ADDITION & REMODELING

1314 LILLIAN AVE.,
SUNNYVALE, CA 94087
APN: 309-09-14

GENERAL NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH ADOPTED ORDINANCES AND POLICIES OF THE GOVERNING AGENCY AND THE LATEST ADOPTED ADDITIONS OF THE FOLLOWING: 2013 CALIFORNIA BUILDING & RESIDENTIAL CODE (CBC, CRC), 2013 CALIFORNIA PLUMBING CODE (CPC), 2013 CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA ELECTRICAL CODE 2013, , CALIFORNIA ENERGY CODE 2013, AND 2013 CALIFORNIA GREEN BUILDING CODE.
- THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS, AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. HE SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND/OR CORRECTION PRIOR TO BEGINNING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND COORDINATION OF ALL TRADES WITH THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE.

CHANGES TO THE PLAN DURING CONSTRUCTION OTHER THAN:

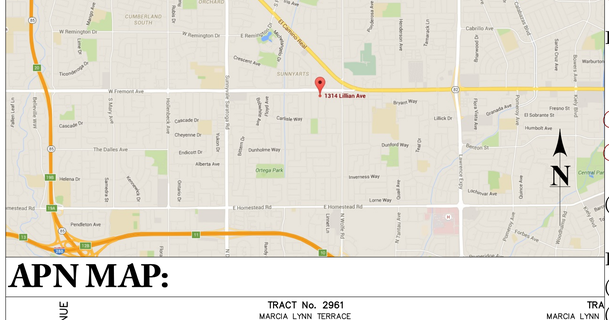
1. CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE,
2. INTERIOR DOOR AND ZERO-CLEARANCE FIREPLACE RELOCATION SHOWN ON THE APPROVE PLANS,
3. A SINGLE NONBEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM, AND
4. INTERIOR NON-STRUCTURAL WALL FINISHES;

SHALL CAUSE PLANS APPROVAL AND CONSTRUCTION TO BE SUSPENDED, A NEW PLAN CHECK (FOR THE NEW PLAN CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE COMMON PLAN CHECK PROCESS.

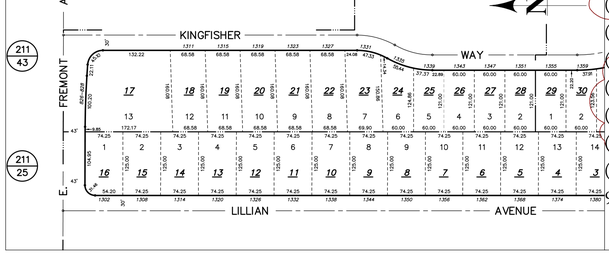
CALGREEN NOTES:

PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCESS OF 1.6 gpf WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 gpf. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 gpm WILL NEED TO BE REPLACED WITH A MAXIMUM 2.0 gpm SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 gpm WILL NEED TO BE REPLACED WITH A FAUCET WITH A MAXIMUM FLOW RATE OF 1.5 gpm (OR 1.8 gpm FOR KITCHEN FAUCETS).

VICINITY MAP:



APN MAP:



PROJECT DATA:

LOT AREA:	9,281 Sq.Ft
BUILDING AREA:	3,469 Sq.Ft
COVERAGE TOTAL:	31.22 %

EXISTING PROJECT DATA :

(E)	FIRST FLOOR:	1,475 Sq.Ft
(E)	SECOND FLOOR:	537 Sq.Ft 1
(E)	2F BALCONY:	34 Sq. Ft.
(E)	GARAGE AREA:	965 Sq.Ft
(E)	PORCH:	65 Sq.Ft
(E)	SUNROOM:	393 Sq.Ft
(E)	TOTAL:	3,469 Sq.Ft
(E)	COVERAGE:	2,898/9,281 =31.22 %
(E)	FAR:	3,370/9,281 =36.31%

(E) RATIO SECOND TO FIRST FLOOR:
537/1475 = 36%

PROPOSED DEMO DATA :

FIRST FLOOR:	61 Sq.Ft
SUNROOM:	60 Sq.Ft
SECOND FLOOR:	100 Sq.Ft 1
2F BALCONY:	34 Sq.Ft.
TOTAL:	245 Sq.Ft

PROPOSED ADDITION DATA :

FIRST FLOOR:	187 Sq.Ft
SECOND FLOOR:	536 Sq.Ft 1
2F BALCONY:	85 Sq.Ft 2
PORCH:	5 Sq.Ft
TOTAL:	813 Sq.Ft

(E) SUNROOM TO BE LIVING AREA: 333 Sq.Ft

PROPOSED PROJECT DATA :

(N)	FIRST FLOOR:	1,934 Sq.Ft
(N)	SECOND FLOOR:	973 Sq.Ft
(N)	2F BALCONY:	85 Sq.Ft.
(E)	GARAGE AREA:	965 Sq.Ft 1
(N)	PORCH AREA:	70 Sq.Ft
(N)	TOTAL:	4,027 Sq.Ft
(N)	COVERAGE:	2969/9281 = 31.99 %
(N)	FAR:	3872/9281 = 41.71%

(N) RATIO SECOND TO FIRST FLOOR: 2
973/1475 = 50%

PROJECT INFORMATION:

PROJECT DESCRIPTION:

1. CONVERT 393 Sq.Ft OF SUNROOM INTO LIVING SPACE, ADD 187 Sq.Ft. OF LIVING AREA IN FIRST FLOOR AND REDUCE PORCH BY 10 Sq.Ft, AND ADD 552 Sq.Ft OF LIVING AREA IN SECOND FLOOR.
2. REMODEL (E) ENTRY AND PORCH.
3. RELOCATE (E) STAIRS, MODIFY BEDROOM 3 AND ADD A BATHROOM.
4. CONVERT BEDROOM 4 INTO OFFICE AREA.
5. REMODEL (E) LAUNDRY AREA AND UTILITY ROOM.
6. REMODEL (E) LIVING ROOM AND ADD A DINING & PRAYER ROOM.
7. REMODEL (E) KITCHEN, CABINETRY AND APPLIANCES.
8. ADD 2 BEDROOMS AND 1 BATHROOM ON SECOND FLOOR.
9. REMODEL (E) MASTER BEDROOM AND MASTER BATHROOM.
10. RELOCATE (E) BALCONY ON SECOND FLOOR
11) REDUCE THE EXISTING FRONT PAVING AREA TO ACHIEVE 50% OF PAVING & 50 % LANDSCAPED AREA.

APN:	309-09-14
CONSTRUCTION TYPE:	V-B
ZONING:	R0 RESIDENTIAL LOW DENSITY
STORIES:	2 - RESIDENTIAL
BUILDING CODES:	2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA RESIDENTIAL CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA ENERGY ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS & REGULATIONS.
ENGINEER:	JF CONSULTING DESIGN & ENGINEERING 3001 WINCHESTER BLVD, # 8 CAMPBELL, CA 95118 PHONE: 408-512-8400 EMAIL: JFPLANS@GMAIL.COM
CONTRACTOR:	

DRAWING INDEX:

ARCHITECTURAL:

A-1 COVER SHEET AND PROJECT INFORMATION
A-2 EXISTING AND PROPOSED SITE - FIRST FLOOR
A-3 EXISTING AND PROPOSED SETBACK - SECOND FLOOR
A-4 EXISTING AND PROPOSED 2ND FLOOR PLAN - REFERENCE WITH FIRST FLOOR
A-5 EXISTING AND PROPOSED FLOOR PLAN - FIRST FLOOR
A-6 EXISTING AND PROPOSED FLOOR PLAN - SECOND FLOOR/ GARAGE
A-7 EXISTING AND PROPOSED ELEVATION / NOTES
A-8 EXISTING AND PROPOSED ELEVATION / NOTES
A-9 EXISTING AND PROPOSED ELEVATION
A-10 EXISTING AND PROPOSED ELEVATION & CROSS SECTIONS
A-11 CALGREEN & FLOOR PLAN NOTES
A-12 SOLAR ACCESS & SHADOW ANALYSIS
A-13 SOLAR ACCESS & SHADOW ANALYSIS
A-14 ROOFING PLAN-EXISTING & PROPOSED

STRUCTURAL:

ENERGY:

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE: SHEET TITLE
PROJECT INFORMATION

PROJECT DESCRIPTION:
ADDITION & REMODELING
1314 Lillian Ave.,
SUNNYVALE, CA. 94087

JF CONSULTING
3001 S. Winchester Blvd., #8
Campbell, CA. 95008
TEL: 408.512.8400 - Email: JFPLANS@GMAIL

11/17/2016

REGISTERED PROFESSIONAL ENGINEER
JOSE CARLOS FERNANDES
C 76349
EXP 12/31/16
CIVIL
STATE OF CALIFORNIA

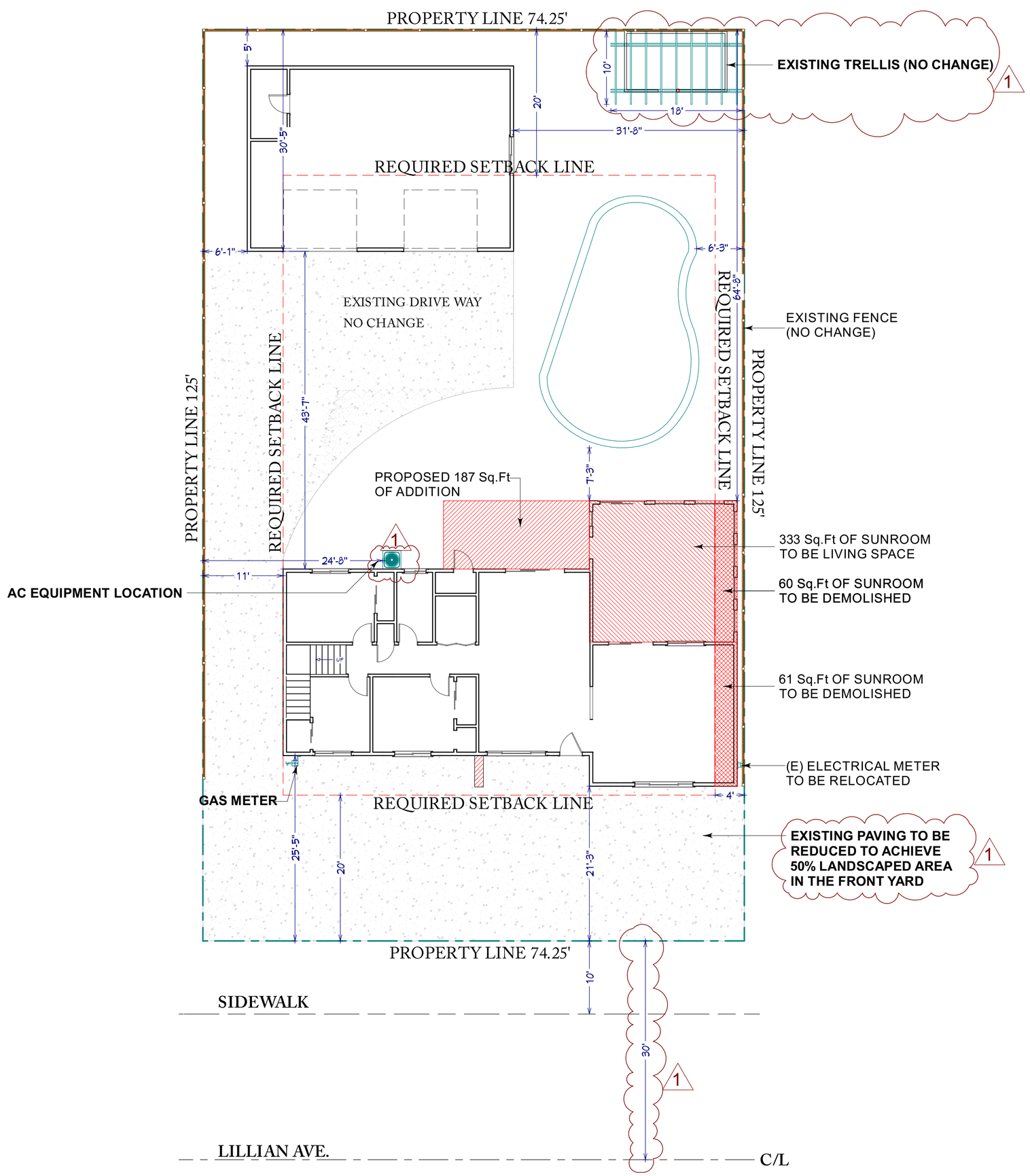
SHEET:
A- 1

LEGEND

ROOF LINE

WALLS

NOTE : NO TREES ARE PROPOSED FOR REMOVAL

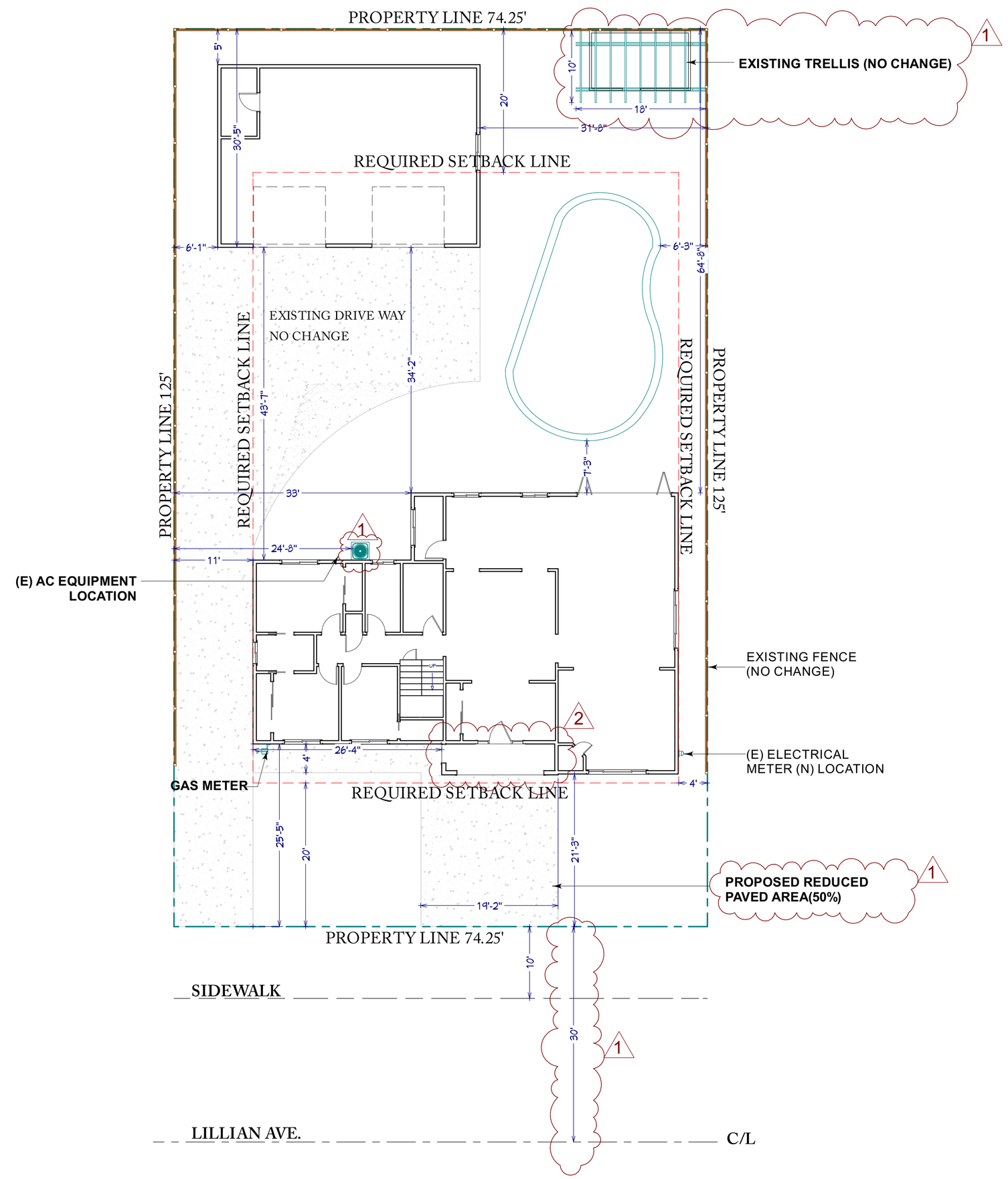


EXISTING SITE PLAN - FIRST FLOOR
SCALE 1/10"=1'-0"

LEGEND

ROOF LINE

WALLS



PROPOSED SITE PLAN - FIRST FLOOR
SCALE 1/10"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE:
EXISTING & PROPOSED
SITE - FIRST FLOOR

PROJECT DESCRIPTION:
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1314 Lillian Ave.,
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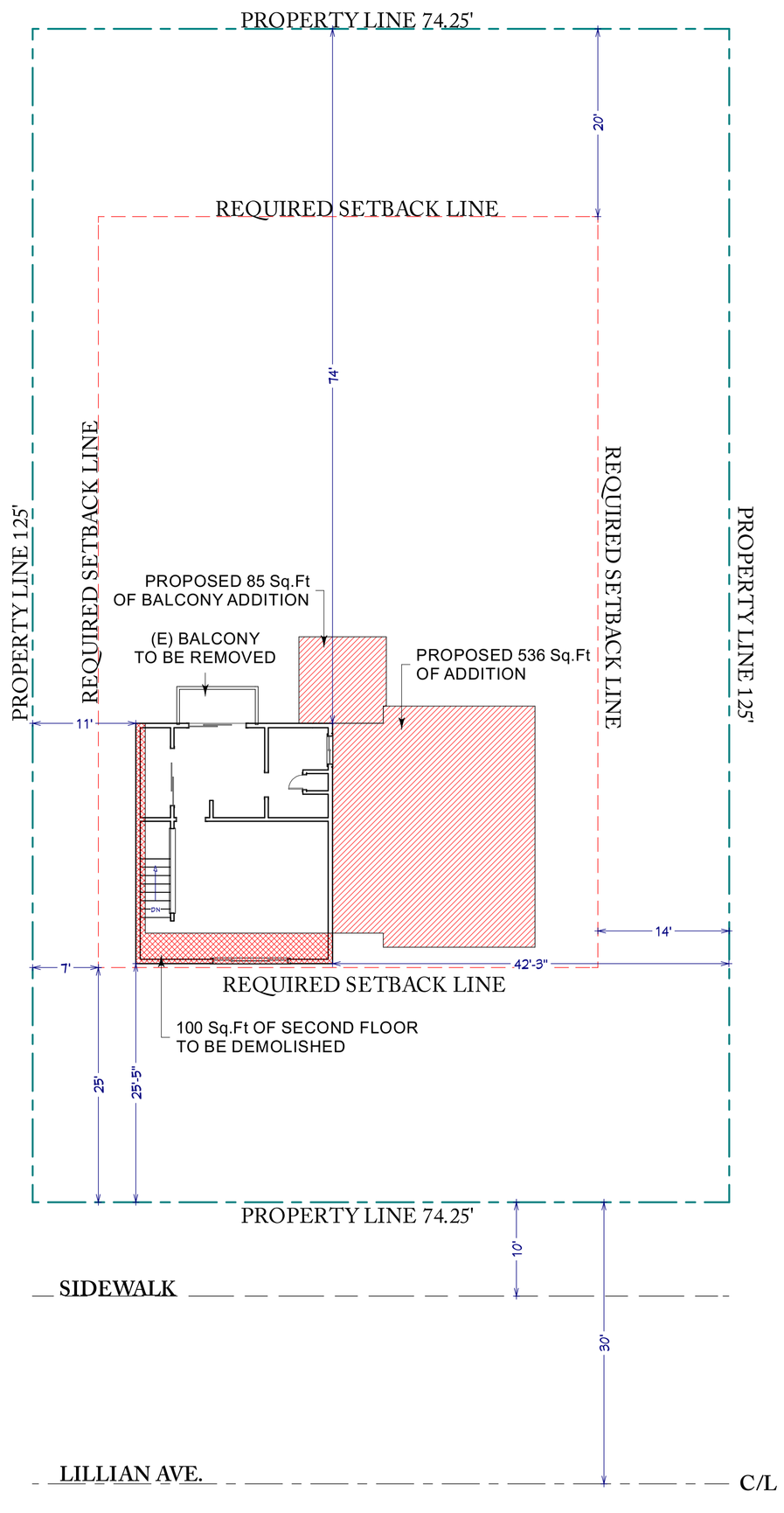
SHEET:
A- 2

LEGEND

ROOF LINE

WALLS

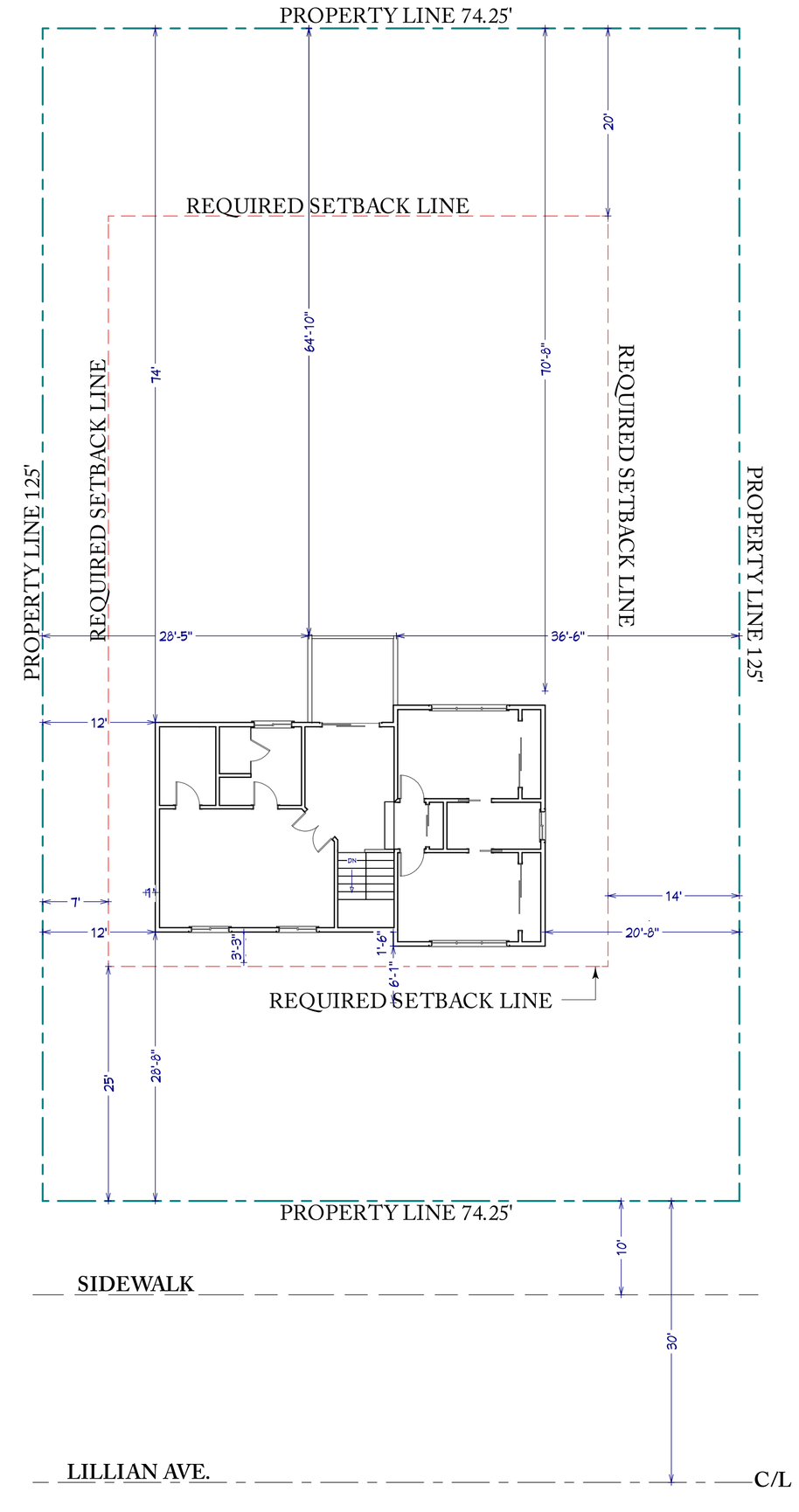


EXISTING SITE PLAN - SECOND FLOOR 2
SCALE 1/10"=1'-0"

LEGEND

ROOF LINE

WALLS



2 PROPOSED SITE PLAN - SECOND FLOOR 1
SCALE 1/8"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE:
EXISTING & PROPOSED
SITE - SECOND FLOOR

PROJECT DESCRIPTION:
ADDITION & REMODELING
1314 Lillian Ave.,
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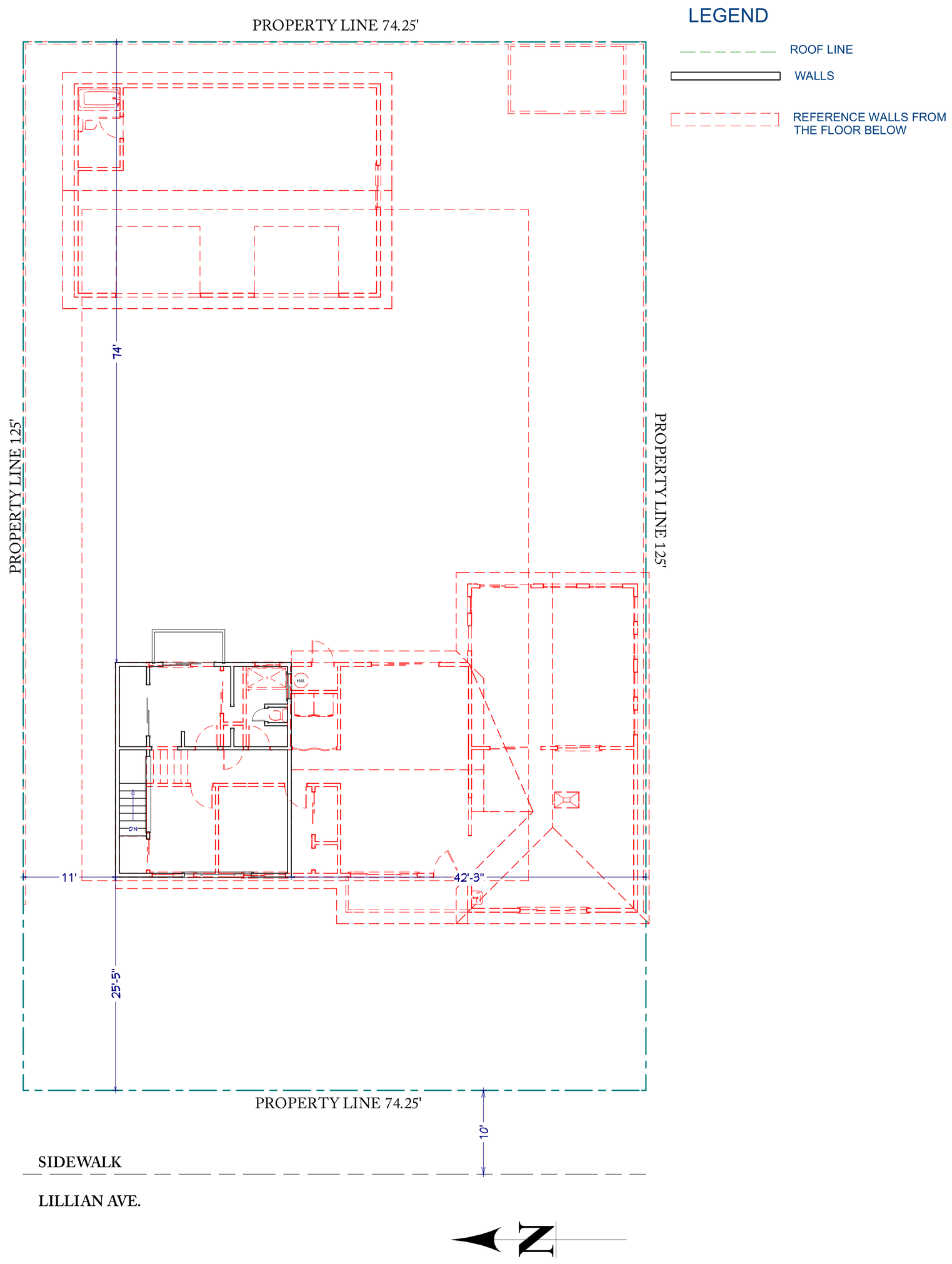
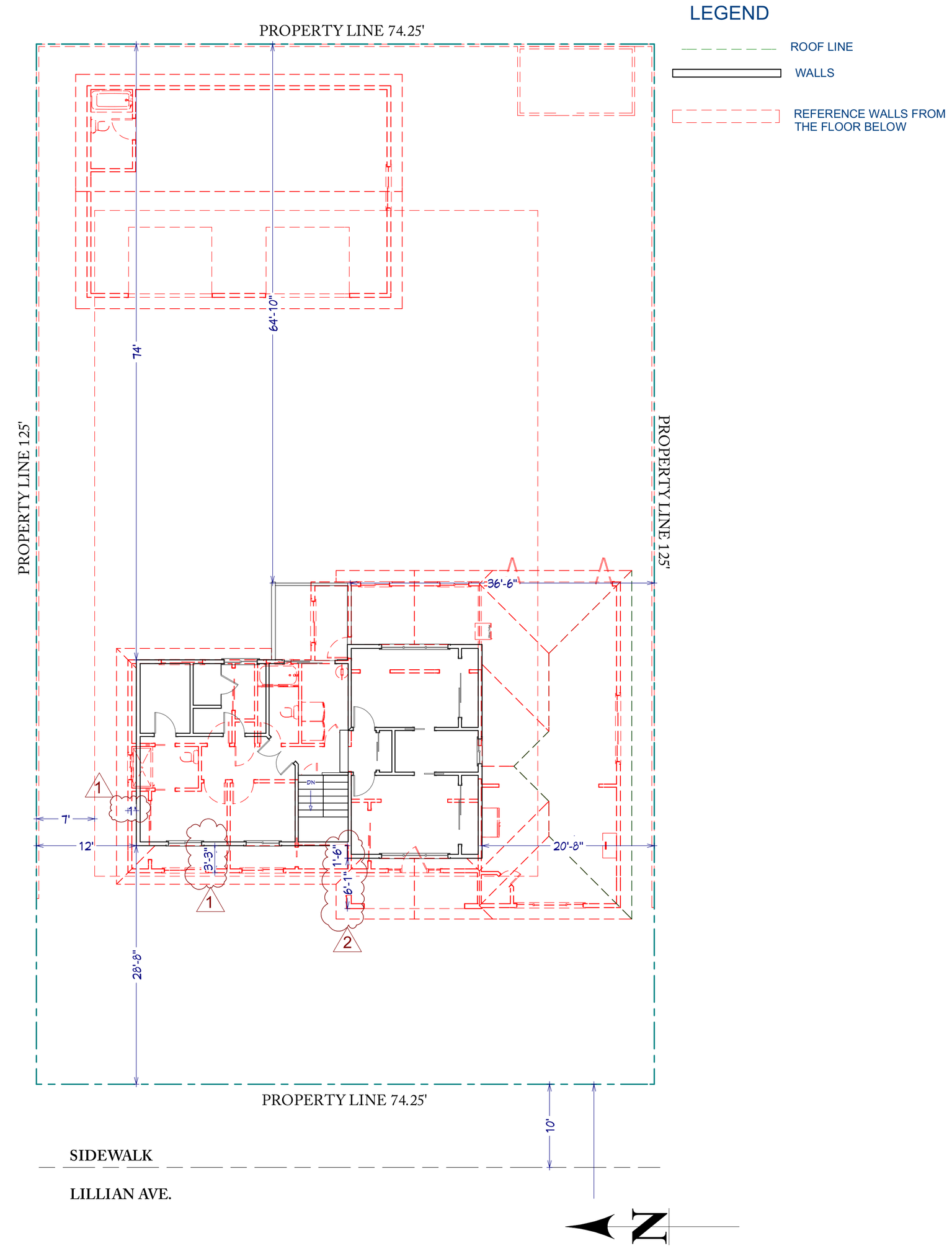
STATE OF CALIFORNIA

SHEET:
A- 3



EXISTING SETBACK PLAN - SECOND FLOOR
(REFERENCE WITH FIRST FLOOR)
SCALE 1/8"=1'-0"



PROPOSED SETBACK PLAN - SECOND FLOOR
(REFERENCE WITH FIRST FLOOR)
SCALE 1/8"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE:
EXISTING & PROPOSED SETBACK PLANS - SECOND FLOOR REFERENCE

PROJECT DESCRIPTION:
ADDITION & REMODELING
1314 Lillian Ave.,
SUNNYVALE, CA. 94087

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SHEET:
A- 4

LEGEND

EXISTING WALLS TO REMAIN

EXISTING WALLS TO BE REMOVED

NOTE: THE WALLS SHOWN AS "TO REMAIN" SHALL REMAIN IN THE FIELD DURING CONSTRUCTION. IF THESE WALLS ARE REMOVED, TEH PROJECT WILL BE CONSIDERED A NEW HOUSE AND CONSTRUCTION WILL NEED TO BE HALTED UNTIL REVISED PLANS ARE SUBMITTED. 2

LEGEND

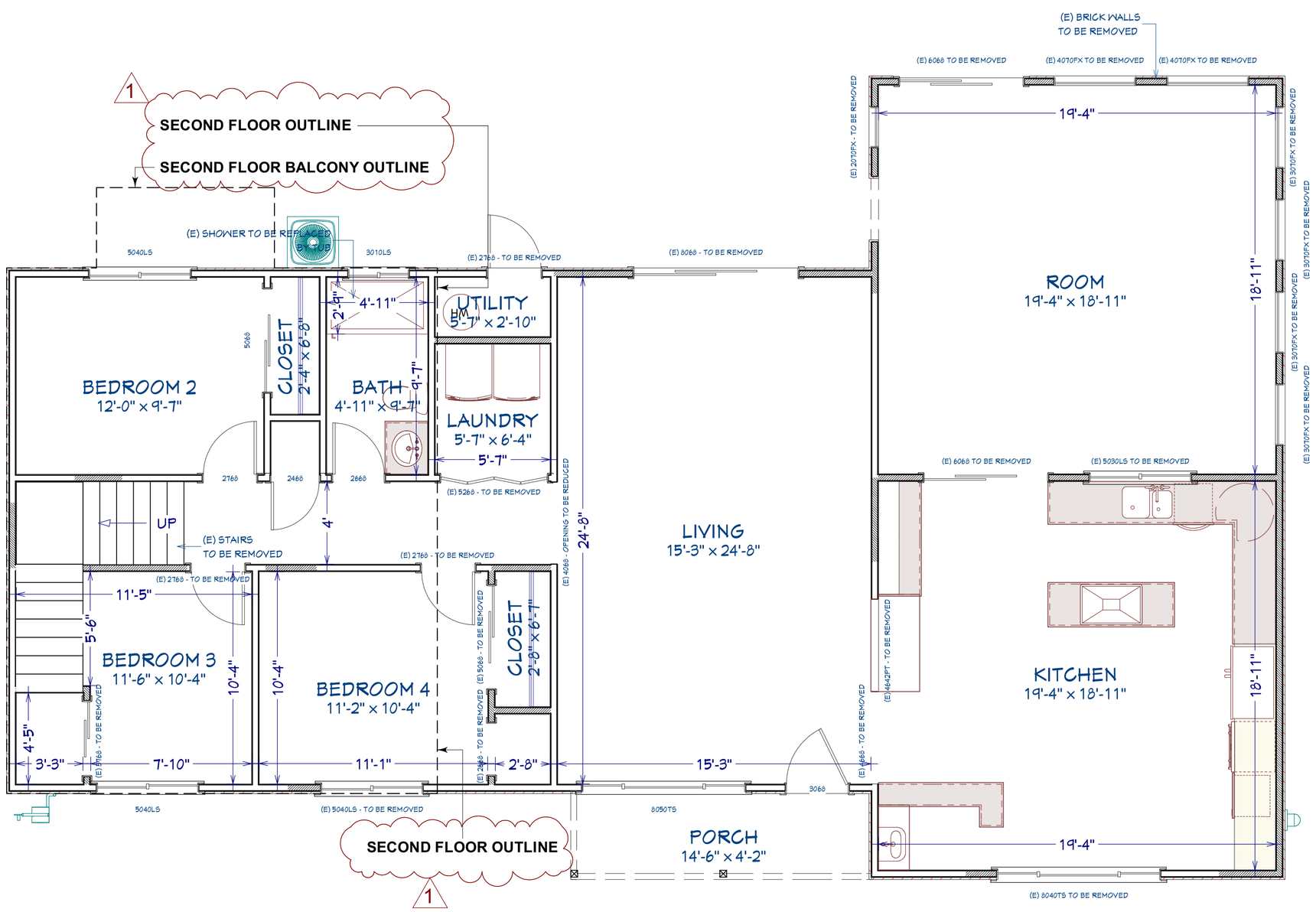
EXISTING WALLS TO REMAIN

NEW WALL

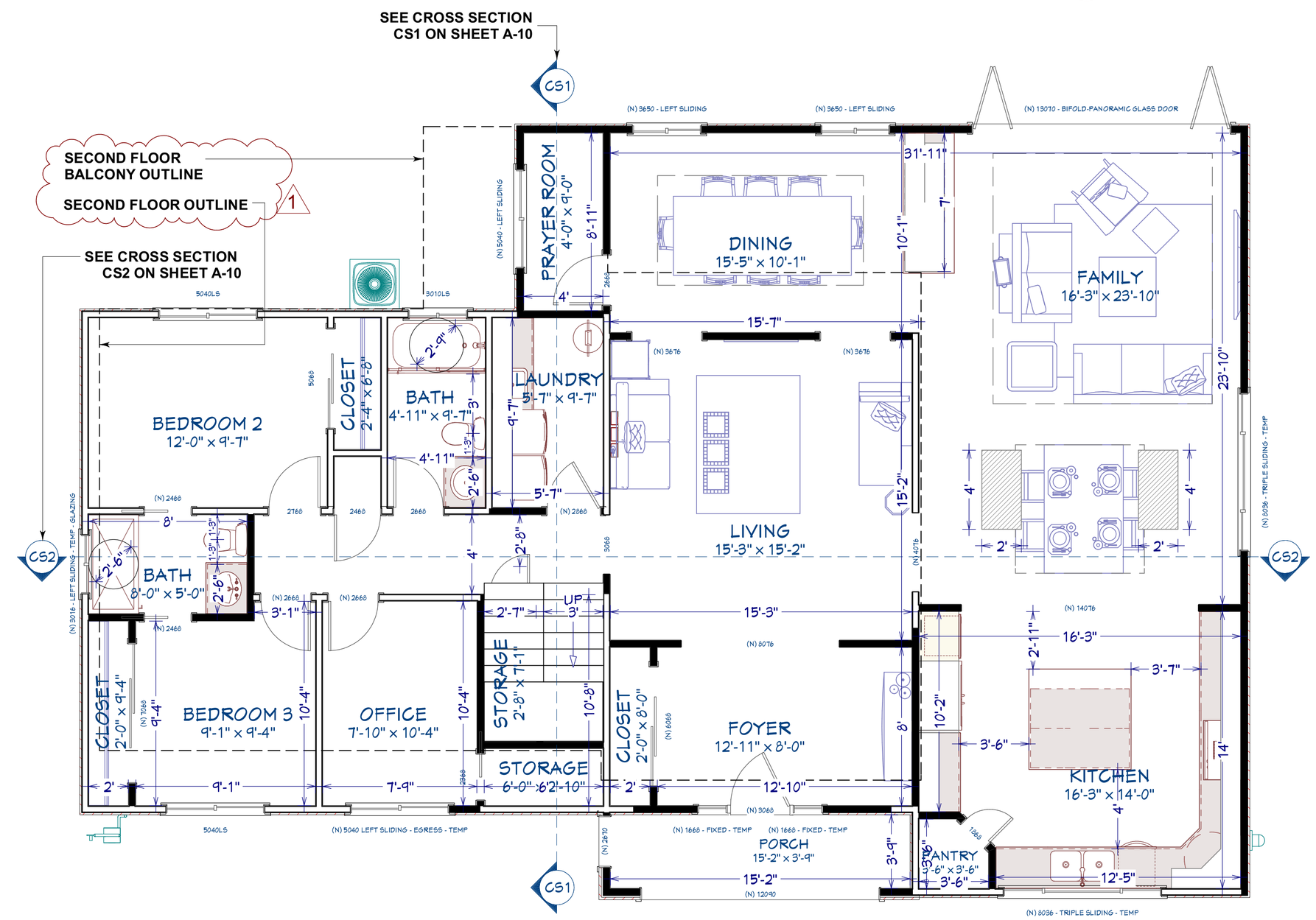
ROOF LINE

(N) FIXED SKYLIGHT
VELUX FIX TEMP
ITEM# 317860
MODEL# FS C06 2005 W/
IAPMO-ES REPORT # 199

2 **NOTE: THE WALLS SHOWN AS "TO REMAIN" SHALL REMAIN IN THE FIELD DURING CONSTRUCTION. IF THESE WALLS ARE REMOVED, THE PROJECT WILL BE CONSIDERED A NEW HOUSE AND CONSTRUCTION WILL NEED TO BE HALTED UNTIL REVISED PLANS ARE SUBMITTED.**



EXISTING FLOOR PLAN - FIRST FLOOR
SCALE 1/4"=1'-0"



PROPOSED FLOOR PLAN - FIRST FLOOR
SCALE 1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE:
EXISTING & PROPOSED
FLOOR PLAN
FIRST FLOOR

PROJECT DESCRIPTION:
ADDITION & REMODELING
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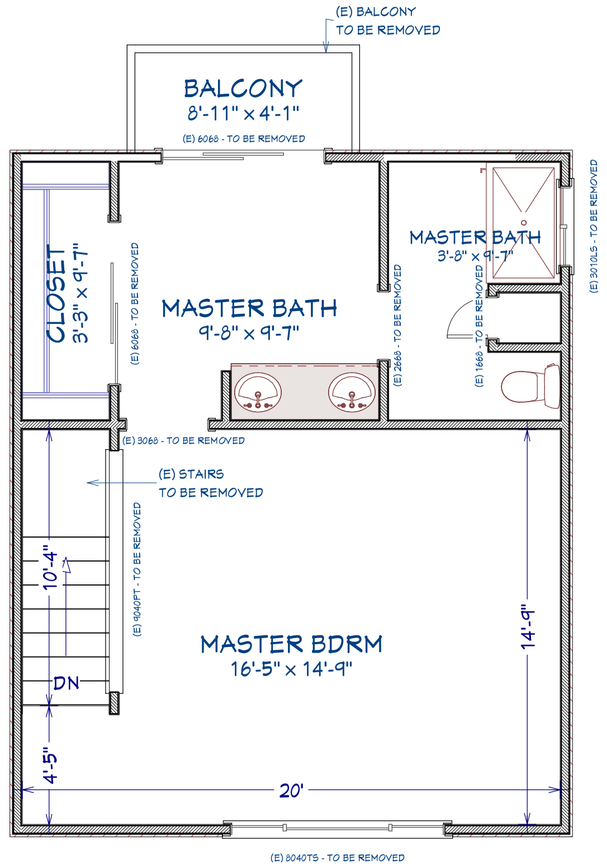
EXP 12/31/16
CIVIL
STATE OF CALIFORNIA

SHEET:
A- 5

NOTE: THE WALLS SHOWN AS "TO REMAIN" SHALL REMAIN IN THE FIELD DURING CONSTRUCTION. IF THESE WALLS ARE REMOVED, TEH PROJECT WILL BE CONSIDERED A NEW HOUSE AND CONSTRUCTION WILL NEED TO BE HALTED UNTIL REVISED PLANS ARE SUBMITTED. 2

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED

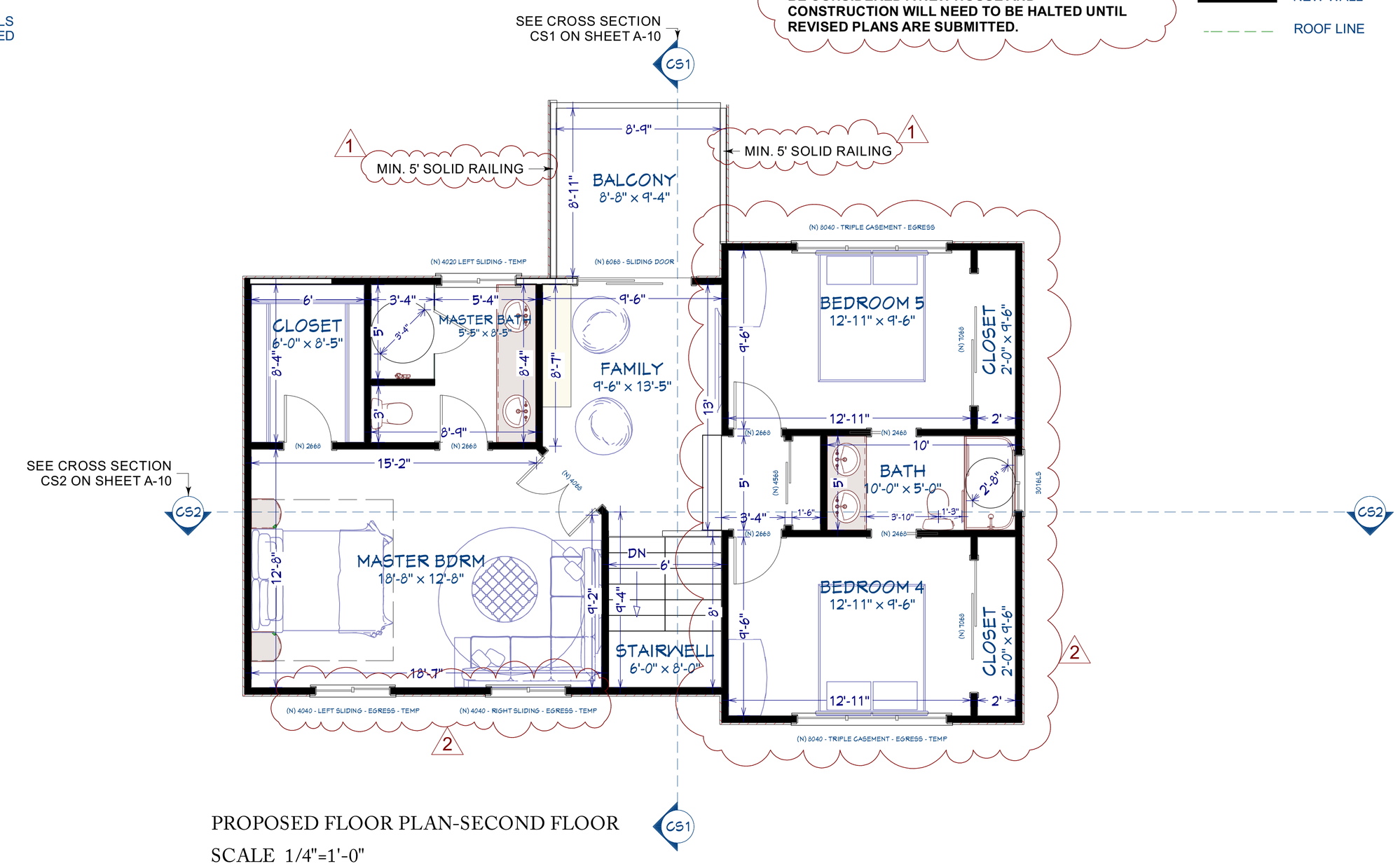


EXISTING FLOOR PLAN - SECOND FLOOR
SCALE 1/4"=1'-0"

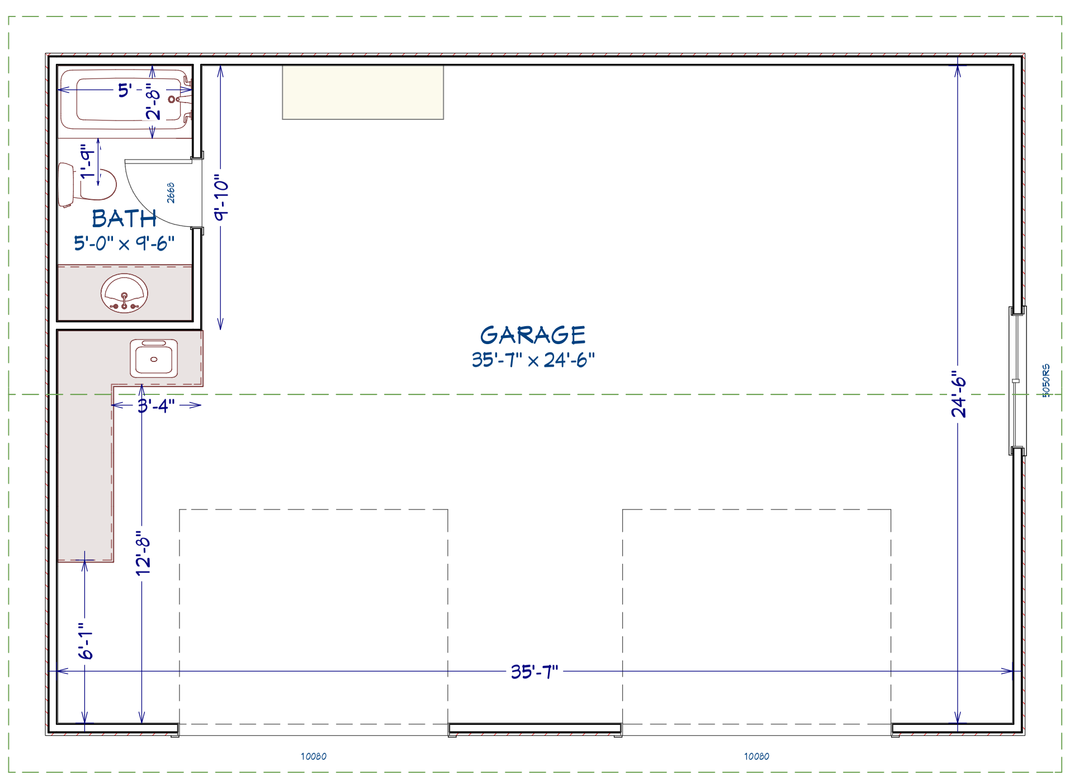
NOTE: THE WALLS SHOWN AS "TO REMAIN" SHALL REMAIN IN THE FIELD DURING CONSTRUCTION. IF THESE WALLS ARE REMOVED, THE PROJECT WILL BE CONSIDERED A NEW HOUSE AND CONSTRUCTION WILL NEED TO BE HALTED UNTIL REVISED PLANS ARE SUBMITTED. 2

LEGEND

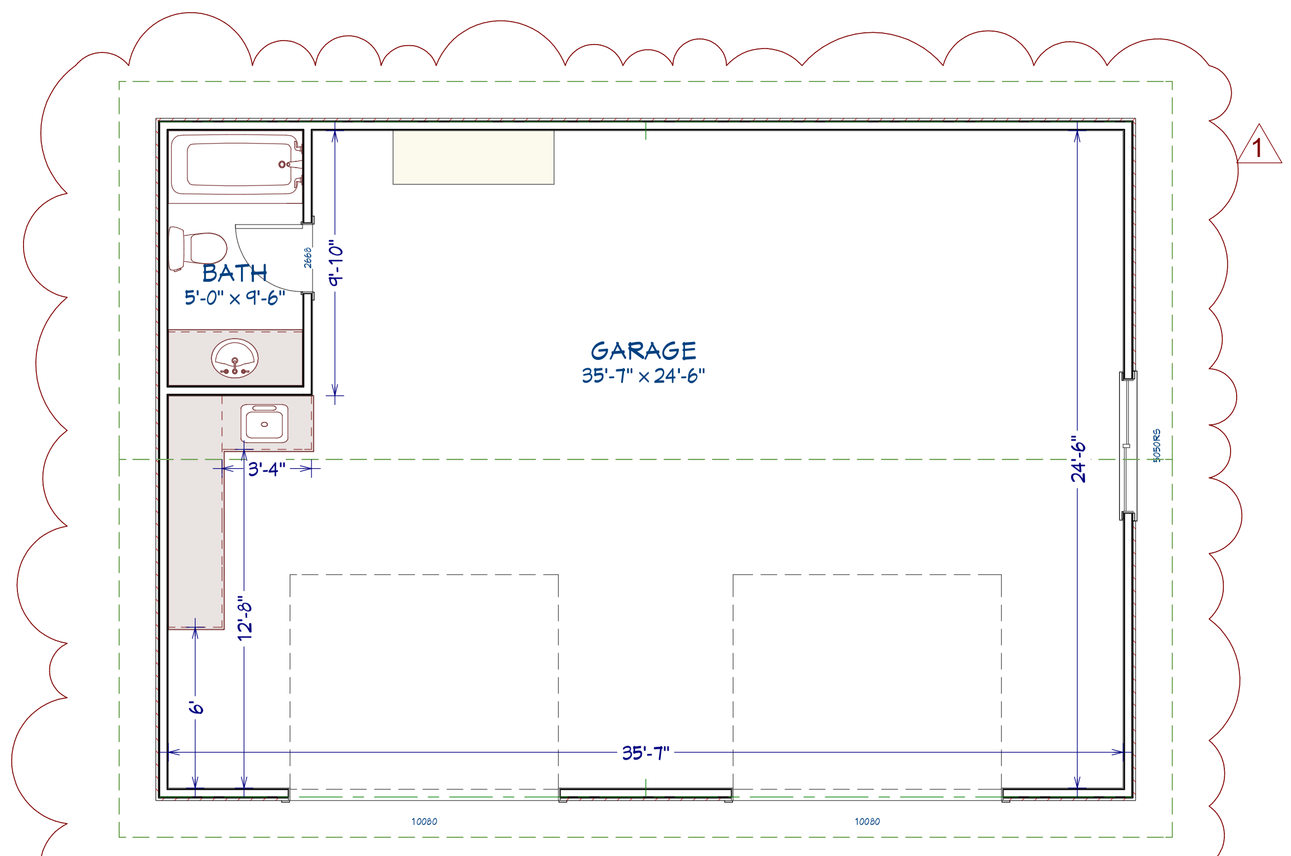
- EXISTING WALLS TO REMAIN
- NEW WALL
- ROOF LINE



PROPOSED FLOOR PLAN-SECOND FLOOR
SCALE 1/4"=1'-0"



EXISTING GARAGE FLOOR PLAN (NO CHANGE)
SCALE 1/4"=1'-0"



PROPOSED GARAGE FLOOR PLAN (SAME AS EXISTING-NO CHANGE)
SCALE 1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE:
EXISTING & PROPOSED FLOOR PLAN SECOND FLOOR/ GARAGE

PROJECT DESCRIPTION:
ADDITION & REMODELING
1314 Lillian Ave.,
SUNNYVALE, CA 94087

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11/17/2016

REGISTERED PROFESSIONAL ENGINEER
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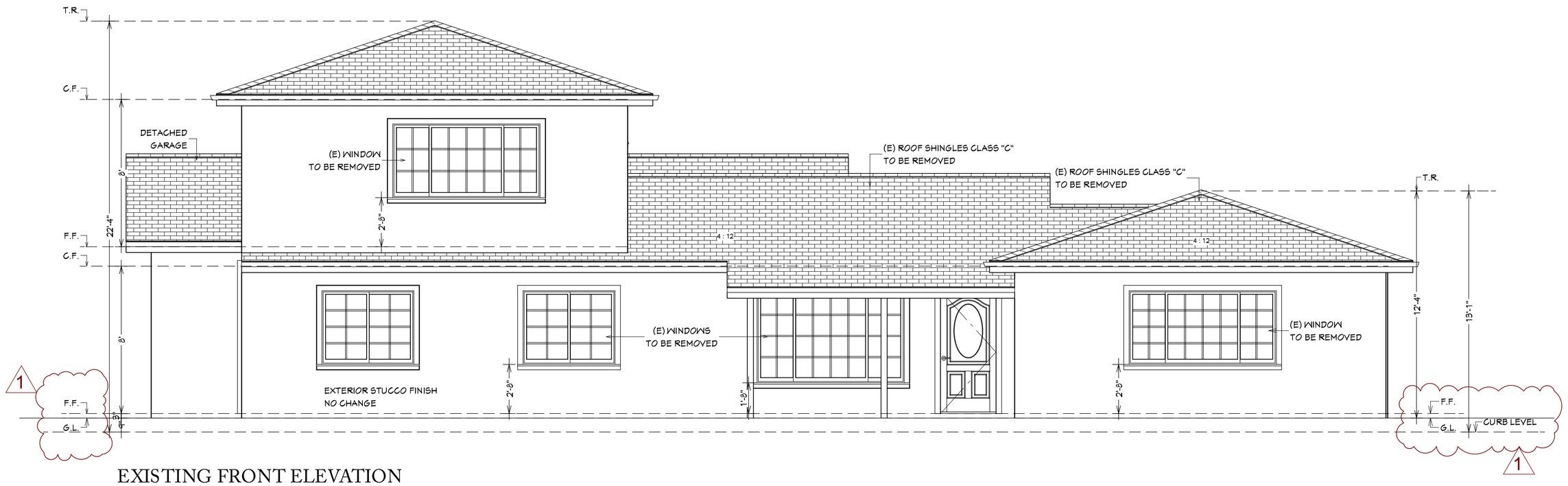
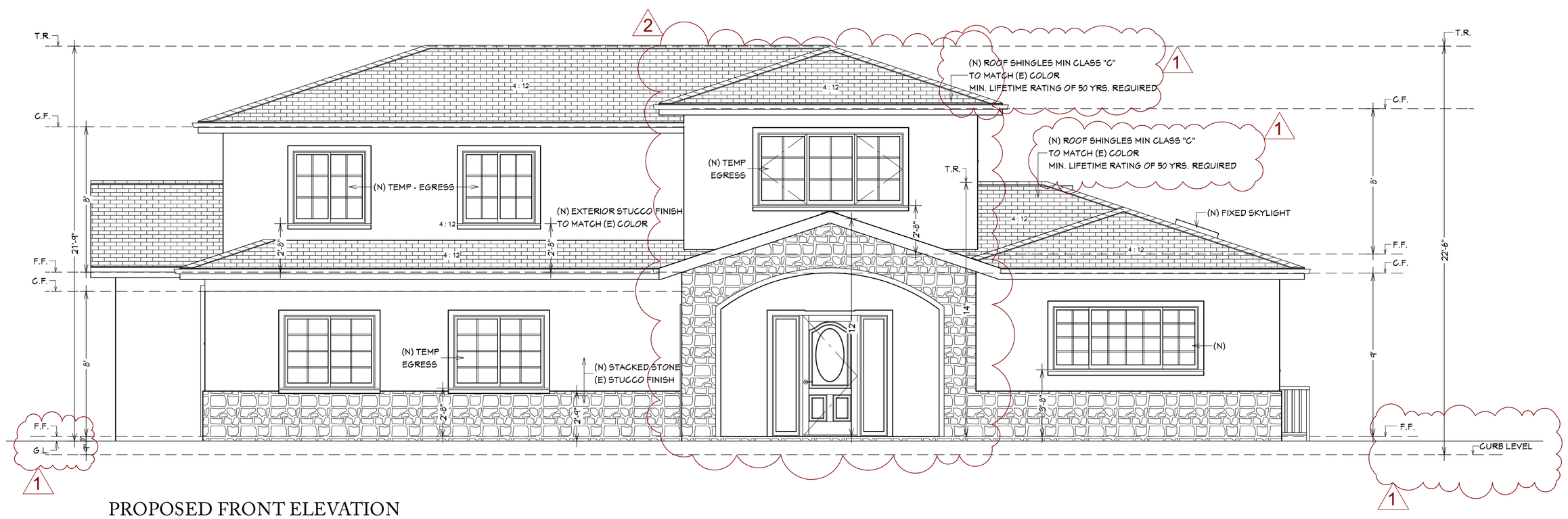
STATE OF CALIFORNIA

SHEET:
A- 6



EXISTING FRONT ELEVATION

SCALE 1/4"=1'-0"



PROPOSED FRONT ELEVATION

SCALE 1/4"=1'-0"

ELEVATIONS NOTES:

1. PROVIDE BITHUTHENE OR SIMILAR RUBBERIZED ASPHALT FLASHING WITHIN THE LATH ASSEMBLY OF ALL HORIZONTAL UPSIDE STUCCO SURFACES AND PROJECTIONS.
2. PROVIDE AN ANTI-PONDING DEVICE AT BOTTOM COURSE OF THE TILE ROOF IF A RAISED FASCIA BOARD IS USED.
3. PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER PLYWOOD SHEATHING.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.

ENVIRONMENTAL QUALITY:

1. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
2. ADHESIVE, SEALANTS AND CAILKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.
3. PAINT, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS AS FOLLOW:

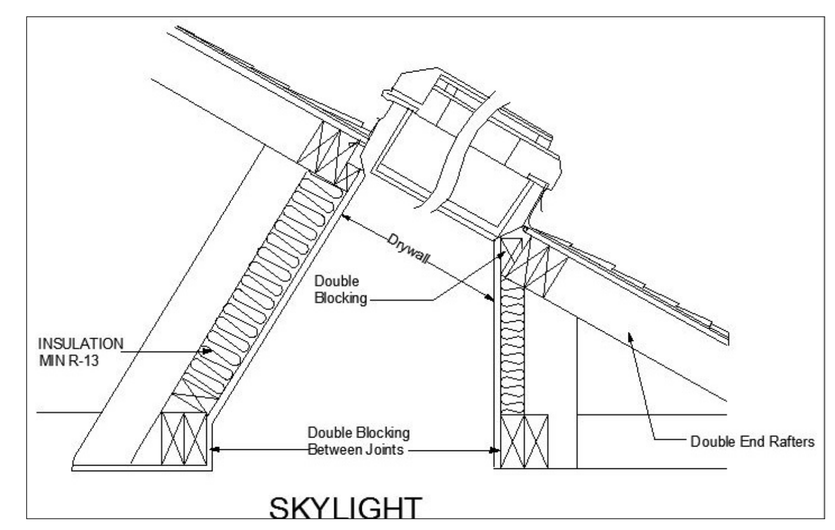
FLAT COATING 50 LIMIT AND FOR OTHER VOC CONTENT LIMITS OF COATING REFER TO TABLE 4.504.3 OF CALIFORNIA GREEN BUILDING.
CARPET AND CARPET SYSTEM WITH VOC LIMIT OF 50.
HARDWOOD FLOORING WITH VOC LIMIT OF 100.
DOCUMENT SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR UPON REQUEST, VERIFYING THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

4. 80% OF FLOOR AREA RECEIVING FLOORING, SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESIIENT FLOOR COVERING INSTITUTE (RCFI) FLOORSCORE PROGRAM.

REQUIRED LANDING NOTES:

A) LANDING SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE THRESHOLD. (CRC R311.3.2

B) SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 2%. CRC R311.3



SKYLIGHT

PROPOSED STREET SCAPE

SCALE 1/8"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE: EXISTING AND PROPOSED ELEVATIONS DETAILS & NOTES

PROJECT DESCRIPTION: ADDITION & REMODELING
1314 Lillian Ave.,
SUNNYVALE, CA. 94087

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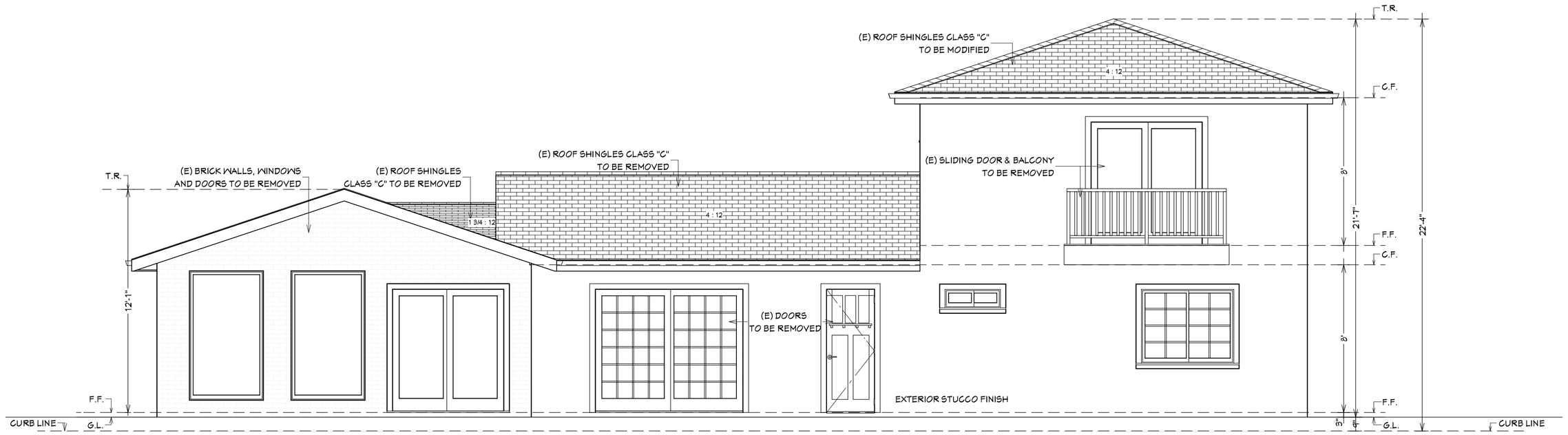
11/17/2016

REGISTERED PROFESSIONAL ENGINEER JOSE CARLOS FERNANDES C 76349 EXP 12/31/16 CIVIL STATE OF CALIFORNIA

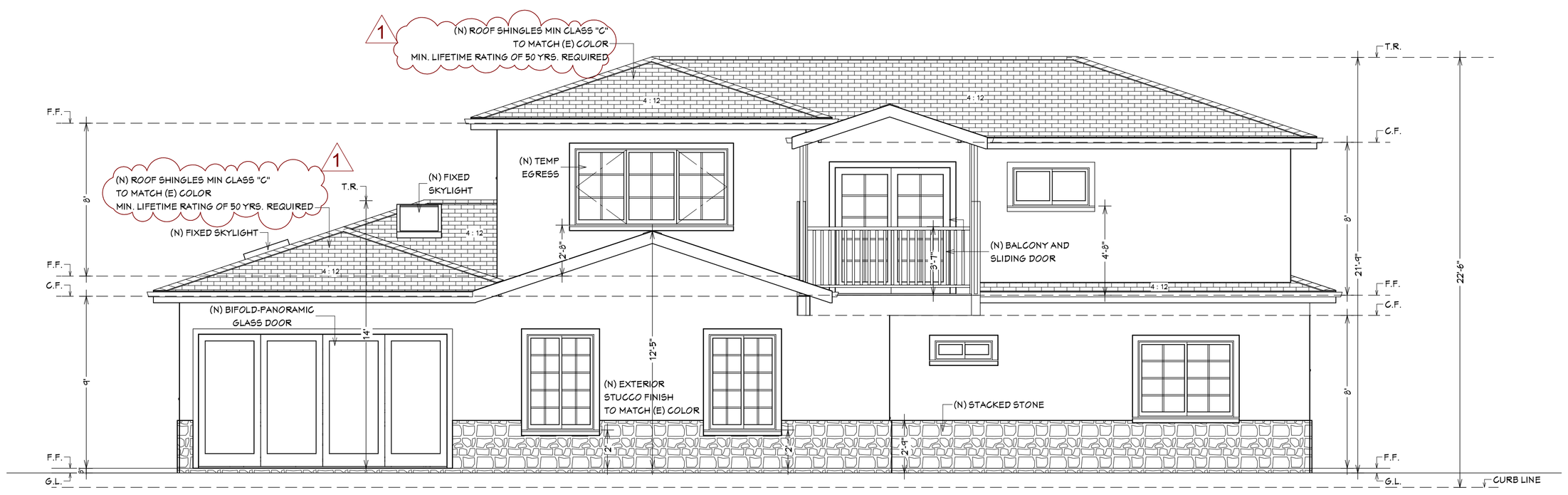
SHEET:

A- 7



EXISTING REAR ELEVATION

SCALE 1/4"=1'-0"



PROPOSED REAR ELEVATION

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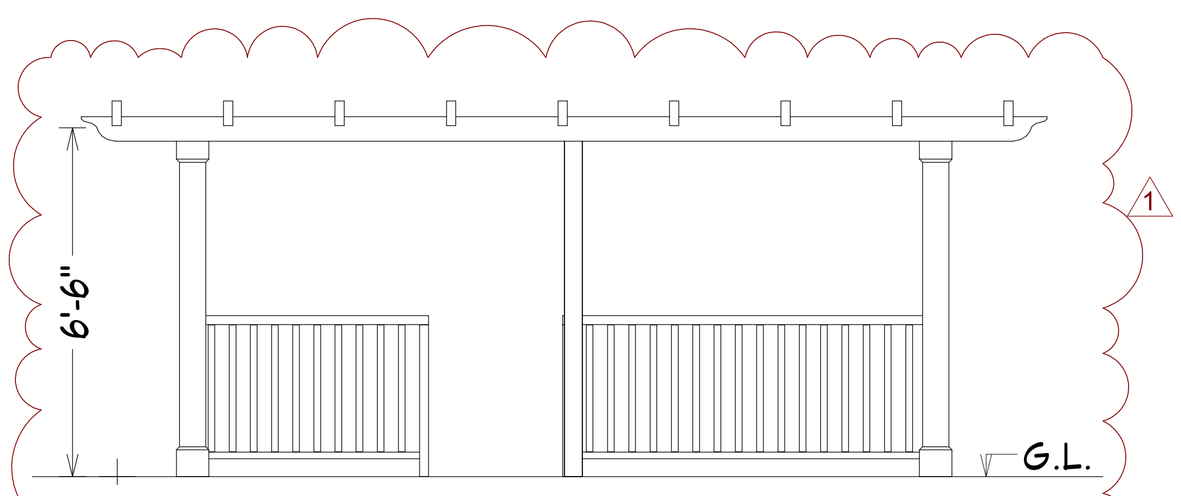


EXISTING TRELLIS ELEVATION

SCALE 1/2"=1'-0"

CRAWLSPACE VENTING CALCULATIONS: (ADDITION)

Required 877 Sq.Ft * 1/150 = 5.85 Sq.Ft * 144 = 842.4 Sq.In = Required

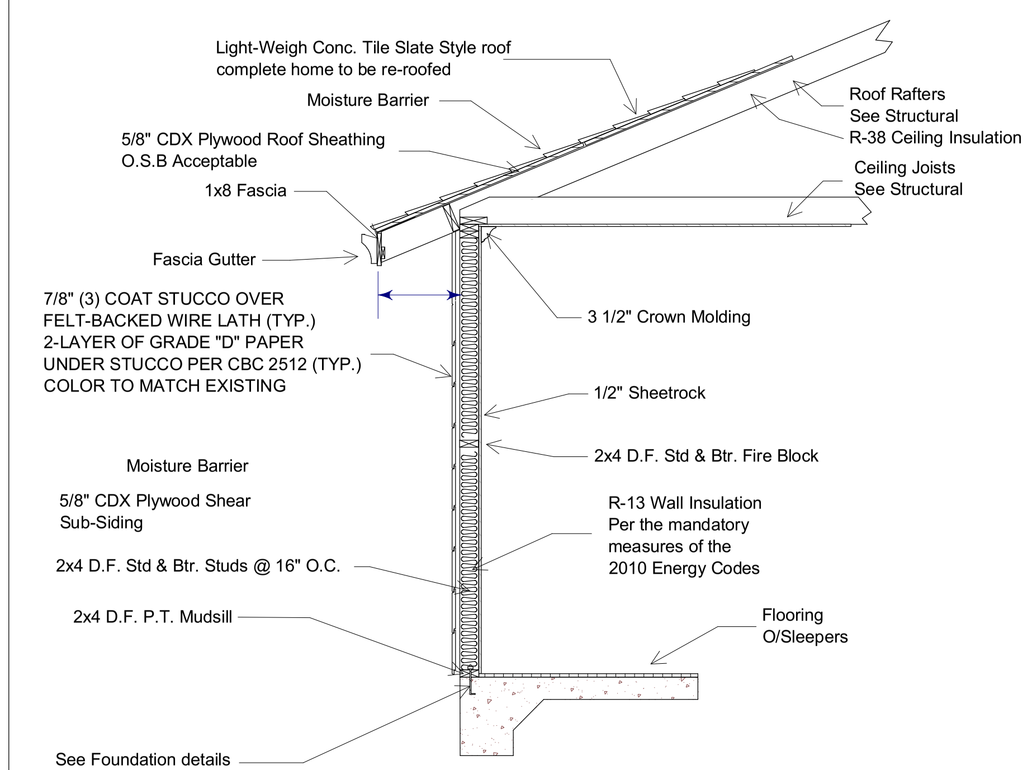
(6) 15" x10" = 150 Sq.In for each * (6) = 900 Sq.In > 842.4 Sq. In (Okay)

ATTIC VENTILATION CALCULATIONS: (ADDITION)

Required 179 Sq.Ft * 1/150 = 1.19 Sq.Ft * 144 = 171.36 Sq.In = Required

(1) 18" Round Gable End = 254 Sq.In * (1) = 254 Sq.In > 171.36 Sq.In (Okay)

CONTRACTOR TO COMPENSATE ADDITIONAL VENTS FOR BOTH BLOCKED CRAWLSPACE VENTILATION & ROOF VENTILATION ON THE EXISTING HOUSE.



WALL/ROOF DETAIL

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE: EXISTING AND PROPOSED ELEVATIONS DETAILS & NOTES

PROJECT DESCRIPTION: ADDITION & REMODELING
1314 Lillian Ave.,
SUNNYVALE, CA. 94087

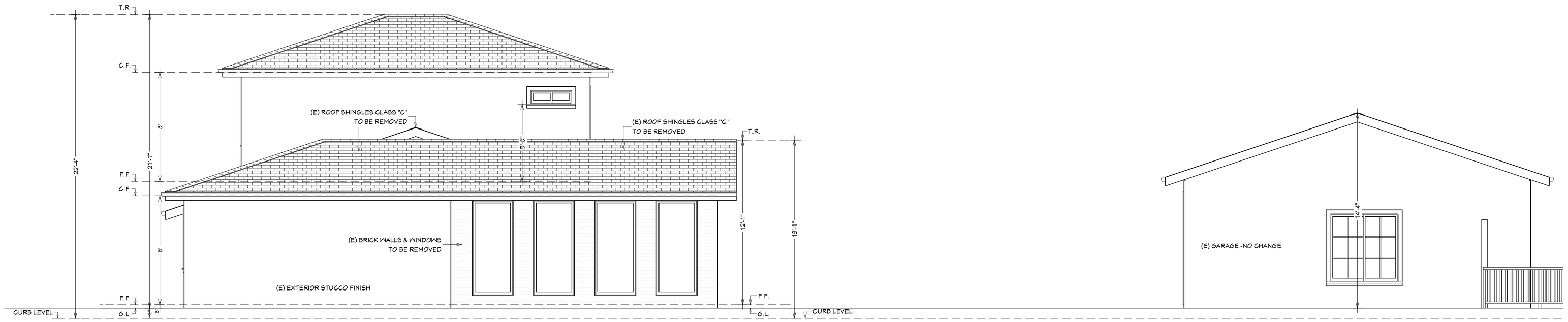
JF CONSULTING
3001 S. Winchester Blvd., #8
Campbell, CA. 95008
TEL: 408.512.8400 - Email: JFPLANS@GMAIL

11/17/2016

REGISTERED PROFESSIONAL ENGINEER
JOSE CARLOS FERNANDEZ
C 76349
EXP 12/31/16
CIVIL
STATE OF CALIFORNIA

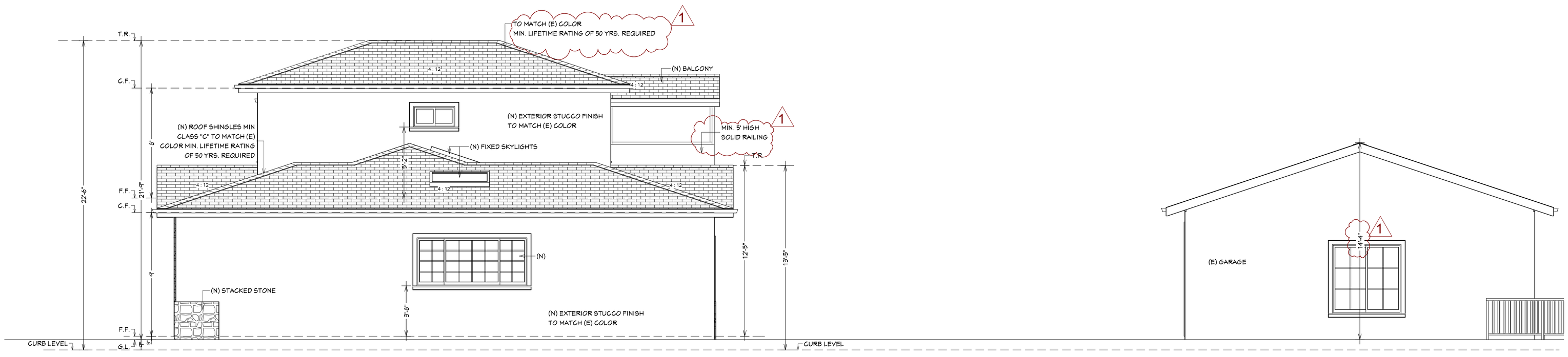
SHEET:

A- 8



EXISTING RIGHT ELEVATION

SCALE 1/4"=1'-0"



PROPOSED RIGHT ELEVATION

SCALE 1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE:
EXISTING AND PROPOSED ELEVATIONS

PROJECT DESCRIPTION:
ADDITION & REMODELING
1314 Lillian Ave.,
SUNNYVALE, CA. 94087

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11/17/2016

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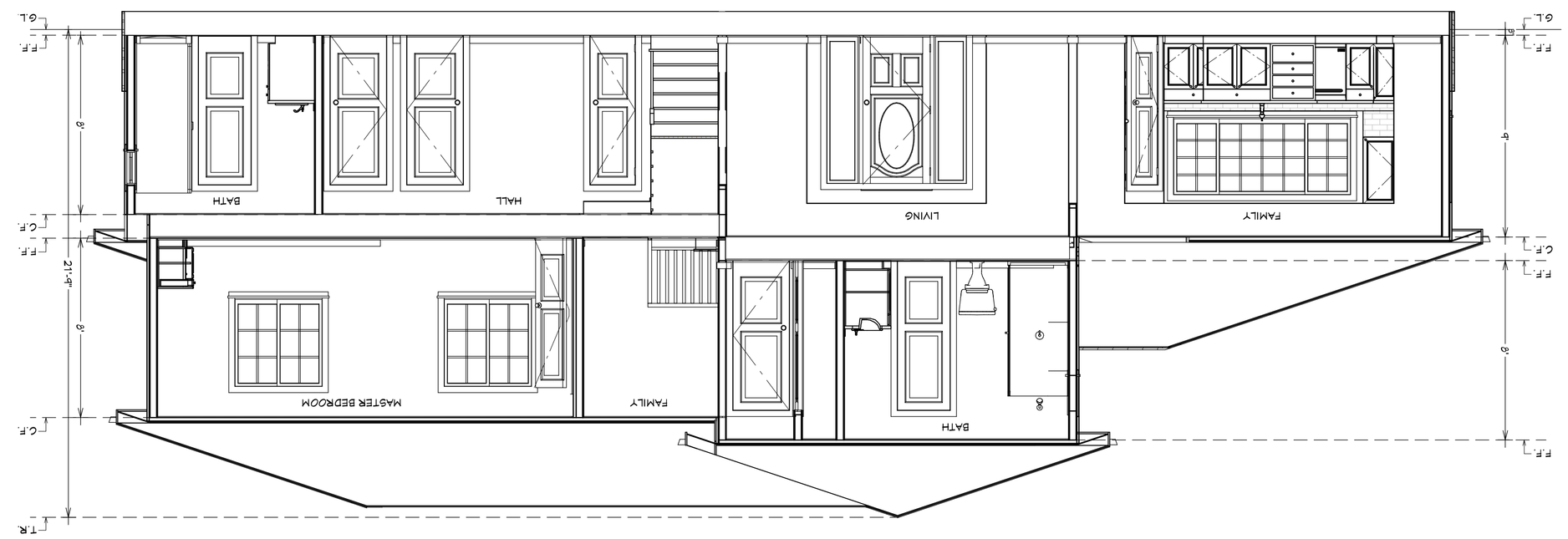
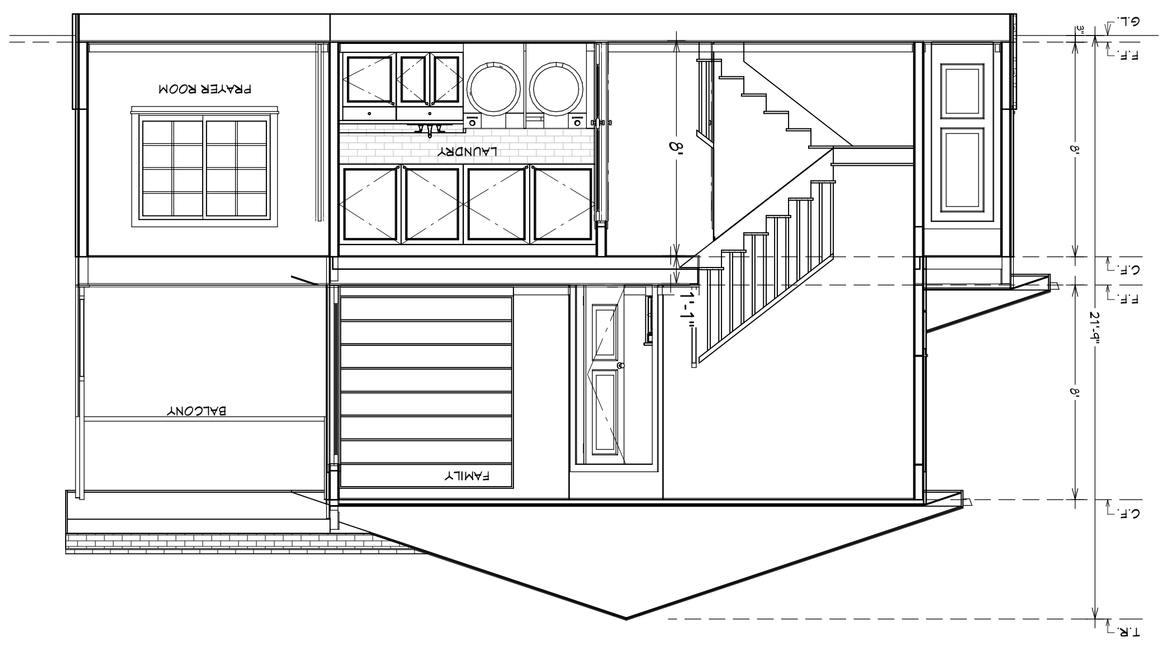
C 76349
EXP 12/31/16
CIVIL
STATE OF CALIFORNIA

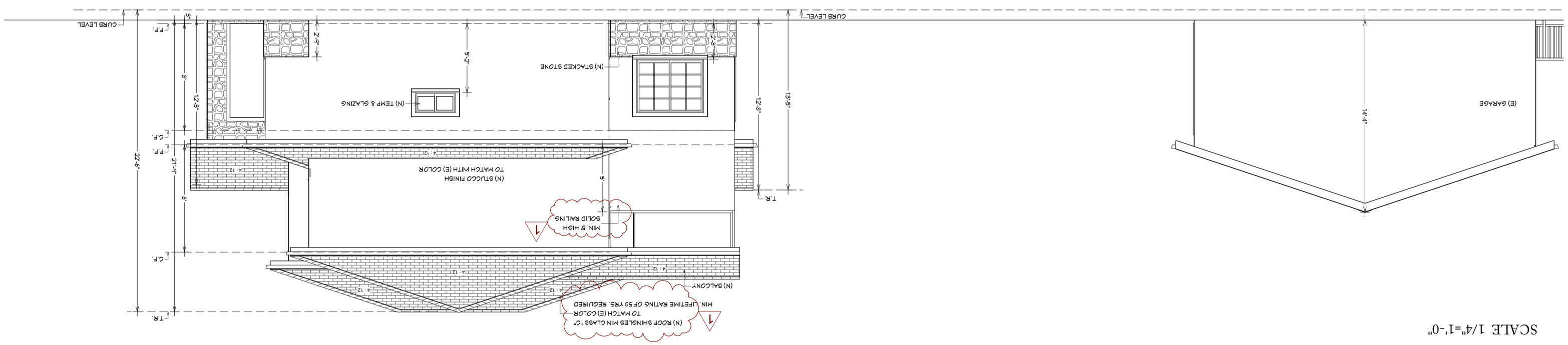
SHEET:
A- 9



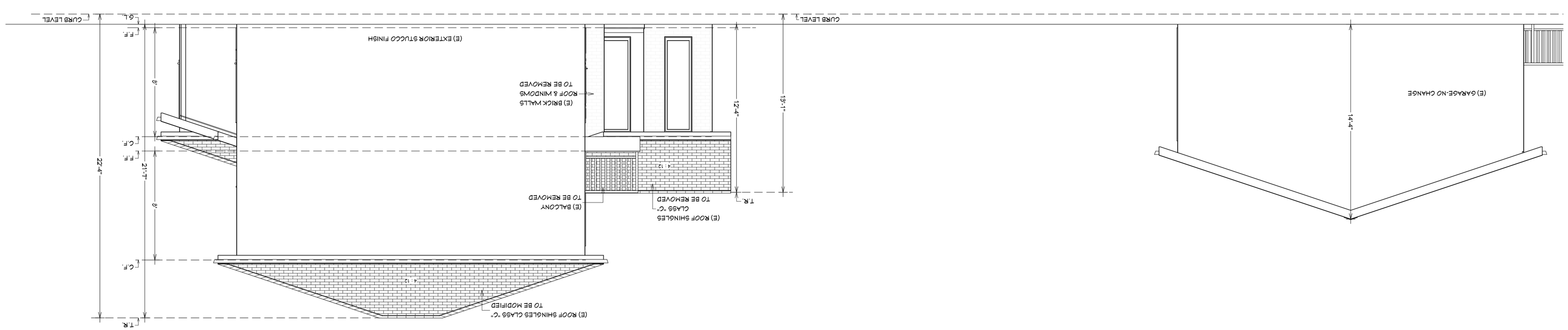
PROPOSED CROSS SECTION CS-1
SCALE 1/4"=1'-0"



PROPOSED CROSS SECTION CS-2
SCALE 1/4"=1'-0"



PROPOSED LEFT ELEVATION
SCALE 1/4"=1'-0"



EXISTING LEFT ELEVATION
SCALE 1/4"=1'-0"

PROJECT DESCRIPTION:
ADDITION & REMODELING
1314 Lillian Ave.,
SUNNYVALE, CA 94087

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11/17/2016

SHEET:
A-10

SHEET TITLE:
EXISTING AND PROPOSED
ELEVATIONS & PROPOSED
CROSS SECTIONS

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

FLOOR PLAN NOTES:

ALL WINDOWS SHALL BE DUAL PANE UNLESS OTHERWISE NOTED. AND SAFETY GLASS (TEMPERED GLASS) TO BE PROVIDED FOR DOORS AND WINDOWS ADJACENT TO OPENINGS. ALL WINDOWS IN BATHS, AND IN WINDOWS WHERE EXPOSED BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE FLOOR.

CONTRACTOR TO PROVIDE CERTIFICATE OF COMPLIANCE FOR INSULATION FOR R-13 WALL, R-19 CEILING OR BETTER.

WATER METER MUST BE INSTALLED PRIOR TO FINAL INSPECTION AND MUST NOT BE LOCATED IN DRIVE OR APPROACH WHERE REQUIRED.

ALL WEATHER STRIPPING, CAULKING, AND SEALING OF EXTERIOR DOORS, WINDOWS, AND BLDG. ENVELOPE OPENINGS, AS REQUIRED BY THE C.R.C. SHALL BE SUBJECT TO FIELD INSPECTION.

ALL MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED.

NAILING SPECIFIED WITHIN THE STRUCTURE CALCULATIONS AND DETAIL SHALL BE DONE USING COMMON NAILS. PROVIDE I.C.C APPROVAL PRIOR TO THE INSTALLATION OF AN ALTERNATE FASTENER.

PIPING IN UNCONDITIONED SPACE LEADING TO AND FROM WATER HEATERS SHALL BE INSULATED WITH AN INSTALLED THERMAL RESISTANCE OF R-3 OR GREATER FOR FIVE FEET OF PIPE CLOSEST TO THE WATER HEATER, OR WHATEVER SHORTER LENGTH IS IN UNCONDITIONED SPACES.

FOR KITCHEN, A CLEAR PASSAGEWAY OF NOT LESS THAN 3-FEET BETWEEN THE COUNTER FRONTS AND APPLIANCE OR COUNTER FRONTS AND WALLS. CBC 1208.1

BATHROOMS & KITCHEN:

a. 22" MIN SHOWER DOOR CLEARANCE
b. TEMPER GLAZING FOR THE SHOWER DOOR AND SLIDING WINDOWS. CEMENT BOARD SUBSTRATE FOR SHOWER WALLS.
c. LAVATORY FACETS TO HAVE A FLOW RATE OF 1.5 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)
d. WATER CLOSETS TO HAVE A FLOW RATE OF 1.28 GALLONS/FLUSH OR LESS. (CALGREEN 4.303.1)
e. CEMENT BOARD SUBSTRATE (IE. DUROCK OR WONDERBOARD.ETC) FOR TILE APPLICATION SURROUNDING THE BATH TUB WALLS.
f. KITCHEN FAUCETS TO HAVE A FLOW RATE OF 1.8 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)
g. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CRC R307.2.

ALL HOSE BIBBS INSTALLED SHALL BE PROTECTED BY AN APPROVED NON-REMOVABLE TYPE BACK FLOW PREVENTION DEVICE.

BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS, ETC., SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS W/AN AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA W/MIN. OF 1-1/2 SQ.F.T. OR 5 AIR CHANGES PER HOUR.

WALL SURFACE BEHIND CERAMIC TILE OR OTHER FIN. WALL MATERIALS SUBJECT TO WATER SPLASH SHALL BE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. (APPROVED WR GYP. BD. INSTALLED ACC. TO C.B.C 4712.)

PRIOR TO BUILDING FINAL INSPECTION AN 'APPLIANCE CERTIFICATE', SIGNED BY THE INSTALLER OR GEN. CONTRACTOR, SHALL BE POSTED IN A CONSPICUOUS LOCATION.

TUB/SHOWER AND WATER CLOSET REQUIREMENTS:

a. THE MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120 DEGREE F. THE WATER-FILLER VALVE IN BATHTUBS/WHIRLPOOLS SHALL HAVE A TEMPERATURE LIMITING DEVICE SET AT A MAXIMUM OF 120 DEGREE F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS. (CPC 408.3, 409.4)
b. NEW OR RECONFIGURED SHOWER STALL SHALL BE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES, BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. ANY DOORS SHALL SWING OUT OF THE ENCLOSURE HAVE A CLEAR OPENING OF 22 INCHES MINIMUM. (CPC 408.5, 408.6)
c. SHOWER STALLS AND BATHTUB WITH SHOWER HEADS INSTALLED, SHALL HAVE WALLS FINISHED WITH A NON-ABSORBENT SURFACE FOR A MINIMUM OF 6 FEET ABOVE FLOOR. (CBC 1210 AND CRC R307.2)
d. THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT) (CPC 402.5).
e. WHERE THE WATER CLOSET (OR OTHER PLUMBING FIXTURE) COMES INTO CONTACT WITH THE WALL OR FLOOR THE JOINT SHALL BE CAULKED AND SEALED TO BE WATERTIGHT. (CPC 402.2)

LOCATE AND EXPOSE ALL PROPERTY CORNERS AND STRING THE SIDE YARD PROPERTY LINES PRIOR TO FOUNDATION INSPECTION.

INSULATION NOTES:

AFTER INSTALLING INSULATION, THE INSULATION INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2 53, AND THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 24, CHAPTER 2, SUB CHAPTER 2, ART. 3. THE CERTIFICATE SHALL STATE THE MANUFACTURER'S NAME AND MATERIALS INSTALLED 'R' VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION), THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED DENSITY FOR THE DESIRED 'R' VALUE. SECTION 1403(d) TITTLE 24, CALC.

BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SEC. 1403(e) TITTLE 24, CALCS.

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL CITY, COUNTY AND STATE STANDARDS, AND SECTIONS OF CBC, CRC, CALIFORNIA ENERGY CODE, CPC, CEC, IN THE EVENT OF CONFLICT, THE HIGHER STANDARDS AND SPECIFICATIONS SHALL PREVAIL.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR LOCATION OF EXISTING UTILITIES SHOWN OR NOT SHOWN ON PLANS.
3. ELEVATIONS AND DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND MAY VARIES. IT SHALL BE THE CONTRACTOR RESPONSIBILITIES TO VERIFY SUCH ELEVATIONS AND DISTANCES IN THE FIELD FOR ANY DISCREPANCIES.
4. PRIOR TO COMMENCING WORK, ALL NECESSARY BUILDING, PLUMING, ELECTRICAL PERMITS SHALL BE OBTAINED FROM THE APPROVED AGENCY BY THE OWNER/CONTRACTOR AT HIS COST.
5. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS, PG&E, PACIFIC BELL AND OTHER PARTICIPANT ENTITIES.
6. FIELD VERIFY ALL WORK AND DIMENSIONS PRIOR TO CONSTRUCTION.
7. USE 2X4 STUDS @ 16" O.C. DF#2. AND AN EXTRA STUD UNDER TRUSS.
8. FINGER JOINTED STUDS IN STRUCTURAL WALLS (BEARING OR SHEAR) SHALL BE APPROVED AND ARE NOT ALLOWED AT HOLDOWN LOCATIONS.
9. ALL SLIDING GLASS DOORS, SHOWER DOORS AND TUB ENCLOSURES SHALL BE TEMPERED GLASS AND LABELED SAFETY GLAZING. ALL WINDOWS SHALL MEET THE MINIMUM STANDARD AS ESTABLISHED BY THE CRC.
10. PROVIDE AN EXHAUST FAN CAPABLE OF PROVIDING 75 CFM TO REST ROOMS.
11. FLASH ALL EXTERIOR OPENINGS W/G.I. OR ALUMINUM ON KRAFT PAPER OR 15# FELT, SO AS TO BE TOTALLY WATER PROOF AS PER CBC 1402.
12. PROVIDE SMOKE DETECTORS AT ALL BEDROOMS & HALLWAYS AS REQUIRED (MIN. 3' FROM AC RETURN/VENTS).
13. NAILING SHALL MEET REQUIREMENTS OF CBC TABLE 2304.9.1. CRC R602.3(1)

ADDITIONAL NOTES:

1. JOB CARDS TO BE AVAILABLE FOR SIGNATURE AT JOB SITE.
2. PROVIDE A DIMENSIONED COPY OF THE FLOOR PLAN FOR THE COUNTY ASSESSOR'S OFFICE.
3. PROVIDE CERTIFICATE OF COMPLIANCE OR OTHER CERTIFICATE OF FEES PAID FROM THE SCHOOL DISTRICT HAVING JURISDICTION OVER THE SITE FOR PROPOSED CONSTRUCTION.
4. ADDRESS NUMBERS TO BE VISIBLE FROM THE ROAD WITH NUMERALS THAT ARE 3" HIGH OR HIGHER.
5. SURFACE WATER SHALL BE DRAINED AWAY FROM THE BUILDING FOR THE FIRST 5' BY AT LEAST 2% GRADE. THE OVERALL LOT DRAINAGE MUST BE NOT LESS THAN 1%.
6. A FIRE ESCAPE WINDOW SHALL BE PROVIDED IN EVERY BEDROOM WHERE THERE IS NOT A DOOR TO THE EXTERIOR WITH A SILL HIGH OF NOT MORE THAN 44" ABOVE THE FLOOR. SUCH WINDOW SHALL HAVE A CLEAR OPERABLE AREA OF NOT LESS THAN 5.7 SQ. F.T. WITH NO DIMENSION LESS THAN 24" IN HEIGHT OR 20" IN WIDTH THAT WILL OPEN ONTO A STREET, ALLEY, YARD OR EXTERIOR COURT.
7. MINIMUM FINISHED WIDTH FOR A CORRIDOR IS NOT LESS THAN 36".
8. WATER CLOSET (TOILET) COMPARTMENT MUST HAVE NOT LESS THAN 15" CENTERLINE OF BODET TO RIM AND NOT LESS THAN 24" CLEAR IN FRONT OF THE UNIT AS PER CPC 407.6.
9. BETWEEN GARAGE AND RESIDENCE INSTALL MINIMUM 1/2" GYPSUM BOARD ONE-HOUR FIRE-RESISTANT WALLBOARD FROM CONCRETE TO ROOF SHEATHING OF GARAGE SIDE OF ALL COMMON WALLS.
10. GLASS WINDOWS AND DOORS THAT ARE SUBJECT TO HUMAN IMPACT, WITH 24" OF DOOR, CLOSER THAN 60" ABOVE AN EXTERIOR WALKING SURFACE OR WITHIN 18" OF AN INTERIOR FLOOR MUST BE TEMPERED GLASS OR REQUIRES A PROTECTIVE GRILL AS PER CRC R308.4.
11. WATER HEATERS, FURNACES AND ELECTRIC OUTLETS MUST BE INSTALLED AT LEAST 18" ABOVE GARAGE FLOOR OR CONCRETE SLAB. STRAP WATER HEATER FOR SEISMIC BRACING.
12. LATH PLASTER SHALL COMPLY WITH SECTION 2512.1.
13. PROVIDE WEEP SCREEDS NOT LESS THAN 4" ABOVE THE EARTH OR NOT LESS THAN 2" ABOVE PAVED AREAS.
14. FOAM TYPE UNDERLAY REQUIRES A WATERPROOF FACING STUCCO. SUBMIT SPECIFICATIONS AND ICC REPORT NUMBER OF TYPE TO BE USED.
15. SHOWER STALLS AND TUBS ENCLOSURES TO HAVE SAFETY GLAZING. SHOWER DOORS MAY NOT BE LESS THAN 22" MINIMUM WIDTH.
16. MECHANICAL VENTILATION SYSTEMS MUST SUPPLY 5 AIR CHANGES PER HOUR IN BATH AND LAUNDRY ROOMS,
17. PROVIDE 12" SQ. TUB ACCESS OR SOLVENT WELD TUB TRAP JOINTS PER CPC.
18. PROVIDE BACKDRAFT DAMPERS TO ALL VENTS TO THE OUTSIDE.
19. DISTANCE BETWEEN RANGE TOP AND CABINET ABOVE SHALL NOT BE LESS THAN 30" UNPROTECTED, 24" PROTECTED AND NOT LESS THE RANGE MANUFACTURERS SPECS. FOR HORIZONTAL DISTANCE (OR MIN. 6" IF NOT SPECIFIED).
20. WATERPROOF GYPSUM BOARD UNDERLAY AT SHOWERS, TUBS AND OTHER SURFACES ADVERSELY AFFECTED BY WATER IS NOT ALLOWED AS PER GA-216 OR ASTM C840.
21. INTERIOR WALL SURFACES TO BE 1/2" GYPSUM WALLBOARD (FLAMESPREAD GLASS III OR BETTER) UNLESS SPECIFIED OTHERWISE.
22. BUGSCREEN TO BE INSTALLED PRIOR TO FINAL INSPECTION.
23. NEW ROOFING TO BE CLASS "C" ROOF COVERING OR BETTER. THE INSTALLER SHALL PROVIDE A CERTIFICATION TO THE BUILDING DIVISION PRIOR TO FINAL INSPECTION.

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE:
FLOOR PLAN NOTES & CAL GREEN NOTES

PROJECT DESCRIPTION:
ADDITION & REMODELING
1314 Lillian Ave.,
SUNNYVALE, CA. 94087

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11/17/2016

REGISTERED PROFESSIONAL ENGINEER
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C 76349
EXP 12/31/16
CIVIL
STATE OF CALIFORNIA

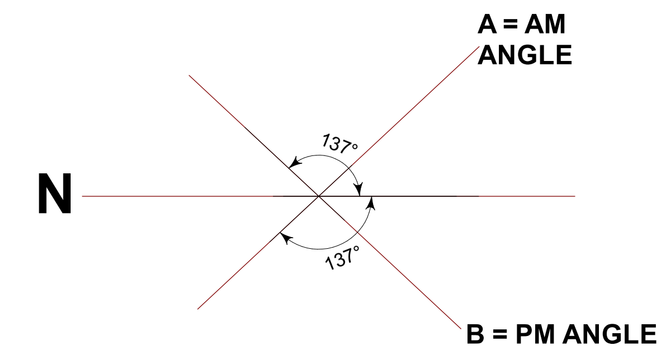
SHEET:
A-11

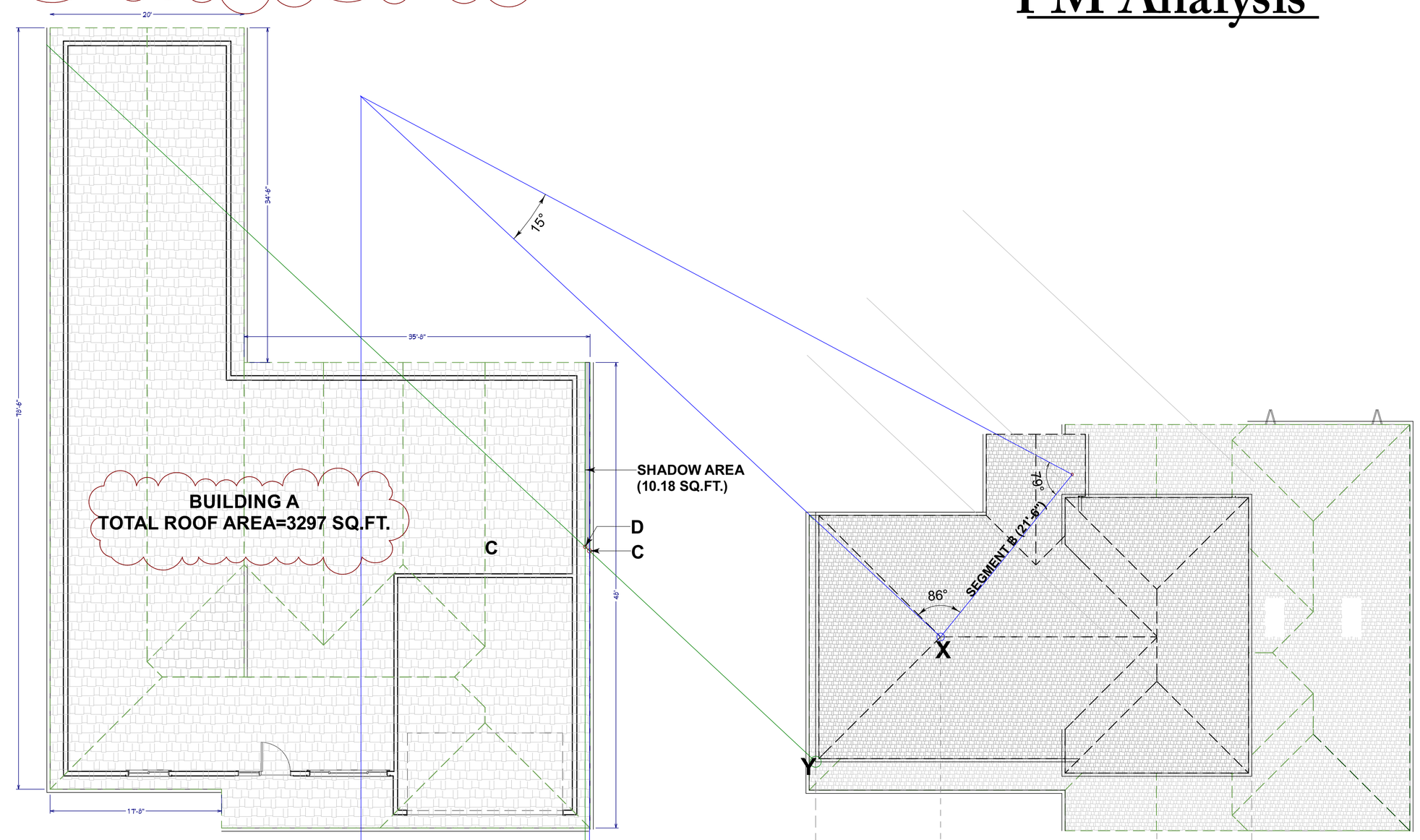
SHADOW AREA CALCULATION

TOTAL ROOF AREA OF BUILDING A : 3297 SQ.FT.
TOTAL SHADOW AREA : 10.18 SQ.FT.
TOTAL % OF AREA OF SHADOW : 10.18/3297 =0.30%

Solar Access & Shadow Analysis

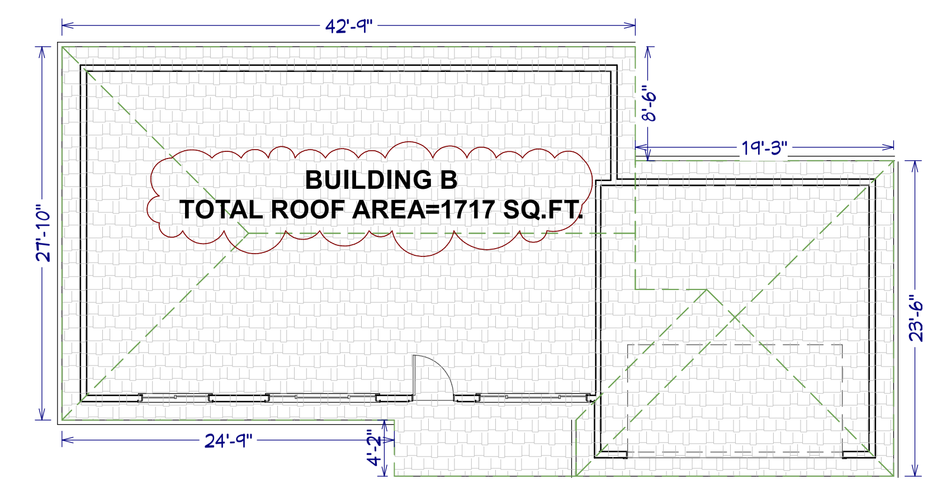
PM Analysis





ADJACENT BUILDING -A-ROOFING PLAN
SCALE 1/8"=1'-0"

PROPOSED BUILDING ROOFING PLAN
SCALE 1/8"=1'-0"



ADJACENT BUILDING -B-ROOFING PLAN
SCALE 1/8"=1'-0"

ADJACENT BUILDING- A- FRONT ELEVATION
SCALE 1/8"=1'-0"

PROPOSED BUILDING -FRONT ELEVATION
SCALE 1/8"=1'-0"

ADJACENT BUILDING- B- FRONT ELEVATION
SCALE 1/8"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE: SOLAR ACCESS & SHADOW ANALYSIS

PROJECT DESCRIPTION:
ADDITION & REMODELING
1314 Lillian Ave.,
SUNNYVALE, CA 94087

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11/17/2016

REGISTERED PROFESSIONAL ENGINEER
JOSE CARLOS FERNANDEZ
C 76349
EXP 12/31/16
CIVIL
STATE OF CALIFORNIA

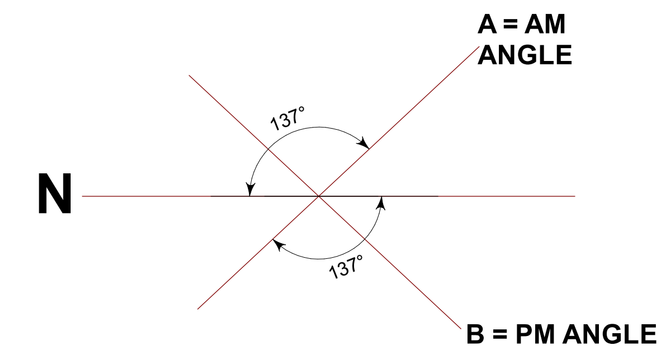
SHEET:
A-12

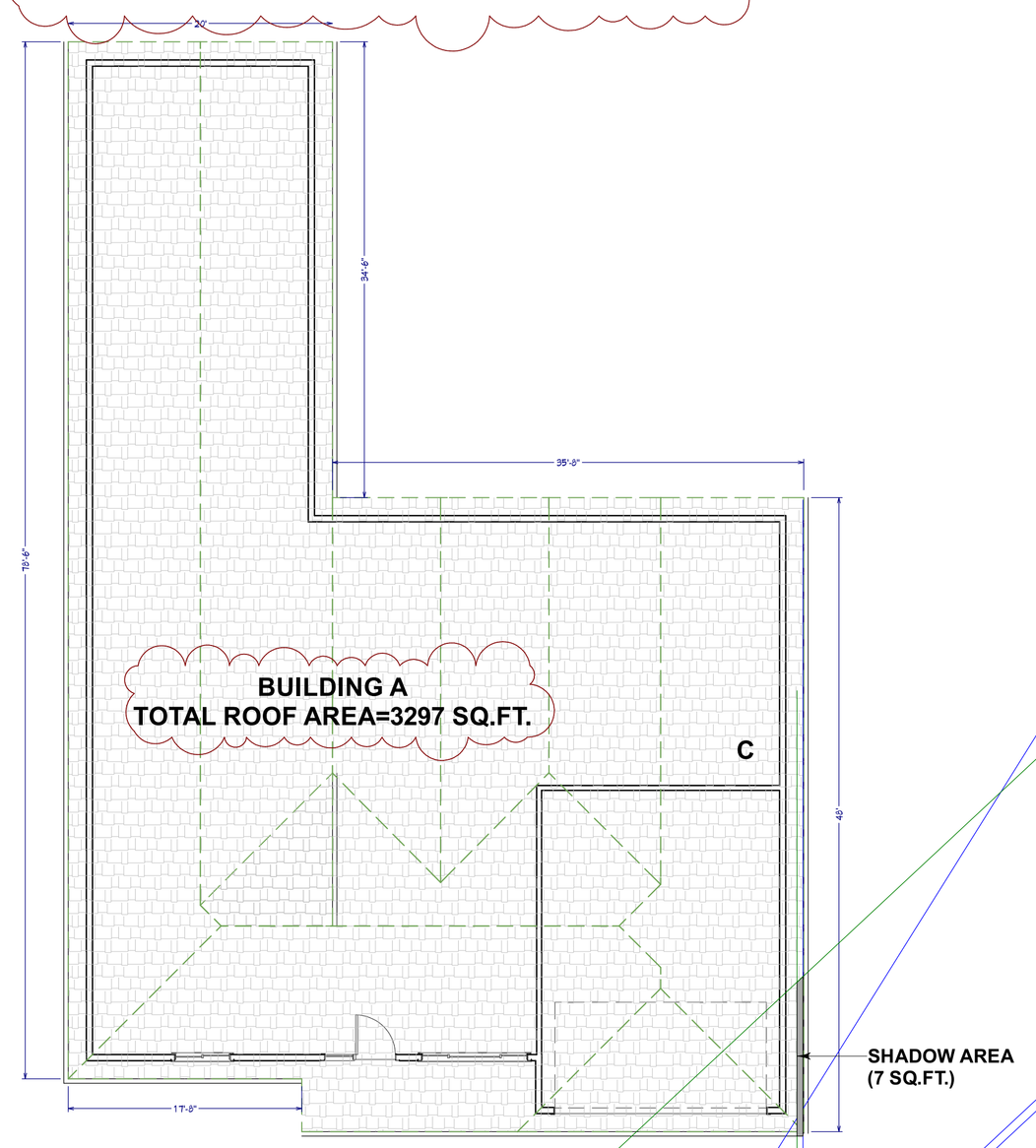
SHADOW AREA CALCULATION

TOTAL ROOF AREA OF BUILDING A : 3297 SQ.FT.
TOTAL SHADOW AREA : 7SQ.FT.
TOTAL % OF AREA OF SHADOW : 7/3297 =0.21%

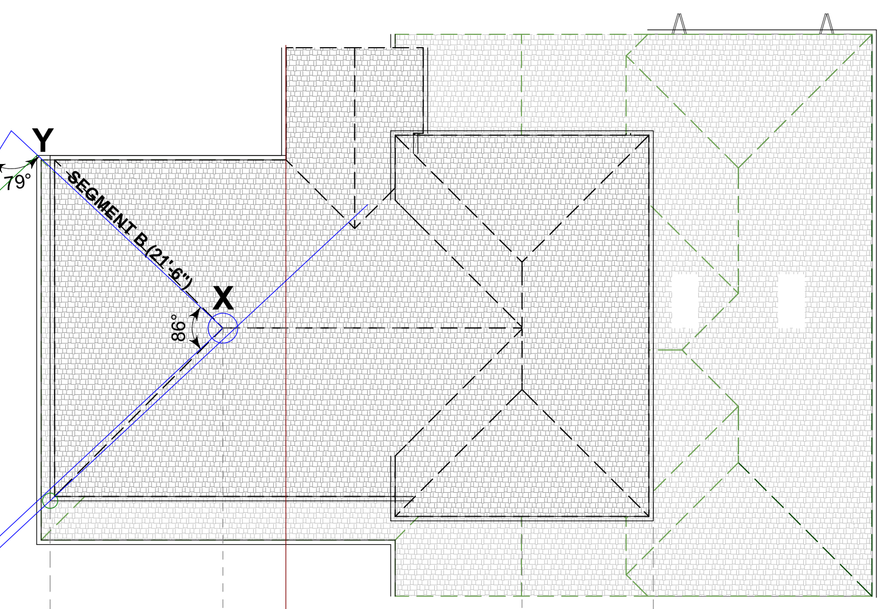
Solar Access & Shadow Analysis

AM Analysis

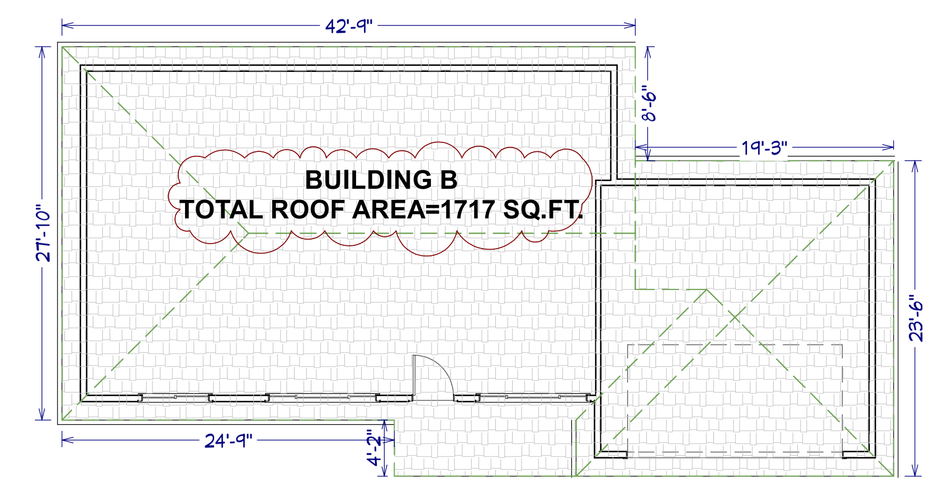




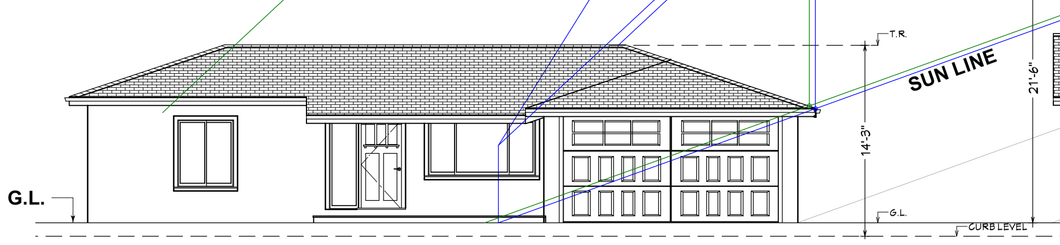
ADJACENT BUILDING -A-ROOFING PLAN
SCALE 1/8"=1'-0"



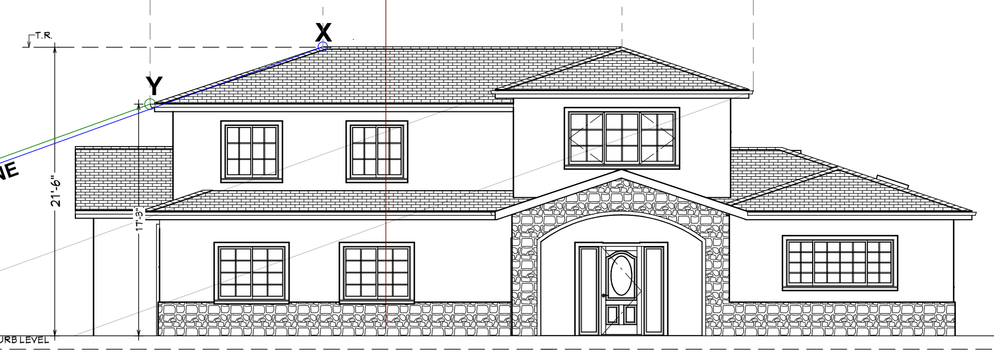
PROPOSED BUILDING ROOFING PLAN
SCALE 1/8"=1'-0"



ADJACENT BUILDING -B-ROOFING PLAN
SCALE 1/8"=1'-0"



ADJACENT BUILDING- A- FRONT ELEVATION
SCALE 1/8"=1'-0"



PROPOSED BUILDING -FRONT ELEVATION
SCALE 1/8"=1'-0"

ADJACENT BUILDING- B- FRONT ELEVATION
SCALE 1/8"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	CORRECTION FROM DESIGN REVIEW 1		10.12.16
2	CORRECTION FROM DESIGN REVIEW 2		11.16.16

SHEET TITLE: SOLAR ACCESS & SHADOW ANALYSIS

PROJECT DESCRIPTION: ADDITION & REMODELING
1314 Lillian Ave.,
SUNNYVALE, CA 94087

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3001 S. Winchester Blvd., #8
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11/17/2016

REGISTERED PROFESSIONAL ENGINEER
JOSE CARLOS FERNANDEZ
C 76349
EXP 12/31/16
CIVIL
STATE OF CALIFORNIA

SHEET:
A-13