

1. All construction work and its finished product shall comply with all applicable federal, state, and local codes, laws and regulations. In case of conflicts, the most restrictive shall apply.
2. The issuance of a building permit shall not be construed as a guarantee that all code requirements are reflected in the documents, no guarantee of construction quality is implied by the construction quality is implied of intended by the architectural documents. The general contractor shall be ultimately responsible for any or all construction deficiencies.
3. Builder set definition: these plans are "builder set", it contains it contains information for building permit and general construction purposes only. They are not exhaustively detailed nor are fully specified. This has been produced for the use of a knowledgeable and experienced contractor. It is the responsibility of the contractor to verify, select, solve, and install all materials and equipment carefully.
4. By executing contracts, prior to commencing any work or ordering any material, contractor represent that they have:
 - a. Liability insurance and workers compensation insurance.
 - b. Verified existing job site conditions and surroundings, locations of all utility lines, conduits, surface or subsurface structures, etc.
 - c. Contractor to verify all measurements shown on these drawings which supersedes scales of drawings.
5. The contractor shall immediately notify the designer/engineer or owner of any conflicts or inconsistencies they discover within the drawings or existing field condition prior to continue the work.
6. Unless noticed and arranged by owner, there will be no designer or engineer observation during construction. The construction shall be solely responsible for the quality control and construction standards of this project.
7. Demolition shall be done in a safe, orderly manner without damaging to other parts of the premises or adjacent properties.
8. All demolished items shall be disposed of by the contractor unless otherwise directed by the owner, verify with the owner on items to be saved and stored. All removed items to be saved for reuse shall be handled with care.
9. All public improvements shall be made in accordance with the latest adopted city standards if any applicable.

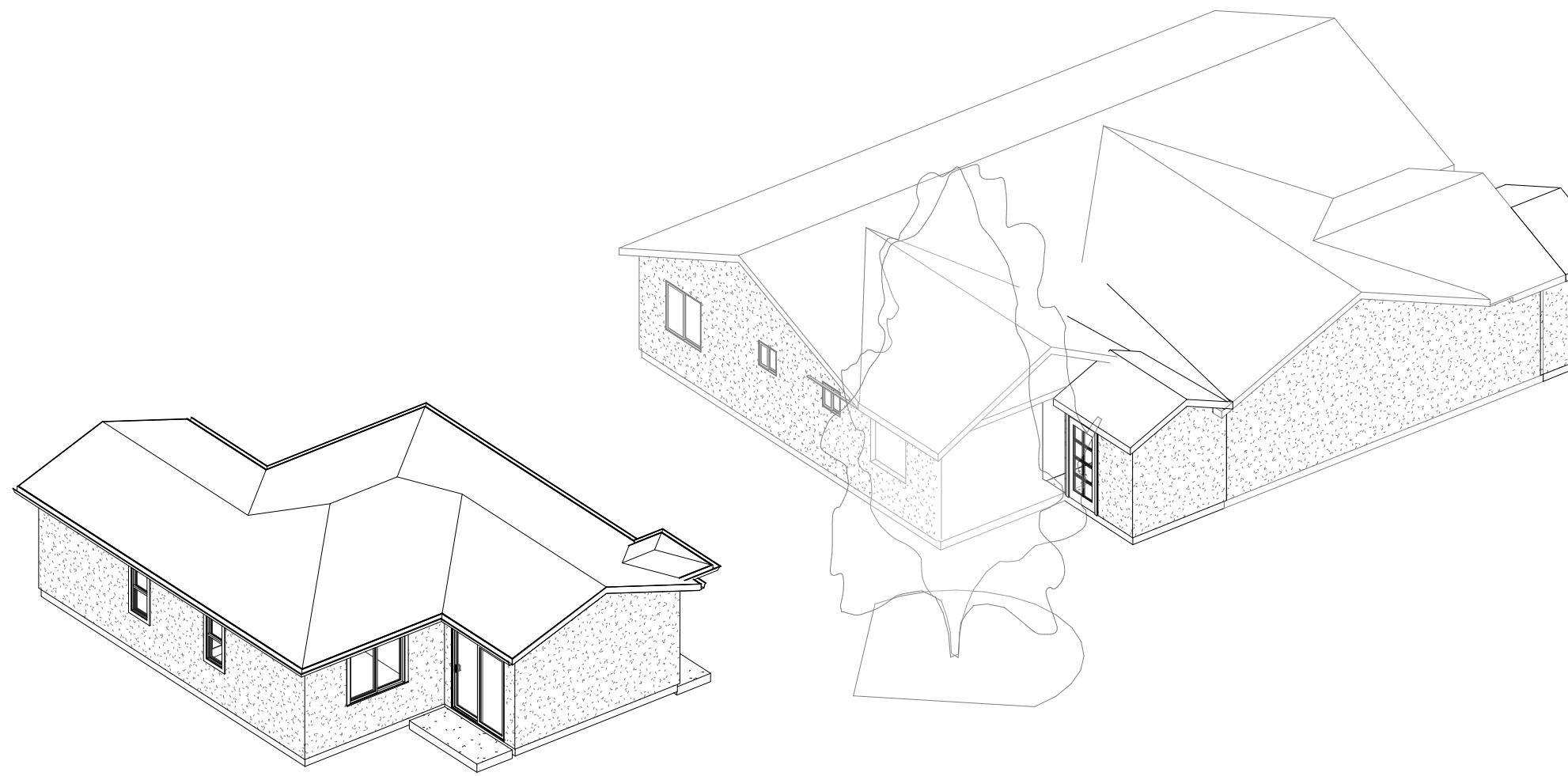
○ Contractor-Note
3/64" = 1'-0"

BUILDING NOTES:

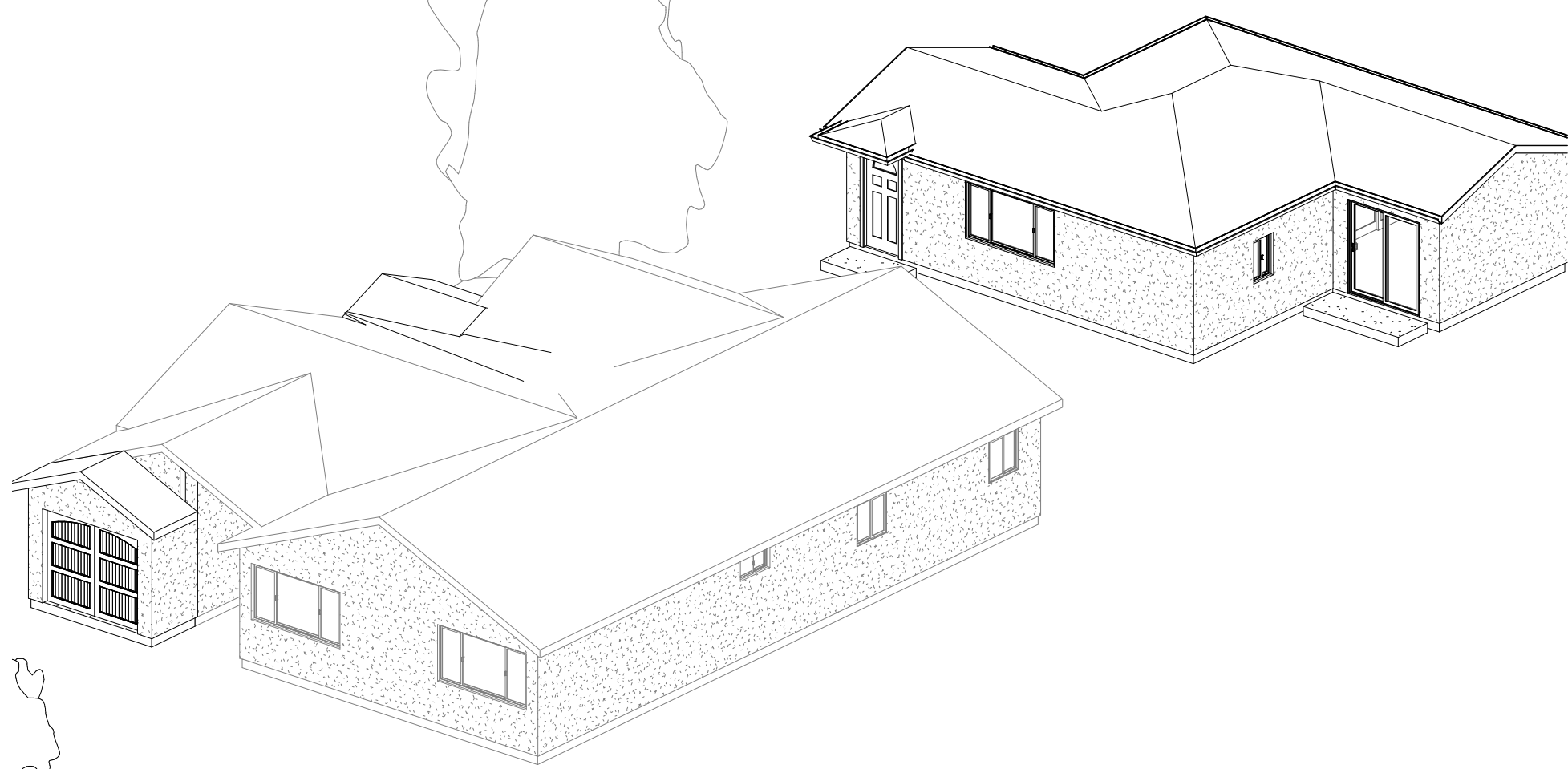
1. ALL WORK CONNECTED WITH THIS PROJECT SHALL BE DONE IN A PROFESSIONAL MANNER IN ACCORDANCE WITH THE TRADITIONALLY AND LEGALLY DEFINED "BEST ACCEPTED PRACTICE" OF THE TRADE INVOLVED. ADDITIONALLY, ALL WORKSHAL COMPLY WITH APPLICABLE CODES & TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING THE: City of SUNNYVALE MUNICIPAL CODE (SMC) .

- 2016 CALIFORNIA RESIDENTIAL CODES
- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS
- 2016 CALIFORNIA FIRE CODE (CFC)
- 201 SUNNYVALE FIRE PREVENTION AND PROCEDURES.
- 2019 19 CALIFORNIA CODE OF REGULATIONS.

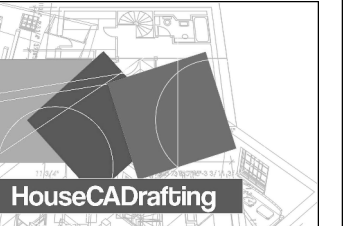
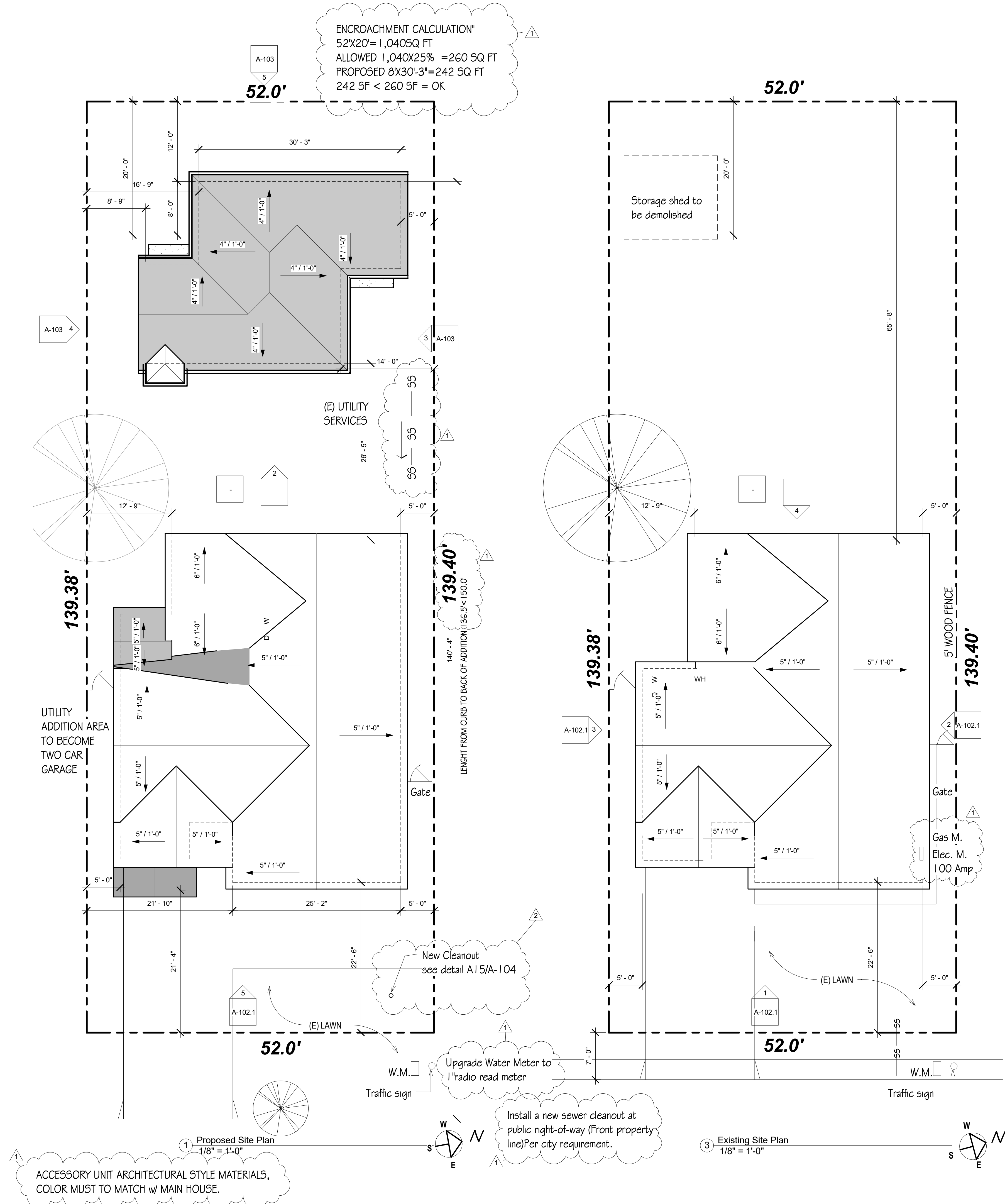
○ Building Codes
1/4" = 1'-0"



5 REAR VIEW



2 FRONT VIEW



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 Hayward CA 94545
 Phone: 510-828-3033
 Fax: 510-783-4523
 Email: adolfo@housecadrafting.com

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ADDITION AND
REMODELING
313 N SUNNYVALE AVE
SUNNYVALE, CA 94085

[illegible]

FAMILY STATES
(E) & (N) SITE PLAN

Project number	082-2016
Date	10-21-2016
Drawn by	Author
Checked by	Checker

A-101

ale	As indicated
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ADDITION AND
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3133 N SUNNYVALE AVE
SUNNYVALE, CA 94085

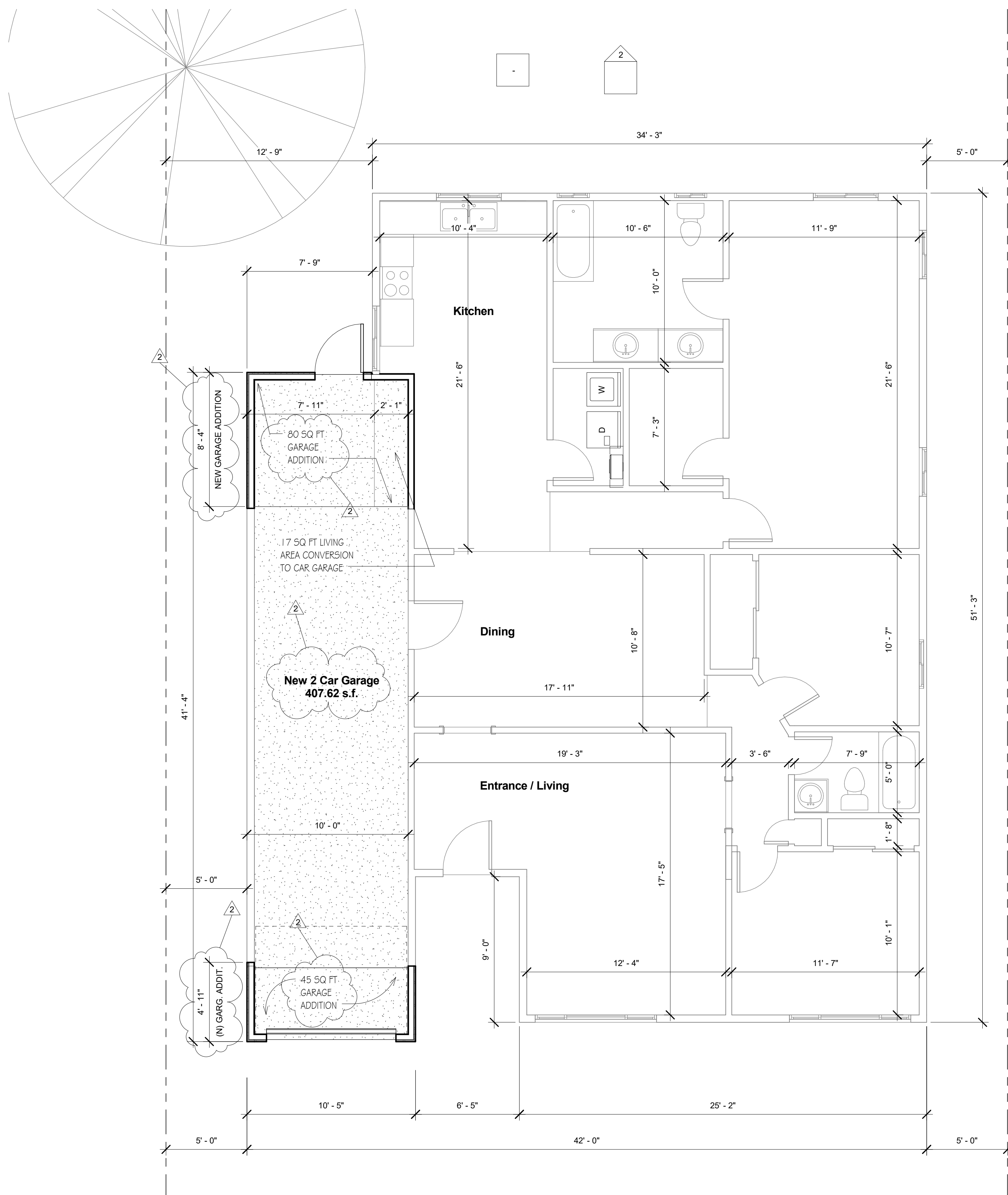
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ARUN & DEEPA JANGITY
FAMILY STATES
(E) & (N) MAIN HOUSE

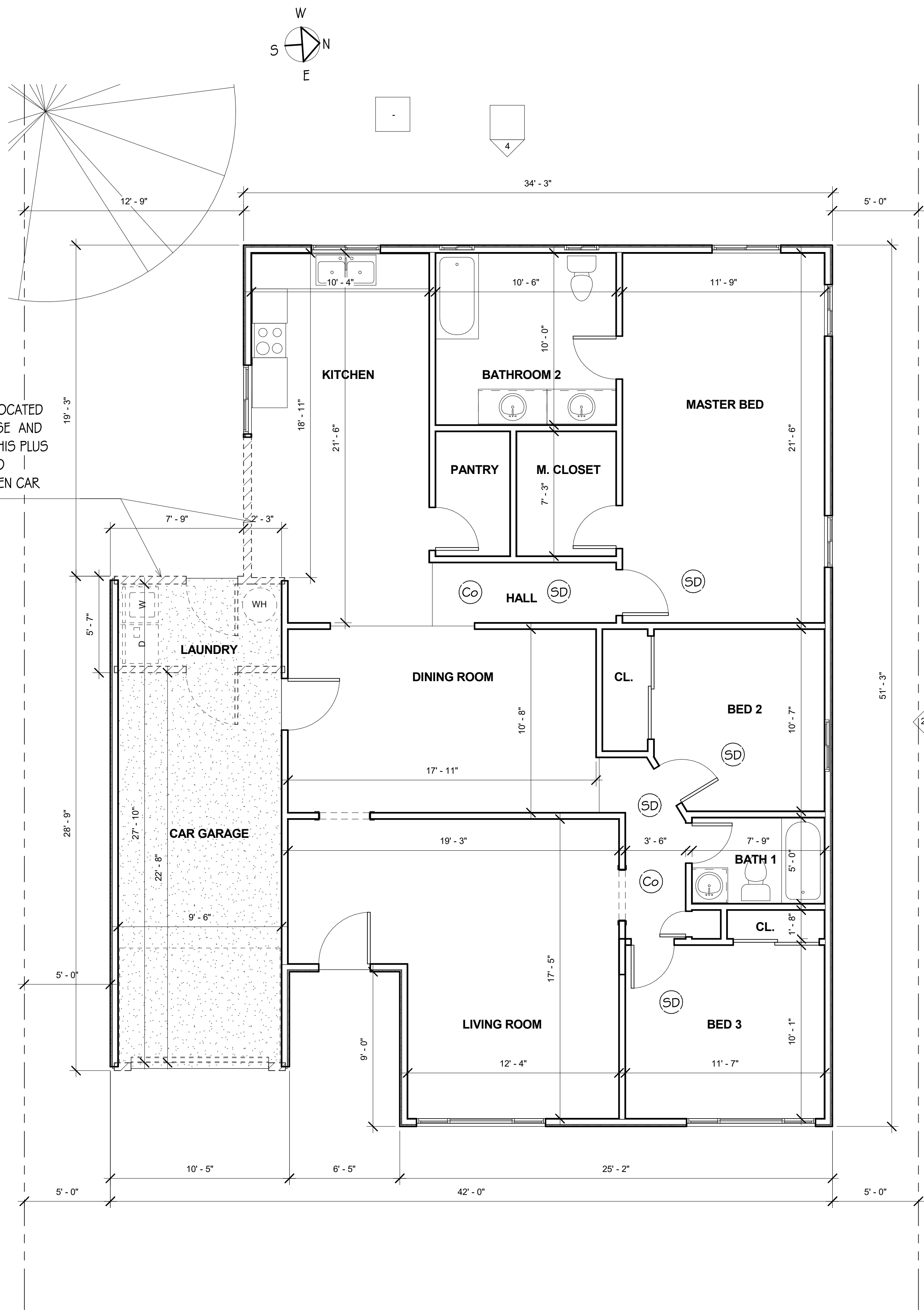
Project number	082-2016
Date	10-21-2016
Drawn by	Autho
Checked by	Checke

A-102

Scale $1/4" = 1'-0"$

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7 NEW MAIN HOUSE FLOOR PLAN
1/4" = 1'-0"



1 EXISTING MAIN HOUSE FLOOR PLAN
1/4" = 1'-0"

2.



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SUNNYVALE, CA 94085

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ARUN & DEEPA JANGITY
FAMILY STATES

(E) & (N) ELEVATIONS

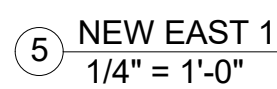
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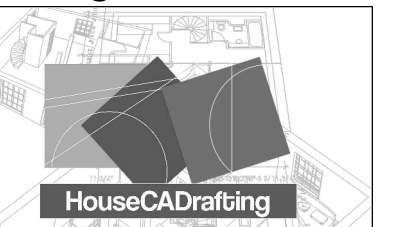
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Checked by Checke

A-102.1

Scale 1/4" = 1'-0"





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ARUN & DEEPA JANGITY
FAMILY STATES

NEW ACCESSORY
STRUCTURE

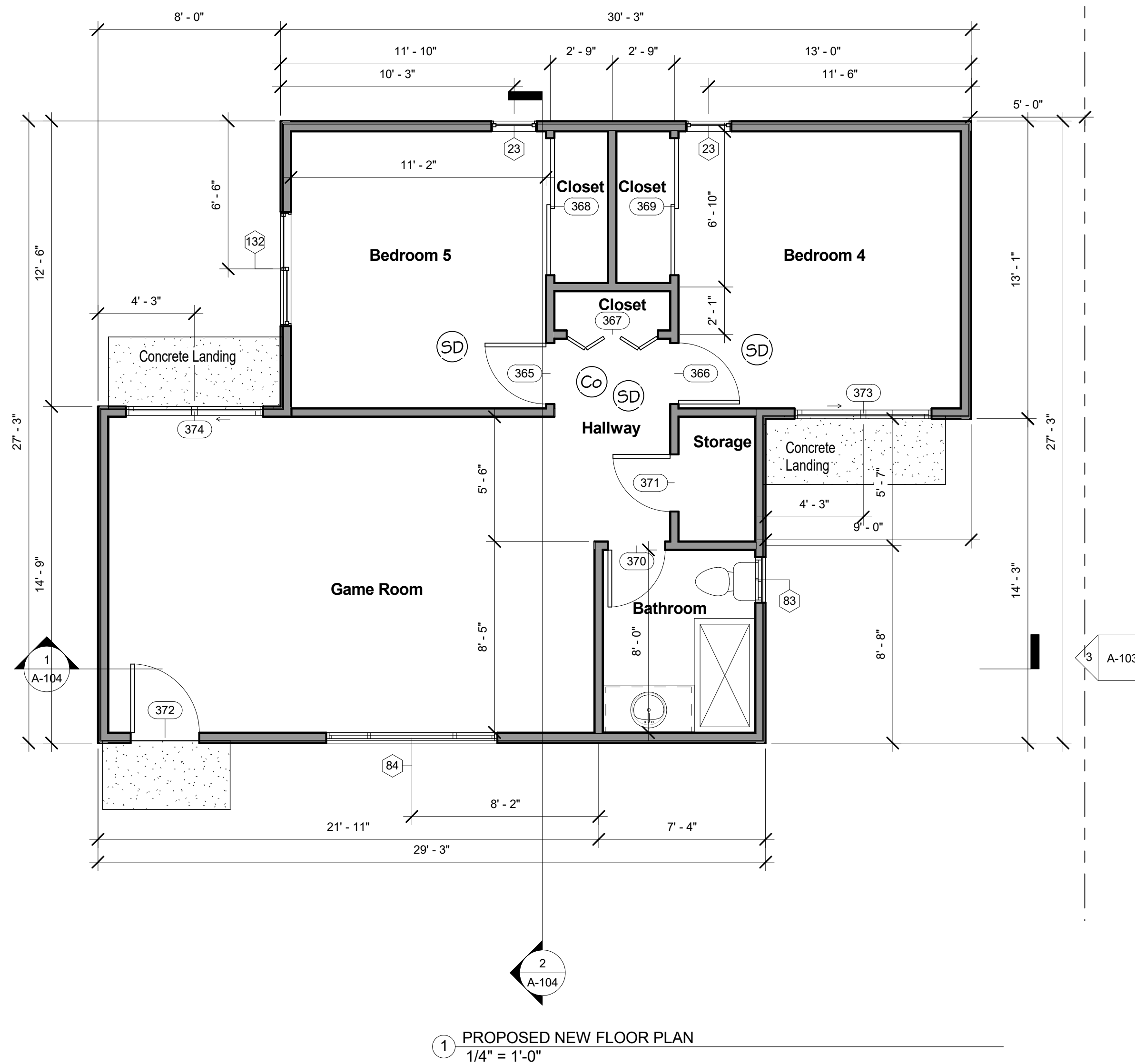
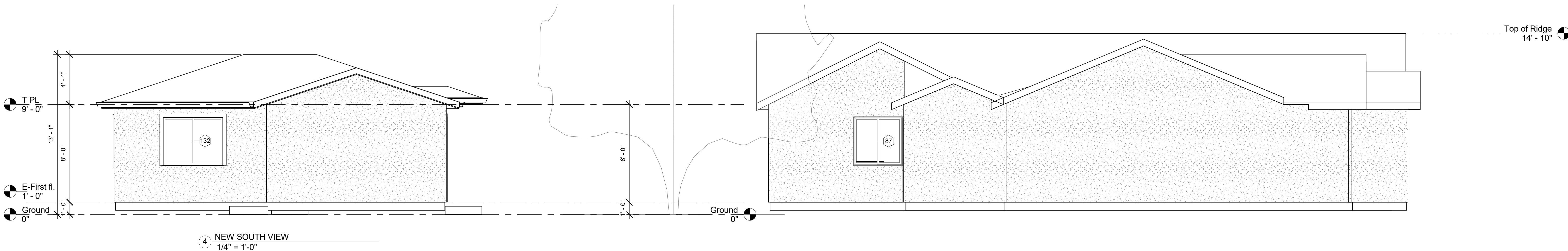
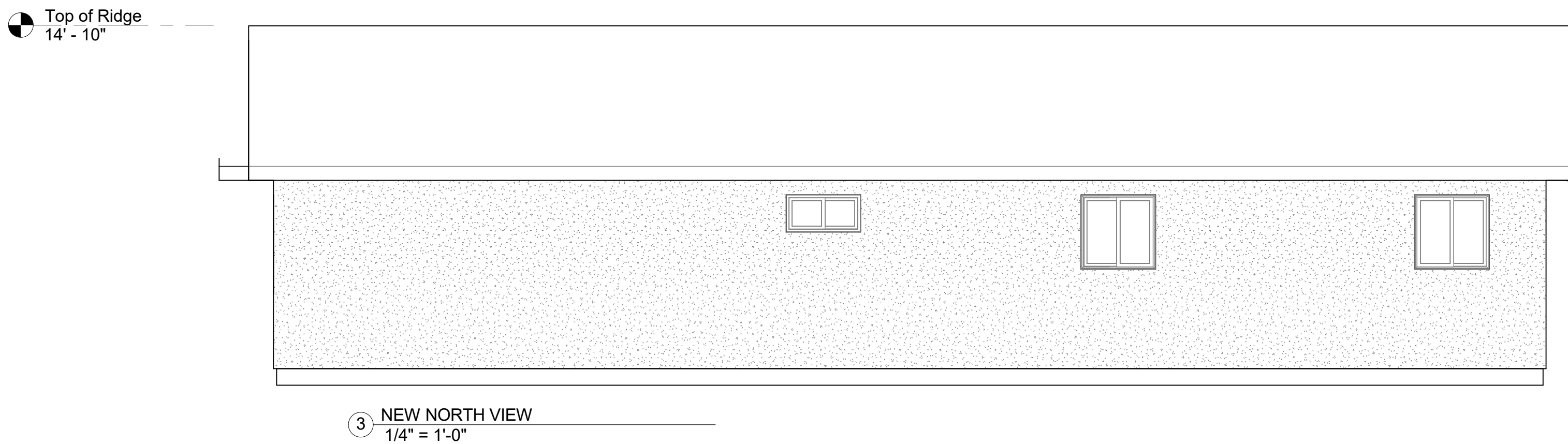
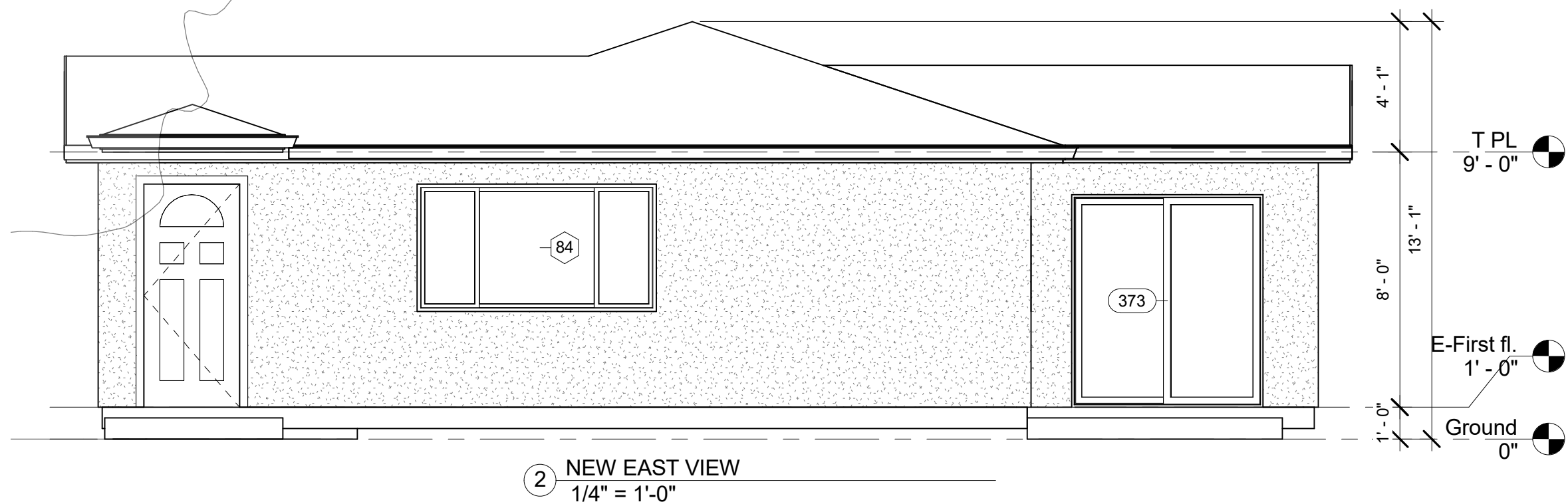
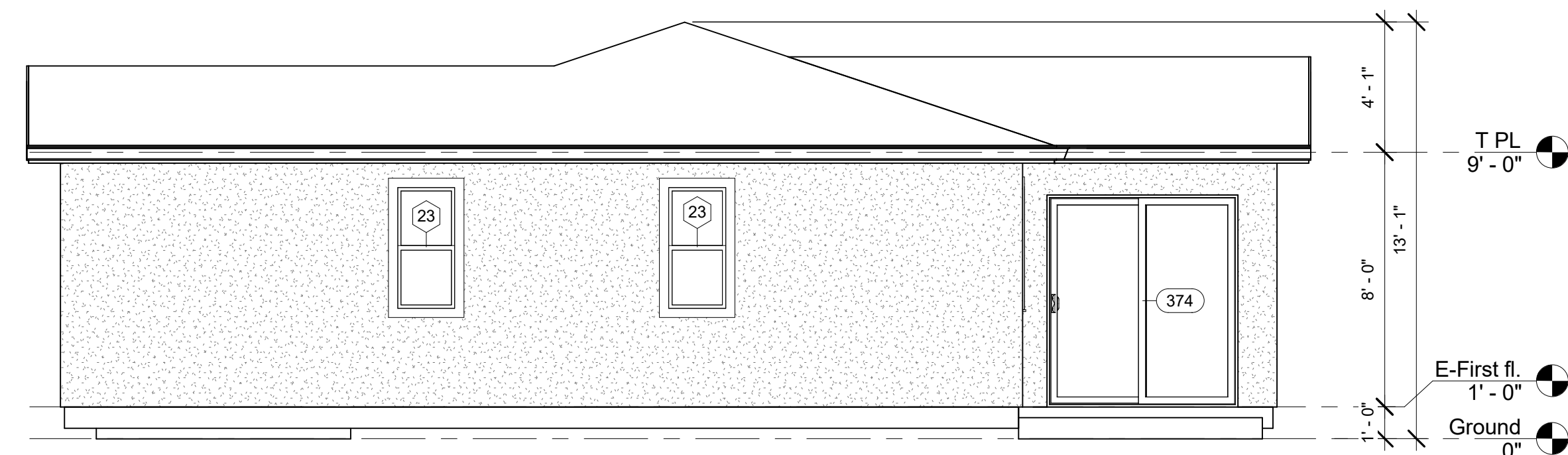
Project number	082-2016
Date	10-21-2016
Drawn by	Author
Checked by	Checker

A-103

Scale $1/4" = 1'-0"$

Door Schedule						
Mark	Height	Width	Phase created	Exterior Interior	Phase Created	Comments
365	6' - 8"	2' - 8"	Interior	E-First fl.	New Construction	
366	6' - 8"	2' - 8"	Interior	E-First fl.	New Construction	
367	7' - 0"	4' - 0"	Interior	E-First fl.	New Construction	
368	6' - 8"	6' - 0"	Interior	E-First fl.	New Construction	
369	6' - 8"	6' - 0"	Interior	E-First fl.	New Construction	
370	6' - 8"	2' - 6"	Interior	E-First fl.	New Construction	
371	6' - 8"	2' - 6"	Interior	E-First fl.	New Construction	
372	6' - 8"	3' - 0"	Exterior	E-First fl.	New Construction	
373	6' - 8"	6' - 0"	Exterior	E-First fl.	New Construction	
374	6' - 8"	6' - 0"	Exterior	E-First fl.	New Construction	
389	6' - 8"	3' - 0"	Interior	E-First fl.	New Construction	
391	6' - 8"	8' - 0"	Interior	E-First fl.	New Construction	

Window Schedule								
Mark	Type	Width	Height	Sill Height	Phase Created	U Value	Solar Heat Gain Coefficient	Comments
341	23	2' - 0"	4' - 0"	3' - 0"	New Construction			
342	23	2' - 0"	4' - 0"	3' - 0"	New Construction			
343	132	5' - 0"	4' - 0"	3' - 0"	New Construction			
353	83	2' - 0"	3' - 0"	3' - 0"	New Construction	0.32		
354	84	7' - 6"	4' - 0"	3' - 0"	New Construction	0.32		



EXTERIOR ELEVATION NOTES:

1. 3 Coat stucco finish w/ wire mesh over 2 Layers of Building Paper. **TO MATCH WIT MAIN HOUSE**
2. Roofing: Composition Shingle CertainTeed. Wetherwerd Wood-color. 40 Years. -color. **TO MATCH WIT MAIN HOUSE**
3. Windows: "Millard" vinyl dual glazed windows, color white. **TO MATCH WIT MAIN HOUSE**
4. Windows Trims: Hardie Trim Boards
5. Weep Scribed: "+@4" min above finished grade or "+2" above conc. Porch.
6. Fascia Gutter: G.I. Fascia gutter painted.
7. Fascia Board painted, color same as gutter
8. Window Sill: Hardie trim Board with accent color.
9. G.I. wall to roof Flashing painted

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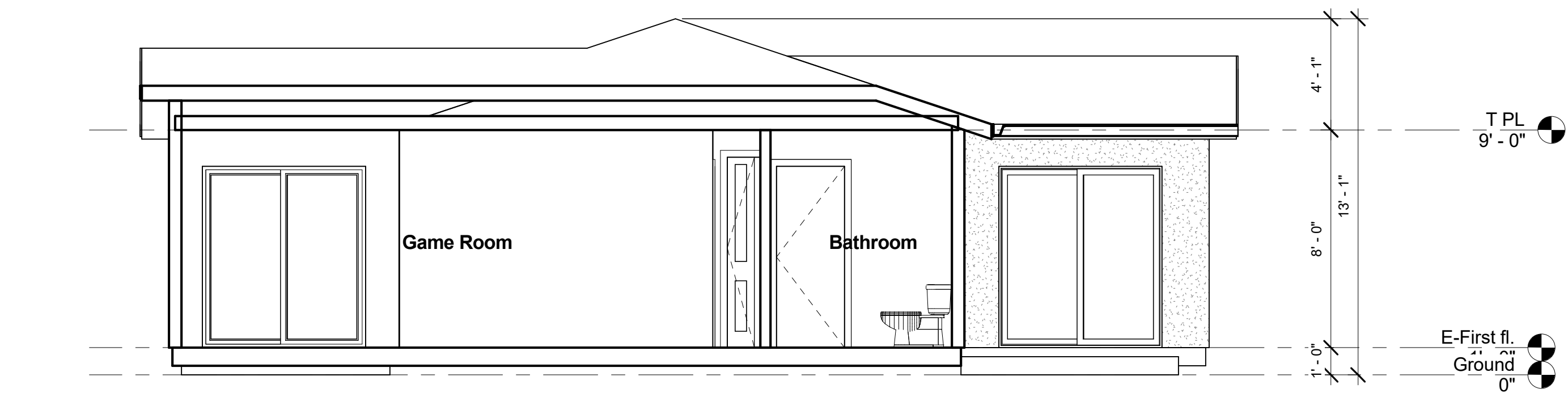
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SUNNYVALE, CA 94085

No.	Description	Date
2	Planning	Date 2

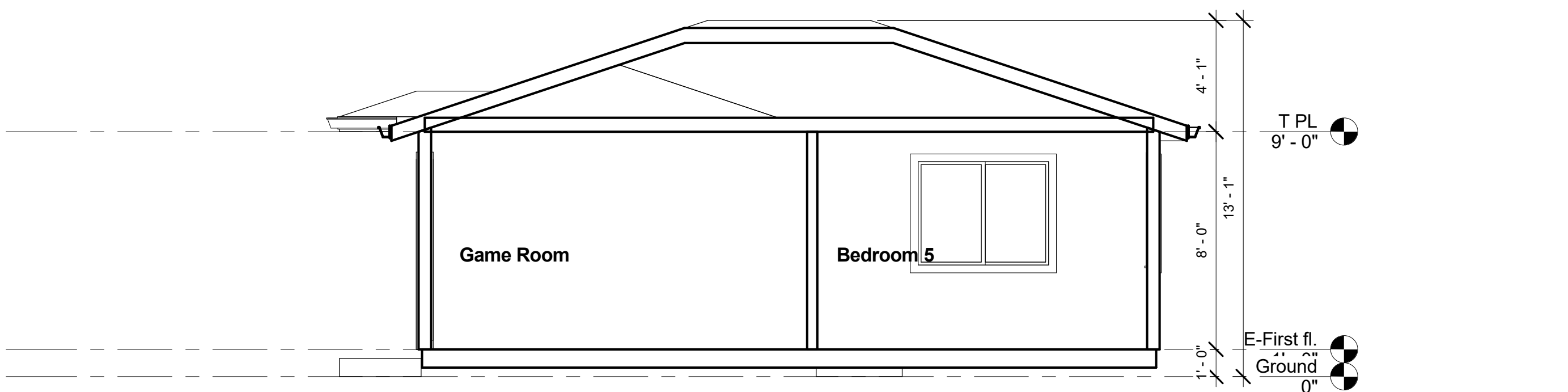
ARUN & DEEPA JANGITY
FAMILY STATES
(N) BLDG. SECTION (E) & (N)
ROOF PLAN

Project number	082-2016
Date	10-21-2016
Drawn by	Author
Checked by	Checker

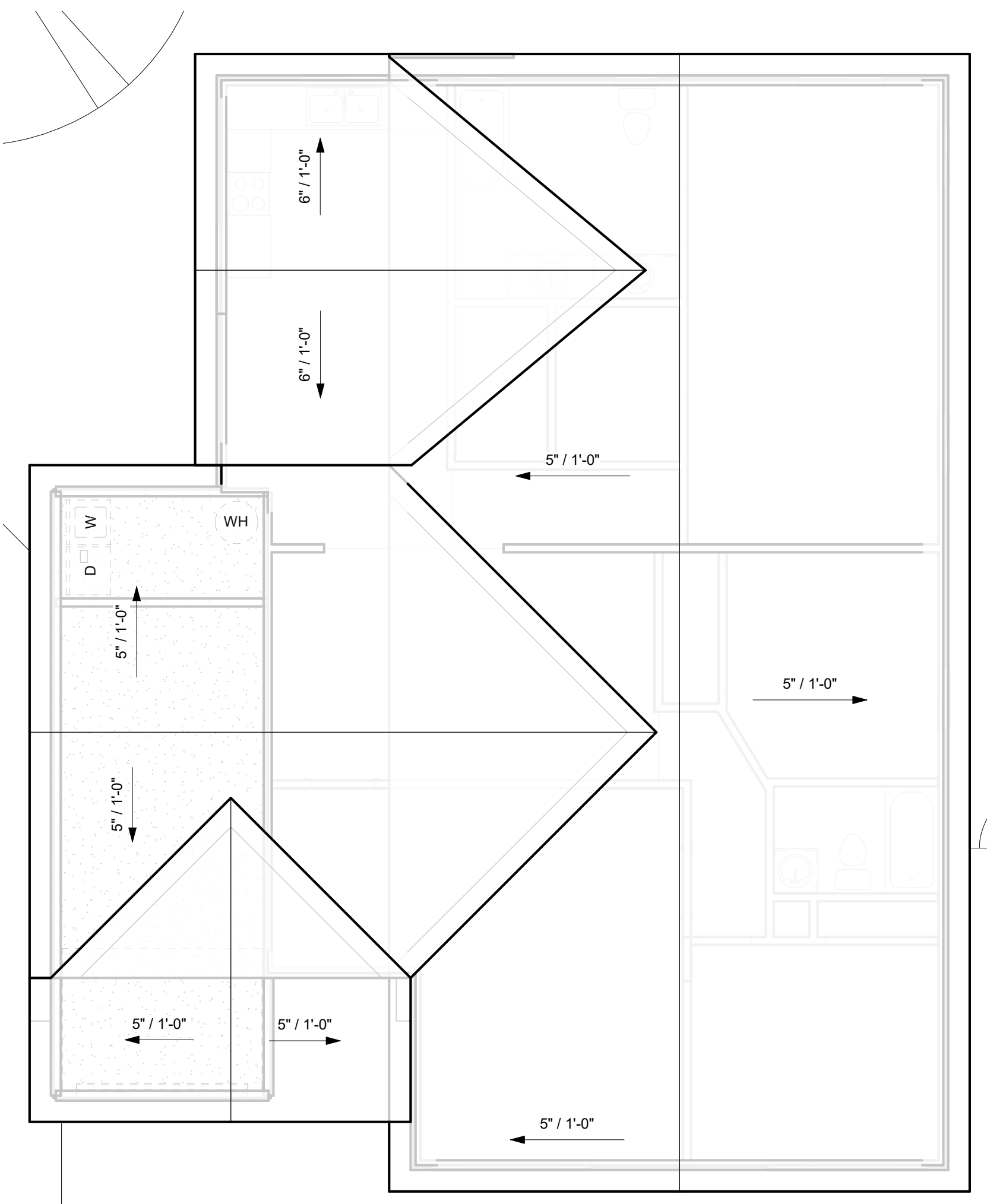
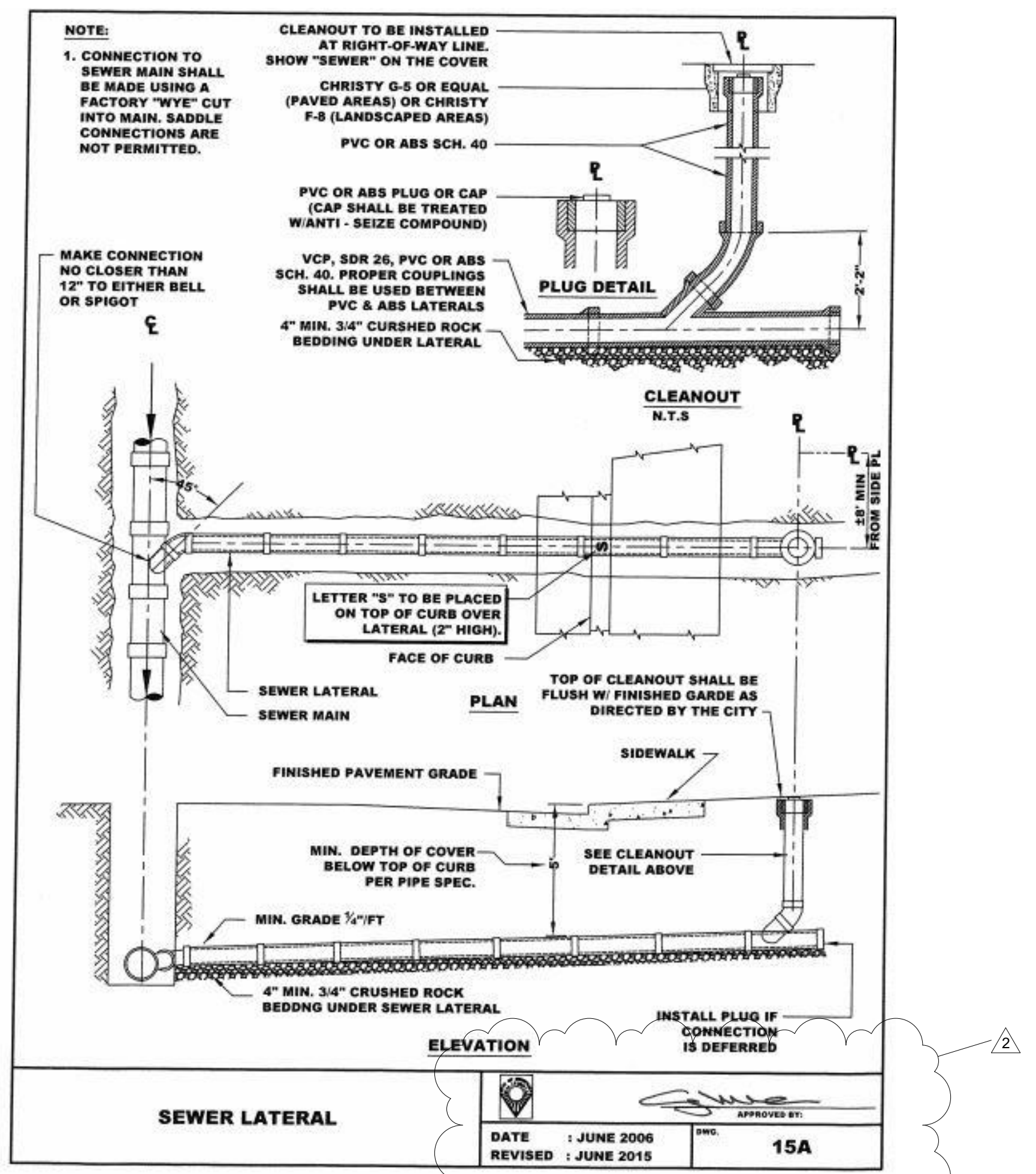
A-104
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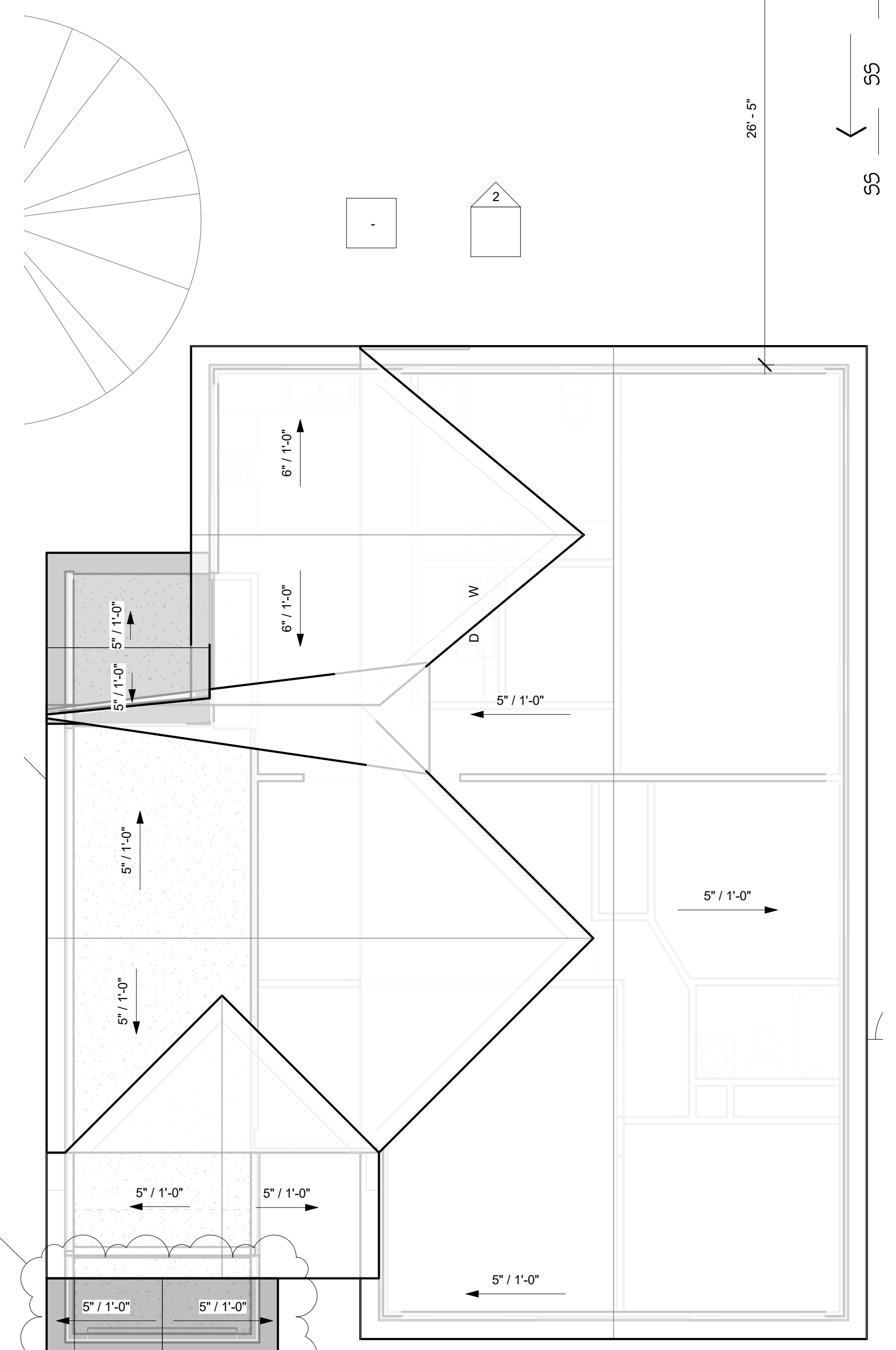
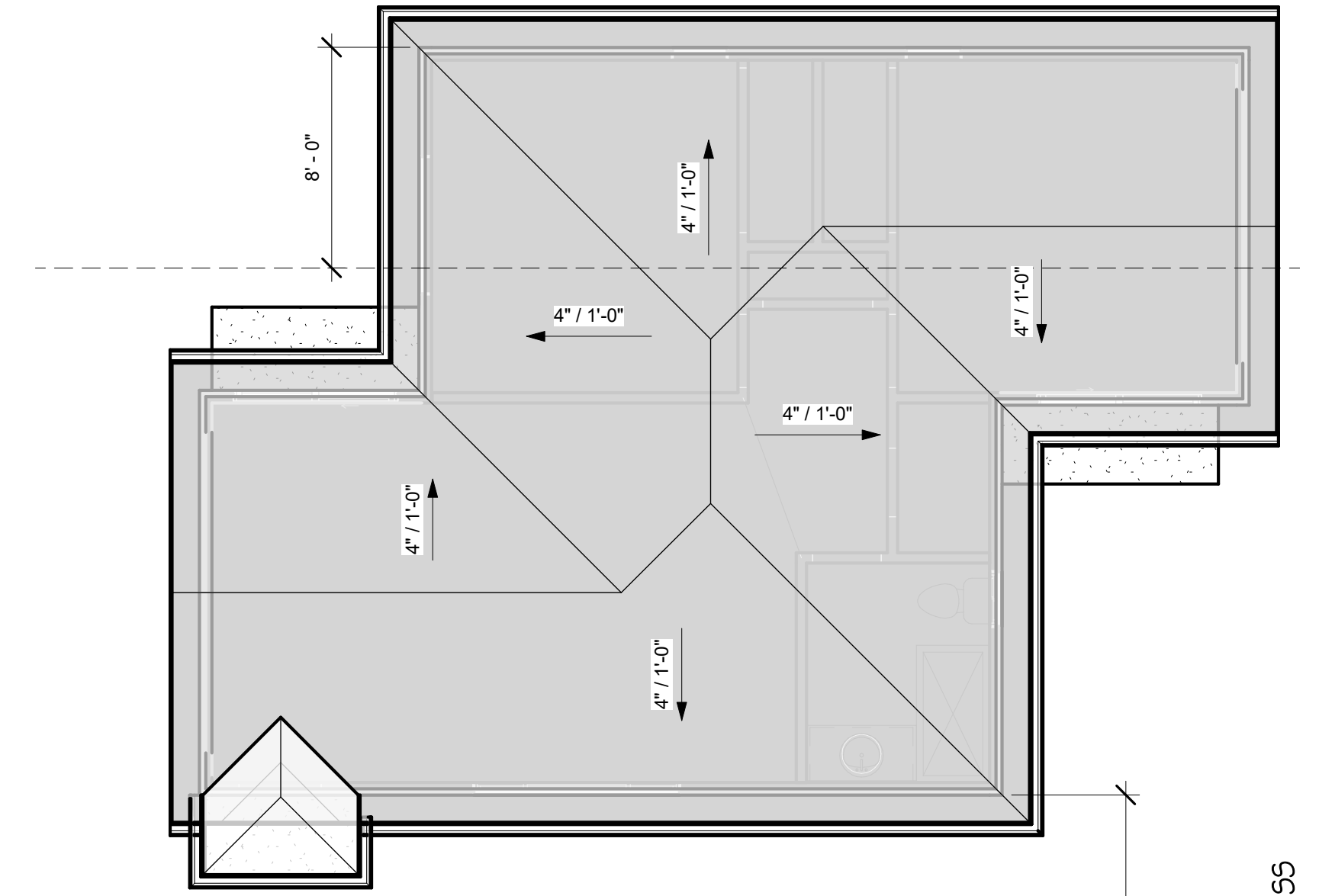
1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"



3 (E) Roof Plan
3/16" = 1'-0"



4 (N) Roof Plan
3/16" = 1'-0"