

LHC

L.H.C. Construction

21000-A Big Basin Way
Saratoga, CA 95070
(408) 867-9331



OWNER:
Russ Ewell
430 Vine Avenue
Sunnyvale, CA 94086
(650) 773-6592

THE EWELL RESIDENCE
2ND UNIT
430 VINE AVENUE
SUNNYVALE, CALIFORNIA 94086

REVISIONS:

SHEET TITLE:
SITE PLAN
TITLE SHEET

DATE: Feb 3, 2010 PROJECT NO.: B-45

SCALE: AS SHOWN DRAWN: HC

SHEET

A-0

OF 10 SHEETS

EWELL RESIDENCE 2ND UNIT

430 VINE AVENUE
SUNNYVALE, CALIFORNIA 94086

GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTORS AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORKS.

THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTORS SHALL PROVIDE ALL SAMPLES AND OR SPECIFICATION SHEETS AS REQUIRED TO ASSIST OWNERS OR THEIR AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNERS, OR IN ABSENCE OF SAME, THEY SHALL PROVIDE AN ALLOWANCE AMOUNT WITH CONDITION OF ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.

NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENT, AND THE CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.

THE CONTRACTORS SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THEY SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.

CONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY THEMSELVES AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTORS SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING THEIR WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTORS FOR THE EXPENSES DUE TO THEIR NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT THEIR WORK.

ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.

ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOWS SUCH STORAGE TO BE PLACED.

SCOPE OF WORK

THIS PROJECT IS TO PROPOSED A 2ND UNIT NEXT TO THE RIGHT SIDE OF THE EXISTING SINGLE FAMILY HOUSE.

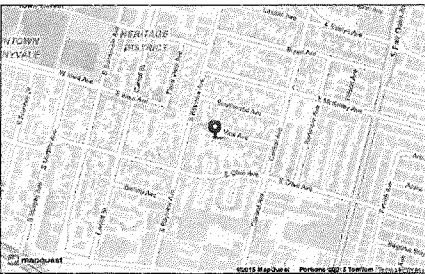
DRAWING INDEX

ARCHITECTURAL	
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RUSS EWELL
430 VINE AVENUE
SUNNYVALE, CA 94086
TEL: (650) 773-6592

ARCHITECT:
LHC ARCHITECTURAL DESIGN
13937 LYNDE AVENUE
SARATOGA, CA 95070
TEL: (408) 483-1965

VICINITY MAP



PROJECT DATA

ZONING DESIGNATION:	RO	
EXISTING USE:	SINGLE FAMILY RESIDENTIAL	
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL	
OCCUPANCY GROUP:	R3/U	
TYPE OF CONSTRUCTION:	V-B	
SITE AREA:	12355 S.F.	0.2836 ACRE
EXISTING LIVING FLOOR:	3168 S.F.	
EXISTING GARAGE:	400 S.F.	
TOTAL EXISTING BUILDING AREA:	3568 S.F.	
PROPOSED 2ND UNIT LIVING AREA:	544 S.F.	
TOTAL BUILDING AREA:	4112 S.F.	
FLOOR AREA RATIO (FAR):	33.28% (4112 / 12355)	
EXISTING COVERED PORCH:	71 S.F.	
LOT COVERAGE:	33.86% (4183 / 12355)	
MAIN HOUSE BUILDING HEIGHT:	16'-0"	
2ND UNIT BUILDING HEIGHT:	11'-7"	
NUMBER OF STORIES:	1	
PAVING AREA:	1236 S.F.	10.00% OF TOTAL
LANDSCAPE AREA:	6810 S.F.	55.12% OF TOTAL
BUILDING SET BACK:	FRONT 20 FT. SIDE 5 FT. 6 IN. & 4 FT. REAR 20 FT.	
APPLICABLE CODES:	2013 CBC, CRC, CMC, CPC, CFC, CEC, & CITY OF SUNNYVALE ORDINANCES, 2013 CALIFORNIA ENERGY STANDARD	
ASSESSOR PARCEL NUMBER:	209-23-030	

SITE PLAN

1/8" 1

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REVISIONS:

SHEET TITLE:
OVERALL FLOOR PLAN

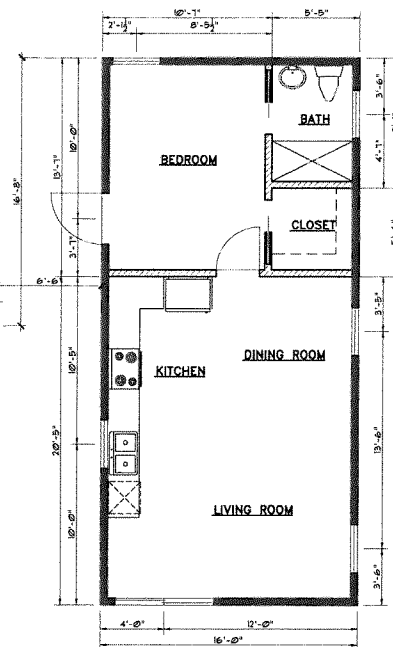
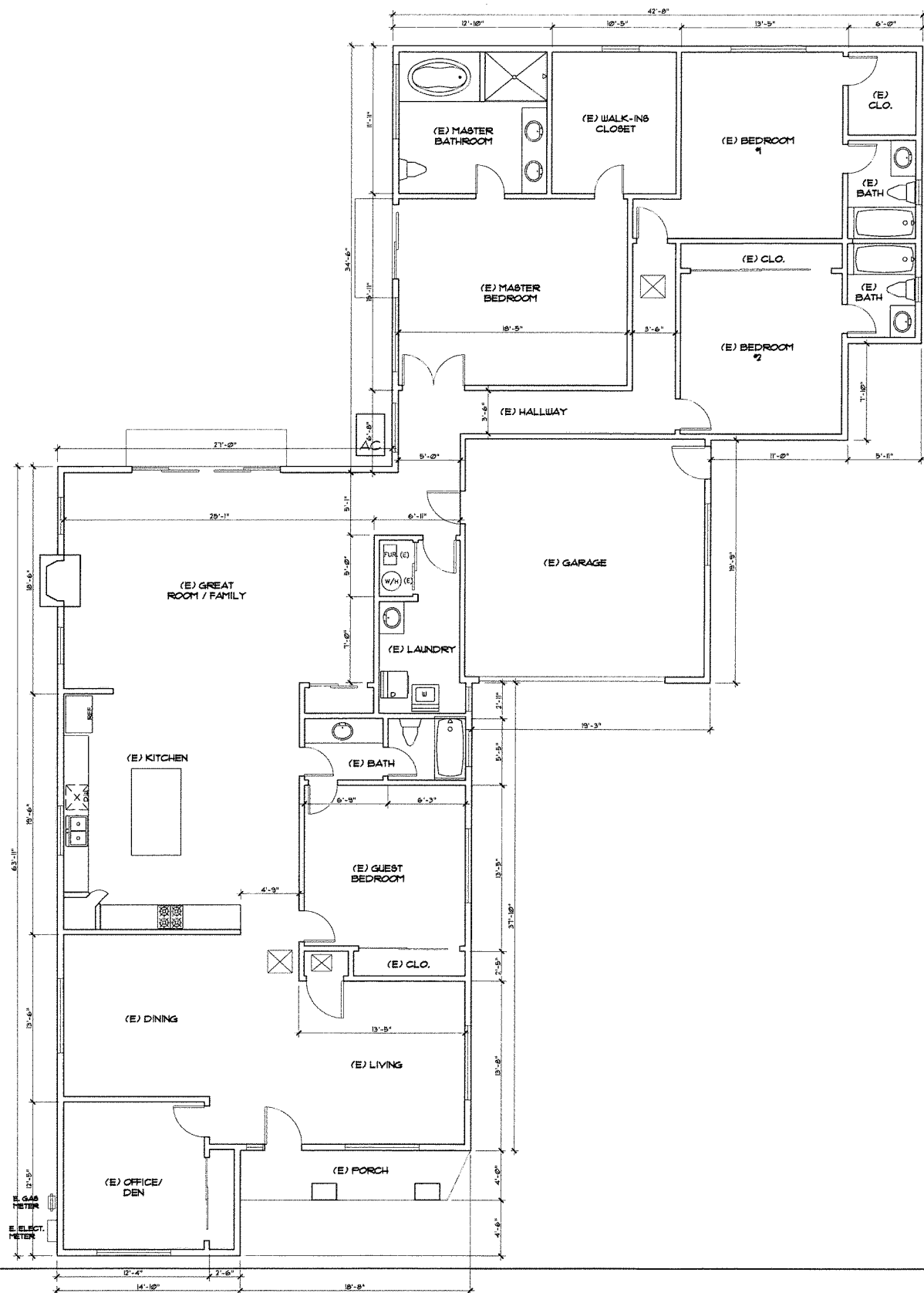
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SHEET

A-1

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REVISIONS:

SHEET TITLE:

PROPOSED 2ND UNIT
FLOOR PLAN
2ND UNIT ELEVATIONS

DATE PROJECT NO.

Feb 3, 2016 15-45

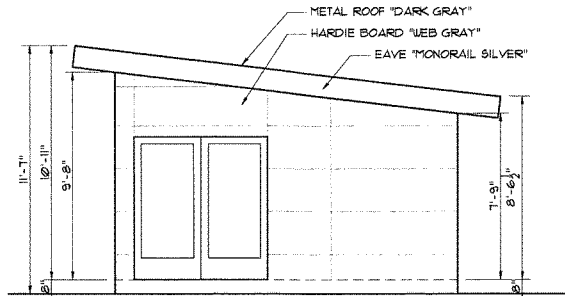
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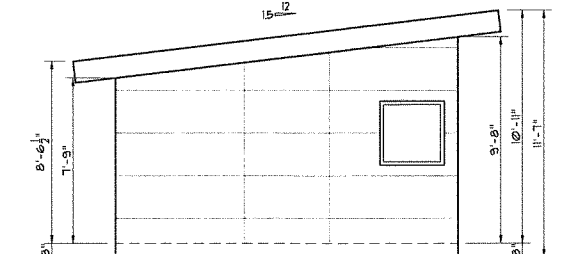
SHEET

A-2

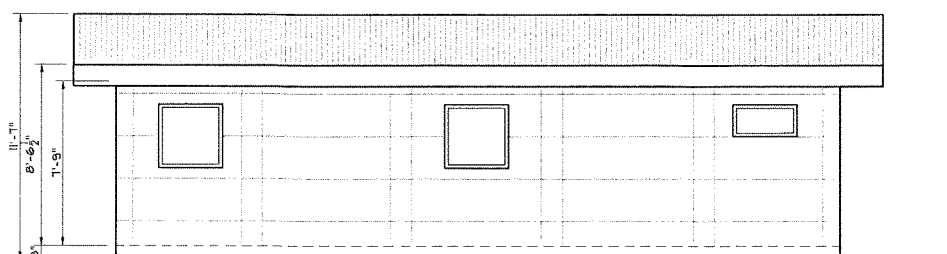
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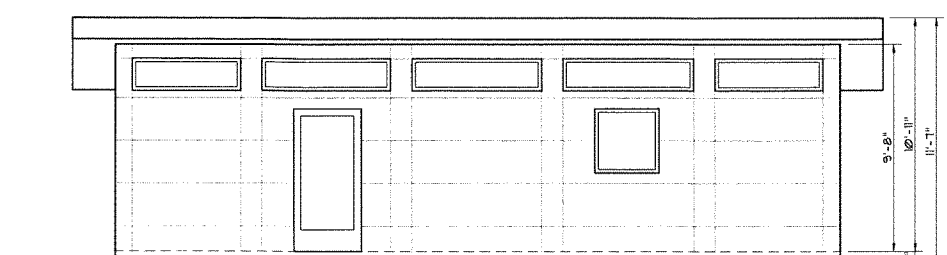
A. 2ND UNIT FRONT ELEVATION



B. 2ND UNIT REAR ELEVATION



C. 2ND UNIT RIGHT ELEVATION



D. 2ND UNIT LEFT ELEVATION

NOTE:

- PROVIDE 12" MINIMUM CLEARANCE IN FRONT OF 2" OR LESS UNDER-FLOOR CLEANOUT PIPING AND 18" IF MORE THAN 2" DIAMETER PIPE.
- NO UNDER-FLOOR CLEANOUT SHALL BE LOCATED MORE THAN 20 FEET FROM CRAWL HOLE ACCESS PANEL. (CPC 707.10)
- OUTDOOR A/C SUCTION LINE INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED FROM UV DETERIORATION OR PHYSICAL DAMAGE. (CEES 150(i)2, 150(m)9)
- ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GA. MIN. PER CBC SEC. 406.1.4, EX. 1.
- ENVIRONMENTAL AIR DUCTS SUCH AS VENTILATION FOR HUMAN USAGE, KITCHEN RANGE EXHAUST, BATHROOM EXHAUST, AND CLOTHES DRYER EXHAUST SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER PER CMC 504.1.
- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (e.g., BATHROOM FAN) SHALL HAVE A MINIMUM OF 3' AWAY FROM ANY OPENING INTO THE BUILDING (e.g., WINDOWS, OPERABLE SKYLIGHTS, ATTIC VENTS) PER CMC 504.5.
- A DEDICATED 20-AMP CIRCUIT SHALL BE PROVIDED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES/LIGHT/FAN PER CEC 210.11(C)(9).
- TWO SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS ONLY PER CEC 210.11(C)(1) AND CEC 220.16(A).
- PROVIDE A DEDICATED 20-AMP CIRCUIT TO SUPPLY LAUNDRY ROOM APPLIANCE OUTLETS PER CEC 210.11(C)(2) AND CEC 220.16(B).
- LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES ARE LABELED "SUITABLE FOR DAMP LOCATIONS" PER CEC 410-4(8).
- ALL RECESSED LIGHT FIXTURES SHALL BE IC RATED, & AIR-TIGHT (AT) OR FIXTURES NOT IDENTIFIED FOR CONTACT W/ INSULATION SHALL HAVE ALL RECESS PARTS SPACED AT LEAST 1/2" FROM COMBUSTIBLE MATERIAL AND 3" FROM THERMAL INSULATION PER CEC 410-68.
- ALL KITCHEN, BATHROOMS, GARAGE, LAUNDRY, & UTILITY ROOM SHALL BE HIGH EFFICACY LUMINAIRES OR CONTROLLED BY AN OCCUPANT SENSOR THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION.
- ALL OTHER INTERIOR ROOM EXCEPT CLOSETS LESS THAN 70 S.F. SHALL BE HIGH EFFICACY LUMINAIRES OR CONTROLLED BY A MANUAL ON/OCCUPANT SENSOR OR DIMMER.
- ALL OUTDOOR LIGHTING THAT IS MOUNTED TO THE BUILDING SHALL BE HIGH EFFICACY LUMINAIRES OR CONTROLLED BY PHOTO CONTROL/ MOTION SENSOR COMBINATION.
- VENTILATION IN THE BATHROOM SHALL PROVIDE 5 AIR CHANGES PER HOUR AND BE CONNECTED TO THE OUTSIDE AS PER CBC 1203.4.2.1.
- ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS FOR RECEPTACLES, LIGHTS AND SMOKE ALARMS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT PER 2010 CEC 210.12(B).

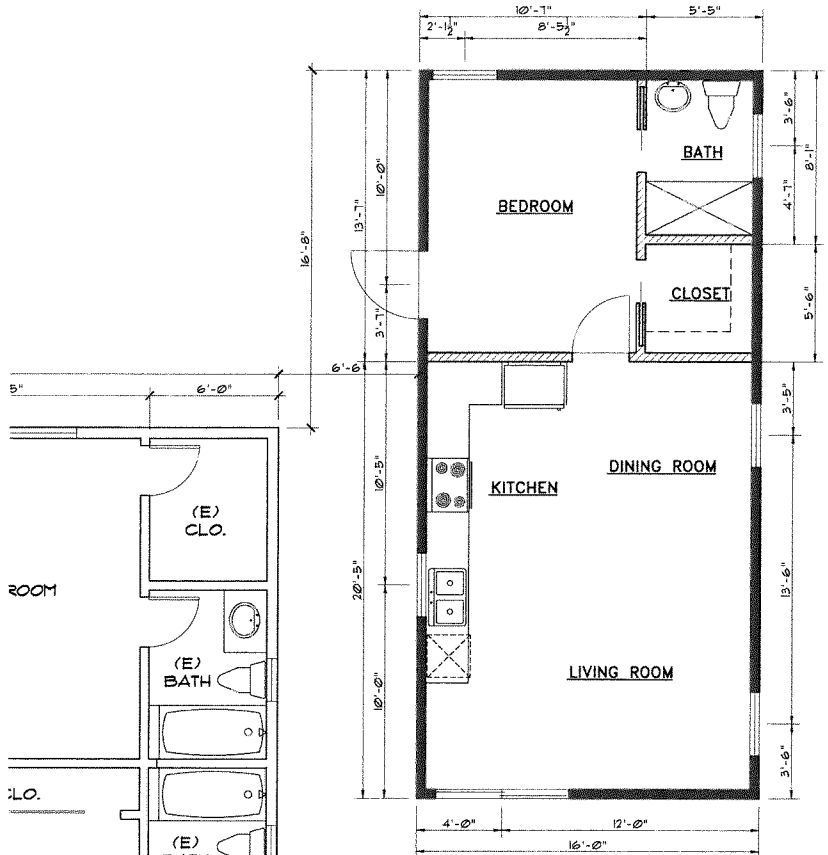
UTILITY LEGEND:

- CEILING TRACK LIGHT
- CEILING PENDANT LIGHT
- WALL MOUNTED INCANDESCENT LT.
- CEILING MOUNTED INCANDESCENT LT.
- CEILING RECESSED LT.
- CEILING RECESSED W/P LT.
- TUBE SKYLITE (SIZE PER OWNER)
- JUNCTION BOX FOR SUSPENDED LT.
- FLUORESCENT LT.
- WALL SCONCE INCANDESCENT LT.
- DUPLEX 110VAC OUTLET
- DUPLEX 220VAC OUTLET
- THERMOSTAT
- MOTION SENSOR W/ INTEGRAL PHOTO CONTROL
- TELEPHONE JACK
- DATA JACK
- TV JACK
- LIGHT SWITCH
- 3 WAY LIGHT SWITCH
- 4 WAY LIGHT SWITCH
- DIMMER
- EXHAUST FAN
- SUPPLY AIR DIFFUSER
- RETURN AIR DIFFUSER
- 110V HOT WIRE SMOKE DETECTOR W/ BATTERY BACKUP, PER CBC 907.2.10.1.2
- 110V HOT WIRE CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP
- MOTION SENSOR LIGHT
- SPEAKER
- TRACK LIGHT
- DOOR BELL
- HOSE BIB

All escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet on 2nd floor & 5.0 square feet on 1st floor. The minimum net clear openable height dimension shall be 24". The minimum net clear openable width dimension shall be 20". When windows are provided as a means of escape or rescue they shall have the bottom of the opening no higher than 44 inches above the floor per CRC R310.1.

* TYPICAL ALL PLUMBING WALLS BEARING WALLS AND WALL EXCEED 10'-0" HIGH SHALL BE 2X6 STUDS @ 16" O.C.

* TYPICAL ALL WATER SUPPLY PIPE TO BE COPPER.



LEGEND :

- EXISTING WALL TO REMAIN AND REPAIR AS REQUIRED.
- 2X OR 3X WOOD STUDS W/ 1/2" THK GYP. BD. ON BOTH SIDES (C/DX OR OSB PLYWD. O/ STUD @ SHEAR WALLS)
- 2X OR 3X WOOD STUDS W/ 1/2" THK GYP. BD. ON GARAGE SIDE (C/DX OR OSB PLYWD. O/ STUD @ SHEAR WALLS)
- 2X OR 3X WOOD STUDS W/ 1/2" THK GYP. BD. INTERIOR SIDE 7/8" CEMENT PLASTER O/ (2) 5" PAPER BACKED LATH OR WOOD SIDING OVER 15# BLDG. PAPER (PAINTED) OVER OSB OR OSB PLYWD. (SEE ELEVATIONS FOR EXTERIOR FINISH)
- WINDOWS

GENERAL PLAN NOTES

- ALL INTERIOR DOORS TO BE HOLLOW CORE 1-3/4" THK UNO. (SEE PLAN FOR SIZE)
- ALL HOUSE TO GARAGE DOORS TO BE SOLID CORE 1-3/4" THK W/ SELF CLOSING AND TIGHT FITTING. (SEE PLAN FOR SIZE)
- ALL ENTRY DOORS TO BE SOLID CORE 1-3/4" THK. (SEE PLAN FOR SIZE)
- PROVIDE A LANDINGS WITH A MIN. DEPTH & WIDTH OF 36" AT ALL EXIT DOOR WHERE THE FINISH GRADE IS 0' 1-3/4" BELOW THE FINISH PER 2010 C.B.C.
- PROVIDE SOUND BATT INSULATION • ALL INTERIOR WALL W/ R-13 MIN. PER OWNER

FLOOR PLAN NOTES

- ALL PLUMBING FIXTURES SHALL BE OF CPC APPROVED PRODUCTS. THE FIXTURE IN SHOWER SHALL HAVE PRESSURE OR THERMOSTATIC MIXING VALVE THAT LIMIT WATER TEMPERATURE TO 120F.
- PROVIDE "DURLOCK" OR "WONDER BOARD" WALL LINING AROUND SHOWER/BATHTUB AREA. CULTURE MARBLE OR TILE FINISH.
- 66"x36" SHOWER PAN W/ CERAMIC TILE TO 72". U.N.O. PROVIDE SOAP DISH.
- RECESS MEDICINE CABINET
- 18" X 24" CRAWL SPACE ACCESS PANEL PER C.B.C. 1209.1.
- 24" X 30" ATTIC ACCESS PANEL PER C.B.C. 1209.2. (30"X60" FOR PULL OUT LADDER PER OWNER)
- TOILET ACCESS AREA SHALL BE 24"(D)X30"(W)
- SHATTERPROOF CLASS SHOWER ENCLOSURE.
- UPGRADE ELEC. PANEL & METER TO 200 AMPS.
- (E) GAS METER.
- PROVIDE 3'X3' MIN. CONC. LANDING AT THE FRONT EXTERIOR DOOR WHERE THE DOOR DOES NOT SWING OVERTHE EXTERIOR LANDING OR STAIR. THE EXTERIOR LANDING IS A MAX. 7' BELOW THE TOP OF THE INTERIOR FLOOR LEVEL & THE THRESHOLD IS A MAX. 9" 1/2" ABOVE THE INTERIOR FLOOR LEVEL. PER CBC 1003.5, EX. 1 & 1008.1.6.
- TUB. PROVIDE MOTOR ACCESS PANEL AT OPTIONAL HYDROMASSAGE BATHTUBS. (VERIFY)
 - THE MOTOR SHALL BE UL LISTED FOR HYDRO-MASSAGE USE. (CPC 415.3)
 - GFCI SINGLE-PHASE OUTLET WITH BONDING PER CEC 680.7.1.
- ACCESS PANEL.

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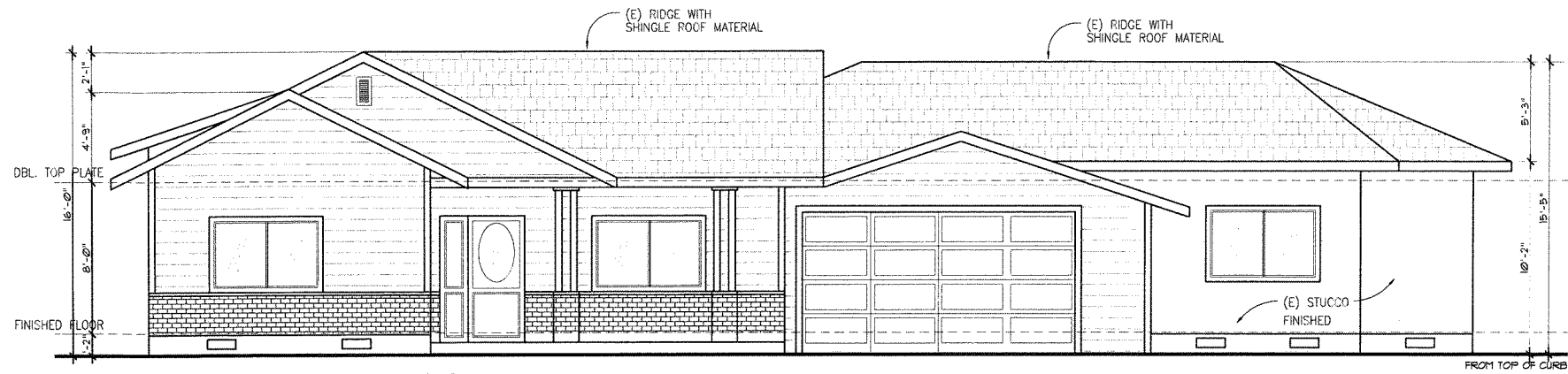
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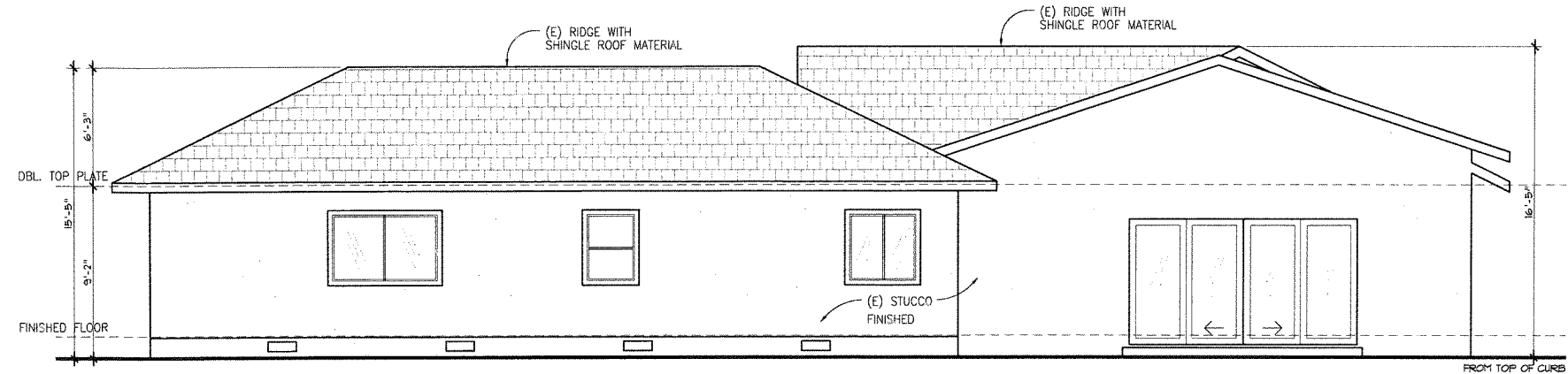
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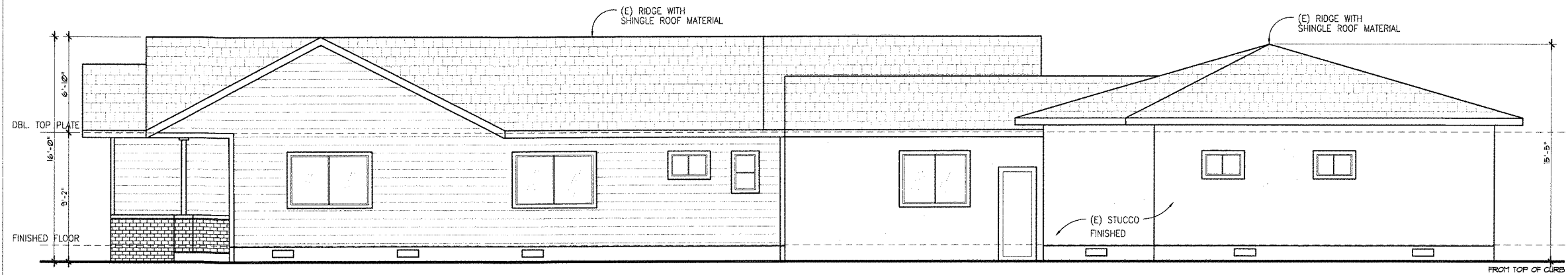
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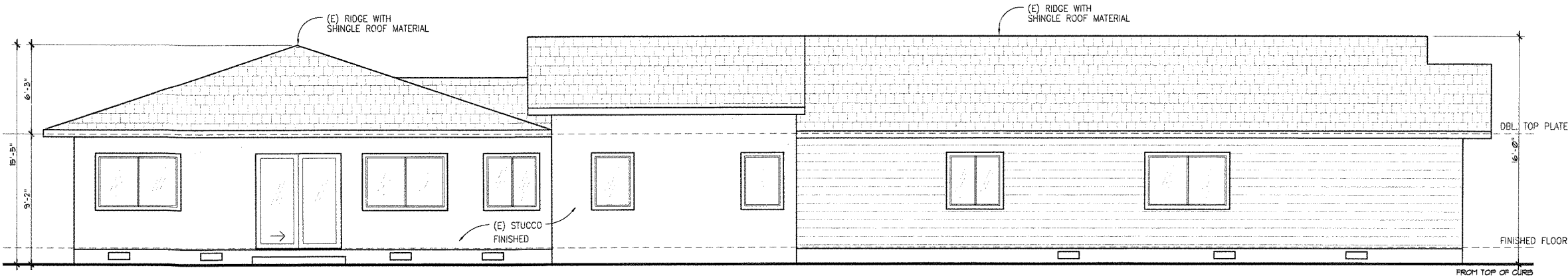
A. EXISTING FRONT ELEVATION



B. EXISTING REAR ELEVATION



C. EXISTING RIGHT ELEVATION



D. EXISTING LEFT ELEVATION

REVISIONS:

SHEET TITLE:

(E) BUILDING ELEVATIONS

DATE: Feb 3, 2016 PROJECT NO: 15-45

SCALE: AS SHOWN DRAWN: HC

SHEET

A-3