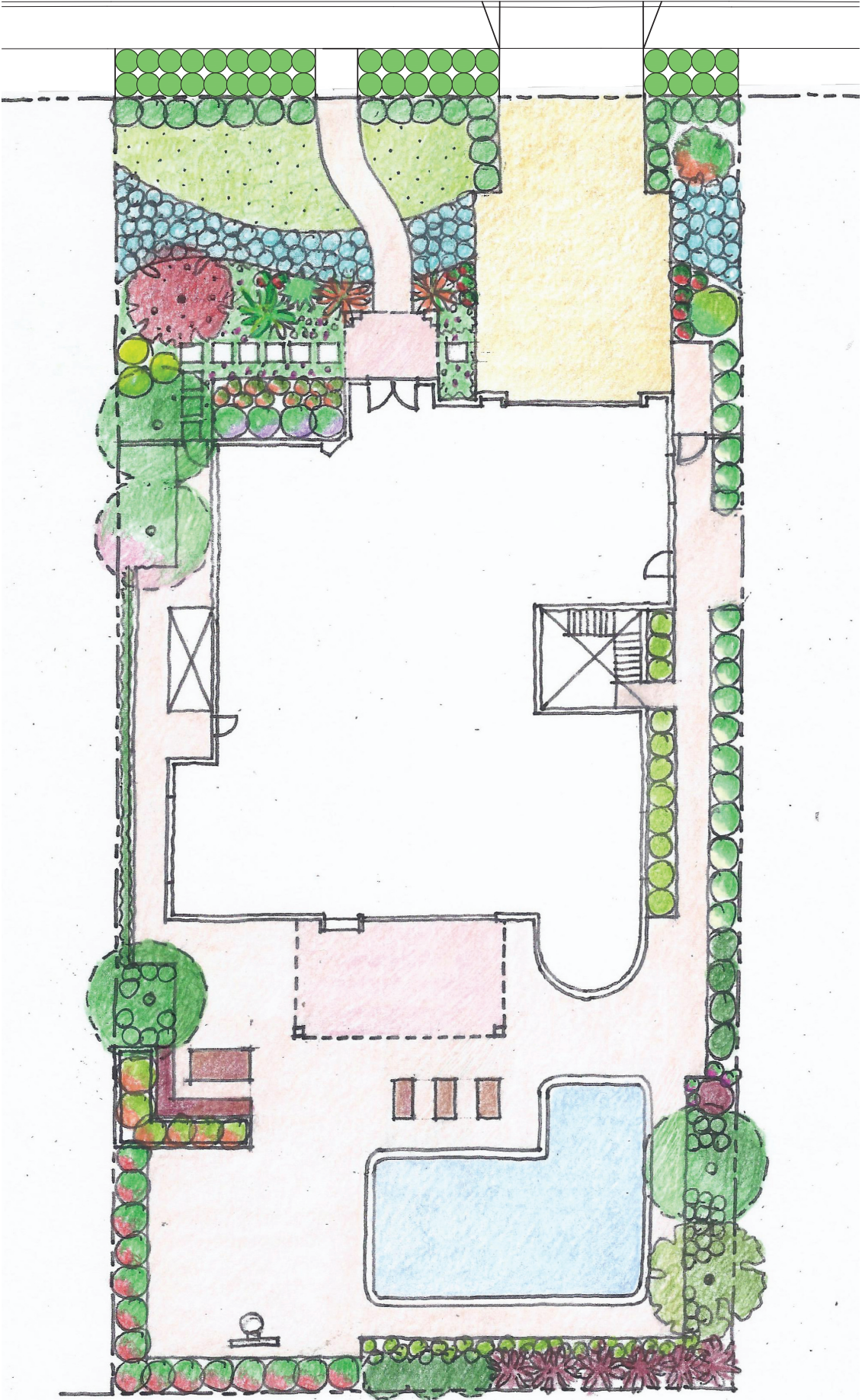
DATE: MAY 19, 2016
SCALE:
DRAWN: YH
JOB:

SHEET TITLE:

CONCEPTUAL
LANDSCAPE PLAN

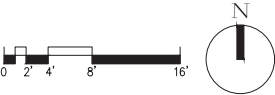
SHEET NO.

L-2



LANDSCAPE DESIGN NOTE:

DESIGN INTENT - TO CREATE A LOW
MAINTENANCE AND HIGH WATER
EFFICIENT GARDEN BY CHOOSING NATIVE
OR LOW WATER USAGE PLANTS.



1094 LILY AVENUE
SUNNYVALE, CA

YU-WEN HUANG
LANDSCAPE ARCHITECTURE

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



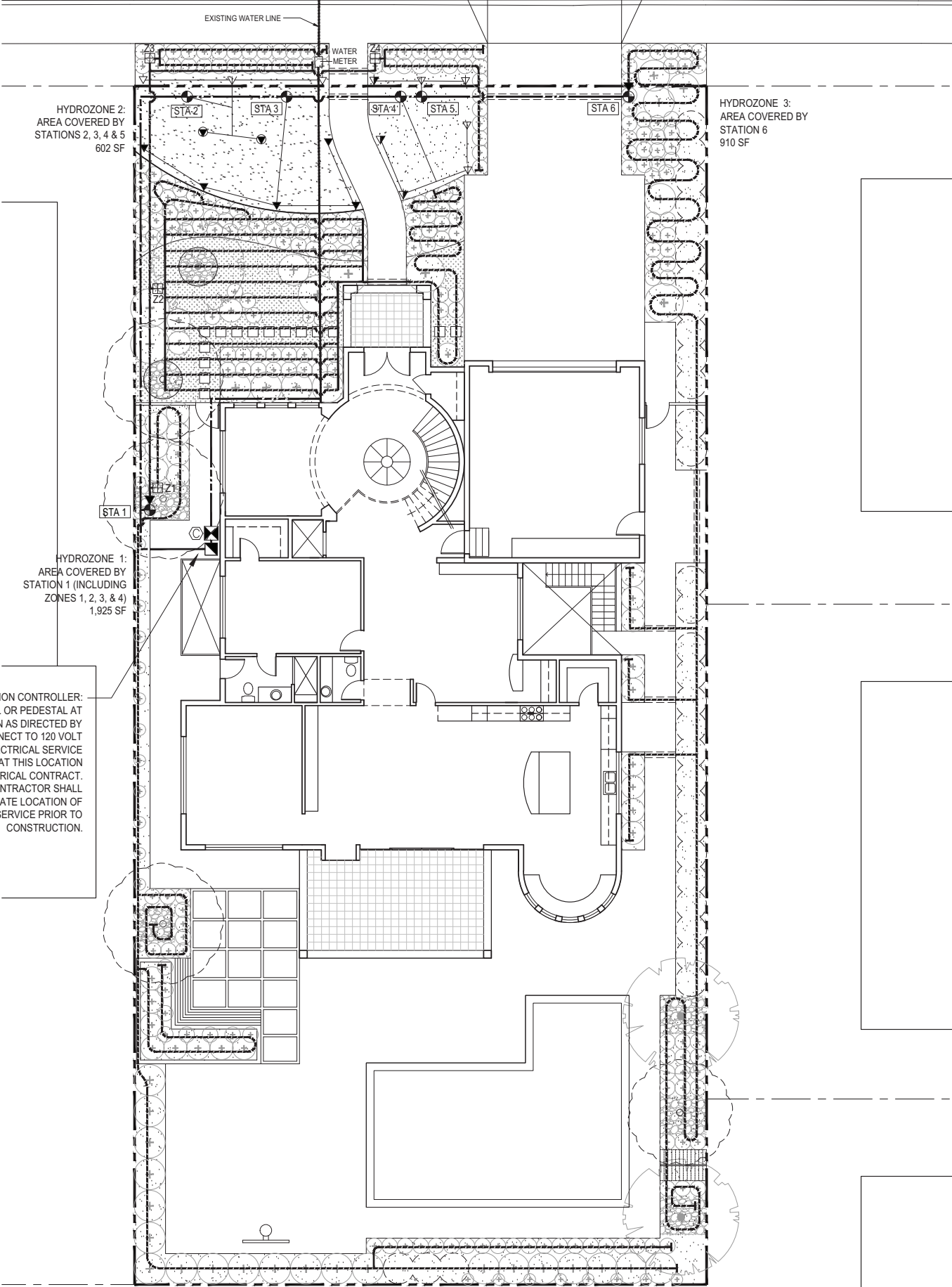
ISSUED		
No.	Description	Date
DATE: MAY 19, 2016		
SCALE:		
DRAWN: YH		
JOB:		

SHEET TITLE:
IRRIGATION
LAYOUT PLAN
&
WATER USE
CALCULATIONS

SHEET NO.

IR-1

LILY AVENUE



WATER USE CALCULATIONS

TOTAL LANDSCAPED AREA (LA) = 3,437 SQ. SF.
SPECIAL LANDSCAPE AREA (SLA) = 0 SQ. SF.

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)
= $ET_o \times 0.62 \times (0.7 \times LA + 0.3 \times SLA)$
= $45.3 \times 0.62 \times (0.7 \times 3,437 + 0.3 \times 0)$
= 67,572 GALLONS/YR

ESTIMATED TOTAL WATER USE (ETWU)
= $ET_o \times 0.62 \times (PF \times HA/0.7 + SLA)$
= $45.3 \times 0.62 \times (1,616/0.7 + 0)$
= 64,839 GALLONS/YR

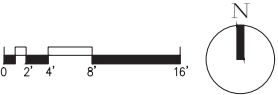
HYDROZONE TABLE

HYDROZONE	PLANT WATER USE TYPE	IRRIGATION TYPE	PLANT FACTOR* (PF)	HYDROZONE AREA (HA) (SQ FT)	PF x HA (SQ FT)
1	MEDIUM	DRIP	0.4	1,925	770
2	HIGH	SPRINKLER	0.8	602	482
3	MEDIUM	DRIP	0.4	910	364
				SUM	1,616

* USE WUCOLS TO DETERMINE PF, SEE SHEET L-3 FOR PLANT WATER USAGE LEVEL

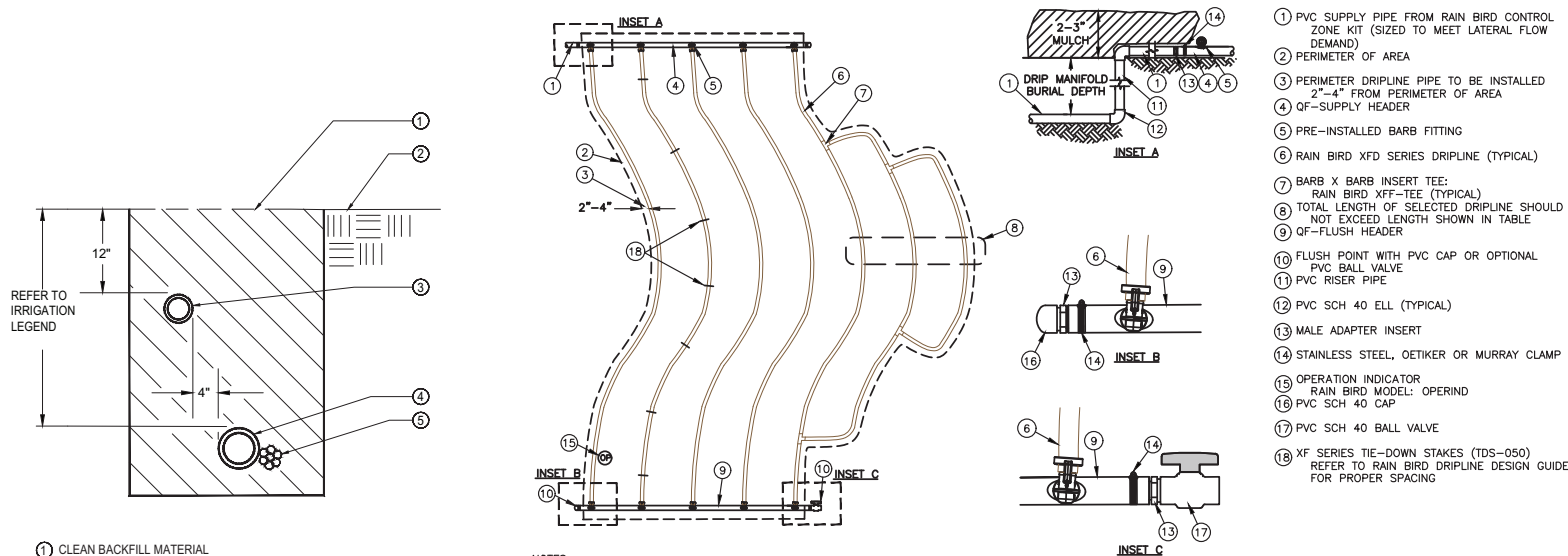
ETWU < MAWA , so ETWU complies with MAWA

THE PROJECT MEETS WATER EFFICIENT REQUIREMENTS



IRRIGATION PLAN NOTES

- THE INTENT OF THIS IRRIGATION PLAN IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- FOR COMPLETE PERFORMANCE AND TECHNICAL SPECIFICATIONS, IRRIGATION CONTRACTOR TO VISIT SPECIFIED LANDSCAPE PRODUCTS CATALOG, VISIT THE PRODUCTS WEBSITE OR CONTACT THE REPRESENTATIVES OF THE IRRIGATION PRODUCTS' MANUFACTURERS.
- IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX 12" FROM THE WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE AND INSTALL EACH BOX 12" APART.
- INSTALL A GATE VALVE TO ISOLATE EACH REMOTE CONTROL VALVE OR GROUP OF RCV'S LOCATED TOGETHER. GATE VALVE SIZE SHALL BE SAME AS THE LARGEST REMOTE CONTROL VALVE IN MANIFOLD.
- IT IS THE RESPONSIBLTY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBLTY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND INACCORDANCE WITH LOCAL CODES.
- PROVIDE EACH CONTROLLER WITH ITS OWN GROUND ROD. SEPARATE THE GROUND RODS BY A MINIMUM OF EIGHT FEET. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. INSTALL NO MORE THAN 6" OF THE GROUND ROD ABOVE FINISH GRADE. CONNECT #6 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. MAKE THIS WIRE AS SHORT AS POSSIBLE, AVOIDING KINKS OR BENDING.
- PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN IDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.
- INSTALL NEW BATTERIES IN THE IRRIGAITION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. ISE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, UTILITY BOXES, ELECTRICAL ENCLOSURES, ETC
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.
- NSTALL GREEN PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.
- INSTALL A GATE VALVE TO ISOLATE EACH REMOTE CONTROL VALVE OR GROUP OF RCV'S LOCATED TOGETHER. GATE VALVE SIZE SHALL BE SAME AS THE LARGEST REMOTE CONTROL VALVE IN MANIFOLD.
- IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. CONTROL WIRE SERVICING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH A UNIQUE COLOR INSULATING JACKET FOR EACH CONTROLLER. COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE I INSULATING JACKET AND A STRIPE OF COLOR WHICH MATCHS THE CONTROL WIRE COLOR CHOICE FOR SPECIFIC CONTROLLER. SPARE WIRE: #14-1 WIRE WITH BLACK INSULATION JACKET. SPLICES SHALL BE MADE WITH 3M-DBY SEAL PACKS OR APPROVED EQUAL.
- INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- SPLICING OF LOW VOLTAGE WIRES IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTAINED WITHIN SLEEVING OR CONDUIT.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.



- CLEAN BACKFILL MATERIAL
- FINISH GRADE
- LATERAL LINE
- MAIN LINE
- LOW VOLTAGE CONTROL WIRE

2 TRENCH UNDER HARDSCAPE

- NOTES:
- DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
 - LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
 - PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 - AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
 - SEE MANUFACTURER'S DETAILS FOR CENTER FEED LAYOUT OF HEADER.

1 XFD ON-SURFACE DRIPLINE
END FEED LAYOUT OF HEADER

03-31-2015
N.T.S.

IRRIGATION LEGEND

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
	RAIN BIRD	1806-SAM-PRS-15 F,H,Q	6" POP-UP SPRAY SPRINKLER	3.7,1.9,1	30	12-15
	RAIN BIRD	1806-SAM-PRS-12 F,H,Q	6" POP-UP SPRAY SPRINKLER	2.6,1.3,0.7	30	10-12
	RAIN BIRD	1806-SAM-PRS-10 F,H,Q	6" POP-UP SPRAY SPRINKLER	1.6,0.8,0.4	30	8-10
	RAIN BIRD	1806-SAM-PRS-8 H,Q	6" POP-UP SPRAY SPRINKLER	0.5,0.25	30	6-8
	RAIN BIRD	1806-SAM-PRS-5 H,Q	6" POP-UP SPRAY SPRINKLER	0.2,0.1	30	4-5
	RAIN BIRD	PER MANUFACTURER'S RECOMMENDATION	REMOTE CONTROL VALVE WITH PRESSURE REGULATOR AND FILTER FOR DRIP LATERALS			
	RAIN BIRD	PER MANUFACTURER'S RECOMMENDATION	ZONE CONTROL VALVE ASSEMBLY			
	RAIN BIRD	PER MANUFACTURER'S RECOMMENDATION	FLUSH VALVE			
	RAIN BIRD	PER MANUFACTURER'S RECOMMENDATION	AIR RELIEF VALVE ASSEMBLY			
	RAIN BIRD	PER MANUFACTURER'S RECOMMENDATION	TEES & ELBOWS FOR ASSEMBLING PIPES			
	RAIN BIRD	PER MANUFACTURER'S RECOMMENDATION	TIE-DOWN STAKES			
	RAIN BIRD	PER MANUFACTURER'S RECOMMENDATION	PVC RISER PIPE FOR BRINGING UNDERGROUND PIPE TO THE SURFACE AND RAISED PLANTERS			
	WILKINS	975XLSEU-1"	REDUCED PRESSURE BACKFLOW ASSEMBLY			
	DATA INDUSTRIAL	REFER TO SATELLITE MODEL NUMBER	FLOW WENSOR / MASTER VALVE, NORMALLY OPEN.			
	HUNTER	PRO-C	IRRIGATION CONTROLLER WITH SOLAR SYNC ET SENSOR			
	RAIN BIRD	XFD- 06 - 24 - 500	MAIN LINE: 2" AND SMALLER: CLASS 315 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.			
	RAIN BIRD	XFD- 06 - 24 - 500	LATERAL LINE: 3/4" AND LARGER: 1120-SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.			
	RAIN BIRD	XFD- 06 - 24 - 500	MANIFOLD: 1" SIZE: CLASS 315 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.			
	RAIN BIRD	XFD- 06 - 24 - 500	SUPPLY AND HEADER LINES: 1" SIZE: CLASS 315 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.			
	RAIN BIRD	XFD- 06 - 24 - 500	INLINE EMITTER: RAIN BIRD XFD DRIPLINE FOR ON-SURFACE APPLICATION. WATER DELIVERY RATE OF 0.4 GALLON PER HOUR, WITH EMITTER SPACING 24" APART. DRIPLINE LATERAL SPACING 18" TO 24". INSTALL PER MANUFACTURER'S RECOMMENDATION			
	RAIN BIRD	XFD- 06 - 24 - 500	SLEEVING: 1120-CL. 200 PVC PLASTIC PIPE. COVER TO BE AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.			

* WHEN RADIUS OF SPRINKLER HEADS, REQUIRED FOR PROPER COVERAGE, IS LESS THAN RADIUS SHOWN ON LEGEND, THE CONTRACTOR SHALL EQUIP HEAD WITH A RAIN BIRD "PCS" PRESSURE COMPENSATING SCREEN FOR FLOW AND RADIUS CONTROL. SELECT SCREEN ON PCS NOZZLE SCREEN SELECTION CHART FOR APPROPRIATE RADIUS.

YU-WEN HUANG
LANDSCAPE ARCHITECTURE

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

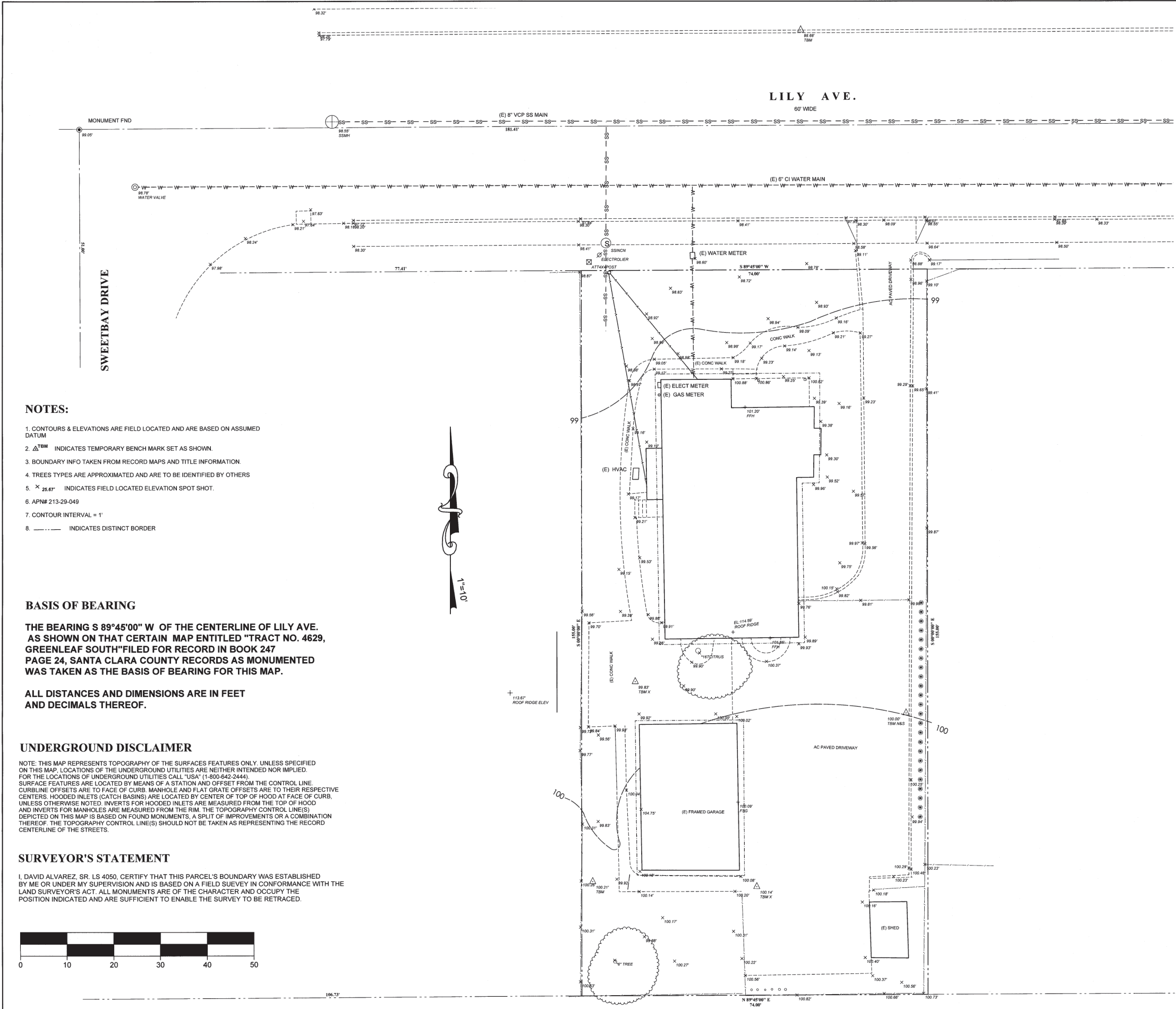
DATE: MAY 19, 2016
SCALE:
DRAWN: YH
JOB:

SHEET TITLE:

IRRIGATION NOTES
& SCHEDULE

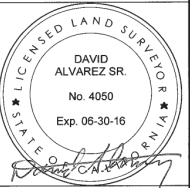
SHEET NO.

IR-2



JLK ASSOCIATES
SURVEYORS / ENGINEERS
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TOPOGRAPHICAL SURVEY MAP
1094 LILY AVE
LOT 24 TRACT NO. 4629
GREENLEAF SOUTH
CITY OF SUNNYVALE
CALIFORNIA



SCALE: 1" = 10'

SHEET:
C - 1