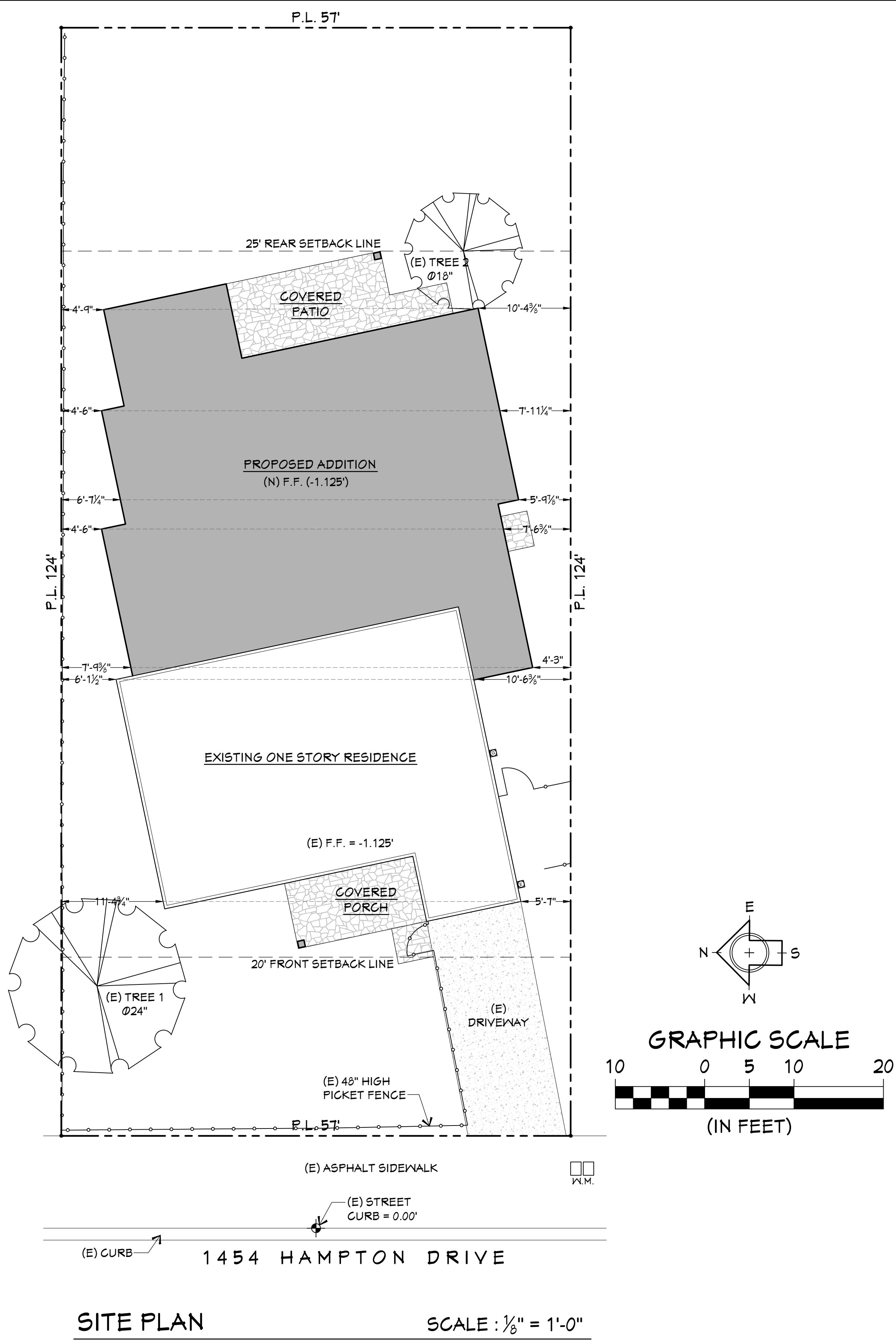


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PROPOSED HOUSE ADDITION TO:
BRIAN AND HENRIETTE VIERRA RESIDENCE
1454 HAMPTON DRIVE
SUNNYVALE, CALIFORNIA 94087

PROJECT SCOPE	DEFERRED SUBMITTAL	PROJECT DIRECTORY																												
<ul style="list-style-type: none">PROPOSED ADDITION CONSISTING OF NEW BEDROOM, MASTER BEDROOM & BATH, FAMILY ROOM, KITCHEN, LAUNDRY ROOM, AND EXPANSION OF EXISTING GARAGE.	<ol style="list-style-type: none">THE AUTOMATIC FIRE SPRINKLER SYSTEM IS DEFERRED SUBMITTAL. A SEPARATE PERMIT IS REQUIRED PRIOR TO WORK ON ANY FIRE PROTECTION SYSTEM OR COMPONENTS.	<div>OWNER:TIM & CARYL/ BRIAN & HENRIETTE VIERRA1454 HAMPTON DRIVE SUNNYVALE, CALIFORNIA 94087</div> <div>DESIGNER:MAC DESIGN - MOLLYANNE SHERMANCID, CKD, CBD, CGBF, CAPS48860 MILMONT DRIVE, SUITE 101C FREMONT, CALIFORNIA 94538 TEL.: (510) 400-4133 E-MAIL: info@macdesignstudio.com</div> <div>STRUCTURAL ENGINEER:ELEMENT STRUCTURAL ENGINEERS, INC.39675 CEDAR BLVD., SUITE 245C NEWARK, CALIFORNIA 94560 TEL.: (510) 573-1557 E-FAX: (473) 924-0663</div> <div>GENERAL CONTRACTOR:MCKINNON CONSTRUCTION711 SOUTH L STREET LIVERMORE, CALIFORNIA 94550 CONTRACTOR LICENSE #939394</div>																												
GENERAL NOTES	BATHROOM REQUIREMENTS	PROJECT DATA																												
<ol style="list-style-type: none">THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE PERFORMING ANY WORK.THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATIONS OF PROPERTY BOUNDARIES FOR THE SITE AND VERIFY ALL SETBACK AND EASEMENT LOCATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE FURTHER COMMENCEMENT OF WORK.THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER AND BE RESPONSIBLE FOR CORRECTING ERRORS OR OMISSIONS IN THE DRAWINGS WHEN PERFORMING THE WORK.NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE CONSTRUCTION DOCUMENTS AND THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL CONSTRUCTION DEFICIENCIES.THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER AND SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS AND OTHER ASSOCIATED MATERIALS FROM THE STRUCTURE AND THE SITE.THE PROJECT SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM RUBBISH AND ACCUMULATIONS OF WASTE.ALL UNDERGROUND UTILITIES AND SERVICES TO BE VERIFIED PRIOR TO ANY EXCAVATION.THESE PLANS SHALL NOT BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.PROVIDE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS AND SHALL BE A MIN. OF 4" HIGH WITH A MIN. STROKE WIDTH OF 1/2".INSTALL ALL FIXTURES PER MANUFACTURER'S SPECIFICATIONS.NEW WINDOWS TO HAVE A MAX. GLAZING U-FACTOR OF 0.34 AND A MAX. SOLAR HEAT GAIN COEFFICIENT (SHGC) OF 0.34 OR AS INDICATED PER TITLE-24 REPORT.EXTERIOR WINDOWS SHALL BE TESTED IN ACCORDANCE WITH ASTM E930.ALL WEATHERSTRIPPING, CAULKING AND THE SEALING OF EXTERIOR DOORS, WINDOWS AND BUILDING ENVELOPE SHALL BE AS REQUIRED BY C.E.C.DESIGN ELEMENTS USED IN ADDITIONS TO EXISTING BUILDINGS, INCLUDING BUT NOT LIMITED TO EXTERIOR MATERIALS, COLORS, WINDOWS, RAILINGS, PORCHES, AND DECORATIVE ELEMENTS, SHALL BE DESIGNED IN A MANNER WHICH IS SUBSTANTIALLY AND COMPATIBLE WITH THE DESIGN ELEMENTS OF THE EXISTING BUILDING.ALL INTERIOR DIMENSIONS SHALL BE VERIFIED BY PRODUCT SUPPLIER.	<ul style="list-style-type: none">PROVIDE WATERPROOFED MATERIAL AT SHOWER WALLS.ALL RECEPTACLES SHALL BE GFCI PROTECTED AND CONNECTED TO A DEDICATED 15 AND 20 AMPS CIRCUIT (CEC 210.8).A MINIMUM OF ONE HIGH EFFICACY LUMINARIES SHALL BE INSTALLED IN EACH BATHROOM; AND ALL OTHER LIGHTING INSTALLED IN EACH BATHROOM SHALL BE HIGH EFFICACY OR CONTROLLED BY VACANCY SENSORS.EXHAUST FANS AND LIGHTING SHALL HAVE SEPARATE CONTROL SWITCHES (EVEN IF A COMBINATION UNIT SHALL BE INSTALLED). THE EXHAUST FAN MAY NEED TO BE SUPPLIED BY A GFCI PROTECT CIRCUIT BASE ON THE MANUFACTURER'S REQUIREMENTS. (CEES 150.0(0)).EXHAUST FAN AND LIGHTING SHALL TERMINATE A MINIMUM OF 3' FROM PROPERTY LINE AND 3' FROM OPENINGS INTO A BUILDING. (CMC 504.5) EXHAUST FANS AT SHOWER SHALL BE LISTED FOR WET LOCATION AND SHALL BE GFCI PROTECTED. (CEC 210) UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.EXHAUST FANS ARE REQUIRED IN ALL BATHROOMS, EVEN IF AN OPERABLE WINDOW IS INSTALLED.(CA ENERGY EFFICIENCY STANDARDS SECTION 150).SHOWER ENCLOSURE DOORS SHALL OPEN OUTWARD AND MAINTAIN 22" CLEARANCE (CPC 408.5) SHOWER COMPARTMENT SHALL BE A MINIMUM 1,024 SQUARE INCHES ENCOMPASSING A 30" CIRCLE. (CPC 408.6).WATER CLOSETS (MAXIMUM 1.28 GPM) SHALL BE CLEAR 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT.SHOWER HEADS (MAXIMUM 2.0 GPM) & FAUCET (MAXIMUM 1.5 GPM) (CPC 403.0).BATHTUB/WHIRLPOOLS AND SHOWER VALVES SHALL BE APPROVED PRESSURE-BALANCED ON THERMOSTATIC MIXING TYPE ADJUSTED TO A MAXIMUM OF 120 DEGREES. (CPC 408.3).	<div>A.P.N. : 313-13-021 ZONING : R-O SINGLE FAMILY RESIDENTIAL (LOW DENSITY) OCCUPANCY GROUP : R-3/U TYPE OF CONSTRUCTION : V-B NUMBER OF FLOORS : 1 LOT AREA : 7,068 SQ. FT. MAX. LOT COVERAGE : 45% x 7,068 SQ. FT. = 3,181 SQ. FT. MAX. FLOOR AREA RATIO (F.A.R.) : 45% x 7,068 SQ. FT. = 3,181 SQ. FT.</div> <table><tr><th>FLOOR AREA</th><th>EXISTING</th><th>PROPOSED</th><th>TOTAL</th></tr><tr><td>HABITABLE AREA =</td><td>823 SQ. FT.</td><td>1,341 SQ. FT.</td><td>2,164 SQ. FT.</td></tr><tr><td>GARAGE =</td><td>266 SQ. FT.</td><td>243 SQ. FT.</td><td>509 SQ. FT.</td></tr><tr><td>SUBTOTAL =</td><td>1,089 SQ. FT.</td><td>1,584 SQ. FT.</td><td>2,673 SQ. FT.</td></tr><tr><td>COVERED FRONTPORCH =</td><td>33 SQ. FT.</td><td>76 SQ. FT.</td><td>109 SQ. FT.</td></tr><tr><td>COVERED REAR PATIO =</td><td>0 SQ. FT.</td><td>150 SQ. FT.</td><td>150 SQ. FT.</td></tr><tr><td>TOTAL =</td><td>1,122 SQ. FT.</td><td>1,810 SQ. FT.</td><td>2,932 SQ. FT.</td></tr></table> <div>PROPOSED LOT COVERAGE: 2,932 SQ. FT. < 3,181 SQ. FT. (41.48%) PROPOSED FLOOR AREA RATIO: 2,673 SQ. FT. (BLDG. AREA) + 150 SQ. FT. (REAR PATIO) = 2,823 SQ. FT. < 3,181 SQ. FT. (39.94%)</div>	FLOOR AREA	EXISTING	PROPOSED	TOTAL	HABITABLE AREA =	823 SQ. FT.	1,341 SQ. FT.	2,164 SQ. FT.	GARAGE =	266 SQ. FT.	243 SQ. FT.	509 SQ. FT.	SUBTOTAL =	1,089 SQ. FT.	1,584 SQ. FT.	2,673 SQ. FT.	COVERED FRONTPORCH =	33 SQ. FT.	76 SQ. FT.	109 SQ. FT.	COVERED REAR PATIO =	0 SQ. FT.	150 SQ. FT.	150 SQ. FT.	TOTAL =	1,122 SQ. FT.	1,810 SQ. FT.	2,932 SQ. FT.
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	<div>ADOPTED CODES</div> <ul style="list-style-type: none">2013 CALIFORNIA BUILDING CODE2013 CALIFORNIA RESIDENTIAL CODE2013 CALIFORNIA MECHANICAL CODE2013 CALIFORNIA PLUMBING CODE2013 CALIFORNIA ELECTRICAL CODE2013 CALIFORNIA GREEN BUILDING CODE2013 CALIFORNIA FIRE CODE2013 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS2013 BUILDING ENERGY EFFICIENCY STANDARDSCITY OF SUNNYVALE ZONING AND MUNICIPAL CODE																													



DATE
8-2-16

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A

M

DESIGN

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INTERIOR DESIGN CERTIFICATION

C C I D C

MOLLYANNE SHERMAN
CERTIFIED INTERIOR DESIGNER
EXPIRES 2-13-18 CID#5916

EXPIRES 2-13-18 CID#5916

VIERRA RESIDENCE
1454 HAMPTON DRIVE
SUNNYVALE, CA 94087

COVER SHEET
SITE PLAN

DATE: FEBRUARY 29, 2015

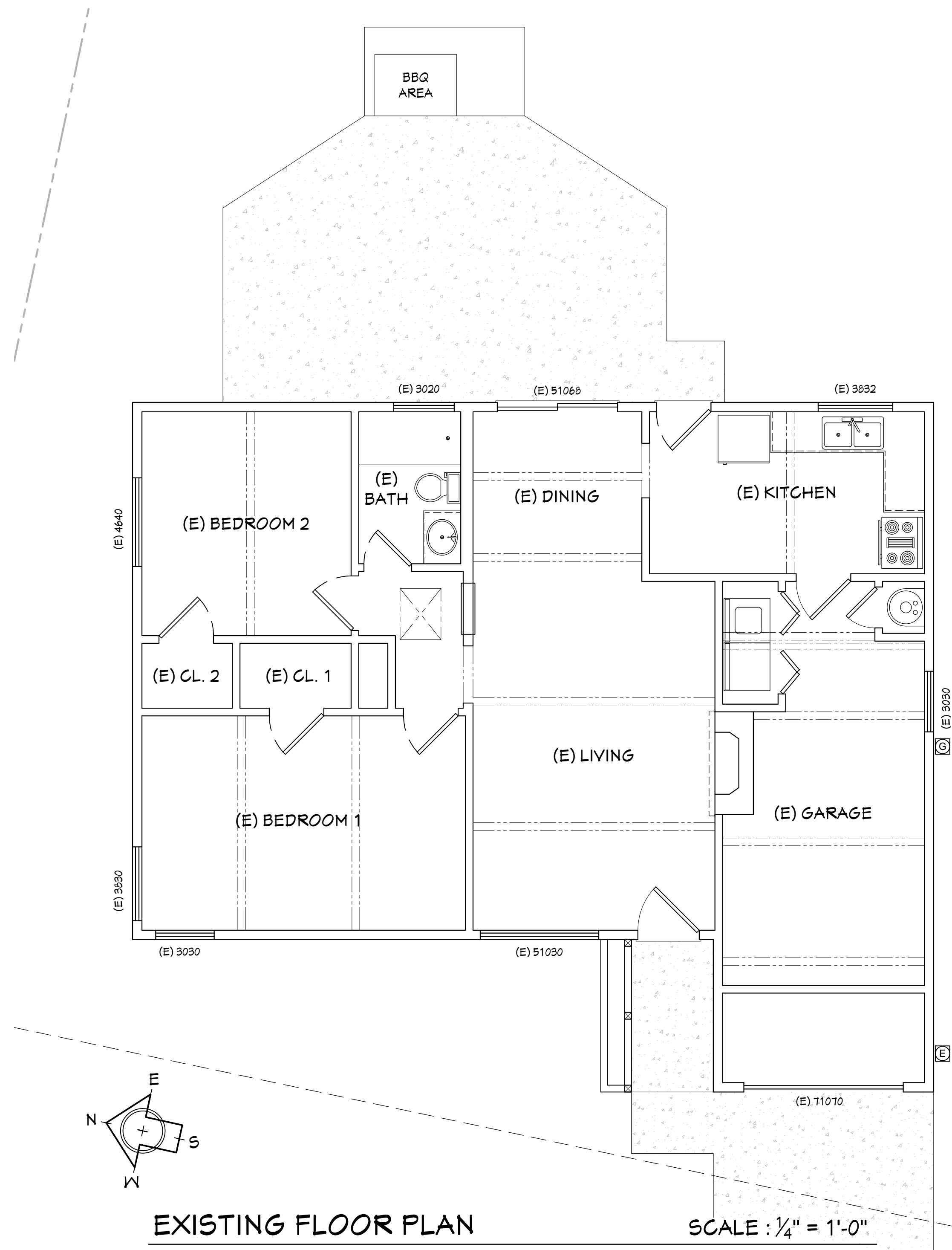
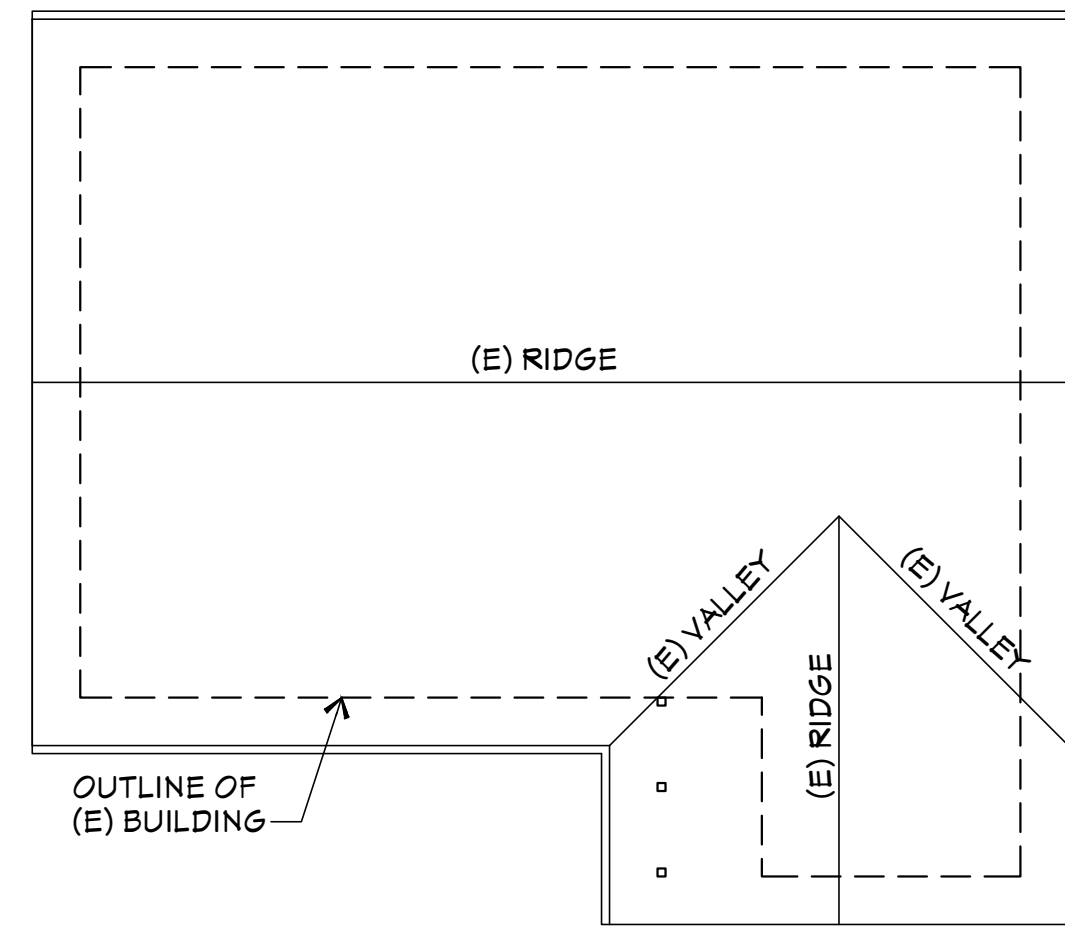
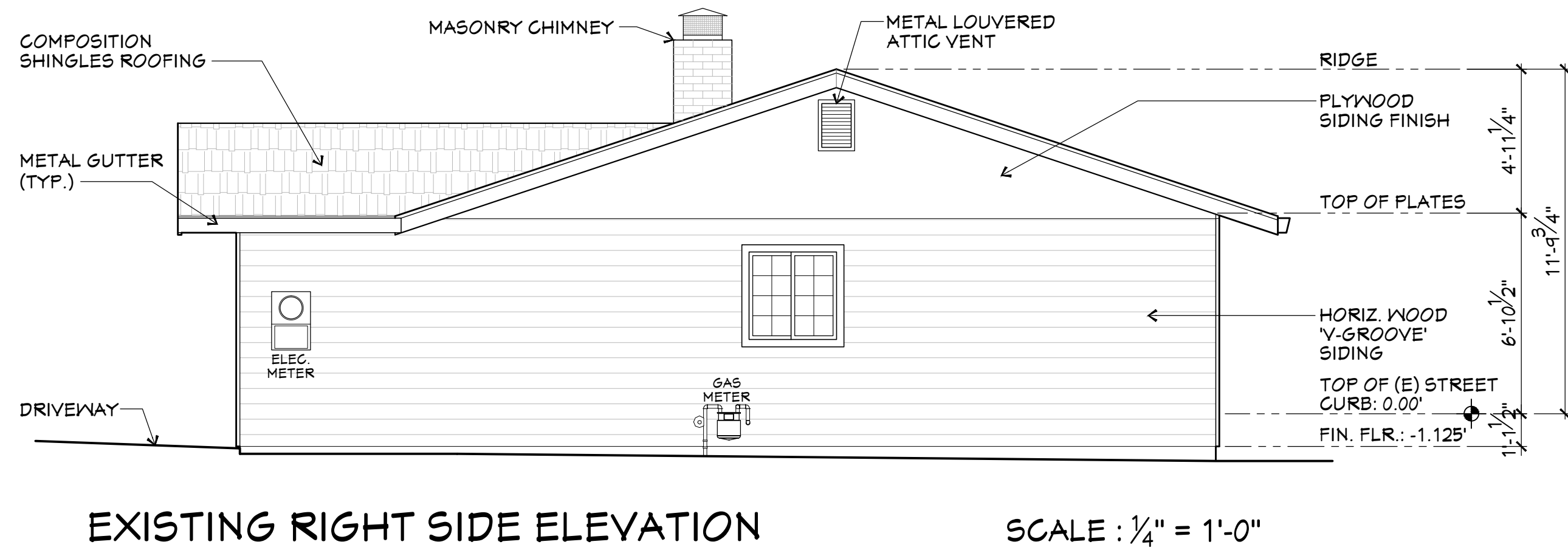
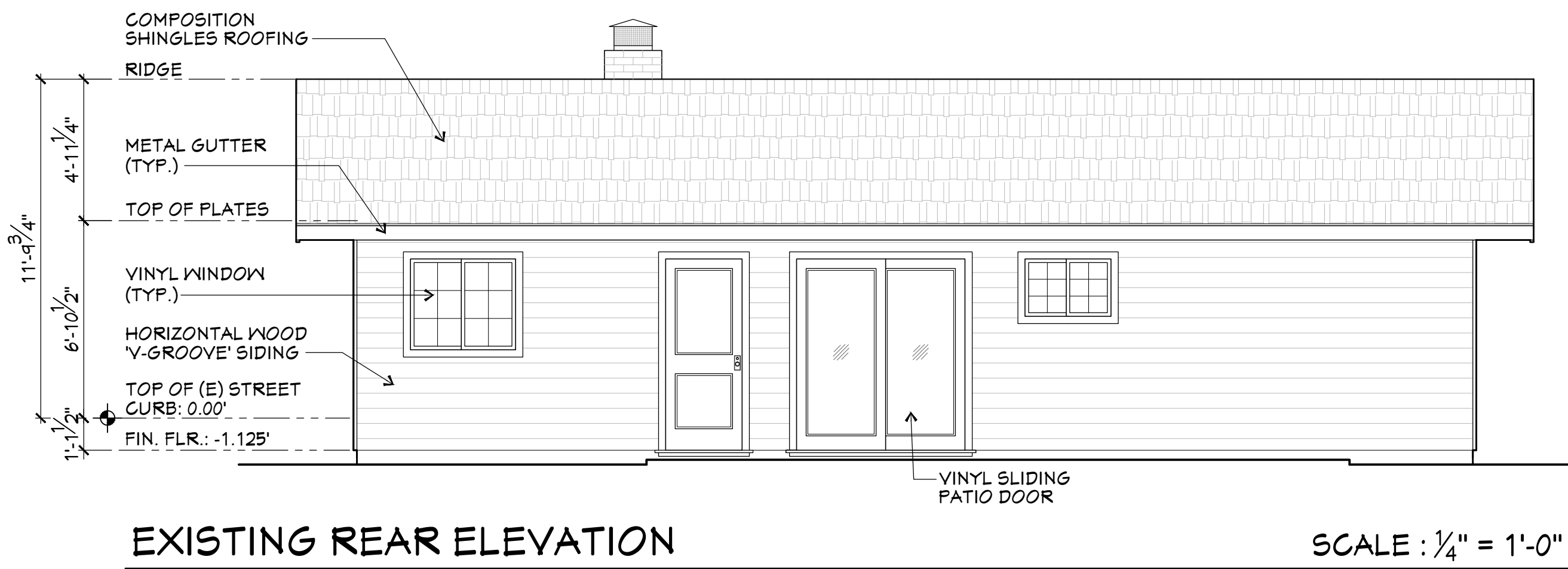
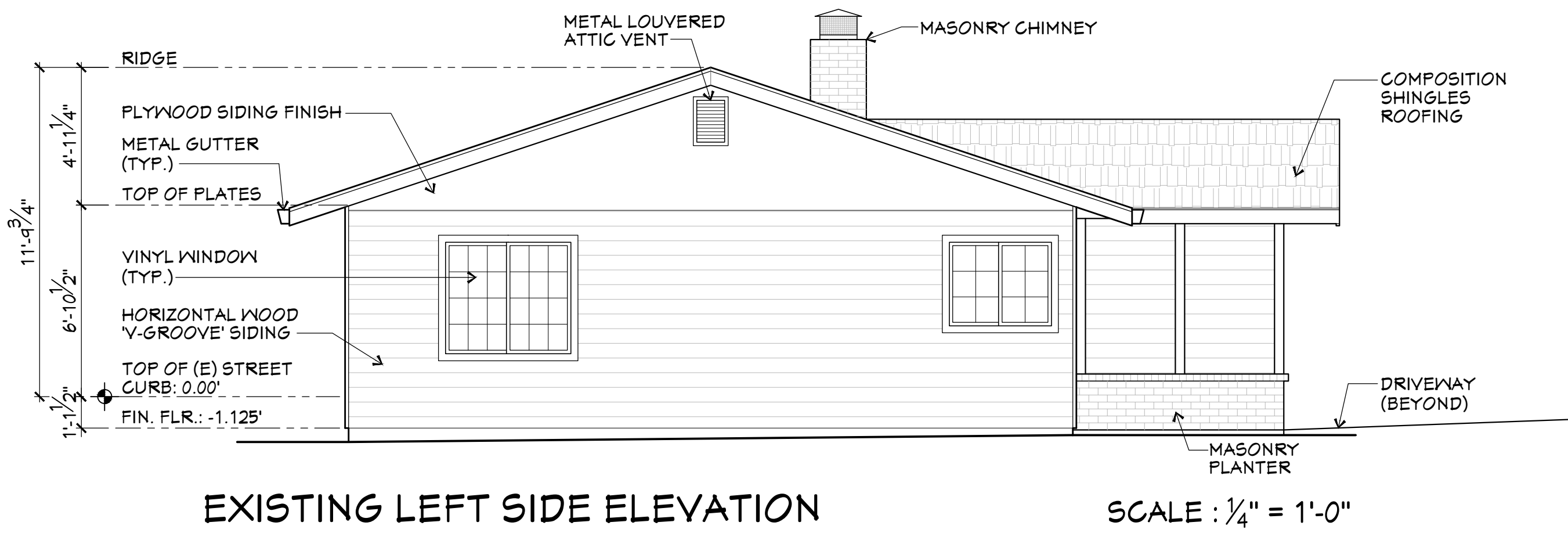
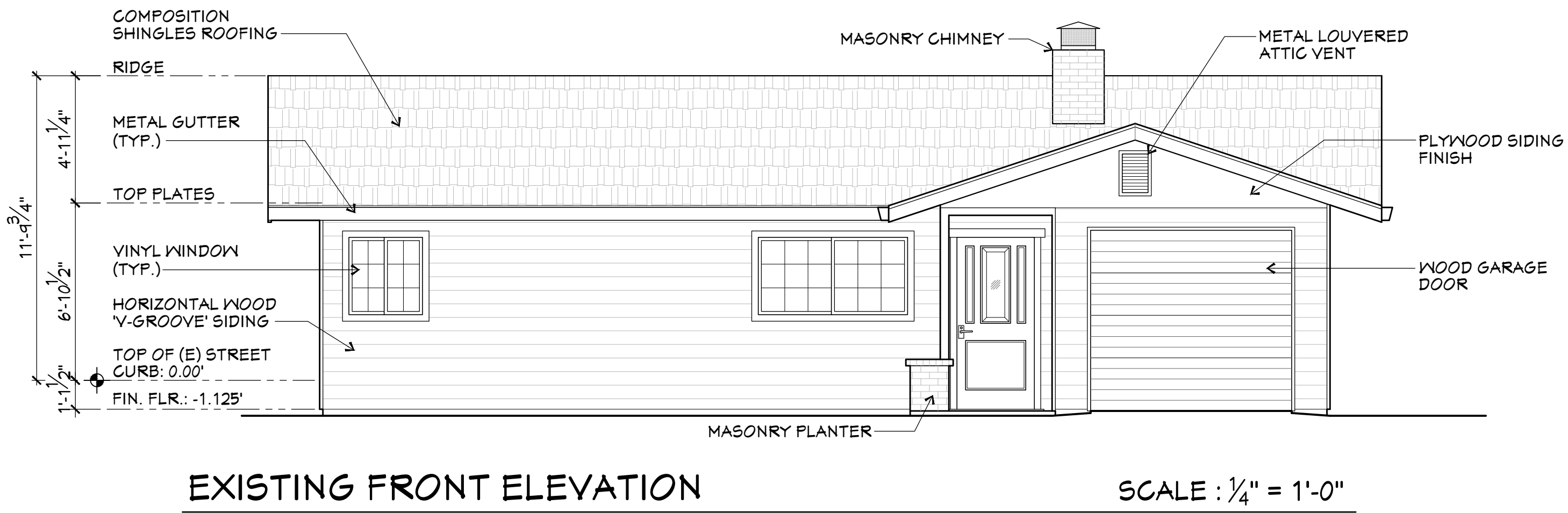
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MOLLYANNE SHERMAN
CERTIFIED INTERIOR DESIGNER
EXPIRES 2-13-18 CID#5916

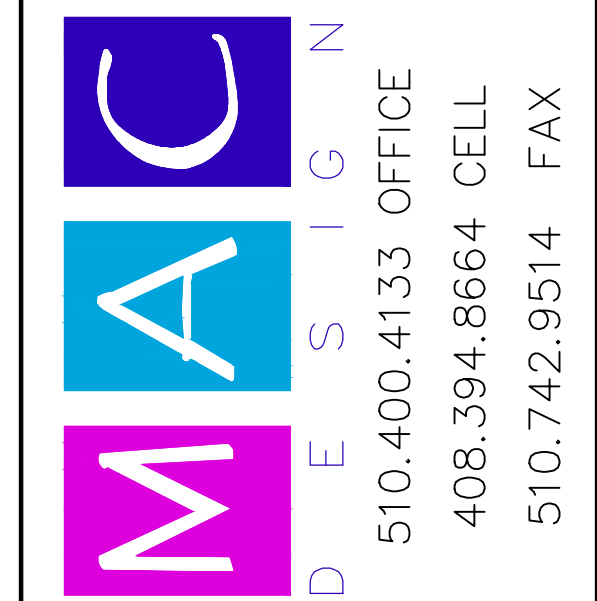
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1454 HAMPTON DRIVE
SUNNYVALE, CA 94087

EXISTING FLOOR PLAN
EXISTING ROOF PLAN
EXISTING ELEVATIONS

DATE: FEBRUARY 29, 2015
SCALE: AS NOTED
DESIGNED BY:
MAC DESIGN

SHEET:
A3

DATE	REVISION	DATE	REVISION
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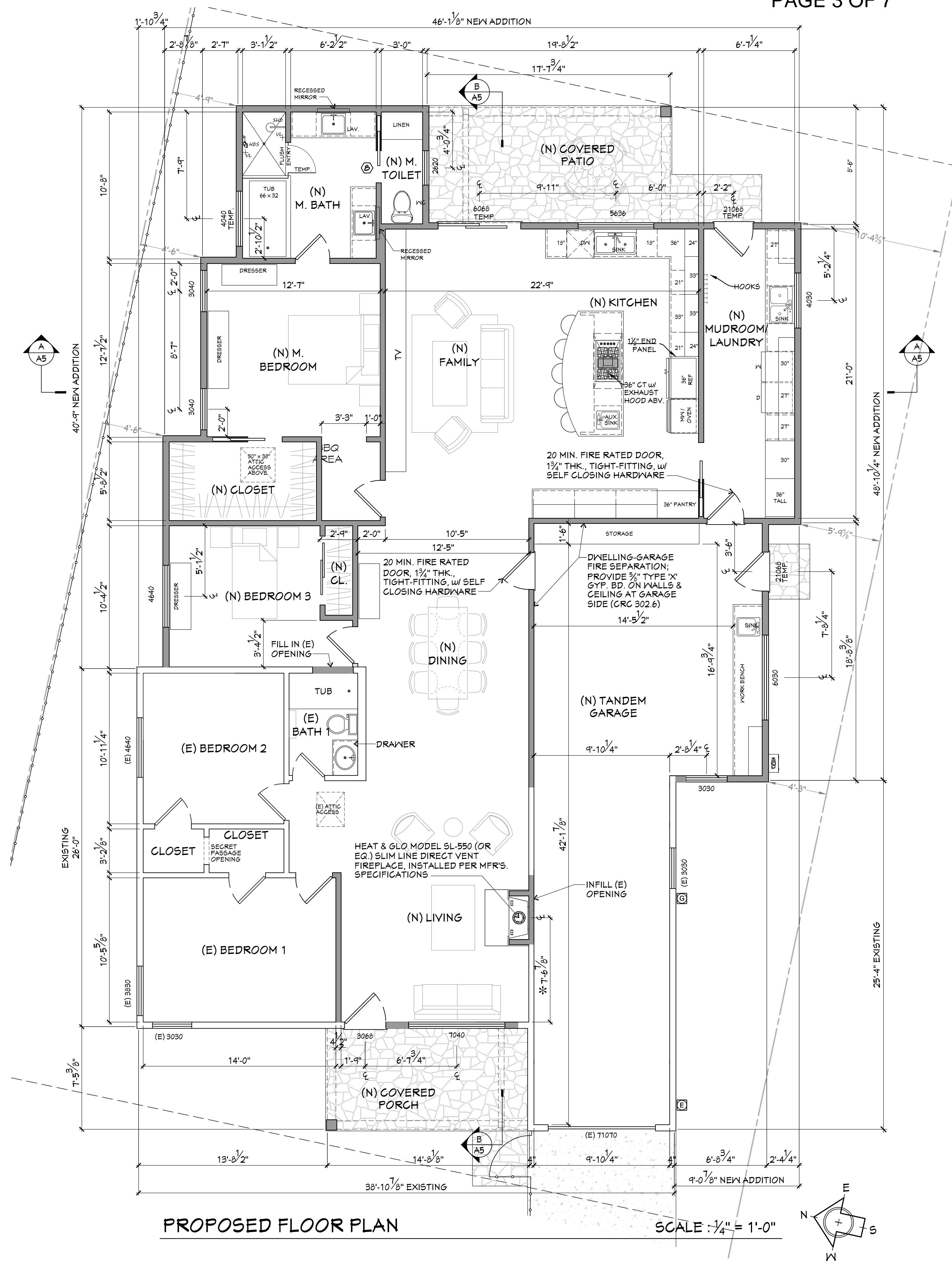
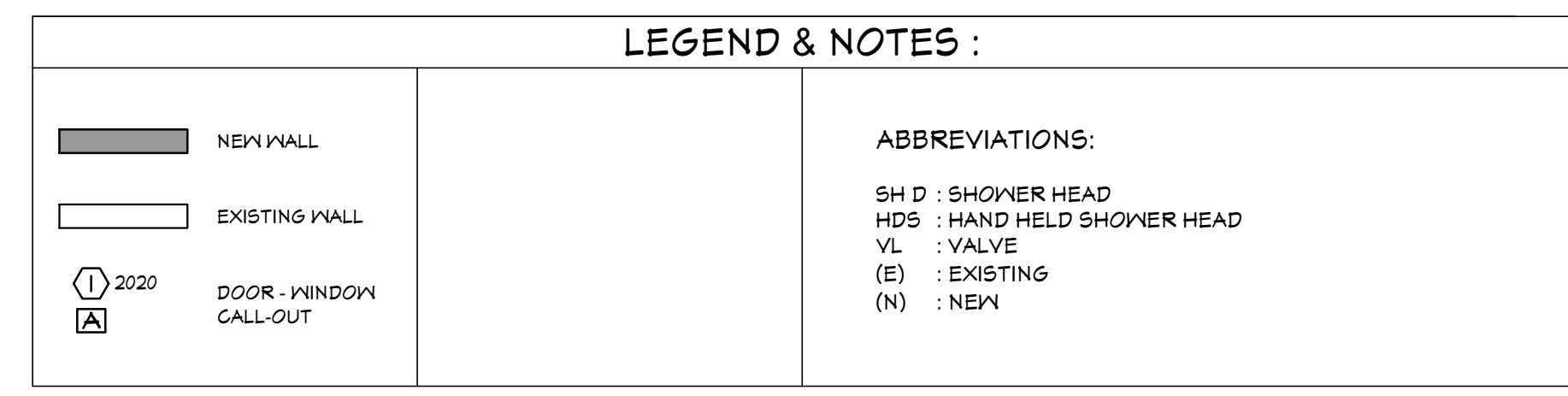


VIERRA RESIDENCE
1454 HAMPTON DRIVE
SUNNYVALE, CA 94087

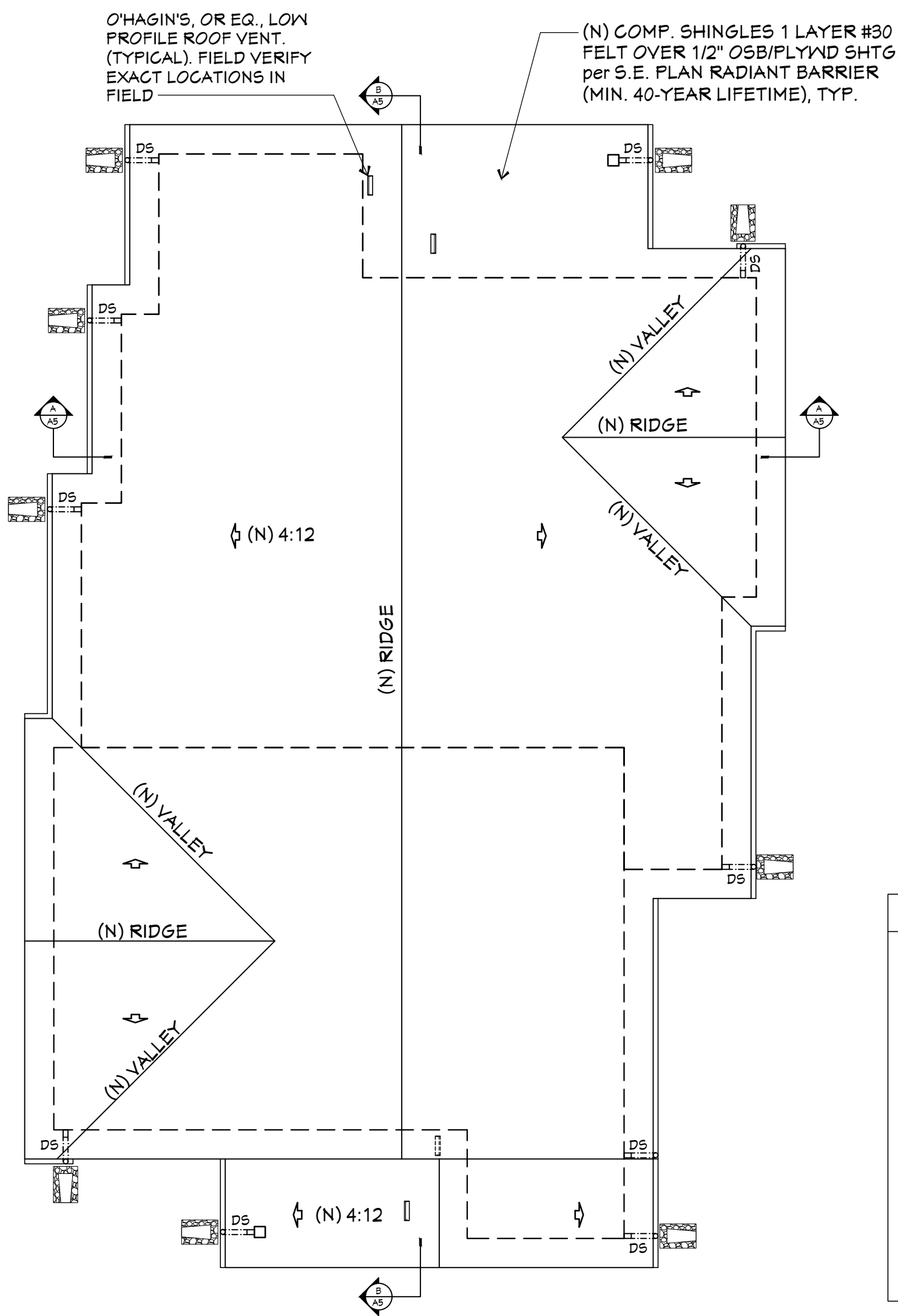
PROPOSED FLOOR PLAN

DATE:	FEBRUARY 29, 2015
SCALE:	AS NOTED
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SHEET: A4



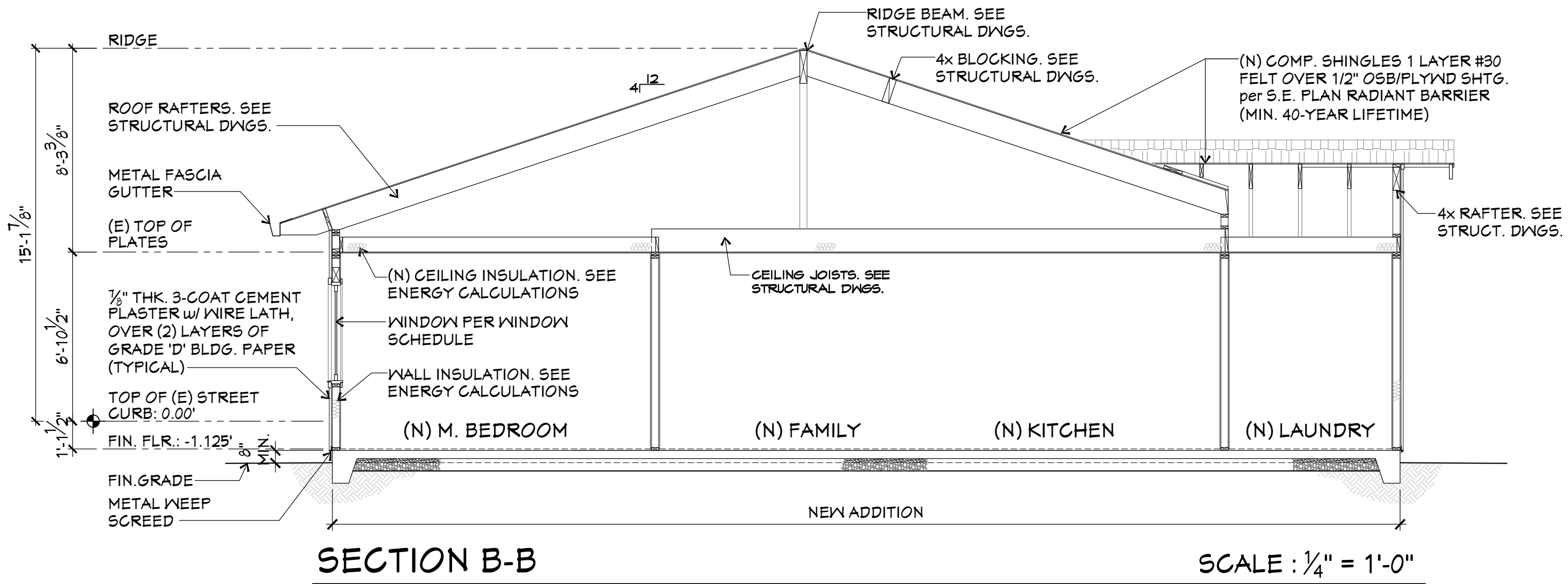
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ROOF PLAN SCALE : $\frac{1}{8}" = 1'-0"$

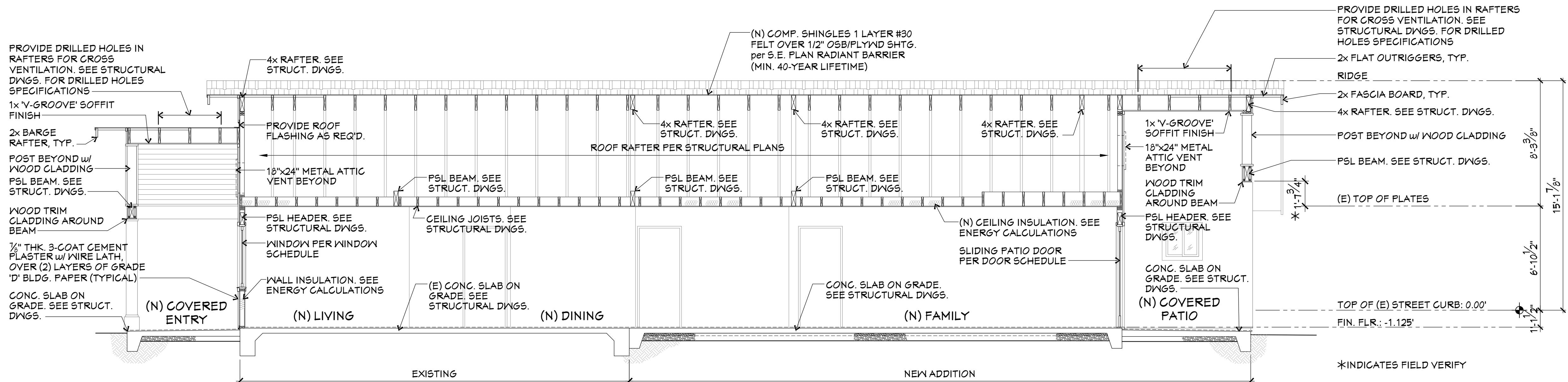
VENT	
ATTIC AREA: 2,208 SQ. FT.	
VENTILATION REQUIRED: 2,208 SQ. FT. x 144 + 150 = 2,119.68 SQ. IN.	
VENTILATION PROVIDED:	
(3)-2 1/2" Ø DRILLED HOLES = 14.72 SQ. IN. PER BLOCKING	
19 BLOCKINGS x 14.72 SQ. IN. = 279.68 SQ. IN.	
18"x24" ATTIC VENT = 352.00 SQ. IN. PER VENT	
7 VENTS x 352.00 SQ. IN. = 2,464 SQ. IN.	
TOTAL VENTILATION PROVIDED = 3,045.68 SQ. IN.	
ATTIC AREA OVER GARAGE: 507 SQ. FT.	
VENTILATION REQUIRED: 507 SQ. FT. x 144 + 150 = 486.72 SQ. IN.	
VENTILATION PROVIDED:	
(3)-2 1/2" Ø DRILLED HOLES = 14.72 SQ. IN. PER BLOCKING	
22 BLOCKINGS x 14.72 SQ. IN. = 323.84 SQ. IN.	
(1) 18"x24" ATTIC VENT = 352.00 SQ. IN.	
TOTAL VENTILATION PROVIDED = 675.84 SQ. IN.	

CAL GREEN 2013 REQUIREMENTS-MATERIAL FINISH			
(P)	MDF, PARTICLE BOARD, MDF AND HARDWOOD PLYWOOD SEE TABLE 4.504.5 CG2013.	(P)	PAINTS, STAINS AND OTHER COATINGS PER SECTION 4.504.2.2 and 4.504.2.3 CG2013.
(S)	ADHESIVES, SEALANTS AND CAULKS PER SECTION 4.504.2.1 CG2013.	(IN)	THERMAL INSULATION SHALL BE IN COMPLIANCE WITH VOC LIMITS



SECTION B-B

SCALE : $\frac{1}{4}" = 1'-0"$



SECTION A-A

SCALE : $\frac{1}{4}" = 1'-0"$

DATE	REVISION	DATE	REVISION
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CALIFORNIA COUNCIL FOR INTERIOR DESIGN CERTIFICATION

CCIDC

MOLLYANNE SHERMAN
CERTIFIED INTERIOR DESIGNER
EXPIRES 2-13-18 CID#5916

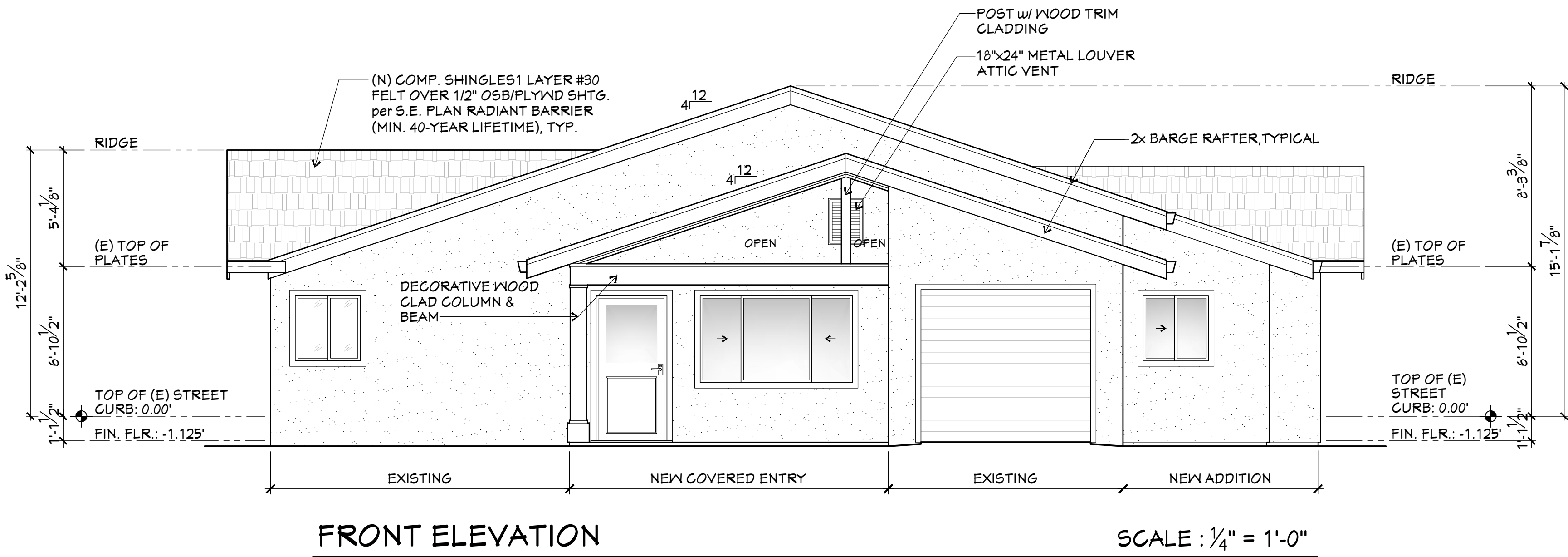
VIERRA RESIDENCE
1454 HAMPTON DRIVE
SUNNYVALE, CA 94087

ROOF PLAN
BUILDING SECTIONS

DATE:	FEBRUARY 29, 2015
SCALE:	AS NOTED
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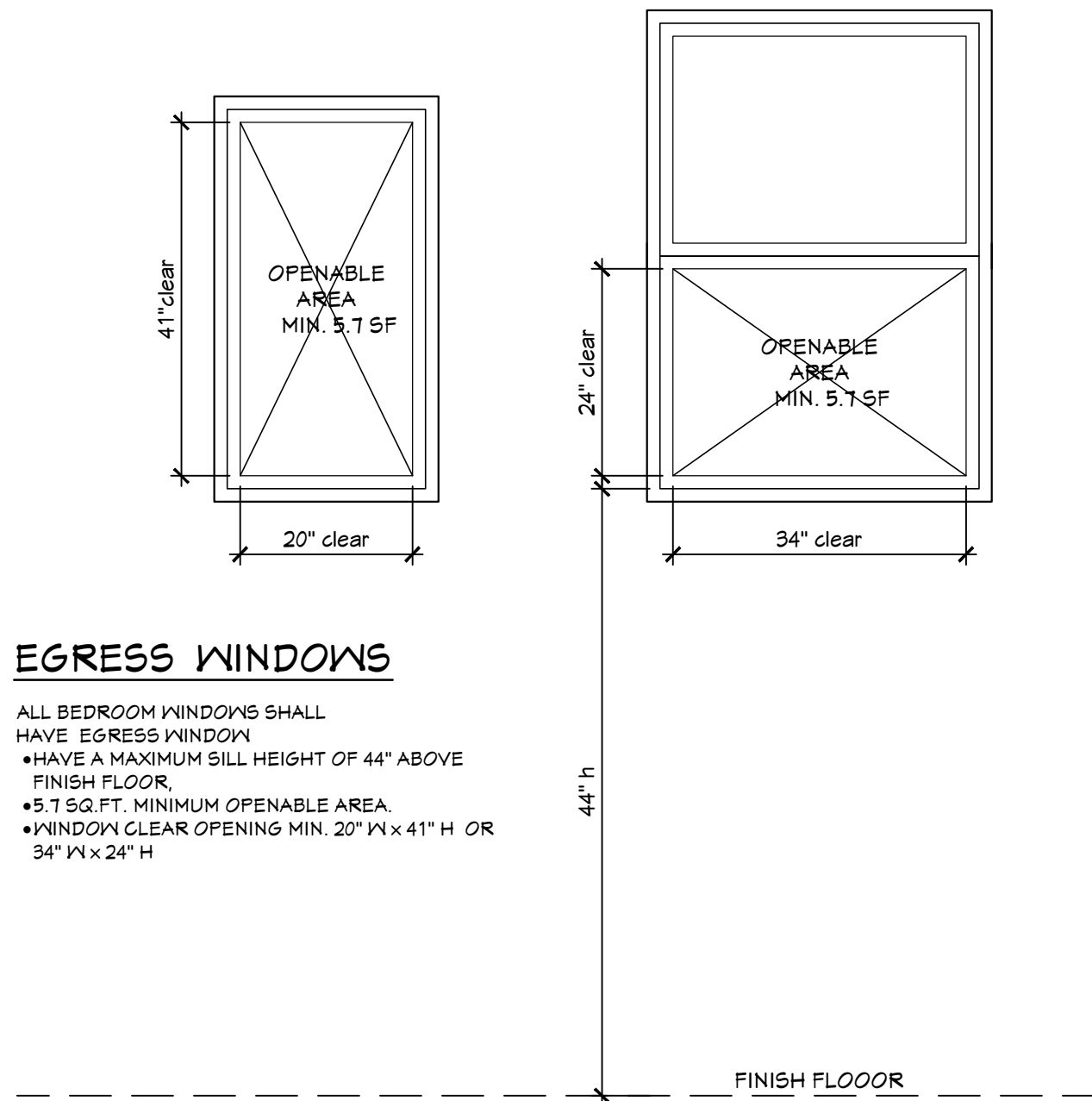
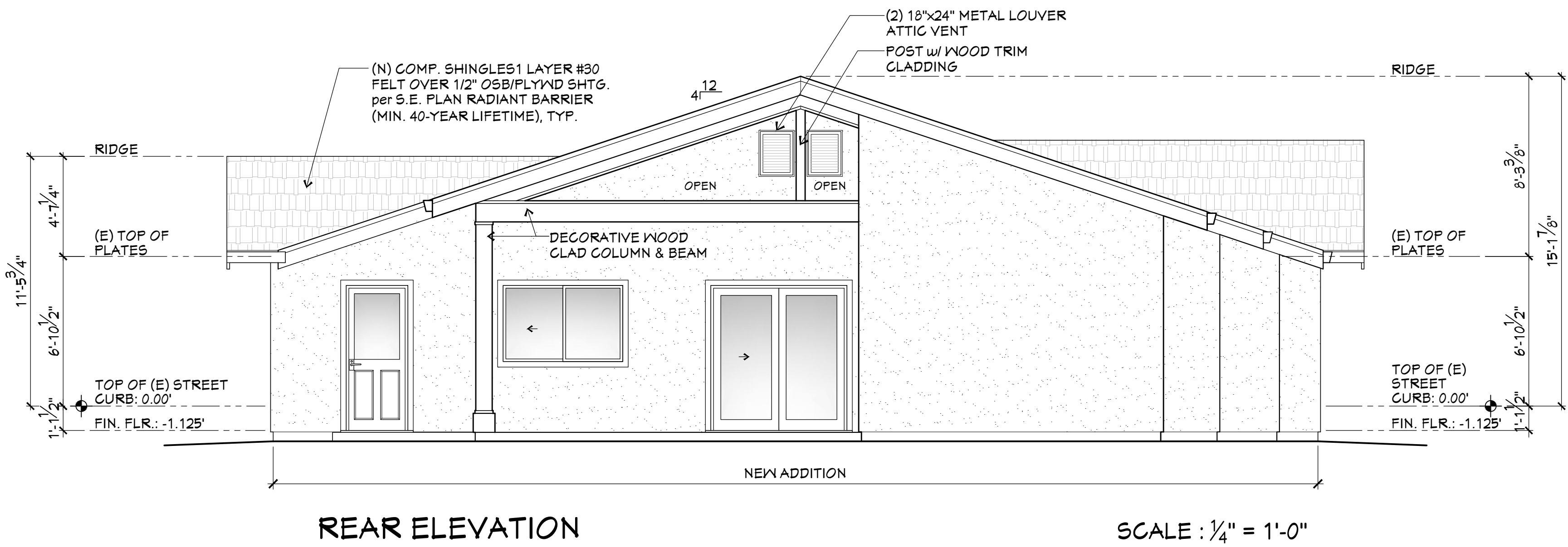


- EXTERIOR ELEVATION AND SITE NOTES
1. EXTERIOR WALL: STUCCO 0/ 2 LAYERS TYPE D' PAPER 0/ PLYWOOD SHEATHING (COLOR TO MATCH EXISTING)
 2. ROOFING: COMPOSITION SHINGLE, (COLOR TO MATCH EXISTING)
 3. WINDOWS: MILGARD VINYL DUAL PANE WHITE (SEE SCHEDULE)
 4. WINDOW TRIM: STUCCO FOAM 2X (COLOR TO MATCH EXISTING)
 5. GUTTER: ALUMINUM FASCIA (COLOR TO MATCH EXISTING)
 6. FASCIA BOARD: PAINTED (COLOR TO MATCH EXISTING)
 7. WALL TO ROOF FLASHING: GALV. METAL PAINTED TO MATCH EXISTING

NOTES :

MEMBER SHALL BE APPLIED TO RESIDENTIAL BURGLARY SECURITY SECTION T-2130 ARTICLE (4) 1, 2, 3

1454 ALL ADDRESS NUMBERS SHALL BE INTERNALLY LIGHTED AND SHALL BE A MINIMUM OF FOUR INCHES IN HEIGHT. THE NUMBERS SHALL BE BLACK IN COLOR, WITH THE BACKGROUND BEING ILLUMINATED IN WHITE



DATE	REVISION	DATE	REVISION
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CCIDC
MOLLYANNE SHERMAN
CERTIFIED INTERIOR DESIGNER
EXPIRES 2-13-18 CID# 5916

VIERA RESIDENCE
1454 HAMPTON DRIVE
SUNNYVALE, CA 94087

EXTERIOR ELEVATIONS

DATE:	FEBRUARY 29, 2015
SCALE:	AS NOTED
DESIGNED BY:	MAC DESIGN

SHEET:

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C C I D C

MOLLYANNE SHERMAN
CERTIFIED INTERIOR DESIGNER
EXPIRES 2-13-18 CID#5916

INTERIOR DESIGN CERTIFICATION

VIERRA RESIDENCE

1454 HAMPTON DRIVE

SUNNYVALE, CA 94087

EXTERIOR ELEVATIONS

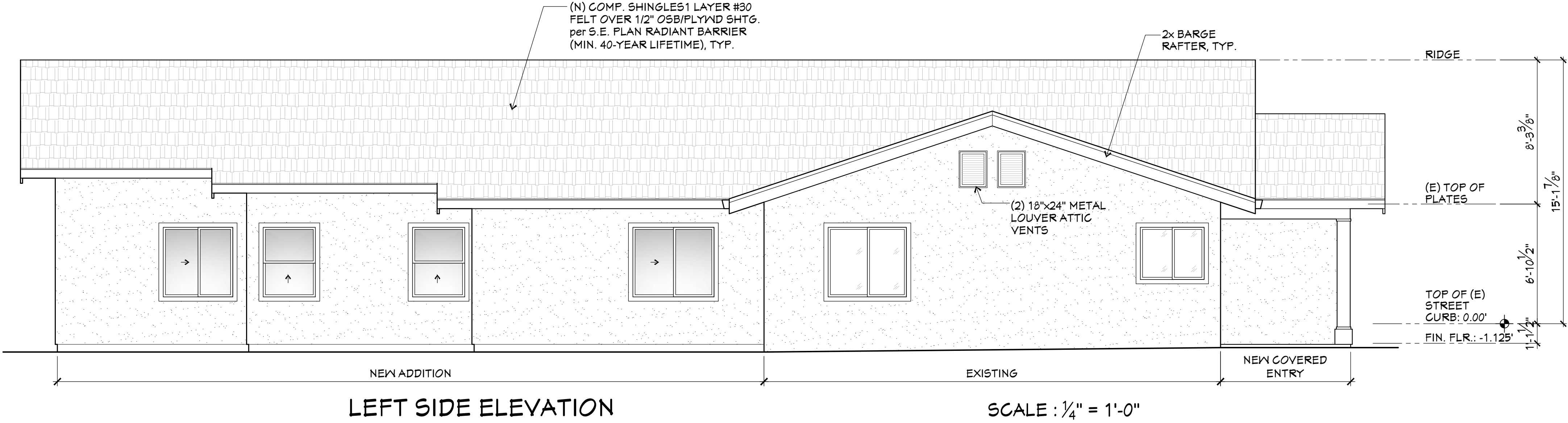
DATE: FEBRUARY 29, 2015

SCALE: AS NOTED

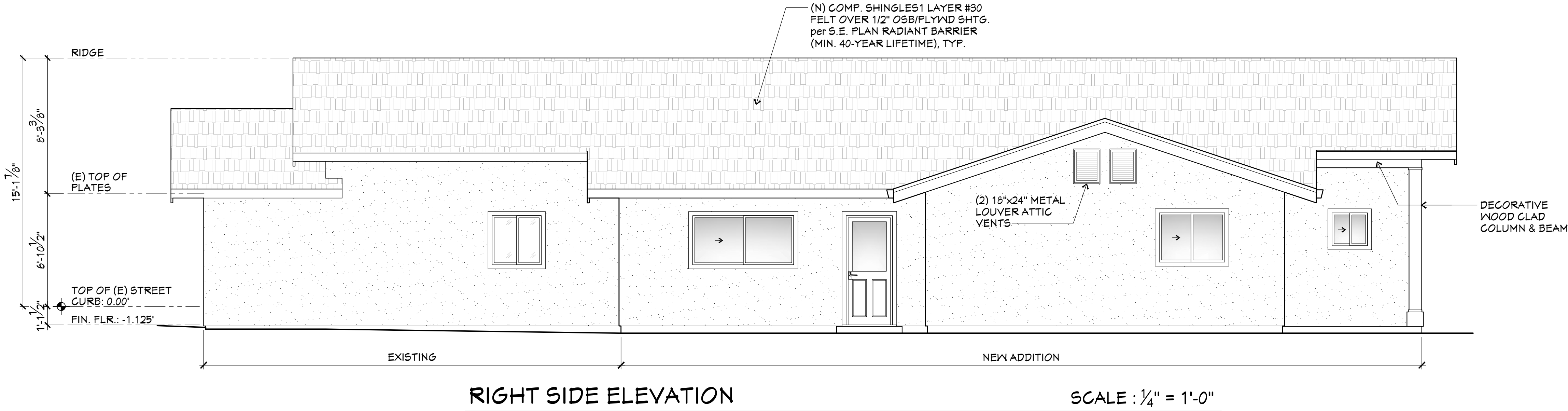
DESIGNED BY:
MAC DESIGN

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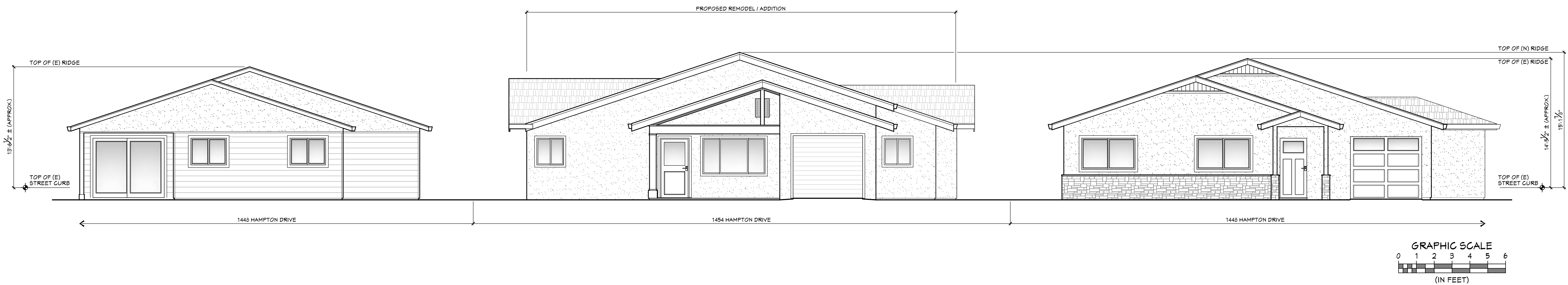
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- EXTERIOR ELEVATION AND SITE NOTES
1. EXTERIOR WALL: STUCCO 0/ 2 LAYERS TYPE D' PAPER 0/ PLYWOOD SHEATHING (COLOR TO MATCH EXISTING)
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 6. FASCIA BOARD: PAINTED (COLOR TO MATCH EXISTING)
 7. WALL TO ROOF FLASHING: GALV. METAL PAINTED TO MATCH EXISTING



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STREETSCAPE ELEVATION

MAC

DESIGN

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BRIAN & HENRIETTE VIERRA
1454 HAMPTON DRIVE
SUNNYVALE, CALIFORNIA 94087

DATE:	SEPTEMBER 17, 2015
SCALE:	AS NOTED
DRAWN BY:	F.G.
DESIGNED BY:	MAC DESIGN

SHEET:
A-1.0