# I. Site Review: Contractor shall verify all conditions and dimensions at the job site. If any

GENERAL NOTES

discrepancies are found, Contractor shall notify the Architect /Froject Coordinator.

2. Code Compliance: The work shall comply with and conform to all laws, rules, codes, ordinances, etc., of the governing body having Jurisdiction over the work, as well as the rules and regulations of the various utility companies serving the building. Nothing In these drawings shall be construed as directions to perform work contrary to. these requirements. Applicable codes Include, but are not limited to, the following: "California Building Code" 2013 edition, State and local building codes.

3. Job Site Conditions: Contractor by accepting contract and beginning the work shall assume sole and complete responsibility for job site conditions dUring the course of construction including safety or all persons and property. This requirement shall apply continuously and not be limited to normal working hours. Contractor shall defend, indemnify and hold the Architect, Engineer and Landlord harmless from any and all liability, real or alleged, In connection With the performance or work on this Project. Contractor shall show proof of Worker's Compensation Insurance, as required prior to issuing a permit.

4. Fire Protection: Additional on Site Fire Protection during construction to be provided as required by Fire Inspector or Department.

5. Stored Materials: All materials stored on the site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.

6. Utilities: Contractor shall be responsible for locating, maintaining, relocating and/or removing existing utilities as required.

7. Changes, Additions and Revisions: Prior to the start of any construction work, the General Contractor shall layout the work In conformity With these drawings. Any changes and/or revisions of the structure due to relocation or addition shall be brought to the attention of the Architect prior to the commencement of said change or revrs.on. Structural members or elements that require changing or relocation shall be the responsibility of the trade or trades Involved.

The Architect or Owner shall not be liable for cost of the changes or revisions required.

8. Workmanship and Materials: All workmanship materials are subject to the approval of the Architect and the Owner.

9. Accessibility: All portions of the work shall be accessible to persons with disabilities as required by Chapter I I B, of the California Building Code 2013 Edition, and Federal Laws, Rules and Regulations.

10. Details: Where certain construction features are not fully shown, the construction shall repeat Similar conditions shown elsewhere.

II. Coordination: The General Contractor must coordinate all phases of the project, including work done by others, to Insure the smooth progress of the project. The General Contractor is also responsible for the receiving and safekeeping of all Items shipped to the job site for the project for his use or others.

**12.** Guarantee: All work is to be done In a first class workmanship manner. All work done by the General Contractor or subcontractors must be guaranteed for a minimum of one year and prompt repair or replacement of defective Items must be provided at the notice of the Owner.

13. Safety Measures: At all times, the Contractor shall be solely and completely responsible for conditions of the Job site including the safety of persons and property and for all necessary Independent engineering and/or architectural review of these conditions. The Contractor shall also provide and maintain fire extinguishers and other equipment as required by local codes for proper fire protection during construction.

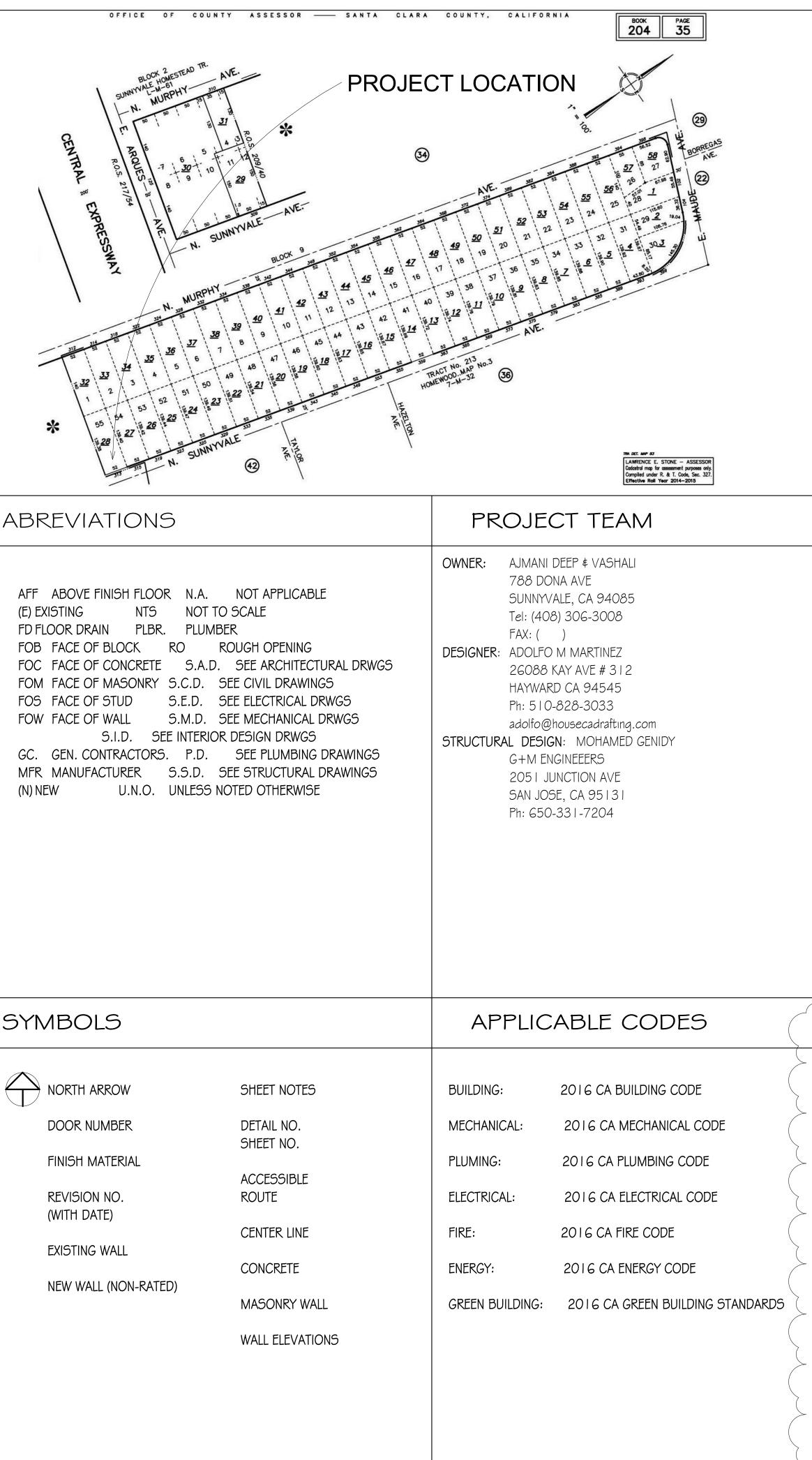
14. Job Site Maintenance: The General Contractor shall maintain the premises In a clean and orderly fashion during the entire construction period, removing all trash and rubbish from the Job site. Upon completion of all construction, the General Contractor shall perform a general clean-up of the premises In order to facilitate the turnover to the Tenant.

15. Mechanical: Any of the work shall be on a DESIGN/ BUILD basis. The contractor shall submit all plans and other necessary Information to the local Building Offrciale to their eatrsfactrone. All work on the mechanical system shall conform to the requirements of the "California Mechanical Code", 2013 adopted edition, California's Title 24 and state and local codes.

IG. Plumbing: Any of the work shall be on a DESIGN/ BUILD basis. The contractor shall submit all plans and other necessary information to the local Building Officials to their satisfactions. All work on the plumbing system shall conform to the requirements of the "California Plumbing Code", 2013 adopted edition, California's Title 24 and state and local codes.

17. Electrical: Any of the work shall be on a DESIGN/ BUILD basis. The contractor shall submit all plans and other necessary information to the local Building Officials to their satisfactions. All work on the electrical system shall conform to the requirements of the "California Electrical Code", 2013 adopted edition, California's Title 24 and state and local codes.

## LOT MAP



# ABREVIATIONS

AFF ABOVE FINISH FLOOR N.A. (E) EXISTING FD FLOOR DRAIN FOB FACE OF BLOCK FOC FACE OF CONCRETE FOS FACE OF STUD FOW FACE OF WALL GC. GEN. CONTRACTORS. P.D. (N) NEW



ROW SHEET NOT WBER DETAIL NO. SHEET NO. SHEET NO. ACCESSIBL NO. ROUTE E) CENTER LIN WALL CONCRETE . (NON-RATED)		
SHEET NO. ACCESSIBL NO. E) CENTER LIN WALL CONCRETE . (NON-RATED)	ROW	SHEET NOT
ATERIAL ACCESSIBL NO. (E) CENTER LIN WALL CONCRETE (NON-RATED)	MBER	
E) CENTER LIN WALL CONCRETE (NON-RATED)	TERIAL	
WALL CONCRETE . (NON-RATED)		
(NON-RATED)	WALL	
	(NON-RATED)	MASONRY
		WALL ELEVA

# NEW DETACHED ACCESSORY HABITABLE SPACE **APN:204-35-028**

### SCOPE OF WORK

#### New living space

- New 798 SQ FT Detached Accessory Habitable Space at rear of the property. Two new bedrooms

Game room bathroom.

### **USE PERMIT APPLICATION**

RECORDED DEED RESTRICTION WILL BE PROVIDED DEFERRED SUBMITTALS

FIRE

-Automatic fire sprinkler system designed and installed in accordance with NFPA 13D. Water service shall be upsized. -Fire flow testing and water hydraulic modeling will be provided. PUBLIC WORKS

-New sewer cleanout at public right-of-way (Front property line) Per city requirement.

# PROJECT DATA

PROJECT DESCRIPTION: BUILDING OCCUPANCY: SFR "R3/U" STORIES : I YEAR BUILT APN:234-35-028 TRACT No	[ 1942	lo <sup>-</sup>
LOT SIZE: 7,228 SF		
TYPE OF CONSTRUCTION: VB -		
EXISTING STRUCTURE: EXISTING LIVING AREA	1 527 SF	
GARAGE AREA	1,527 SF 282 SF	
PORCH AREA	40 SF	
TOTAL EXISTING	1,849 SF	
PROPOSED STRUCTURE:		
DETACHED ADDITION AT MAIN		
HOUSE	798 SF	
GARAGE ADDITION	125 SF	
TOTAL PROPOSED _	923 SF	
TOTAL AREA	2,772 SF	
LOT COVERAGE:		
2,772 SF / 7,228 SF * 100=	38.35%	
FLOOR AREA RATIO:		
2,772 SF / 7,228 SF * 100=	38.35%	
	$\checkmark$	$\sim$

LOCATION MAP

# DRAWING INDEX

Cherry Orchard Apartments

West Sunnyvale Shopping Center

	Sheet List
Sheet Number	Sheet Name
A-100	TITLE BLOCK
A-101	(E) & (N) SITE PLAN
A-102	(E) & (N) MAIN HOUSE
A-102.1	(E) & (N) ELEVATIONS
A-103	NEW ACCESSORY STRUCTURE
A-104	(N) BLDG. SECTION (E) & (N) ROOF PLAN

ATTAC Page 1	HMENT 4
Designer : Adolf Address : 2608 Hayward CA 94 Phone : 510	ADrafting.com o M Martinez 8 Kay Ave# 312 545 -828-3033 0-783-4523
Consultant Address Address Phone Fax e-mail Consultant Address Phone Fax e-mail Consultant Address Address Phone Fax e-mail e-mail	
ADDITION AND REMODELING	313 N SUNNYVALE AVE SUNNYVALE, CA 94085
No.  Descrip    1  Planning    2  Planning    -  -	Date    12/04/16    Date 2
ARUN & DEEPA JANGITY FAMILY STATES	TITLE BLOCK
Project number Date Drawn by Checked by	082-2016 10-21-2016 Author Checker

Scale

GENERAL NOTES: 1. All construction work and its finished product shall comply with all applicable federal, state, and local codes, laws and regulations. In case of conflicts, the most restrictive shall apply.

2. The issuance of a building permit shall not be construed as a guarantee that all code requirements are reflected in the documents, no guarantee of construction quality is implied of intended by the construction quality is implied of intended by the architectural documents. The general contractor shall be ultimately responsible for any or all construction deficiencies.

3. Builder set definition: these plans are "builder set", it contains it contains information for building permit and general construction purposes only. They are not exhaustively detailed nor are fully specified. This has been produced for the use of a knowledgeable and experienced contractor. It is the responsibility of the contractor to verify, select, solve, and install

all materials and equipment carefully. 4. By executing contracts, prior to commencing any work or ordering any material, contractor represent that they have:

a. Liability insurance and workers compensation insurance.

b. Verified existing job site conditions and surroundings, locations of all utility lines, conduits, surface or subsurface

structures, etc.

c. Contractor to verify all measurements shown on these drawings which supersedes scales of drawings. 5. The contractor shall immediately notify the designer/engineer or owner of any conflicts or inconsistencies they discover within the drawings or existing field condition prior to continue the work.

6. Unless noticed and arranged by owner, there will be no designer or engineer observation during construction. The construction shall be solely responsible for the quality control and construction standards of this project. 7. Demolition shall be done in a safe, orderly manner without damaging to other parts of the premises or adjacent

properties. 8. All demolished items shall be disposed of by the contractor unless otherwise directed by the owner, verify with the owner on items to be saved and stored. All removed items to be saved for reuse shall be handled with care.

9. All public improvements shall be made in accordance with the latest adopted city standards if any applicable.

Contractor-Note 3/64" = 1'-0"

**BUILDING NOTES:** 1. ALL WORK CONNECTED WITH THIS PROJECT SHALL BE DONE IN A PROFESSIONAL MANNER IN ACCORDANCE WITH THE TRADITIONALLY AND LEGALLY DEFINED "BEST ACCEPTED PRACTICE" OF THE TRADE INVOLVED. ADDITIONALLY, ALL WORKSHAL COMPLY WITH APPLICABLE CODES & TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING THE: City of SUNNYVALE MUNICIPAL CODE (SMC). 2016 CALIFORNIA RESIDENTIAL CODES 2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA ELECTRICAL CODE

2016 CALIFORNIA MECHANICAL CODE

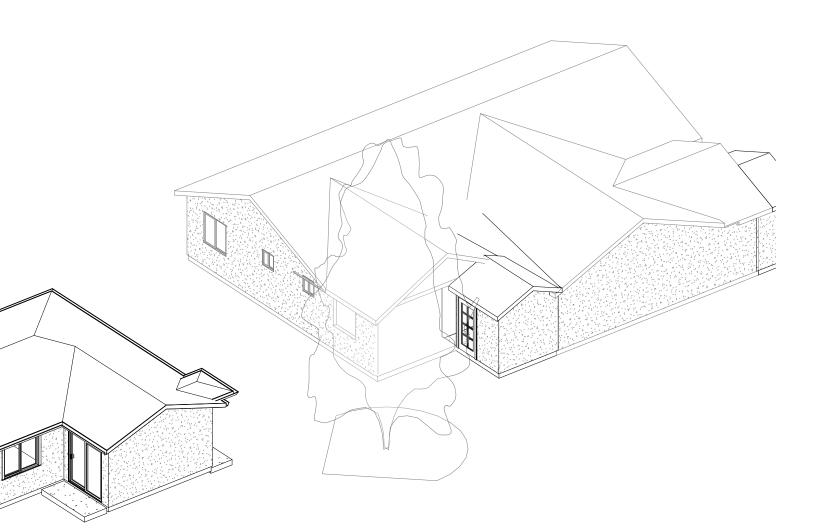
2016 CALIFORNIA PLUMBING CODE

2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS

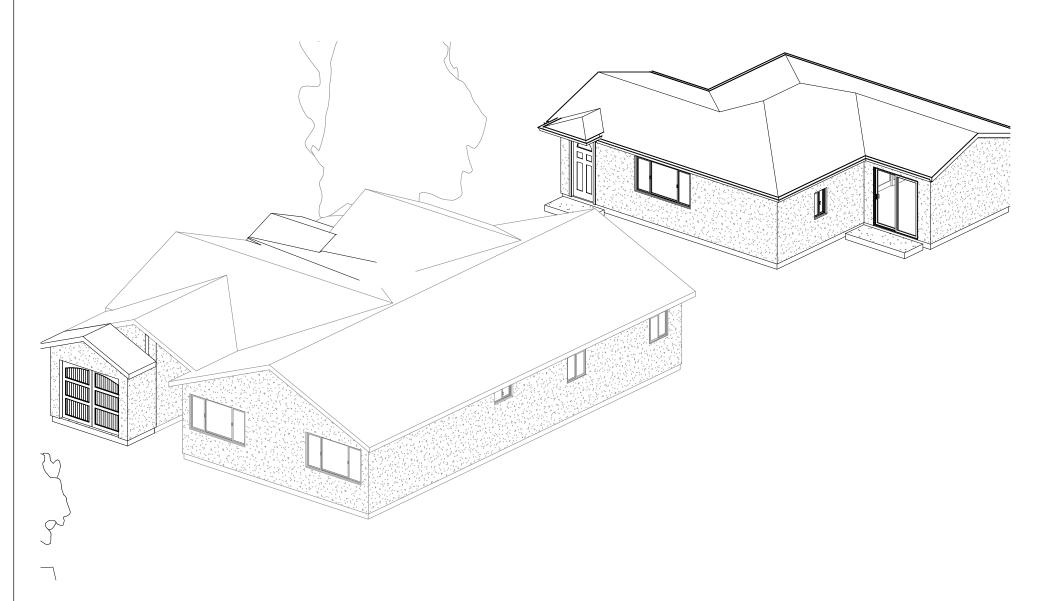
2016 CALIFORNIA FIRE CODE (CFC) 201 SUNNYVALE FIRE PREVENTION AND PROCEDURES.

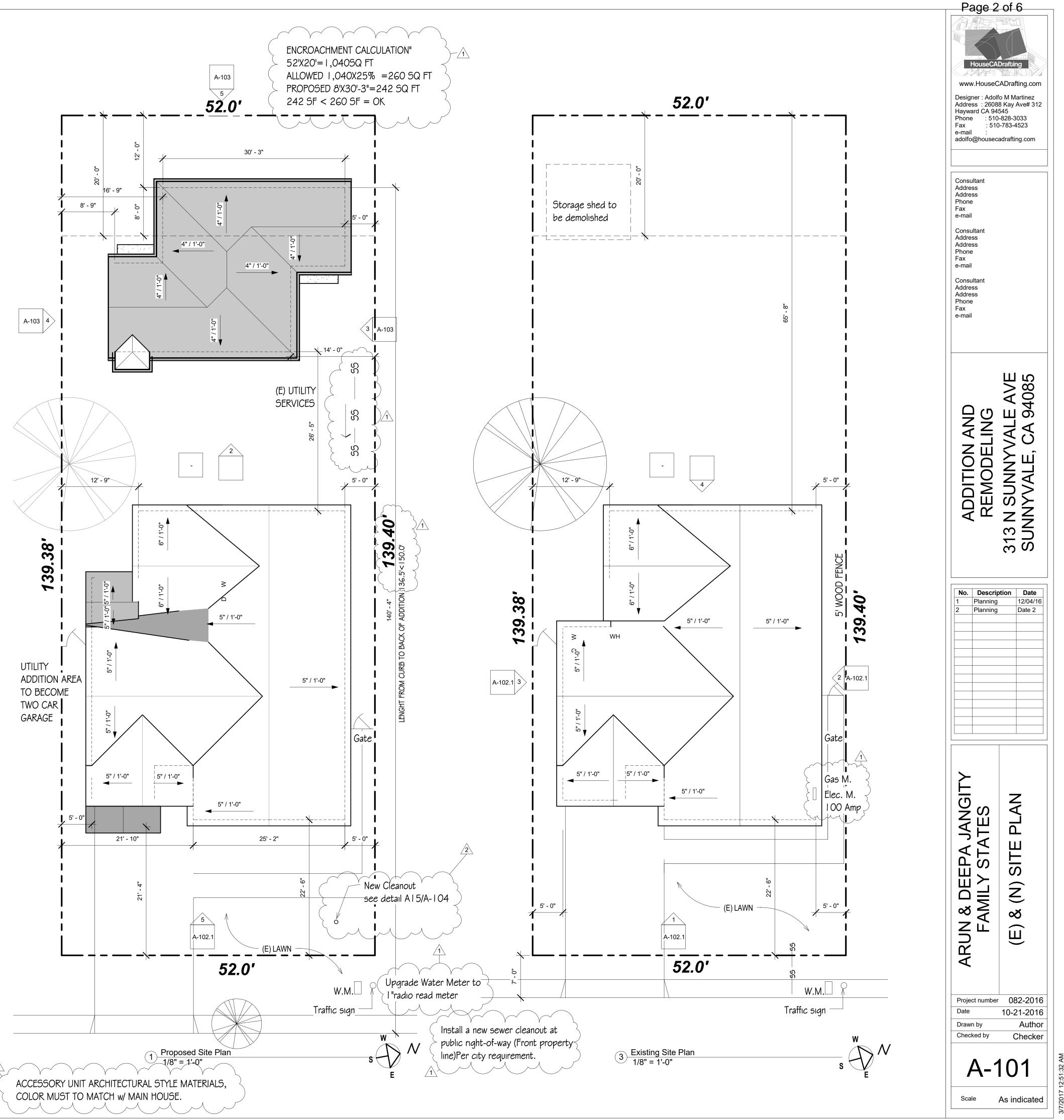
TITLE 19 CALIFORNIA CODE OF REGULATIONS.

Building Codes 1/4" = 1'-0"

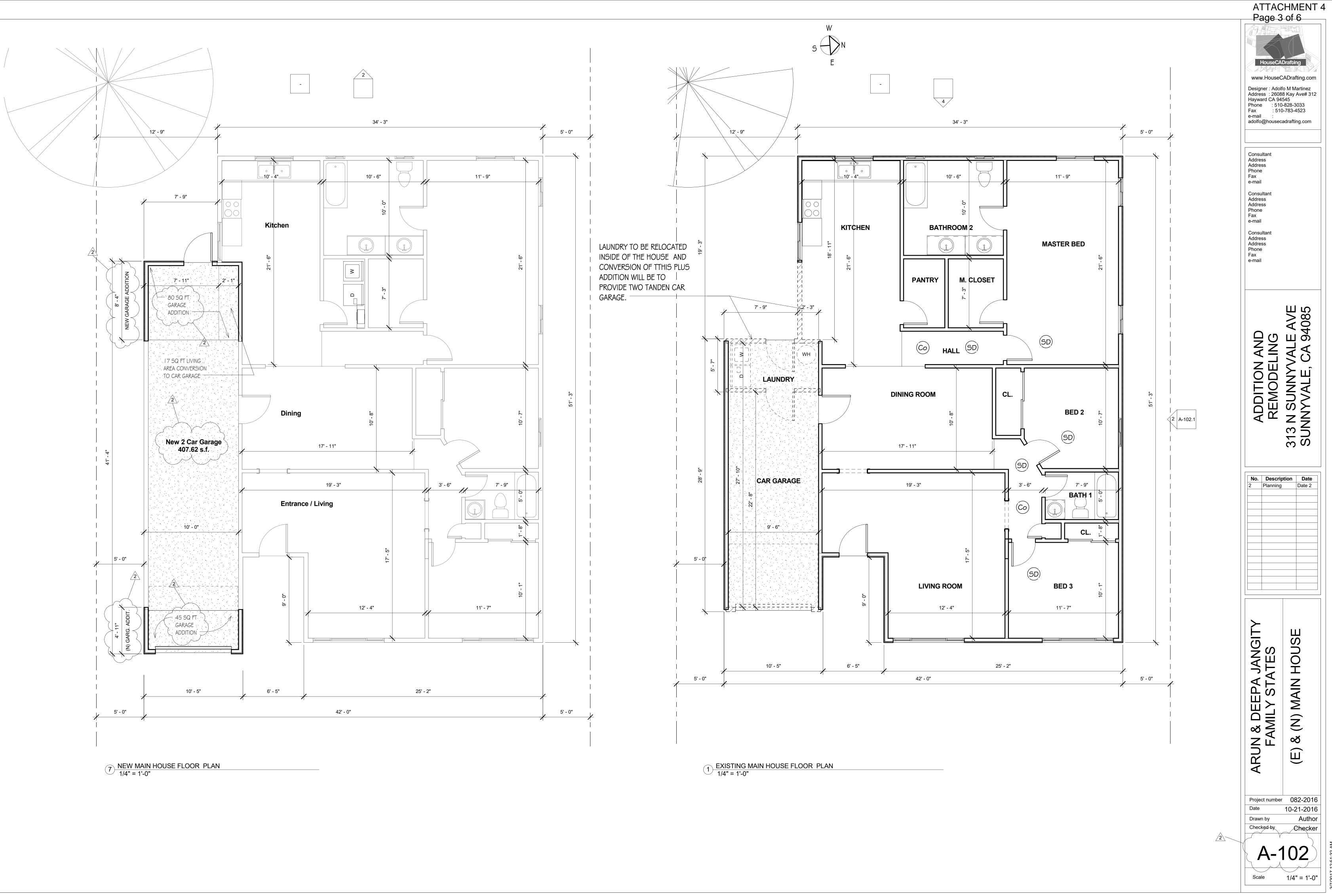


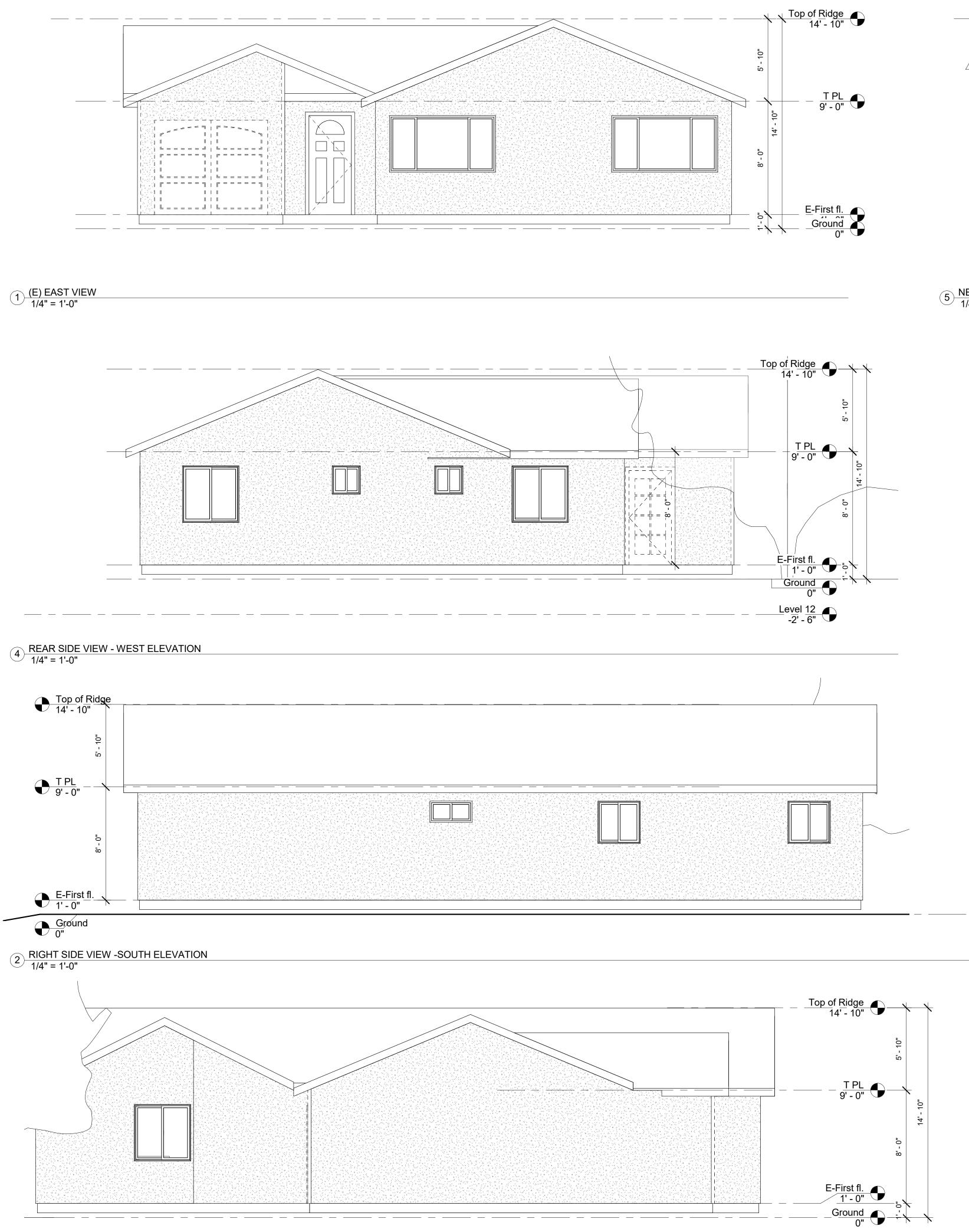




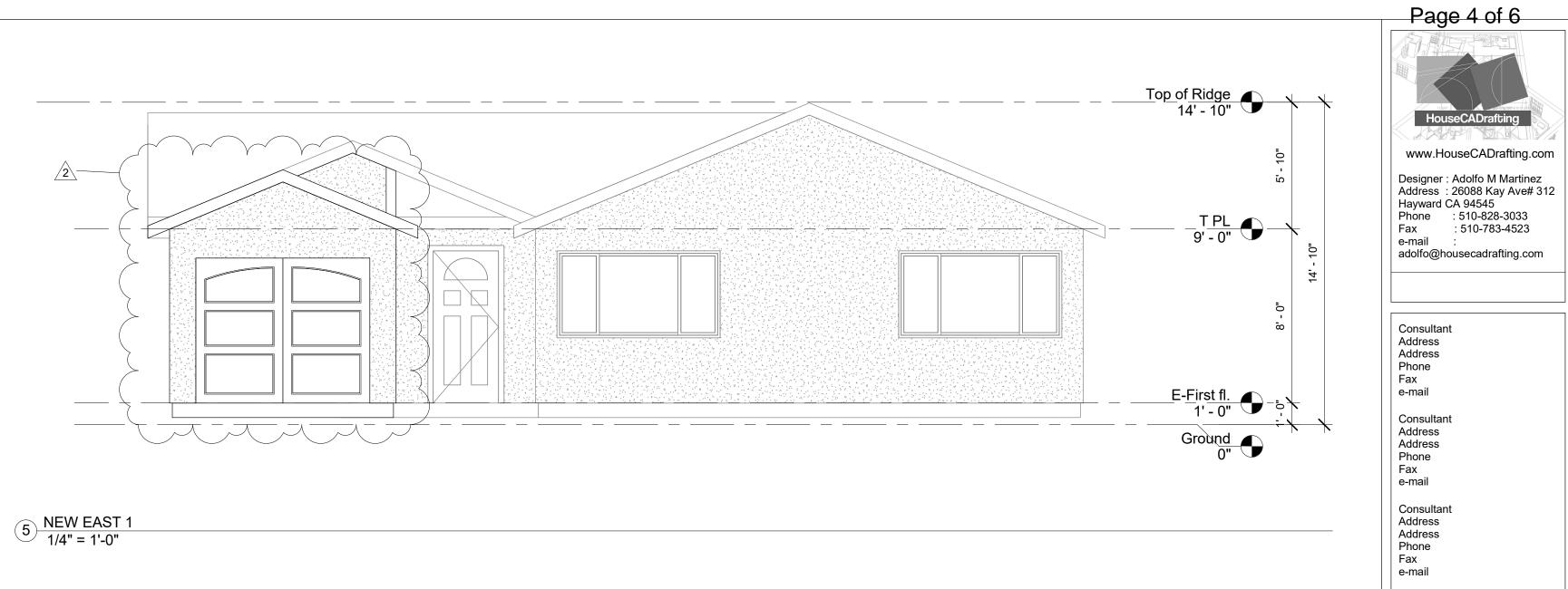


ATTACHMENT 4





3 LEFT SIDE VIEW- SOUTH ELEVATION 1/4" = 1'-0"

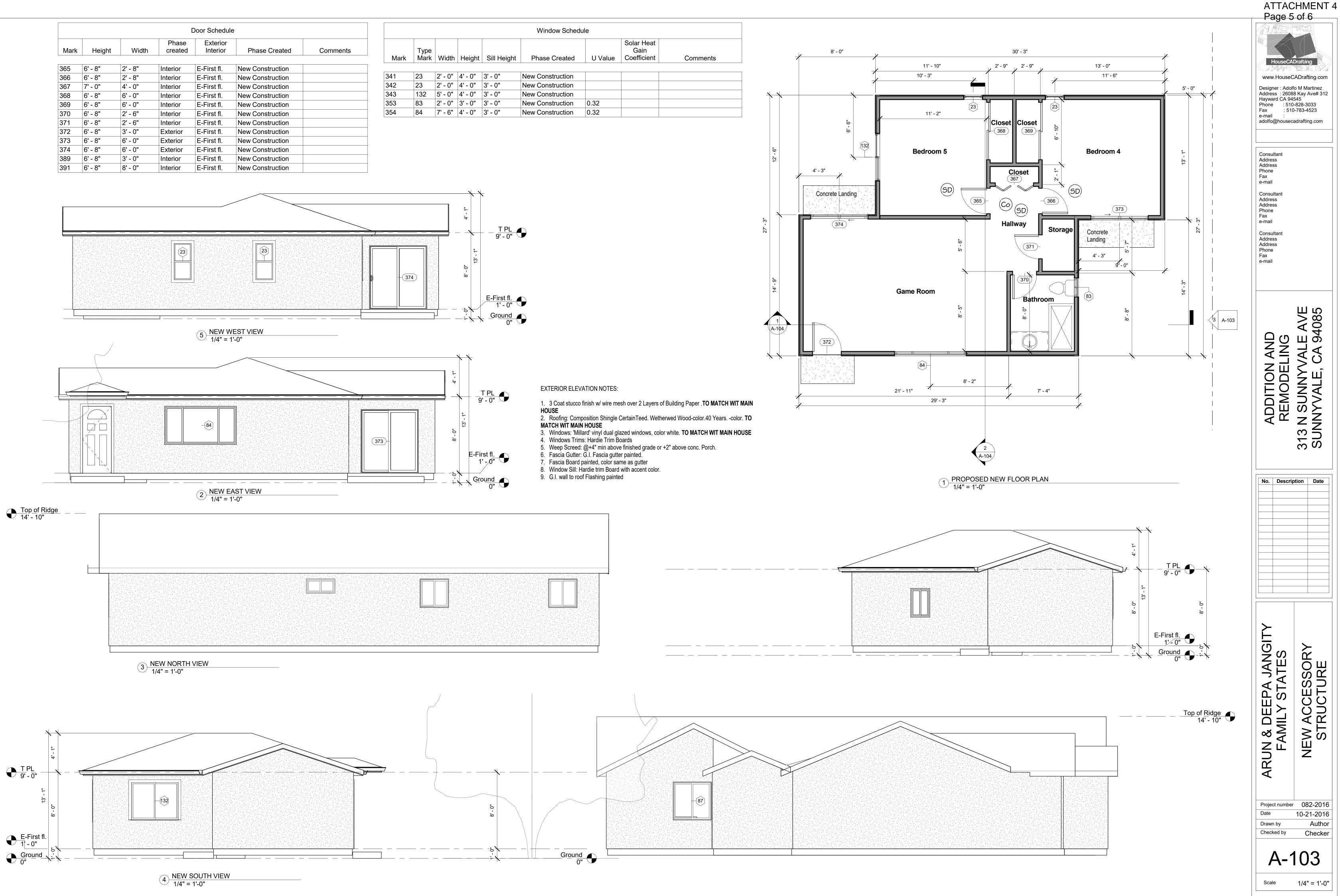


ARUN & DEEPA JANGIT FAMILY STATES	(E) & (N) ELEVATIONS	
Project number	082-2016	
Date	10-21-2016	
Drawn by	Author	
Checked by	Checker	
Δ_1(	)2.1	
Scale	1/4" = 1'-0"	

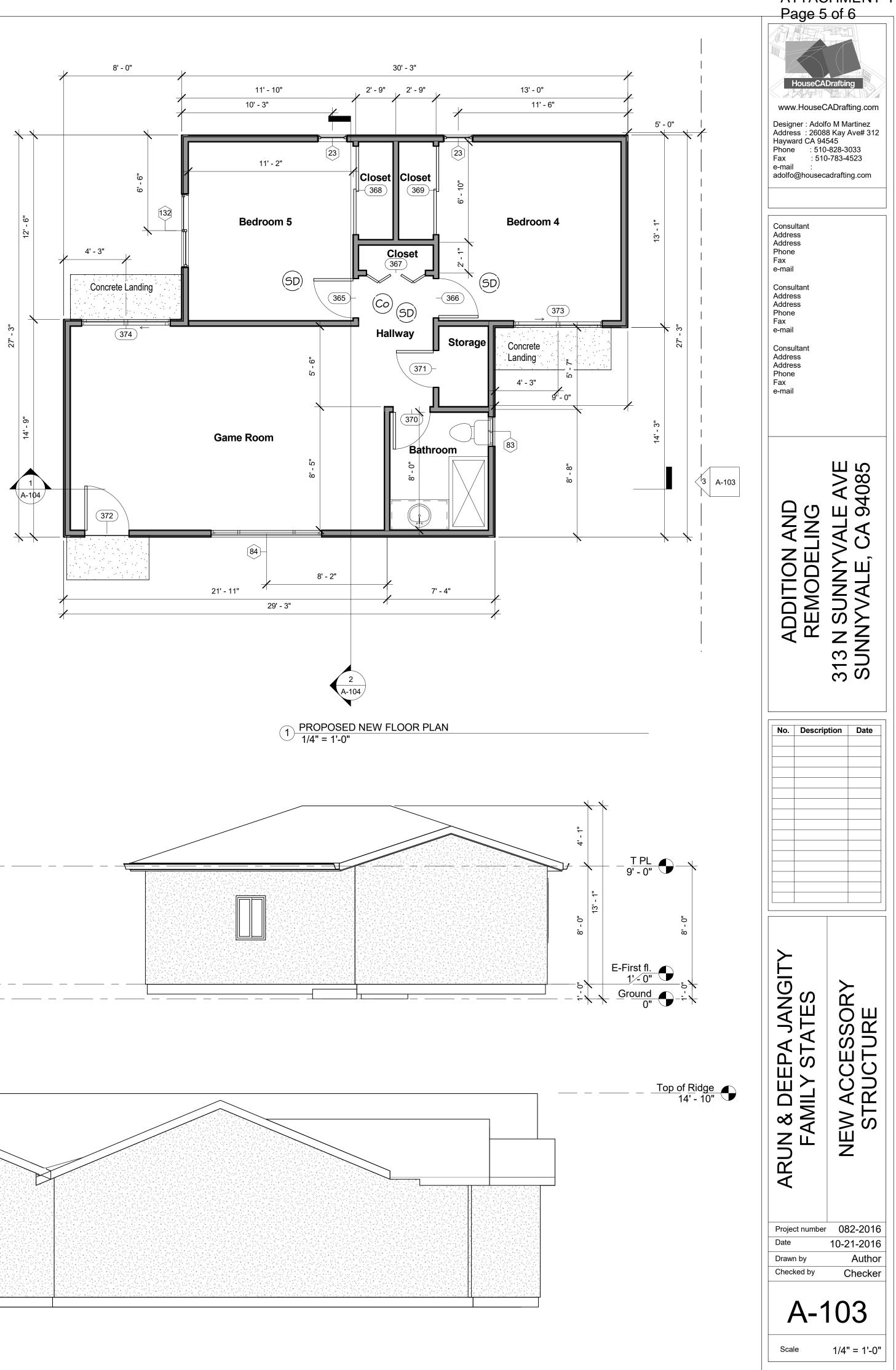
ATTACHMENT 4

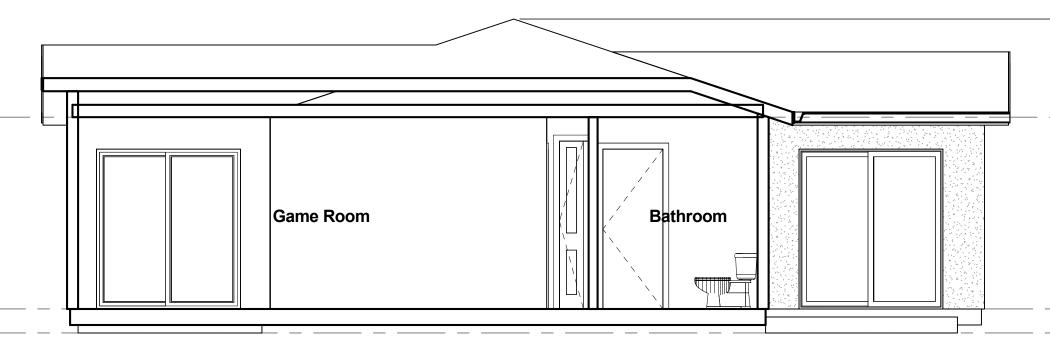
ADDITION AND REMODELING 313 N SUNNYVALE AVE SUNNYVALE, CA 94085

No.DescriptionDate2PlanningDate 2

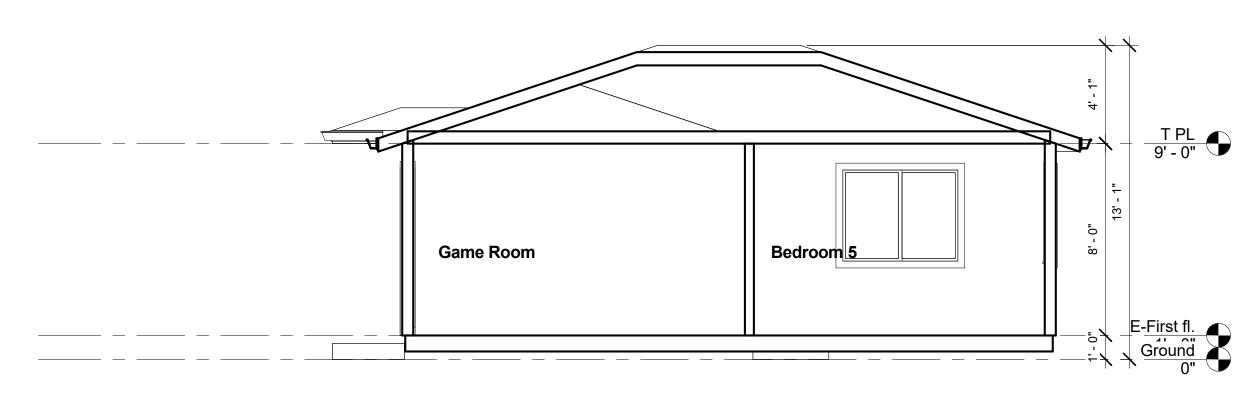


			Window Schedu	ıle		
 า	Height	Sill Height	Phase Created	U Value	Solar Heat Gain Coefficient	Comments
					· ·	
	4' - 0"	3' - 0"	New Construction			
	4' - 0"	3' - 0"	New Construction			
	4' - 0"	3' - 0"	New Construction			
	3' - 0"	3' - 0"	New Construction	0.32		
	4' - 0"	3' - 0"	New Construction	0.32		

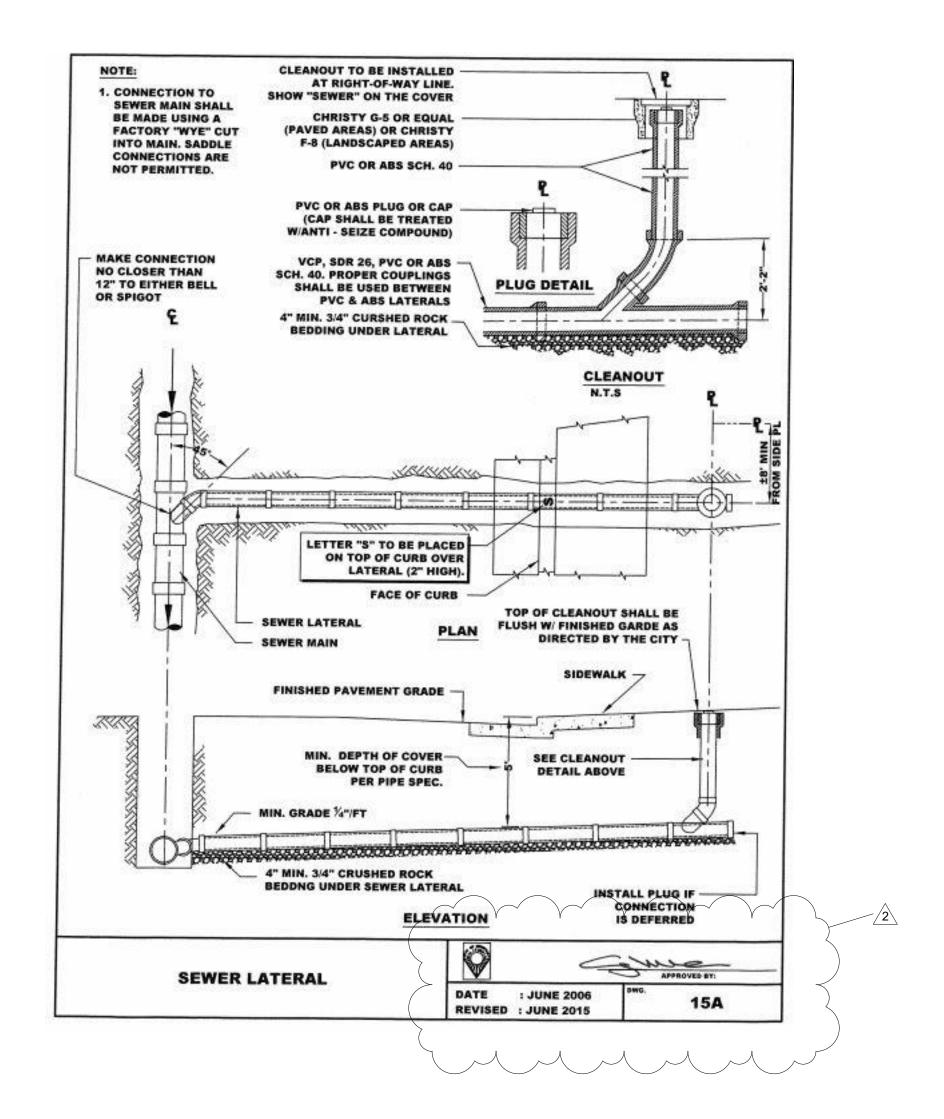


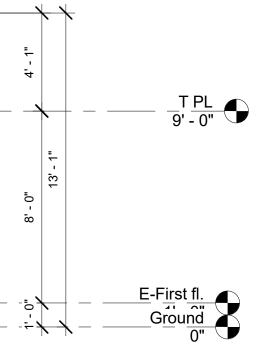


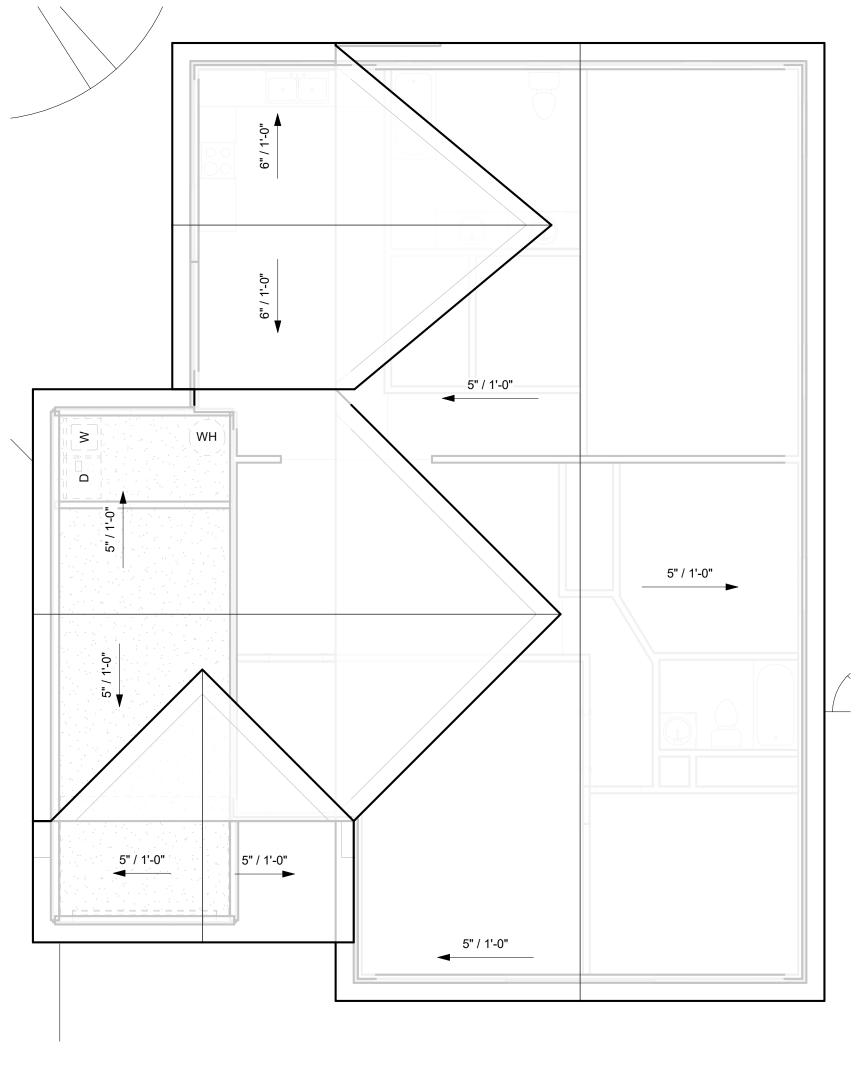
### 1 Section 1 1/4" = 1'-0"



2 Section 2 1/4" = 1'-0"







<u>/2</u> 5" / 1'-0" 🗋

(E) Roof Plan 3/16" = 1'-0"

(N) Roof Plan 3/16" = 1'-0"

