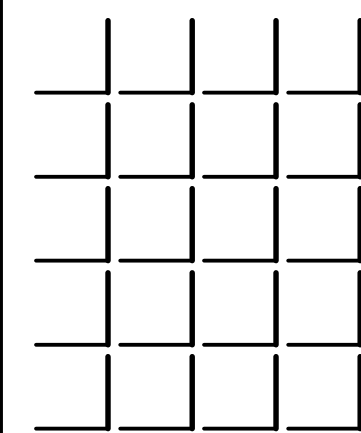


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10-14-2016	PRC COMMENTS
1-6-2017	PRC COMMENTS

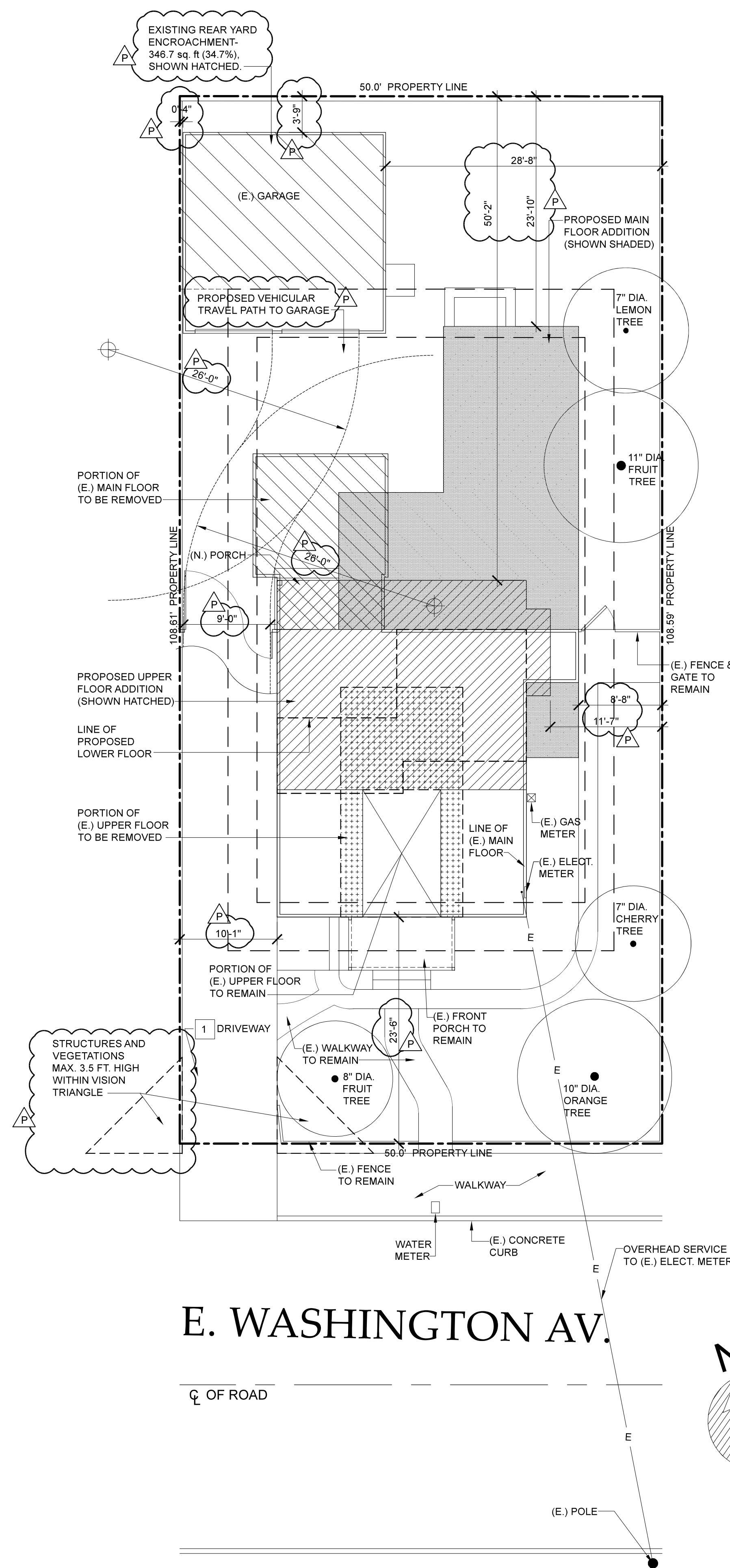
CLIENT (JOB No. 21519)
MITCHELL & GINNY DIAMOND
441 E. WASHINGTON AVE. SUNNYVALE, CA 94086
(408) 390-3114

CHAPMAN
DESIGN
ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890



SHEET

A - 1



E. WASHINGTON AV.

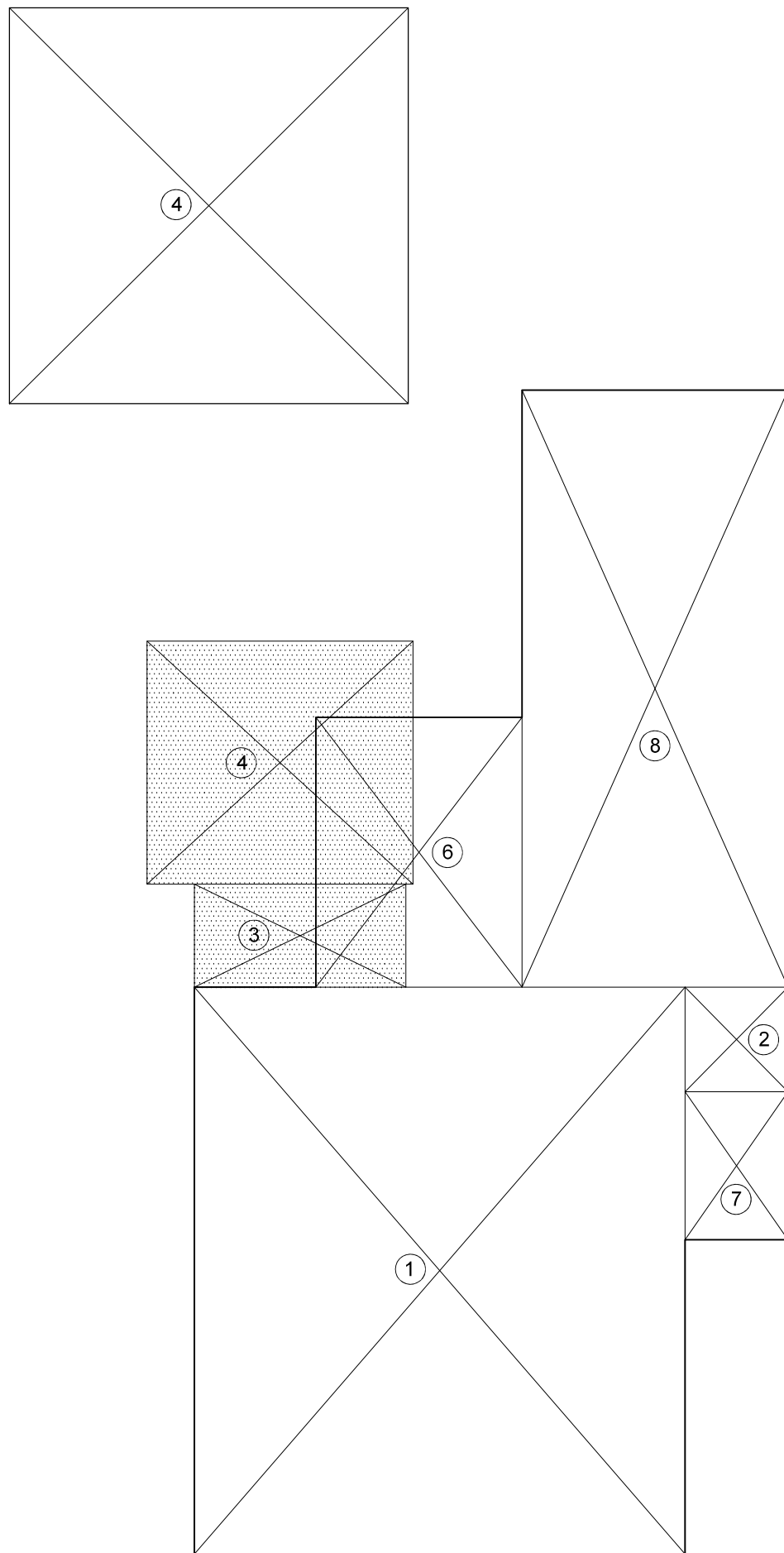
☉ OF ROAD

SITE PLAN

1/8" = 1'-0"

FLOOR AREA & COVERAGE CALCULATIONS DIAGRAM

MAIN FLOOR



(E.) MAIN FLOOR :

①	25.83 X 29.83	770.51 S.F.
②	5.50 X 5.42	29.81 S.F.
③	5.42 X 11.125	60.29 S.F.
④	12.79 X 14.00	179.06 S.F.

TOTAL (E.) RESIDENCE : 1039.67 S.F.

(E.) GARAGE :

⑤	21.00 X 20.83	437.43 S.F.
---	---------------	-------------

TOTAL (E.) MAIN FLOOR : 1477.10 S.F.

PORTION OF (E.) MAIN FLOOR TO BE REMOVED :

③	5.42 X 11.125	60.29 S.F.
④	12.79 X 14.00	179.06 S.F.

SUBTOTAL : 239.35 S.F.

(E.) RESIDENCE TO REMAIN : 800.32 S.F.

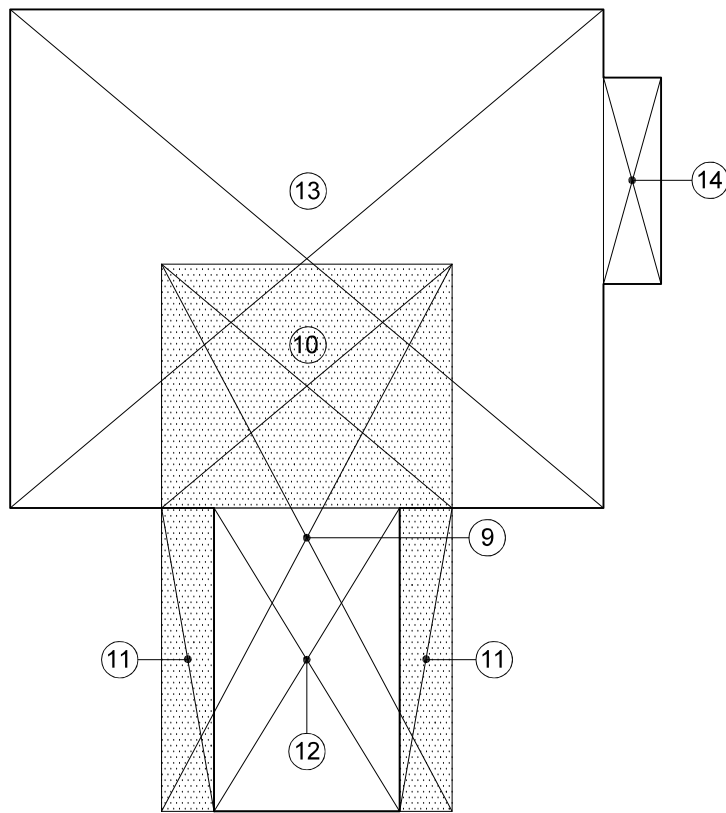
MAIN FLOOR ADDITION :

⑥	10.83 X 14.19	153.68 S.F.
⑦	5.42 X 7.79	42.22 S.F.
⑧	14.00 X 31.42	439.88 S.F.

TOTAL MAIN FL. ADDITION : 635.78 S.F.

PROPOSED MAIN FLOOR : 1873.53 S.F.

UPPER FLOOR :



(E.) UPPER FLOOR :

⑨	12.67 X 23.83	301.93 S.F.
---	---------------	-------------

PORTION OF (E.) UPPER FLOOR TO BE REMOVED :

⑩	12.66 X 10.66	134.96 S.F.
⑪	2.29 X 13.21 X 2	60.50 S.F.

SUBTOTAL : 195.46 S.F.

(E.) UPPER FLOOR TO REMAIN:

⑫	(301.93 - 195.46)	106.47 S.F.
---	-------------------	-------------

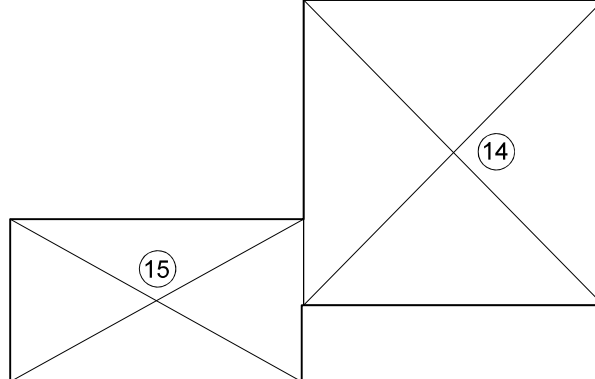
UPPER FLOOR ADDITION :

⑬	21.71 X 25.83	560.77 S.F.
⑭	2.50 X 9.00	22.50 S.F.

SUBTOTAL : 583.27 S.F.

PROPOSED UPPER FLOOR : 689.74 S.F.

LOWER FLOOR :



(E.) LOWER FLOOR :

⑭	13.00 X 13.29	172.77 S.F.
---	---------------	-------------

LOWER FLOOR ADDITION :

⑮	7.10 X 12.75	90.53 S.F.
---	--------------	------------

PROPOSED LOWER FLOOR : 263.30 S.F.

COVERAGE :

(E.) FRONT PORCH :	60.50 S.F.
(N.) LEFT SIDE COVERED PORCH :	32.50 S.F.

GENERAL NOTES

- VERIFICATION CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
- DIMENSIONS DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
- DISCREP-ANCIES MINOR DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY
- CONTRACT DOCUMENTS CONSTRUCTION DOCUMENTS TO POST DATE JOB COPY. VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY

SITE PLAN NOTES

- DRIVEWAY DRIVEWAY PAVERS PER OWNER SPECIFICATIONS
- FLATWORK EXISTING TO REMAIN
- GRADING N/A
- DRAINAGE 4% SLOPE AWAY FROM STRUCTURE
- STORM DRAINAGE DOWNSPOUTS TO SPLASH BLOCKS
- SEWER LATERAL TIE INTO EXISTING IN CRAWL SPACE
- GAS & ELEC SERVICE EXISTING SERVICE TO REMAIN
- SETBACKS AS PER PLAN
- TREES PROTECT (E.) WHERE POSSIBLE. REMOVE WHERE NOTED
- FENCES PROTECT (E.) WHERE POSSIBLE DURING CONSTRUCTION
- LANDSCAPE PROTECT (E.) WHERE POSSIBLE DURING CONSTRUCTION

CONSULTANT DIRECTORY

SURVEYOR N/A

SOILS ENGINEER N/A

CIVIL ENGINEER N/A

STRUCTURAL ENGINEER TBD

ENERGY CONSULTANT TBD

LANDSCAPE ARCHITECT N/A

TABULATIONS

(E.) MAIN FLOOR	1039.67 SQ.FT.
(E.) UPPER FLOOR	301.93 SQ.FT.
(E.)GARAGE	437.43 SQ.FT.
TOTAL EXISTING:	1779.03 SQ.FT.
(E.) MAIN FLOOR TO BE REMOVED	239.35 SQ.FT.
MAIN FLOOR ADDITION	635.78 SQ.FT.
TOTAL PROPOSED MAIN FLOOR	1873.53 SQ.FT.
(E.) UPPER FLOOR TO BE REMOVED	195.46 SQ.FT.
(E.) UPPER FLOOR TO REMAIN	106.47 SQ. FT.
UPPER FLOOR ADDITION	583.27 SQ. FT.
TOTAL PROPOSED UPPER FLOOR	689.74 SQ.FT.
TOTAL RESIDENCE	2125.84 SQ.FT.
TOTAL	2563.27 SQ.FT.
PROPOSED LOWER FLOOR	263.30 SQ.FT.

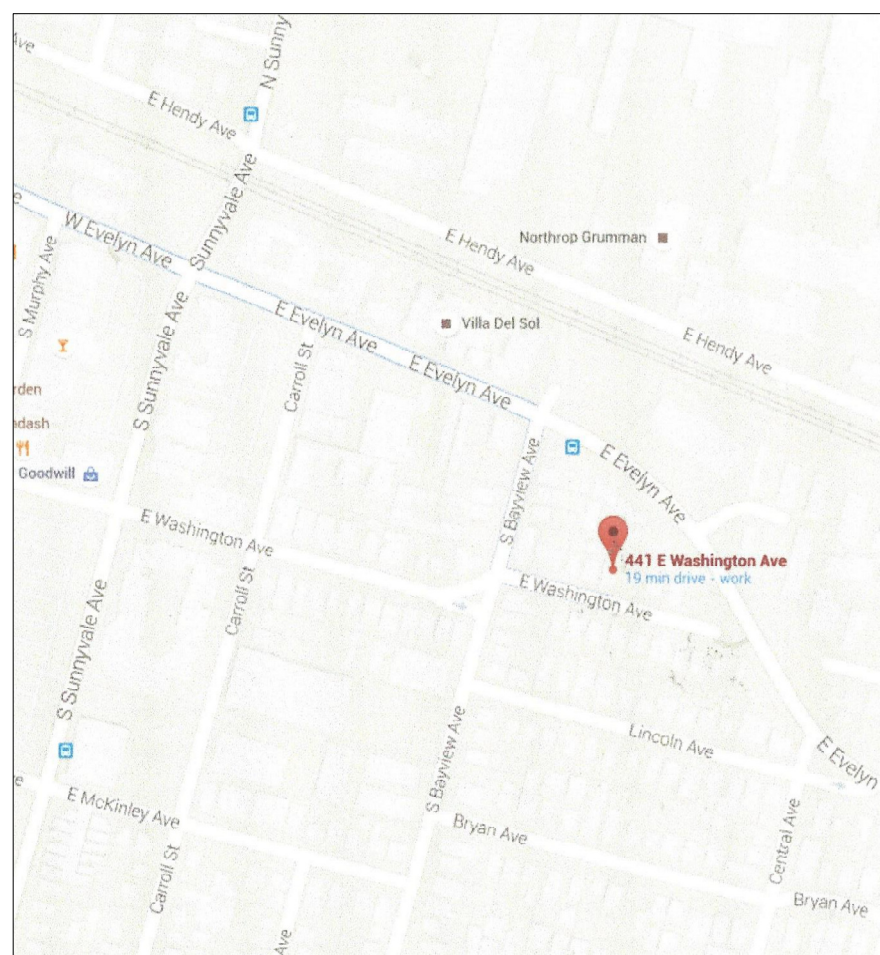
COVERAGE & F.A.R.

SITE PLAN	5430.00	SQ. FT. = 0.125 ACRES
COV. ALLOWABLE	2172.00	SQ. FT.= 40 %
EXISTING	1537.60	SQ. FT. = 28.32 %
PROPOSED	1966.53	SQ. FT. = 36.22 %
FAR. ALLOWABLE	2443.50	SQ. FT. = 45 %
EXISTING	1779.03	SQ. FT. = 32.80 %
PROPOSED	2563.27	SQ. FT. = 47.20 %

PROPERTY DESCRIPTION

OWNER	MITCHELL & GINNY DIAMOND
ADDRESS	441 E. WASHINGTON AVE., SUNNYVALE, CA 94086
PARCEL	209 - 04 - 031
ACREAGE	0.125
ZONING	R-2 (PD)
PROJECT DESCRIPTION	MAIN FLOOR ADDITION AND INTERIOR REMODEL, UPPER FLOOR ADDITION
OCCUPANCY	R-3 / U
CONSTR. TYPE	V - B

VICINITY MAP



SHEET INDEX

- ARCHITECTURAL SHEETS
- A - 1 SITE PLAN
 - A - 1A EXISTING AND PROPOSED SITE PLANS
 - A - 1B SOLAR ACCESS AND SHADOW ANALYSIS
 - A - 1C NEIGHBORHOOD STREETScape
 - A - 1D EXISTING SITE PLAN
 - A - 1E EXISTING EXTERIOR ELEVATIONS
 - A - 2 EXISTING LOWER & MAIN FLOOR PLANS
 - A - 3 EXISTING UPPER FLOOR PLAN
 - A - 4 PROPOSED LOWER & MAIN FLOOR PLANS
 - A - 5 PROPOSED UPPER FLOOR PLAN
 - A - 6 EXTERIOR ELEVATIONS, FRONT & REAR
 - A - 7 EXTERIOR ELEVATIONS, RIGHT & LEFT
 - A - 8 ROOF PLAN
 - A - 9 SECTIONS "A & B"

APPLICABLE CODES

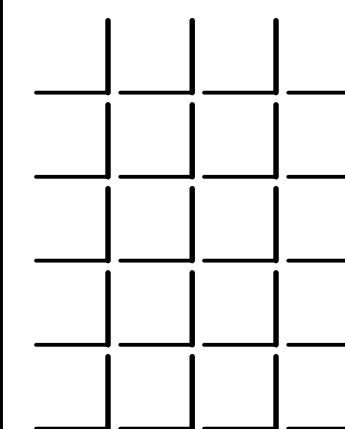
THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE:

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS

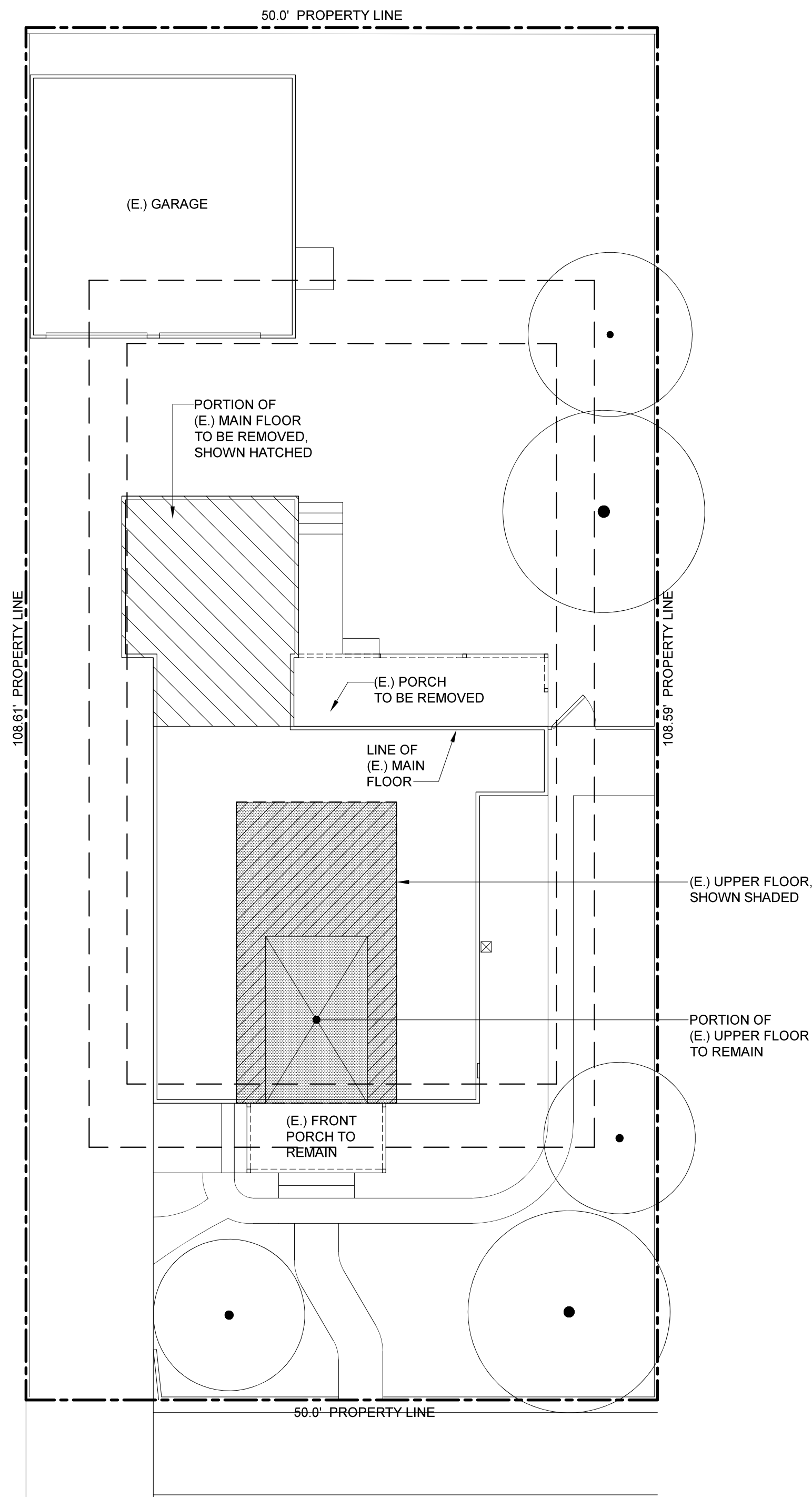
1-9-2017	PRC COMMENTS

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SHEET
A - 1A



E. WASHINGTON AV.

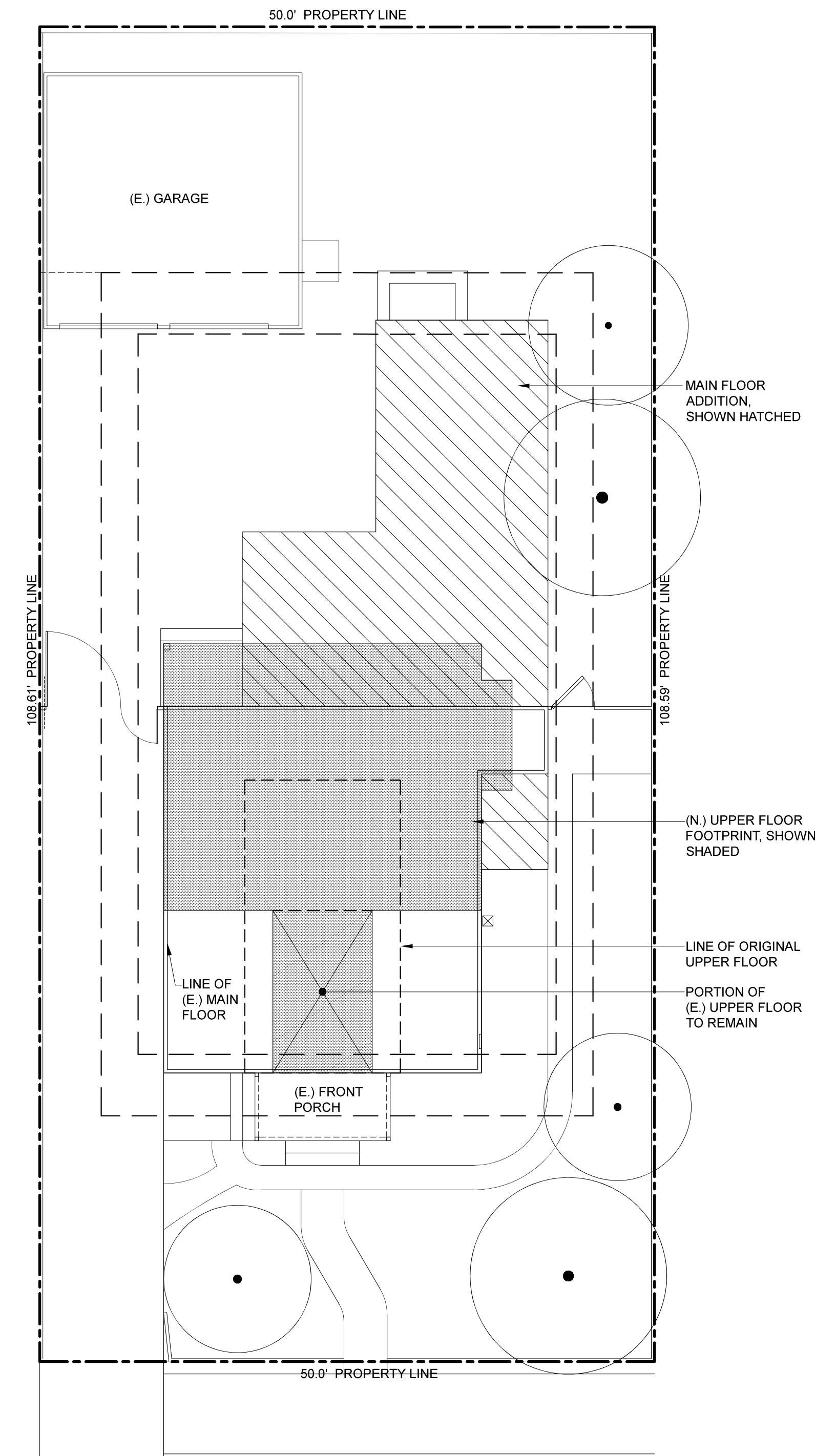
CL OF ROAD

LEGEND

- PORTION OF EXISTING UPPER FLOOR TO BE REMOVED
- PORTION OF EXISTING MAIN FLOOR TO BE REMOVED
- PORTION OF EXISTING UPPER FLOOR TO REMAIN

EXISTING SITE PLAN

1/8" = 1'-0"



E. WASHINGTON AV.

CL OF ROAD

LEGEND

- PROPOSED MAIN FLOOR ADDITION
- PROPOSED UPPER FLOOR
- PORTION OF EXISTING UPPER FLOOR TO REMAIN

PROPOSED SITE PLAN

1/8" = 1'-0"

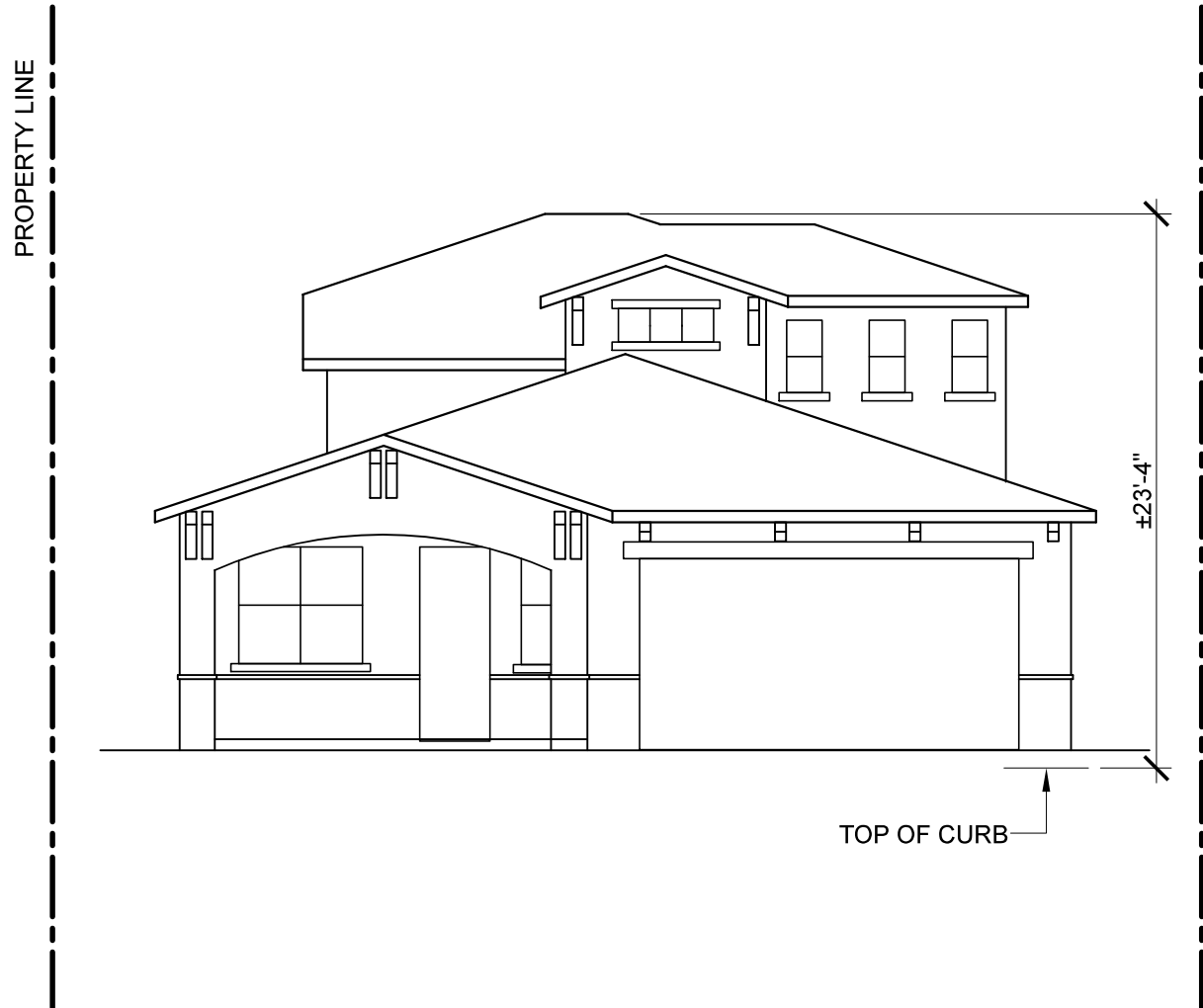
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SHEET

A - 1C



433 E.WASHINGTON AVE.



441 E.WASHINGTON AVE.

VACANT LOT

451 E.WASHINGTON AVE.

NEIGHBORHOOD STREETSCAPE

1/8" = 1'-0"

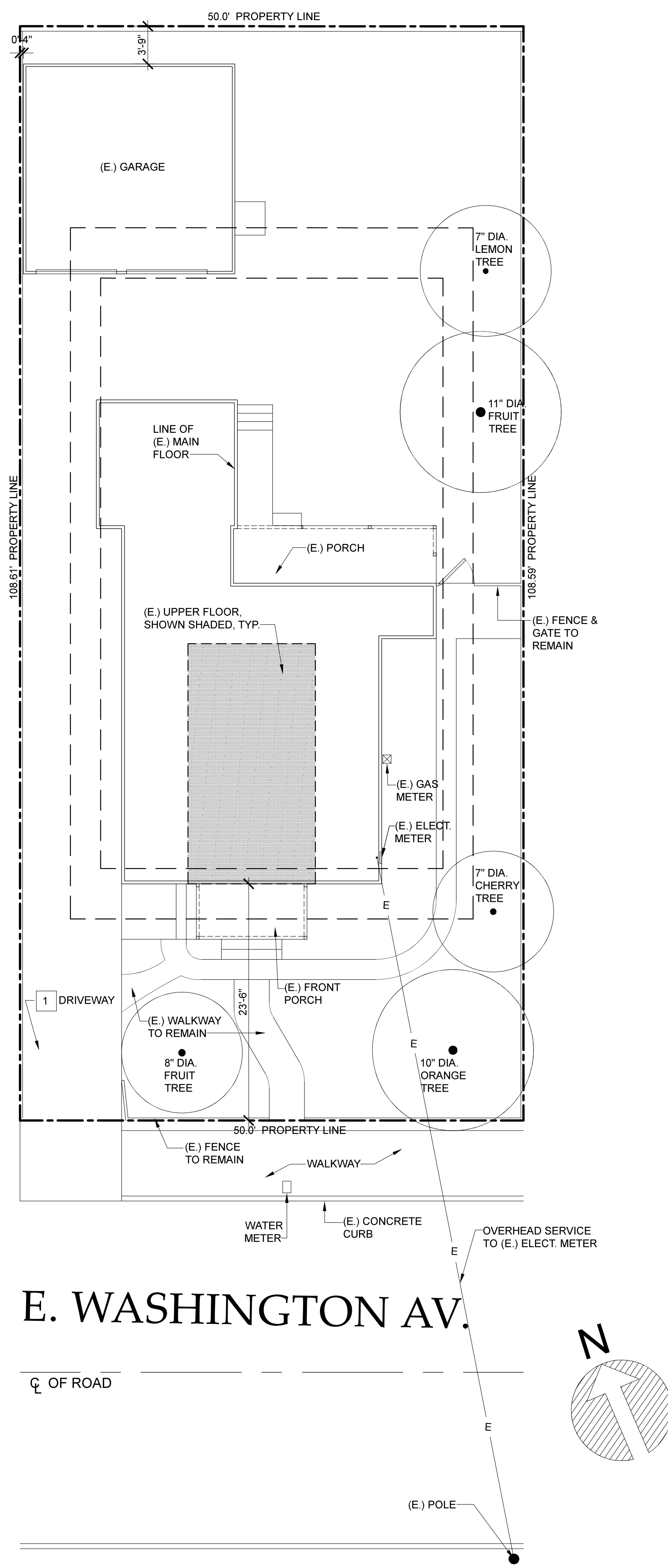
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10-14-2016	PRC COMMENTS

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SHEET
A - 1D



E. WASHINGTON AV.
CL OF ROAD
N
1/8" = 1'-0"
EXISTING SITE PLAN

CLIENT (JOB No. 21519)
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SHEET
A - 8

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GENERAL NOTES

- I

ROOF JACKS

WHENEVER POSSIBLE, LOCATE ROOF JACKS WHERE THEY ARE NOT VISIBLE
- II

VALLEY FLASHING

24 GA. G.I. "L" FLASHING @ ALL VALLEYS
- III

CRICKET FLASHING

24 GA. G.I. OVER $\frac{1}{8}$ " D.F. CDX PLYWOOD (OR BETTER) - $\frac{3}{4}$ " MIN. SLOPE
- IV

ATTIC VENTILATION

CLOSED CELL FOAM INSULATION IS BEING USED IN ATTIC (R-30 OE EQUIVALENT) THEREFORE, VENTILATION IS NOT REQUIRED
- V

FIREPLACE & CHIMNEY

DESIGN AND CONSTRUCTION TO FOLLOW PARAMETERS AS OUTLINED IN CHAPTER 10 OF THE 2013 CRC

ROOF PLAN NOTES

- 1

ROOFING

COMPOSITION SHINGLES, MATCH (E.) AT ADDITION.
(ALT. BID FOR NEW ROOFING)
- 2

GUTTERS

MATCH (E.) RECTANGULAR AT ADDITION.
(ALT. BID FOR ALL (N.) OGEE GUTTER)
- 3

DOWN SPOUTS

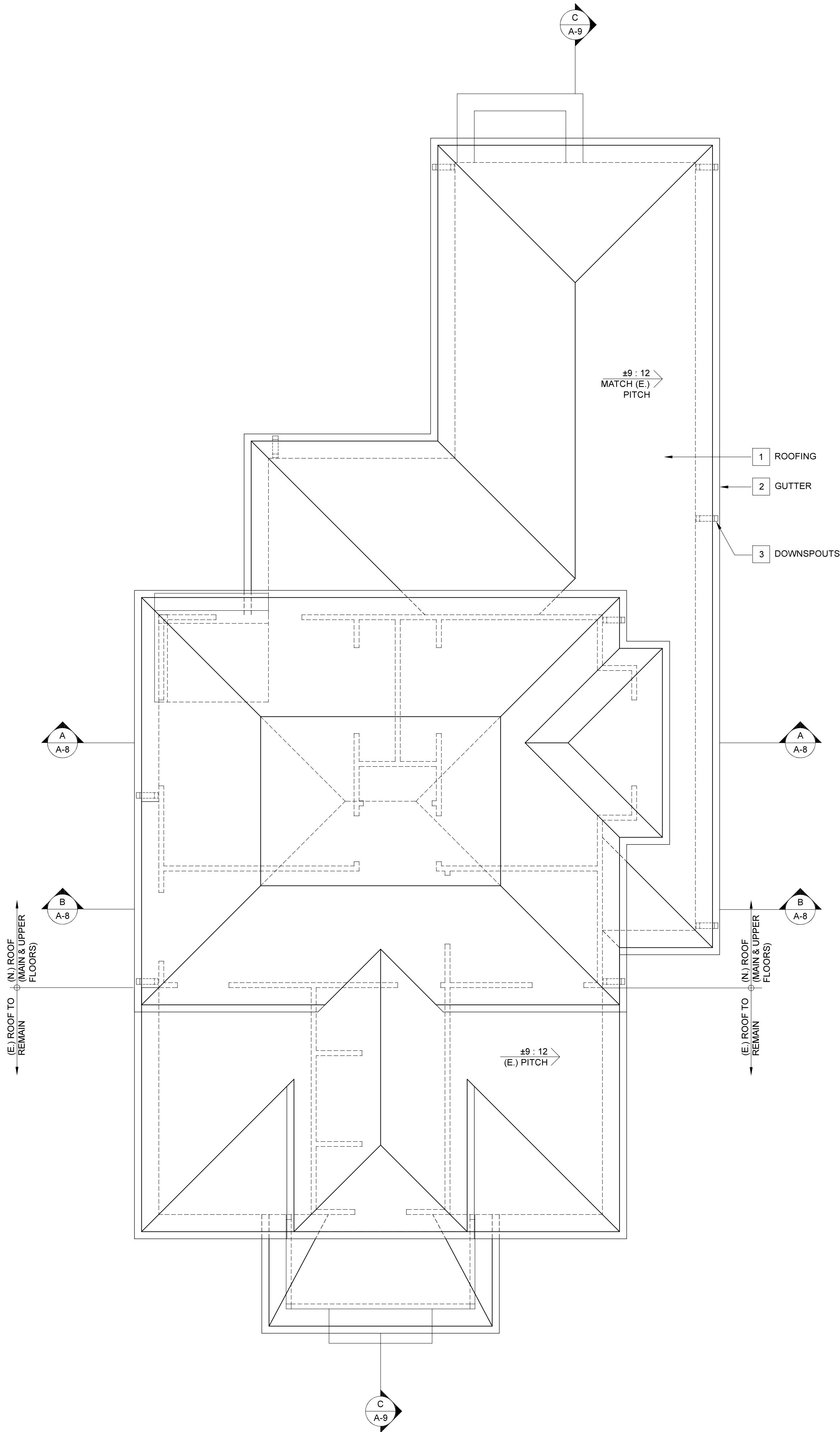
MATCH (E.) RECTANGULAR.
(ALT. BID FOR (N.) ROUND DOWNSPOUTS.
- 4

SKYLIGHTS

N/A
- 5

CHIMNEY

N/A



ROOF PLAN

1/4" = 1'-0"

GENERAL NOTES

- | | | |
|------------|------------------------|---|
| I | STUCCO | <p>REQUIREMENTS: 1) 3-COAT & 1/2" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 20103</p> |
| II | FLUE CLEARANCE | <p>AS PER SECTION R1003.18 CRC 2010. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY</p> |
| III | CHIMNEY BRACING | <p>AS PER CH. 10 CRC 2013</p> |
| IV | SPARK ARRESTOR | <p>PROVIDE AS PER SEC. R1003.4.1 CRC 2013</p> |
| V | TEMPERED GLASS | <p>PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013</p> |

EXTERIOR MATERIAL NOTES

- | | | |
|----|-------------|---|
| 1 | ROOFING | COMPOSITION SHINGLES, MATCH (E.) AT ADDITION.
(ALT. BID FOR NEW ROOFING) |
| 2 | GUTTER | MATCH (E.) RECTANGULAR AT ADDITION.
(ALT. BID FOR ALL (N.) OGEE GUTTER) |
| 3 | DOWN SPOUTS | MATCH (E.) RECTANGULAR.
(ALT. BID FOR (N.) ROUND DOWNSPOUTS. |
| 4 | SIDING | MATCH (E.) TEAR DROP SIDING |
| 5 | TRIM | 2x KILN-DRIED D.F. |
| 6 | STUCCO | N/A |
| 7 | VENEER | N/A |
| 8 | WINDOWS | DUAL GLAZED WOOD CASEMENTS & DBL. HNG.'S |
| 9 | WINDOW TRIM | 2x KILN-DRIED D.F. AT HEAD, JAMB, APRON & SILL |
| 10 | SKYLIGHTS | N/A |
| 11 | CHIMNEY | N/A |

LEGEND

-  WINDOW. SEE "WINDOW SCHEDULE" ON SHEET (A-11) FOR FURTHER SPECIFICATIONS
 -  DOOR. SEE "DOOR SCHEDULE" ON SHEET (A-11) FOR FURTHER SPECIFICATIONS



RIGHT ELEVATION

$$1/4'' = 1'-0''$$


LEFT ELEVATION

$$1/4'' = 1'-0''$$

10-14-2016	PRC COMMENTS

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ASSOCIATES
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LOS ALTOS, CA 94022 (650) 941-6890

GENERAL NOTES

- I STUCCO REQUIREMENTS: 1) 3-COAT & ½" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 20103
- II FLUE CLEARANCE AS PER SECTION R1003.18 CRC 2010. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- III CHIMNEY BRACING AS PER CH. 10 CRC 2013
- IV SPARK ARRESTOR PROVIDE AS PER SEC. R1003.4.1 CRC 2013
- V TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013

EXTERIOR MATERIAL NOTES

- 1 ROOFING COMPOSITION SHINGLES, MATCH (E.) AT ADDITION (ALT. BID FOR NEW ROOFING)
- 2 GUTTER MATCH (E.) RECTANGULAR AT ADDITION. (ALT. BID FOR ALL (N.) OGEE GUTTER)
- 3 DOWN SPOUTS MATCH (E.) RECTANGULAR. (ALT. BID FOR (N.) ROUND DOWNSPOUTS.
- 4 SIDING MATCH (E.) TEAR DROP SIDING
- 5 TRIM 2x KILN-DRIED D.F.
- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS DUAL GLAZED WOOD CASEMENTS & DBL. HNG.'S
- 9 WINDOW TRIM 2x KILN-DRIED D.F. AT HEAD, JAMB, APRON & SILL
- 10 SKYLIGHTS N/A
- 11 CHIMNEY N/A

LEGEND

- # WINDOW. SEE "WINDOW SCHEDULE" ON SHEET (A-11) FOR FURTHER SPECIFICATIONS
- # DOOR. SEE "DOOR SCHEDULE" ON SHEET (A-11) FOR FURTHER SPECIFICATIONS



FRONT ELEVATION

1/4" = 1'-0"



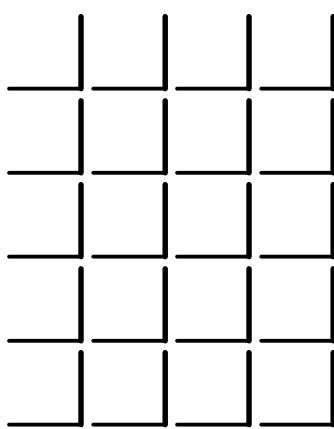
REAR ELEVATION

1/4" = 1'-0"

DATE	PRC COMMENTS
10-14-2016	PRC COMMENTS
1-6-2017	PRC COMMENTS

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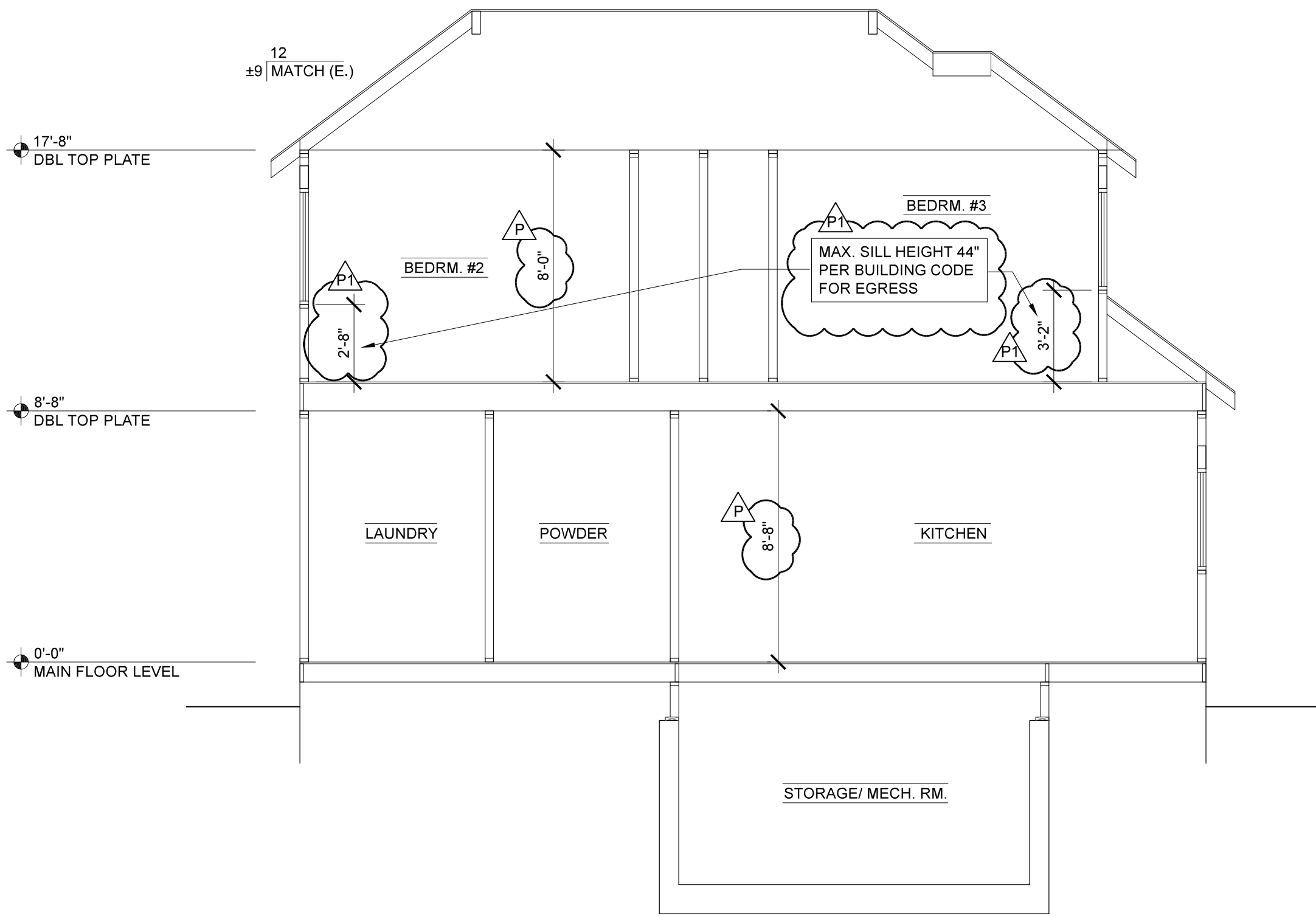
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SHEET
A - 9

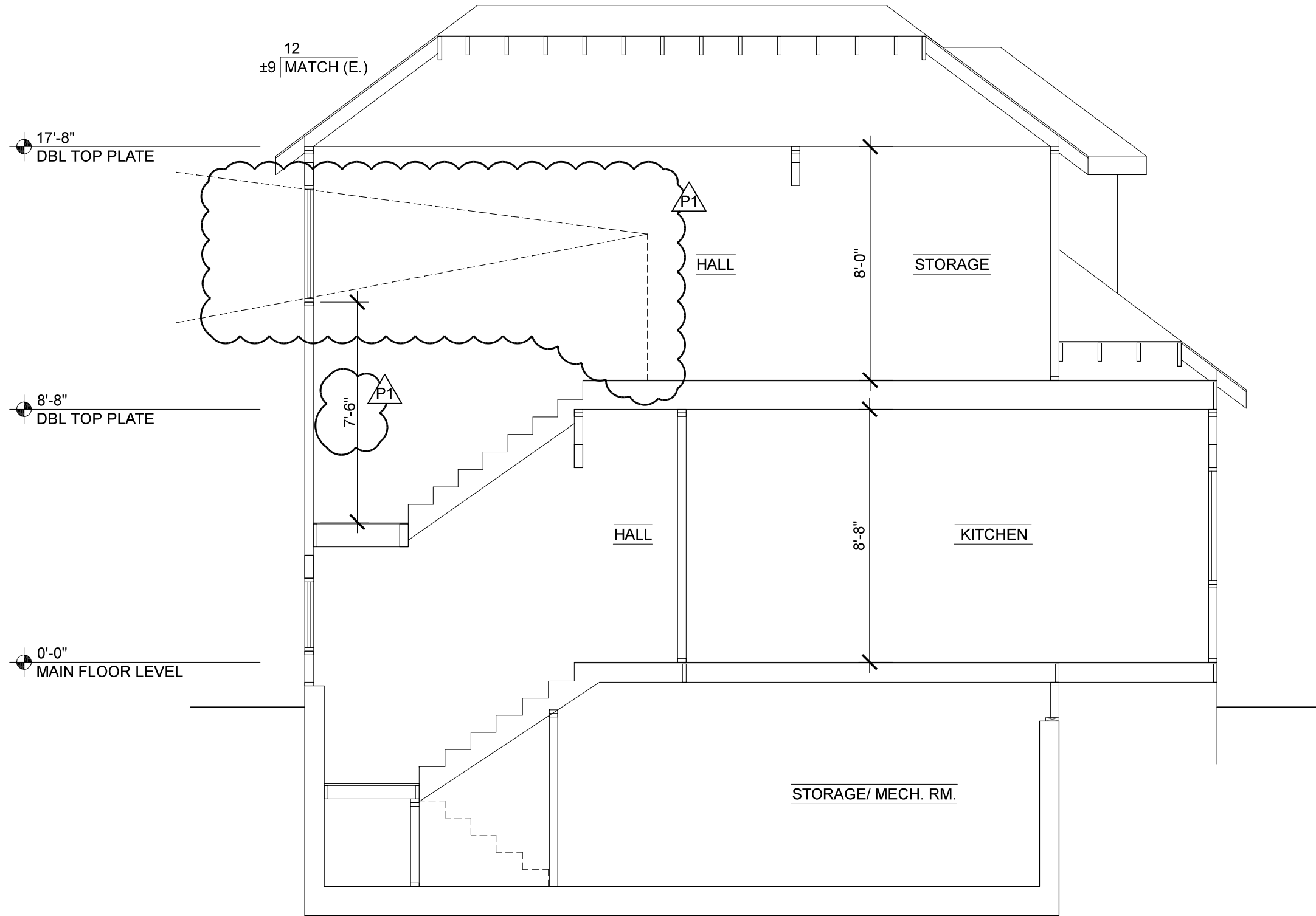
SECTION NOTES

- 1 ROOF** ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) O/ 30# UNDERLAYMENT O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 2 CEILING @ ATTIC** CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ $\frac{1}{2}$ " SHEETROCK, TYPICAL U.O.N.
- 3 EXTERIOR WALL** EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) O/ 2 LAYERS CLASS "D" BUILDING PAPER O/ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ $\frac{1}{2}$ " SHEET ROCK @ INSIDE FACE, TYPICAL U.O.N.
- 4 INTERIOR WALL** 2x4 STUDS @ 16"o.c. (2x6 STUDS @ MAIN PLUMBING WALLS) W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ $\frac{1}{2}$ " SHEET ROCK BOTH SIDES, TYPICAL U.O.N.
- 5 FLOOR** FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 6 FLOOR w/ CEILING** FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) O/ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) W/ $\frac{1}{2}$ " SHEET ROCK, TYPICAL U.O.N.



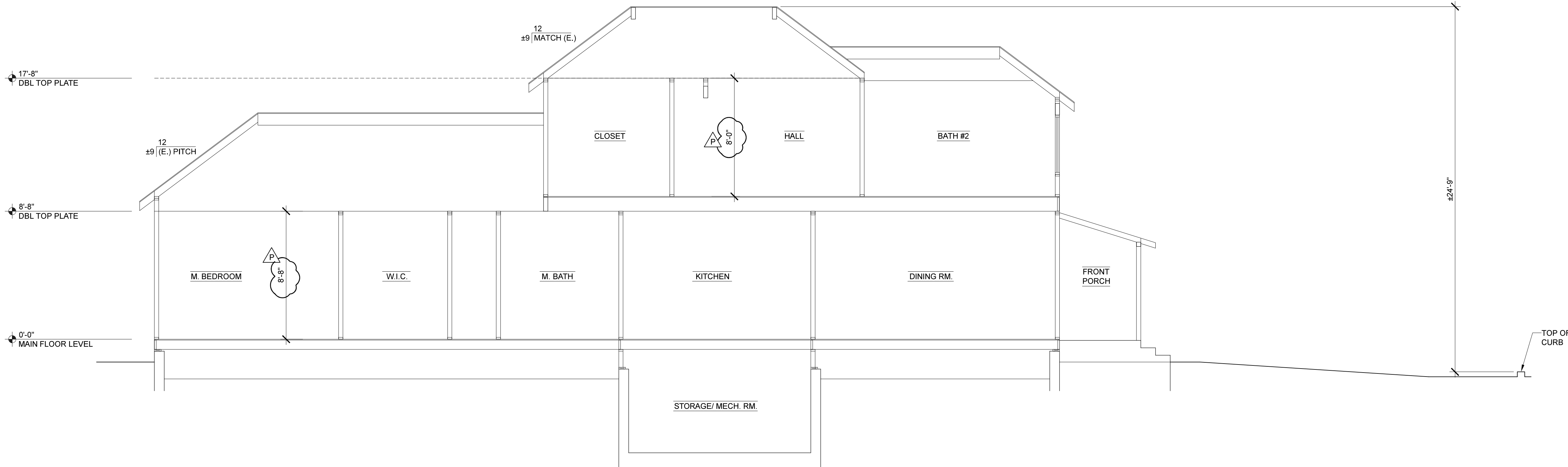
SECTION "A - A"

1/4" = 1'-0"



SECTION "B - B"

1/4" = 1'-0"



SECTION "B - B"

1/4" = 1'-0"

NOTE

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SHEET
A - 3

GENERAL NOTES

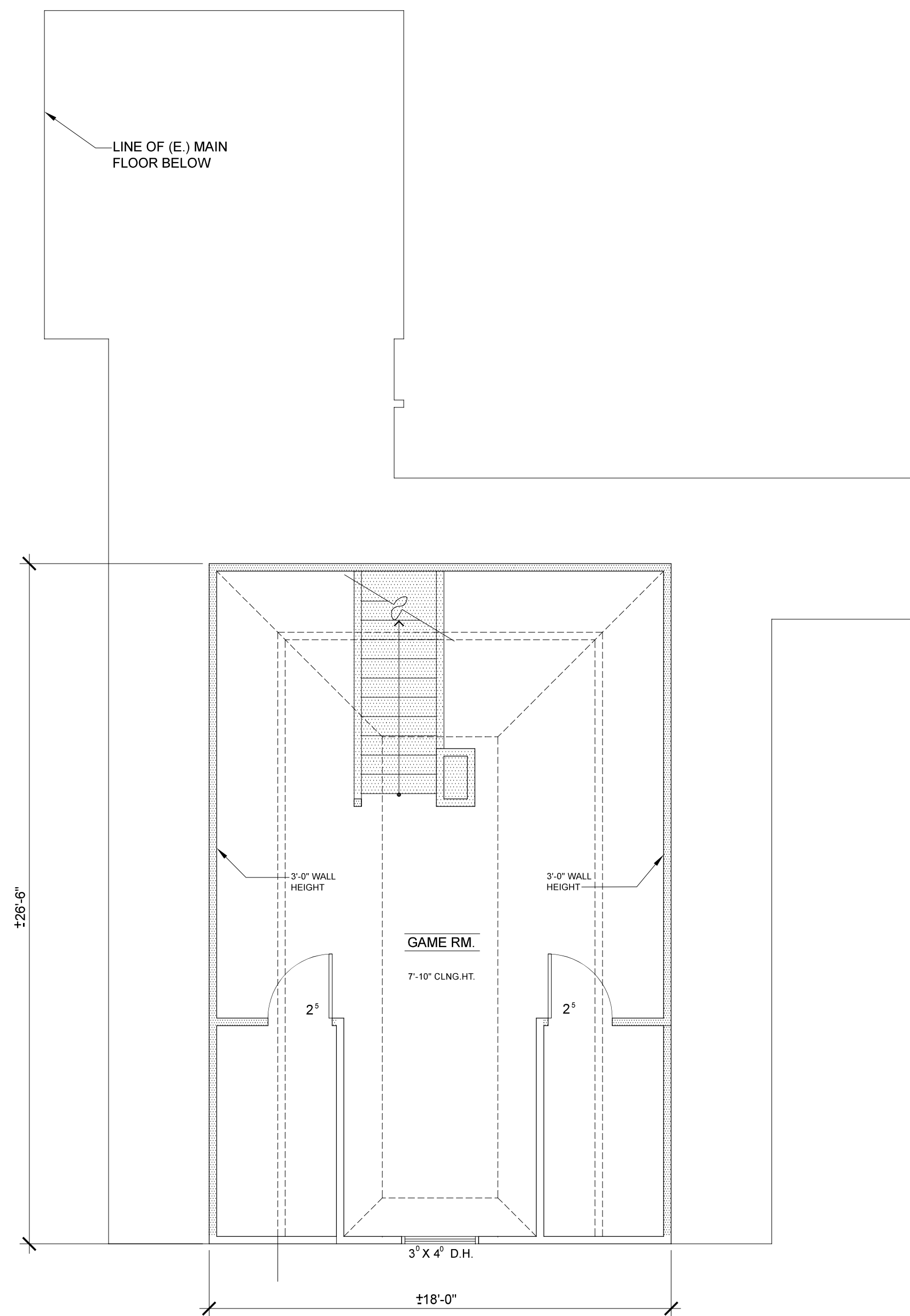
- | | | |
|-----|---------------------|---|
| I | PLUMBING | CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED |
| II | ELECTRICAL | REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGED OR REMOVED DURING CONSTRUCTION |
| III | DUCTWORK | REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION |
| IV | BRACING | CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED |
| V | DISPOSAL | ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION |
| VI | HAZARDOUS MATERIALS | IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS |

DEMOLITION NOTES

- | | | |
|----|---------------------|---|
| 1 | DOORS | SALVAGE/ RELOCATE/ PROTECT/ DISCARD AS PER PLANS & OWNER SPECIFICATIONS |
| 2 | WINDOWS & SKYLIGHTS | |
| 3 | CABINETRY | |
| 4 | FLOOR COVERINGS | |
| 5 | LIGHT FIXTURES | |
| 6 | APPLIANCES | |
| 7 | LANDSCAPE | PROTECT (E.) DURING CONSTRUCTION WHERE POSSIBLE |
| 8 | FLATWORK | PROTECT (E.) DURING CONSTRUCTION WHERE POSSIBLE |
| 9 | VENEER | N/A |
| 10 | ELECTRICAL METER | (E.) ELECTRICAL METER AND PANEL TO REMAIN |
| 11 | GAS METER | (E.) GAS METER TO REMAIN |

LEGEND

- | | |
|-----|--|
| | EXISTING WALLS TO REMAIN |
| | EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED |
| (E) | EXISTING TO REMAIN |
| (R) | EXISTING TO BE REMOVED |
| | EXISTING TO BE RELOCATED |



EXISTING UPPER FLOOR PLAN

1/4" = 1'-0"

NOTE

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620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890

LL	LL	LL	LL	LL
LL	LL	LL	LL	LL
LL	LL	LL	LL	LL
LL	LL	LL	LL	LL
LL	LL	LL	LL	LL

SHEET
A - 2

GENERAL NOTES

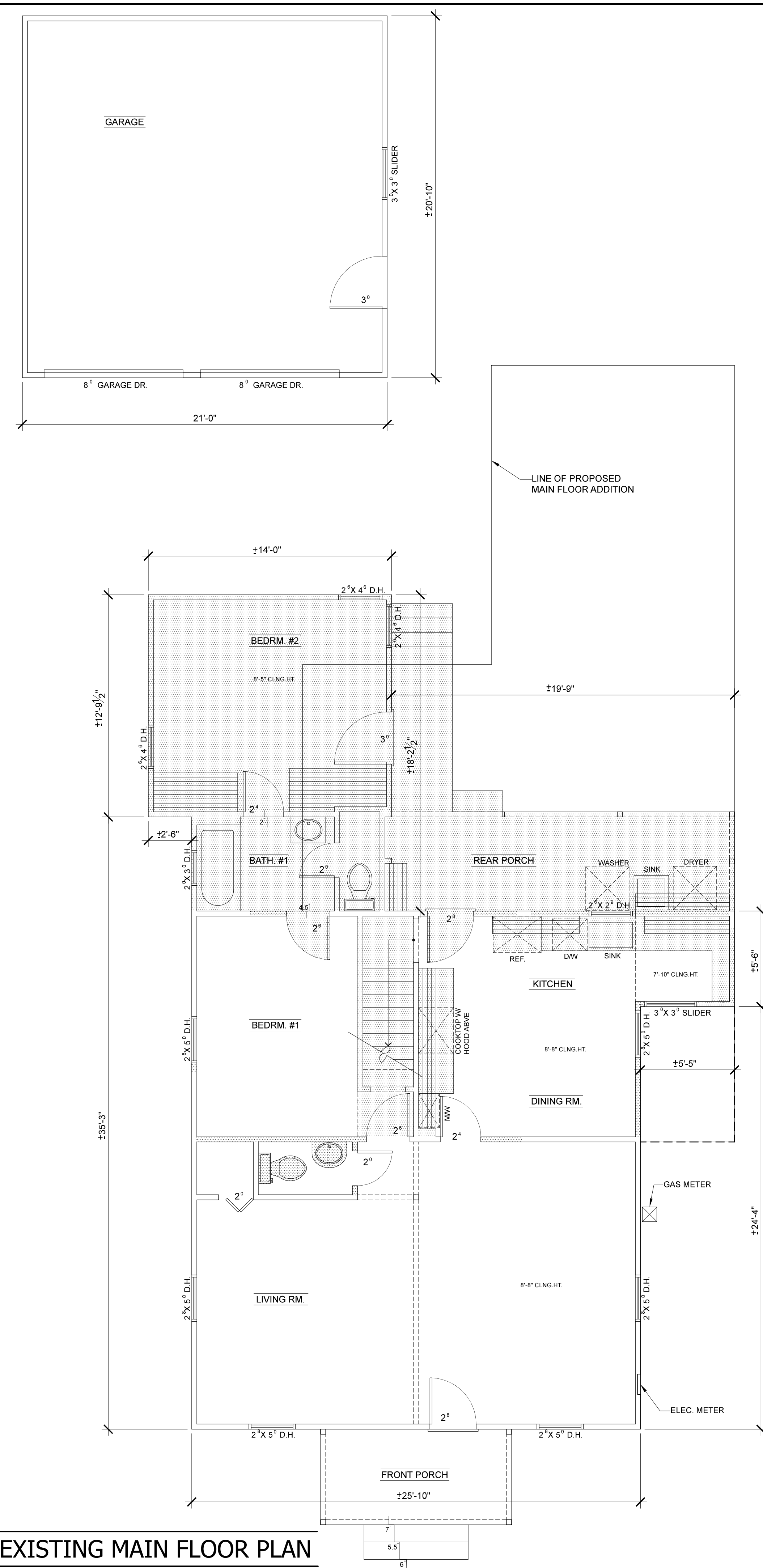
- I PLUMBING** CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL** REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK** REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING** CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL** ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS** IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS

DEMOLITION NOTES

- 1 DOORS** SALVAGE/ RELOCATE/ PROTECT/ DISCARD AS PER PLANS & OWNER SPECIFICATIONS
- 2 WINDOWS & SKYLIGHTS**
- 3 CABINETRY**
- 4 FLOOR COVERINGS**
- 5 LIGHT FIXTURES**
- 6 APPLIANCES**
- 7 LANDSCAPE** PROTECT (E.) DURING CONSTRUCTION WHERE POSSIBLE
- 8 FLATWORK** PROTECT (E.) DURING CONSTRUCTION WHERE POSSIBLE
- 9 VENEER** N/A
- 10 ELECTRICAL METER** (E.) ELECTRICAL METER AND PANEL TO REMAIN
- 11 GAS METER** (E.) GAS METER TO REMAIN

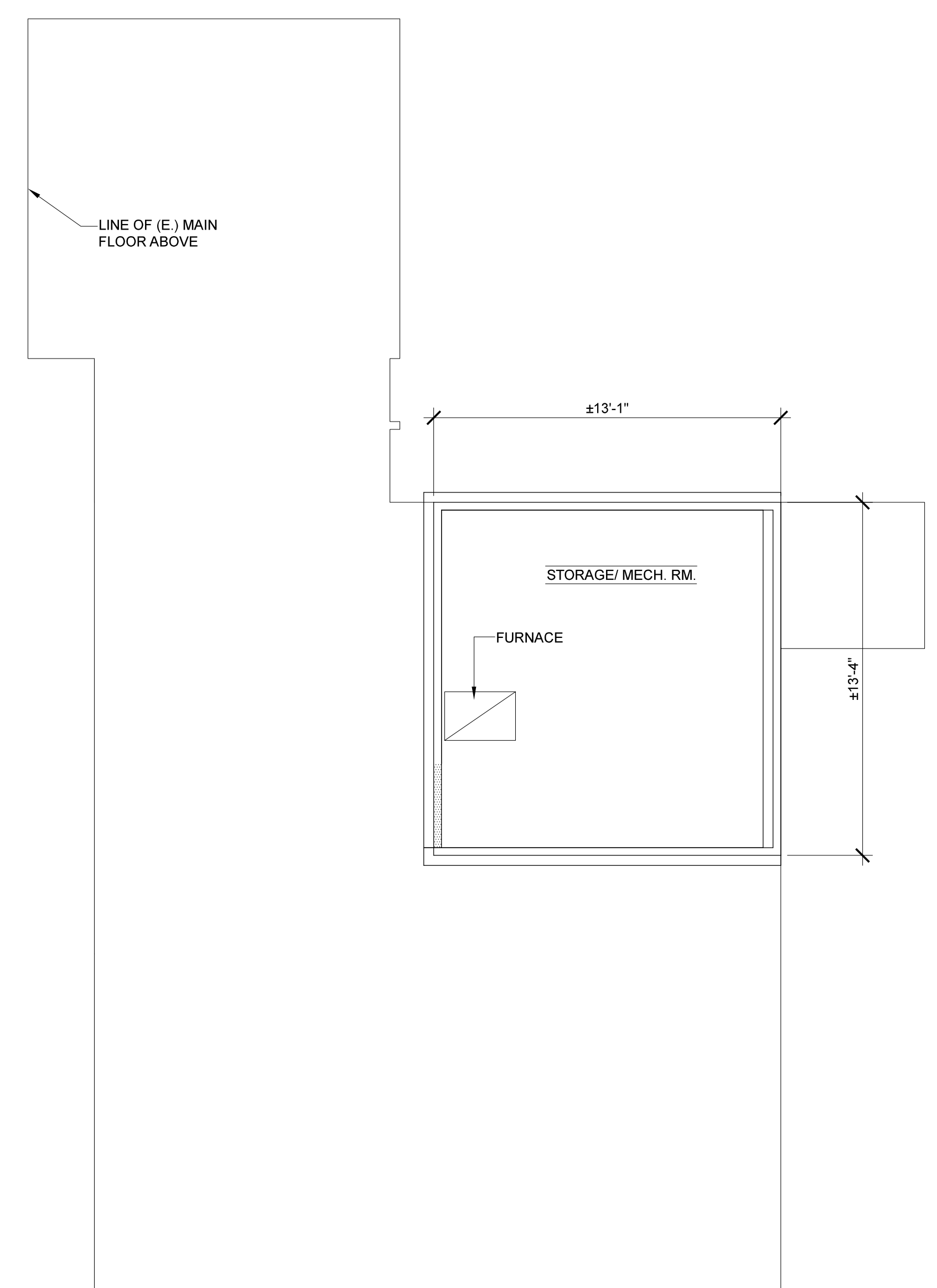
LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED



EXISTING MAIN FLOOR PLAN

1/4" = 1'-0"

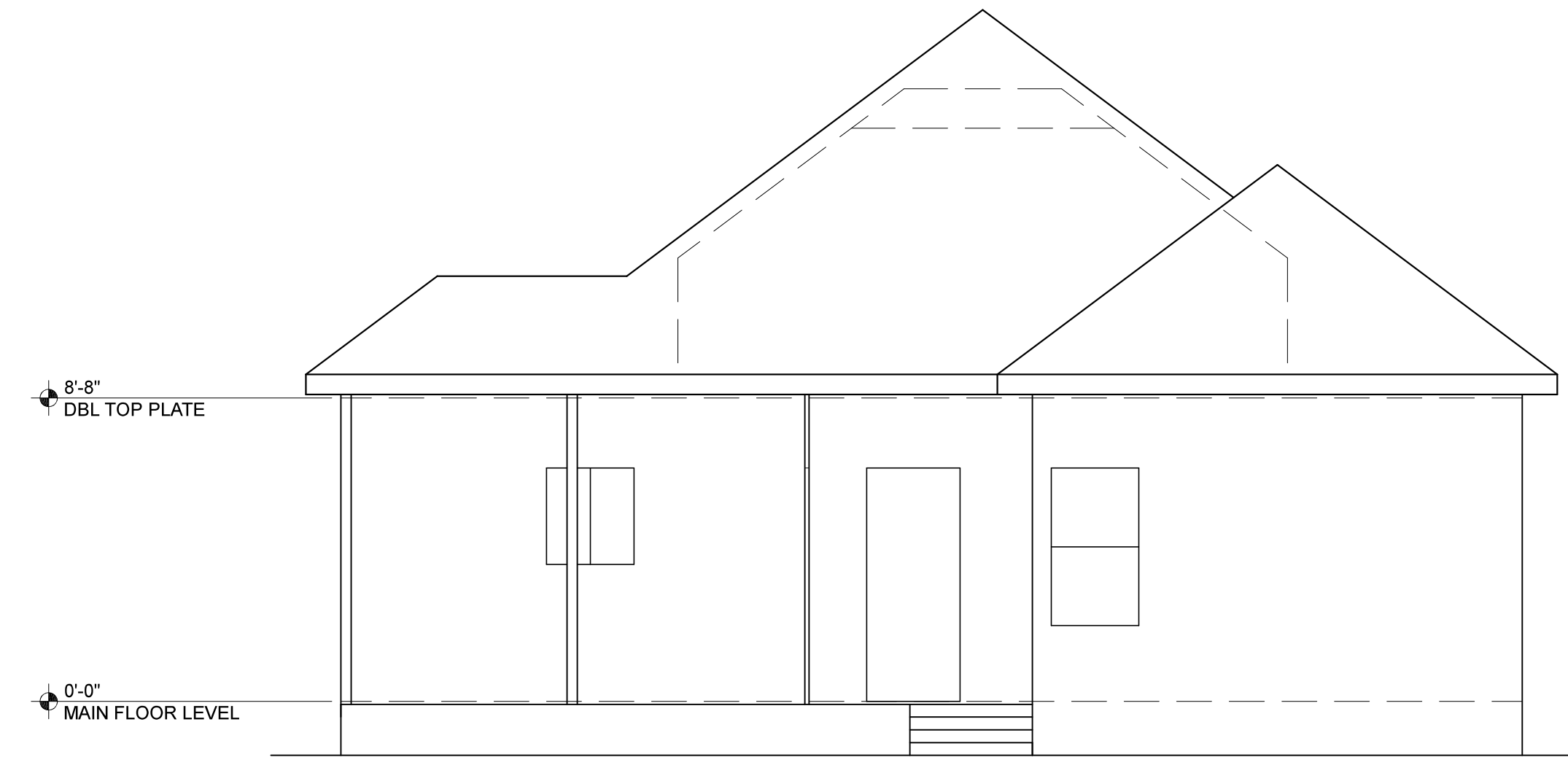


EXISTING LOWER FLOOR PLAN

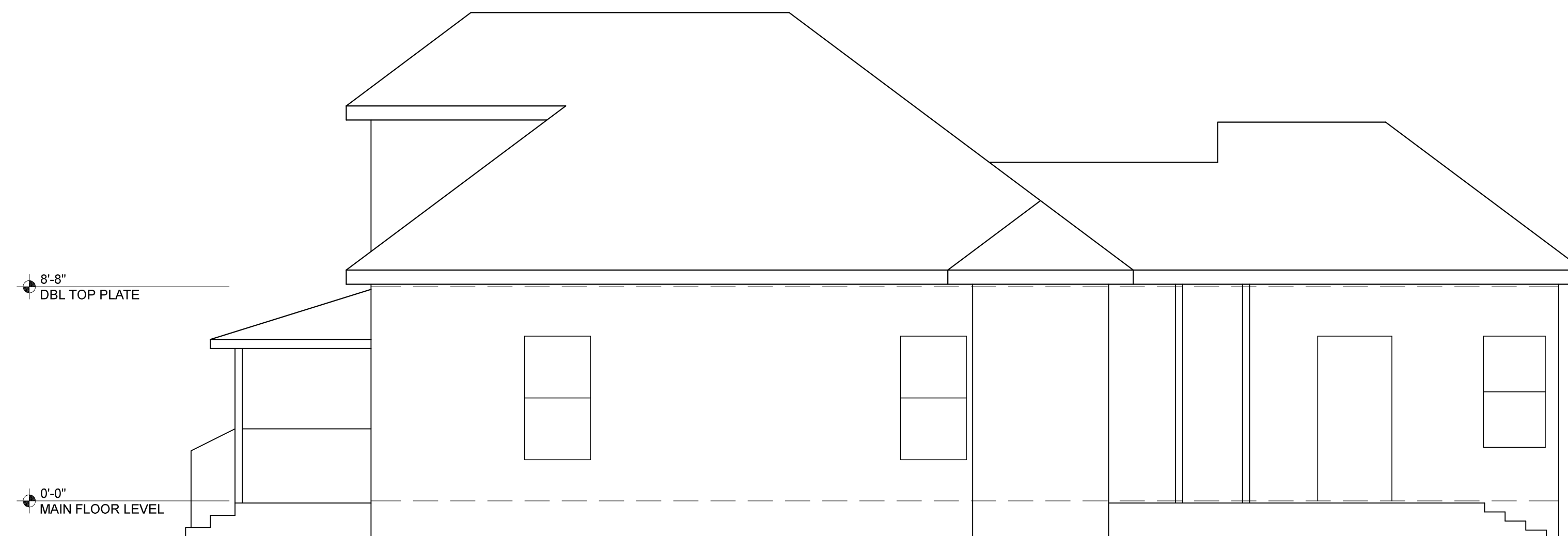
1/4" = 1'-0"



EXISTING FRONT ELEVATION

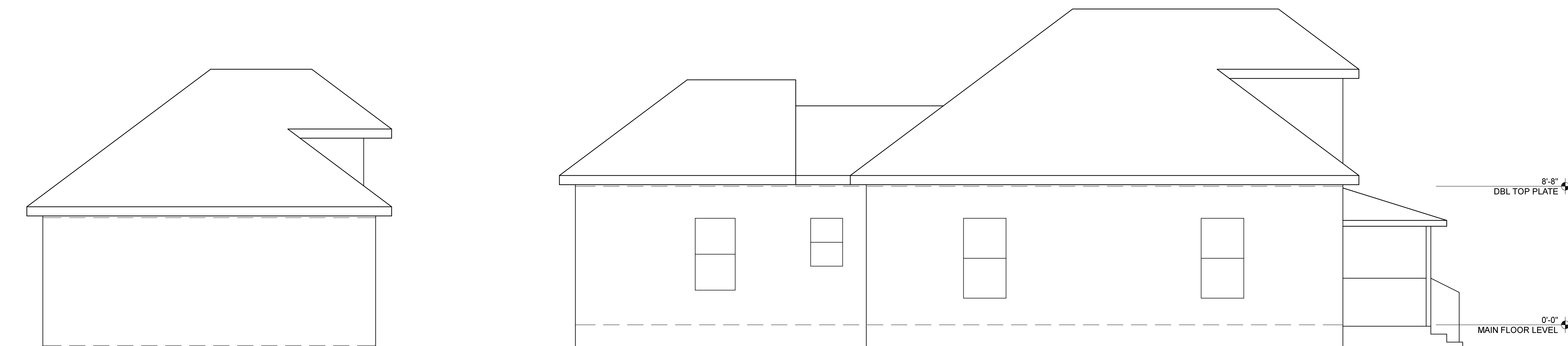
$$1/4'' = 1'-0''$$


EXISTING REAR ELEVATION

$$1/4'' = 1'-0''$$


EXISTING RIGHT ELEVATION

1/4" = 1'-0"



EXISTING LEFT ELEVATION

$$1/4'' = 1'-0''$$

NOTE

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-	-
 10-14-2016	PRC COMMENTS

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SHEET

A - 1E

NOTE

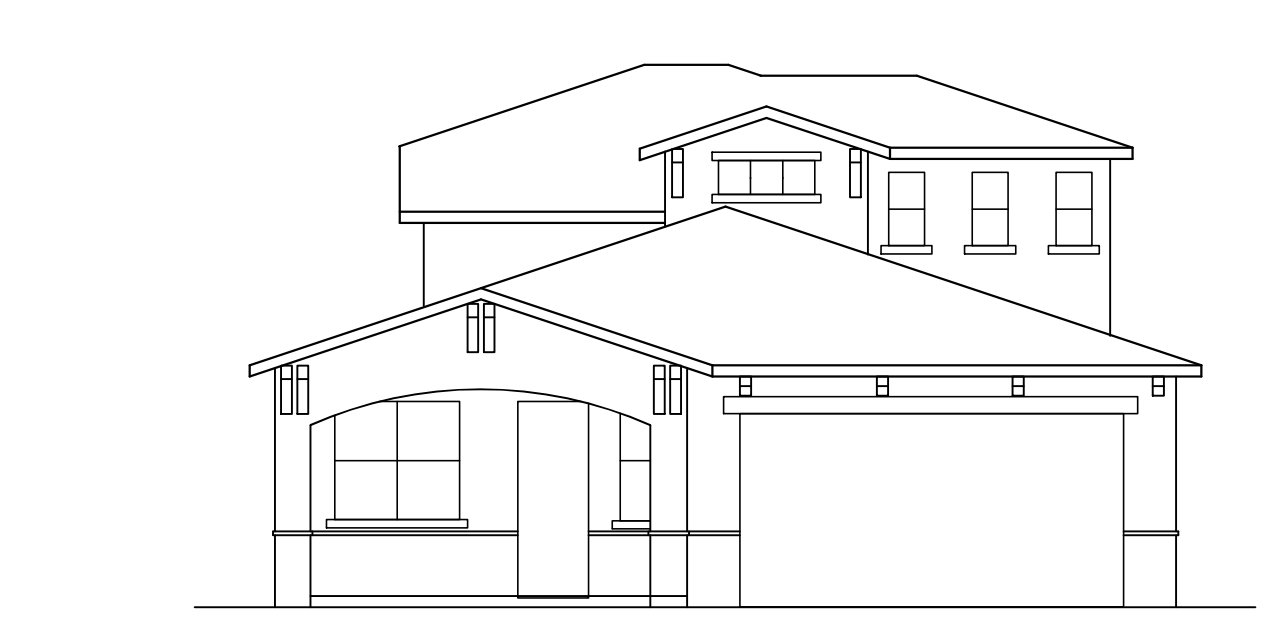
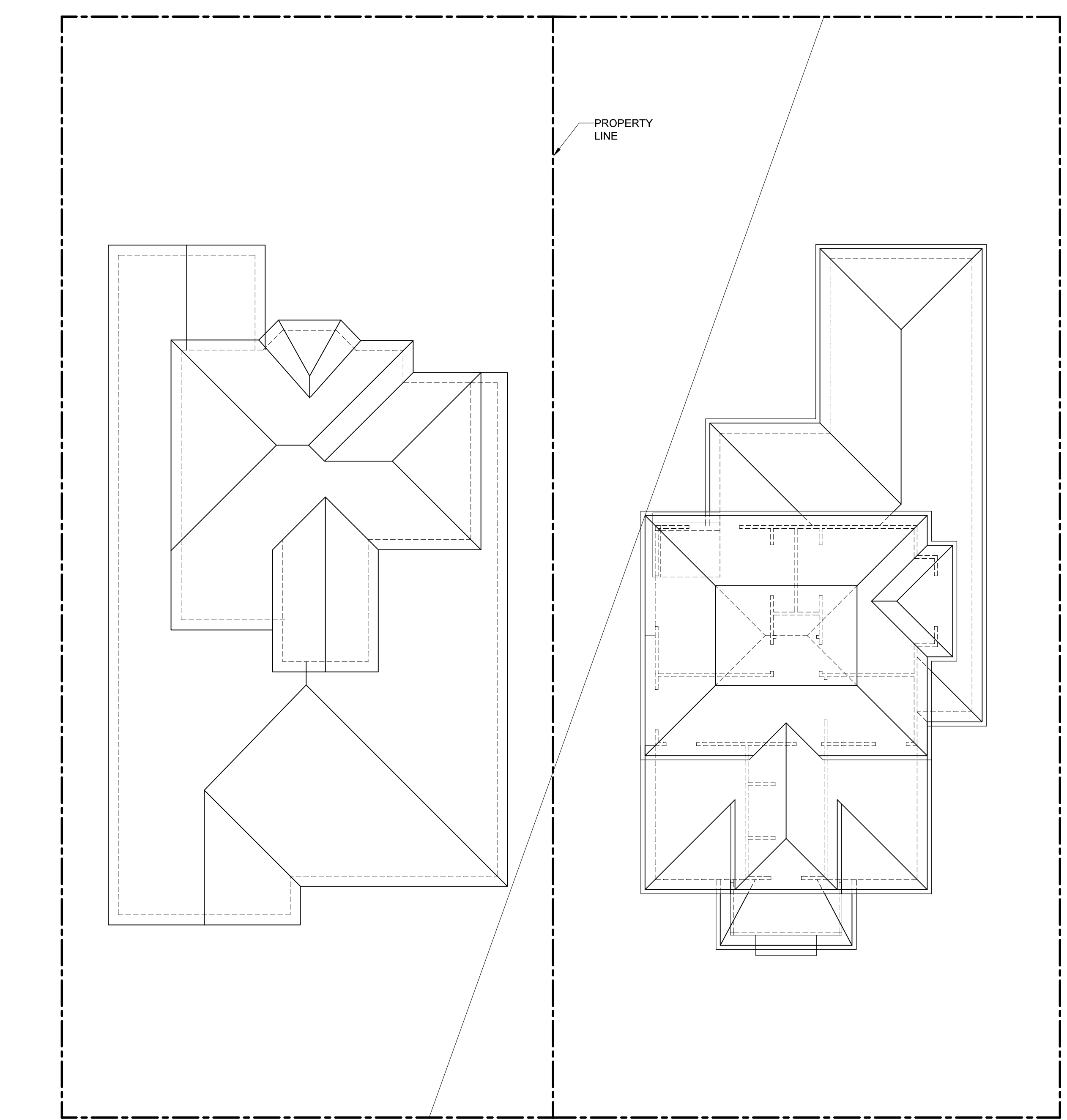
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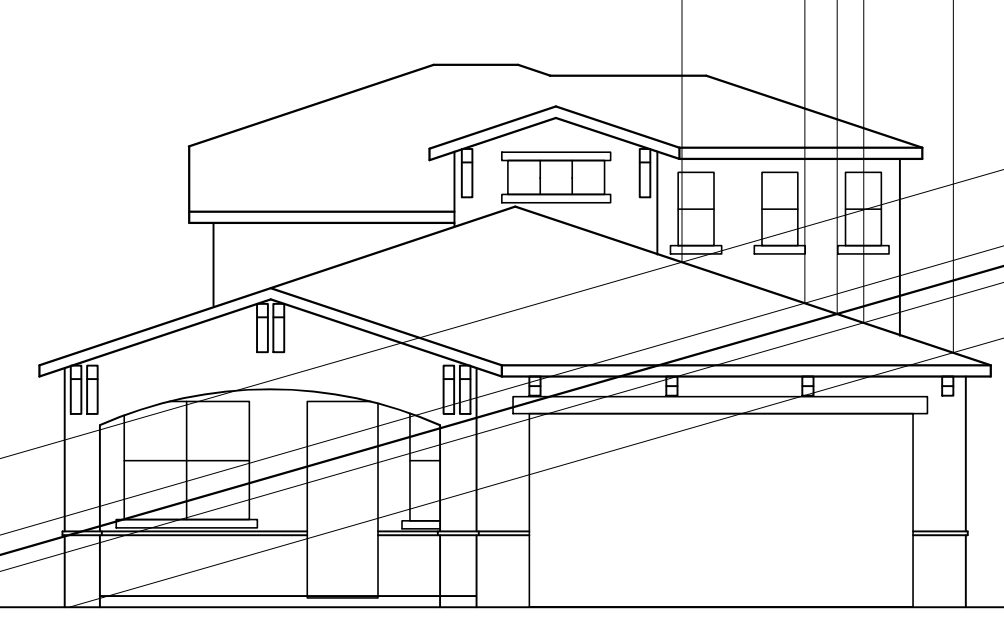
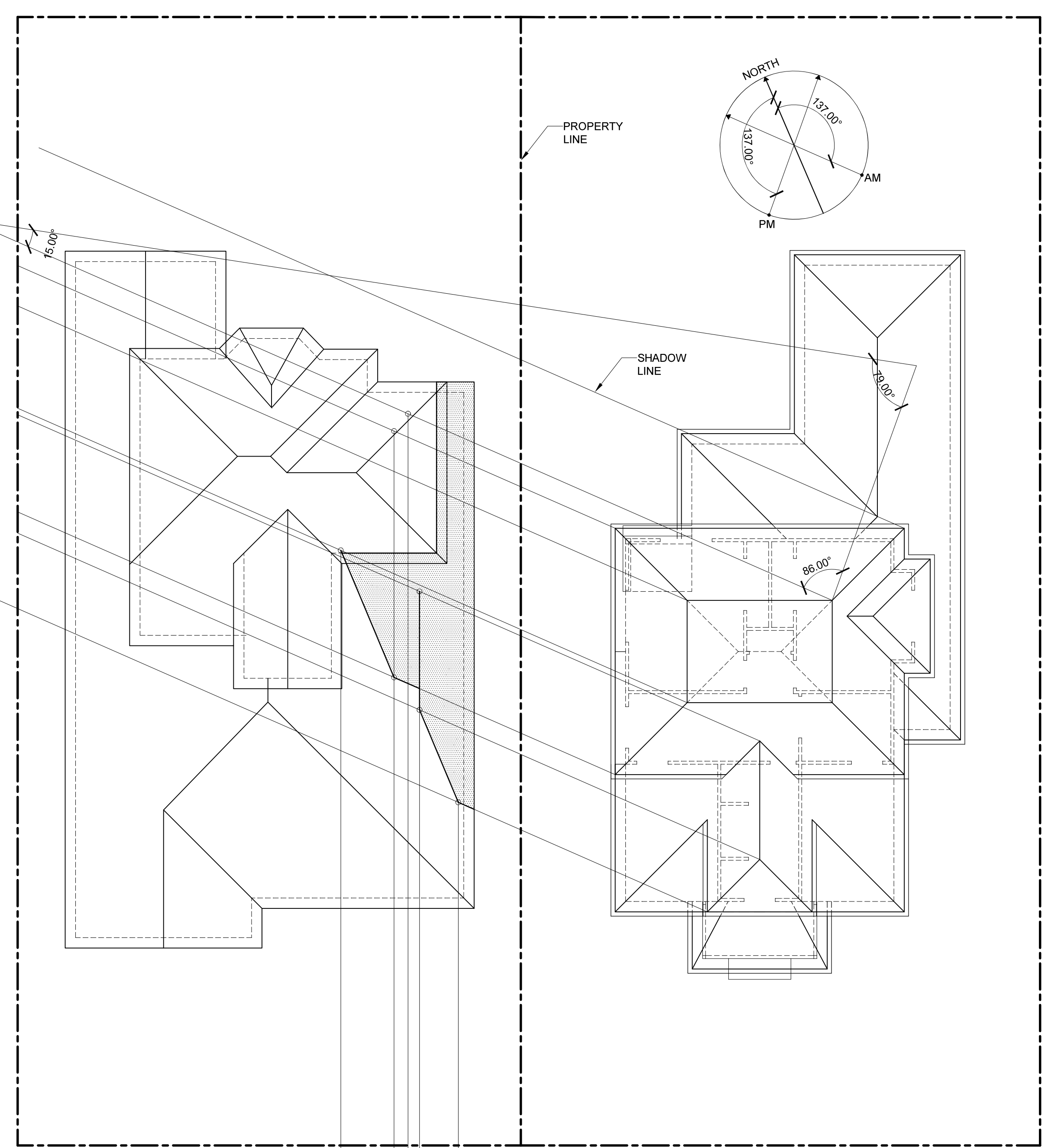
A - 1B



TOTAL ROOF AREA = 2324.8 SQ. FT.
SHADOW AREA = 0.0 SQ. FT.

PM SOLAR ANALYSIS

1/8" = 1'-0"



TOTAL ROOF AREA = 2324.8 SQ. FT.
SHADOW AREA = 230.0 SQ. FT. (9.89%)

AM SOLAR ANALYSIS

1/8" = 1'-0"

SOLAR ACCESS AND SHADOW ANALYSIS

GENERAL NOTES

- | | | |
|------|---------------------------|--|
| I | EGRESS | ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310.0 & 311 CRC 2013.
- MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
- MIN. NET CLEAR OPENABLE WIDTH = 20"
- MIN. NET CLEAR OPENABLE HEIGHT = 24" |
| II | GARAGE COMMON WALL | GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. ½" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. 3302.586. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1½" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING |
| III | STAIRWAYS | DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2013. USABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6"-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE AND FINISH PER OWNER SPECIFICATIONS. |
| IV | GUARDRAILS | DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2013. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 34"-38" HIGH. ALL GUARDRAILS SHALL BE 42" TALL MINIMUM WITH LESS THAN 4" PASS THROUGH. |
| V | STAIR & HANDRAILS | DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.8.3 CRC 2013. STYLE AND FINISH PER OWNER SPECIFICATIONS |
| VI | FIREPLACE | DESIGN SHALL CONFORM TO CH. 10 CRC 2013, WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2013 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS |
| VII | TEMPERED GLASS | PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013 |
| VIII | FIRE BLOCKS | PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2013 |
| IX | WATER CLOSETS | PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2013 CPC) |
| X | SHOWERS | ALL SHOWERS SHALL CONFORM TO SECTION R307 2013 CRC |
| XI | WATER CONSERVING FIXTURES | ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402.2 2013 CPC) SHALL CONFORM TO SEC. 402.2 2013 CPC |
| XII | FIRE-BLOCK | PROVIDE FIRE BLOCKING AT LOCATIONS AS REQUIRED BY R302.11 CRC |

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

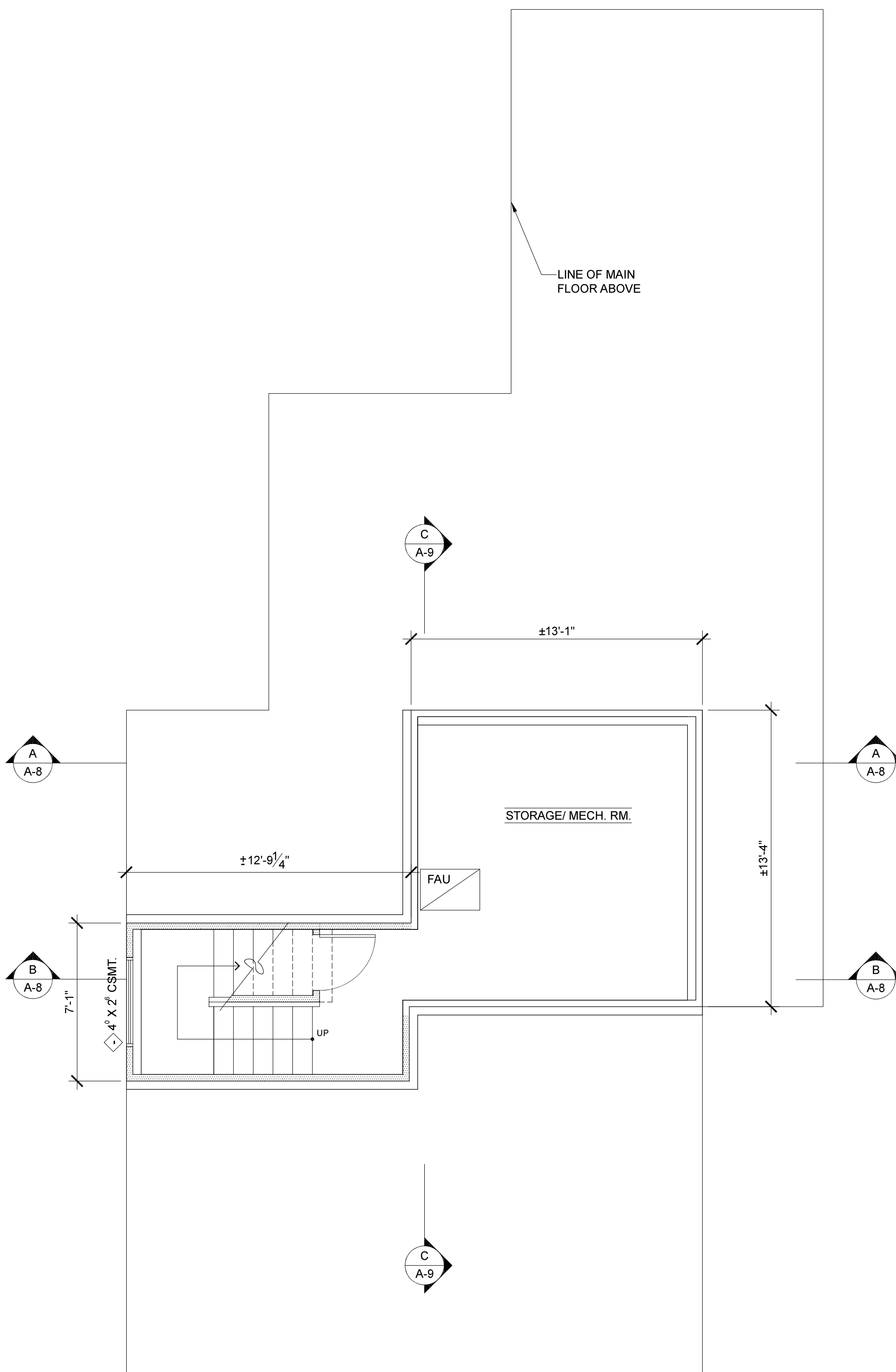
ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	REMARKS

LEGEND

- # WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- # DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- (E) (E) WALLS TO REMAIN
- (E) (E) NEW WALLS
- (E) (E) EXISTING
- (N) NEW
- (R) RELOCATED

PROPOSED LOWER FLOOR PLAN

1/4" = 1'-0"



PROPOSED MAIN FLOOR PLAN

1/4" = 1'-0"

