

# 675 ALMANOR OFFICE + PARKING STRUCTURE

CHANG  
ARCHITECTURE

Architecture   Planning   Interiors

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ADDRESS: 675 ALMANOR. SUNNYVALE, CA

Formal Application Submittal

CLIENT: DOLLINGER PROPERTIES

1/20/17

ABBREVIATIONS

AFF.	ABOVE FINISH FLOOR	JAN.	JANITOR
AC	AIR CONDITIONING	JT.	JOINT
ALUM.	ALUMINUM	LAM.	LAMINATE
&	AND	LTG.	LIGHTING
APPROX.	APPROXIMATE		
@	AT	MACH.	MACHINE
		MFGR	MANUFACTURER
BOTT.	BOTTOM	MAX.	MAXIMUM
BD.	BOARD	MECH.	MECHANICAL
BLDG.	BUILDING	MTL.	METAL
		MIN.	MINIMUM
CAB.	CABINET		
CEM.	CEMENT	NOM.	NOMINAL
CLG.	CEILING	NIC.	NOT INCLUDED
CLR.	CLEAR		
COL.	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	OPP.	OPPOSITE
CTR.	COUNTER		
CMU	CONCRETE MASONRY UNIT	PT.	PAINT/POINT
CONST.	CONSTRUCTION	PLAS.	PLASTIC
CONT.	CONTINUOUS	PL.	PLATE
CONTR.	CONTRACTOR	PLYWD	PLYWOOD
DEMO	DEMOLITION	POL.	POLISHED
DIA.	DIAMETER		
DN	DOWN	QTY.	QUANTITY
DWG.	DRAWING		
		RAD.	RADIUS
EA.	EACH	REINF.	REINFORCED
ELEC.	ELECTRICAL	REQ'D	REQUIRED
EQUIP.	EQUIPMENT	RM	ROOM
(E)	EXISTING	RO.	ROUGH OPENING
EXT.	EXTERIOR		
		SCHED.	SCHEDULE
FIN.	FINISH	SS/ST.	STAINLESS STEEL
FF.	FINISH FLOOR	SHT.	SHEET
FR.	FIRE RESISTIVE	SIM.	SIMILAR
FIXT.	FIXTURE	SC.	SOLID CORE
FLR.	FLOOR	SPEC.	SPECIFICATION
FURN.	FURNISH	STL.	STEEL
		STO.	STORAGE
GALV.	GALVANIZED	STRUCT.	STRUCTURAL
GA.	GAUGE	SUSP.	SUSPENDED
GC.	GENERAL CONTRACTOR		
GYP.	GYPSPUM	TEMP.	TEMPORARY
GYP. BD.	GYPSPUM BOARD	TF&P	TAPE FLOAT & PAINT
		TYP.	TYPICAL
HVAC	HEATING, VENTILATING & AC		
HT.	HEIGHT	U.O.N.	UNLESS OTHERWISE NOTED
HC.	HOLLOW CORE		
HR.	HOUR	VAR.	VARIES
INCL.	INCLUDING	WR.	WATER RESISTANT
INT.	INTERIOR	WD.	WOOD

PROJECT DESCRIPTION + SUMMARY

DESCRIPTION: THIS PROPOSAL INCLUDES THE REDEVELOPMENT OF AN EXISTING SITE INCLUDING A 2-STORY OFFICE BUILDING AND SURFACE PARKING. THE SITE IS 3.52 ACRES LOCATED IN THE PERRY PARK DISTRICT AND ADJACENT TO HWY 101. THERE IS A HETCH-HETCHY PROPERTY RUNNING DIAGONALLY THROUGH THE SITE THAT WILL NOT BE MODIFIED OTHER THAN NECESSARY UTILITIES INTEGRATING THE NORTH AND SOUTH PARCELS TOGETHER. THE PROPOSED PROJECT INCLUDES REPLACEMENT OF THE EXISTING BUILDING WITH A NEW 4-STORY CLASS "A" OFFICE BUILDING THAT FRONTS ALMANOR LOCATED ON THE SOUTHEAST END OF THE PROPERTY IN THE SAME LOCATION AS EXISTING. PARKING WILL BE ACCOMMODATED WITH SURFACE PARKING AND A 5-STORY PARKING GARAGE (1-STORY UNDERGROUND) LOCATED ON THE NORTHWEST CORNER, AWAY FROM ALMANOR. THE OFFICE WILL BE A STEEL FRAMED STRUCTURE CLAD WITH GFRC PANELS, GLASS CURTAIN WALL, SIMULATED WOOD PANELLING + STONE PANELS.

BUILDING STATISTICS

OFFICE BUILDING

PROPOSED OCCUPANCY:	B - OFFICE	
CONSTRUCTION TYPE:	TYPE II-B	(FULLY-SPRINKLERED)
PROPOSED AREA	150,651 SF	
TOTAL BUILDING FLOORS:	4 FLOORS	
MAX. HEIGHT	75'-0"	

GARAGE STRUCTURE

OCCUPANCY GROUP:	S2	
CONSTRUCTION TYPE:	TYPE I-A	(FULLY-SPRINKLERED)
TOTAL BUILDING FLOORS:	5 LEVELS (1-UNDERGROUND)	
STALL COUNT	346 STALLS	
MAX. HEIGHT	51'-2"	

CONSTRUCTION NOTES:

PILE DRIVING WILL NOT OCCUR FOR THE CONSTRUCTION OF THIS BUILDING.

—THE CITY AND COUNTY OF SAN FRANCISCO ACTING BY AND THROUGH ITS PUBLIC UTILITIES COMMISSION, WATER SUPPLY AND TREATMENT DIVISION ("SFPUC") OWNS AND OPERATES TWO WATER AQUEDUCTS THAT CROSS THE PROJECT ALIGNMENT. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICES ALERT (USA) 48 HOURS BEFORE ANY CONSTRUCTION IN THE VICINITY OF THE SFPUC AQUEDUCTS. IN ADDITION, THE CONTRACTOR SHALL NOTIFY THE SFPUC CONSTRUCTION INSPECTOR, MR. ALBERT HAO, AT (650) 871-3015, AT ROW. IN THE EVENT OF EMERGENCY INVOLVING SFPUC FACILITIES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY SFPUC BY CALLING SFPUC MILLBRAE DISPATCH AT 650-872-5900

—NO MECHANICAL EXCAVATION IS ALLOWED WITHIN 24 INCHES OF SFPUC PIPELINES. DIGGING WITHIN 24 INCHES OF PIPELINE MUST BE DONE WITH HAND TOOL. NO VIBRATORY COMPACTION EQUIPMENT SHALL BE USED WITHOUT PRIOR WRITTEN APPROVAL OF THE SFPUC

—CONTRACTOR SHALL OBTAIN CONCENT FROM THE SFPUC TO POTHOLE SFPUC PIPELINE TO DETERMINE THE PIPE DEPTH PRIOR TO ANY EXCAVATION. THE POTHOLES SHALL BE CARRIED OUT BY SOIL VACUUM EXTRACTION METHOD.

—MAXIMUM EXTERNAL LOADING OVER SFPUC PIPELINE IS AASHTO H-10 LOADING WITH A MINIMUM OF 3 FEET SOIL COVER (OR H-20 WITH A MINIMUM OF 4 FEET SOIL COVER) IF LOADING CONDITION EXCEEDS ABOVE, ENGINEERING CALCULATIONS AS SHOWN IN AWWA, M9 MUST BE SUBMITTED TO THE SFPUC TO SHOW THAT PROPOSED CONDITION WOULD IMPOSE A LOAD OF LESS THAN 500PSF ONTO THE PIPELINE.

SHEET INDEX

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- T2 EXISTING SURVEY
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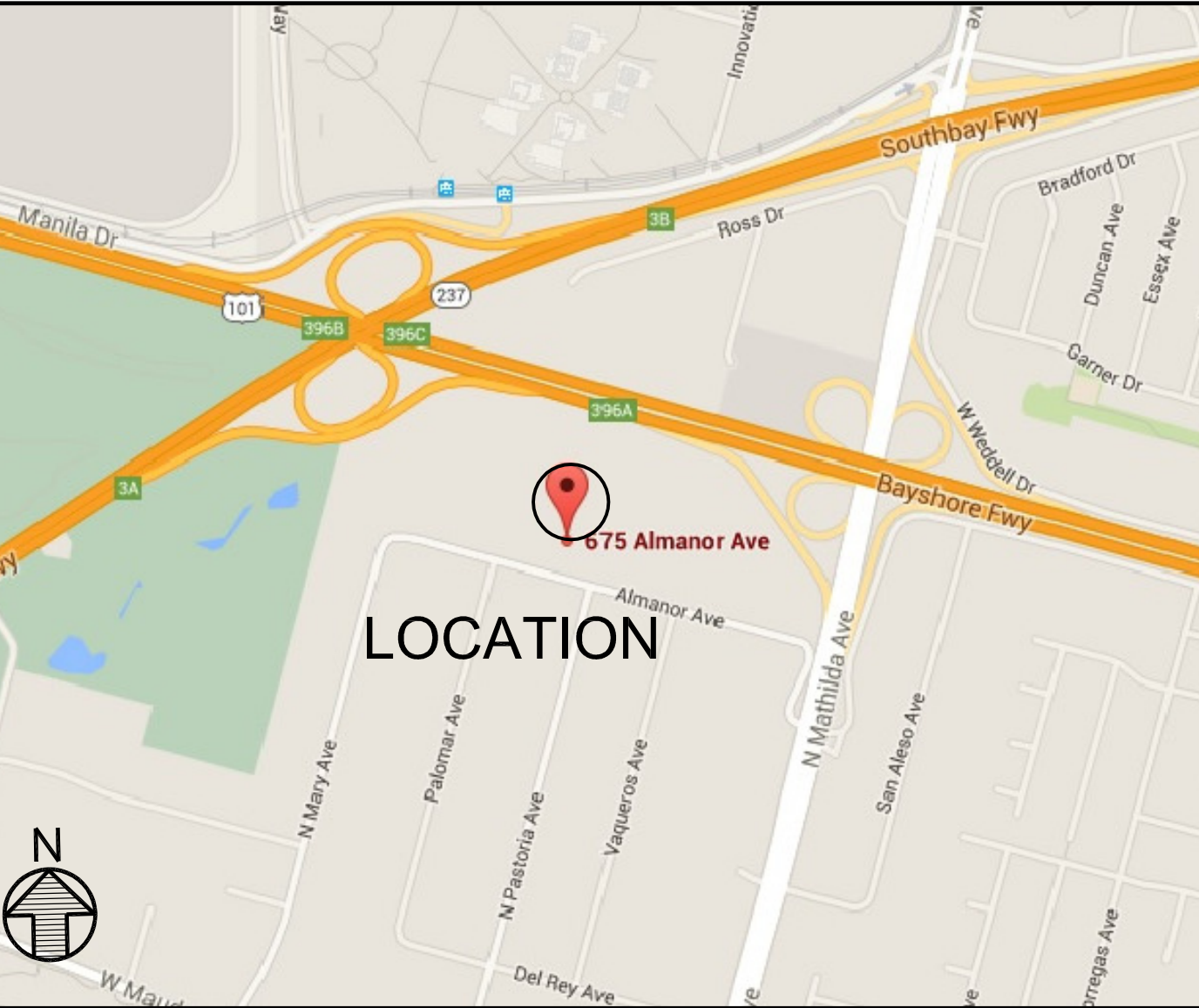
LANDSCAPE

- L1.0 LANDSCAPE PLANTING PLAN
- L1.1 LANDSCAPE PLANTING PLAN
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- C-01 PARTIAL SITE DEMOLITION PLAN
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- C-14 STORMWATER NOTES AND DETAILS
- C-21 PARTIAL UNDERGROUND PIPING PLAN
- C-22 PARTIAL UNDERGROUND PIPING PLAN

LOCATION MAP



675 Almanor  
Sunnyvale, CA

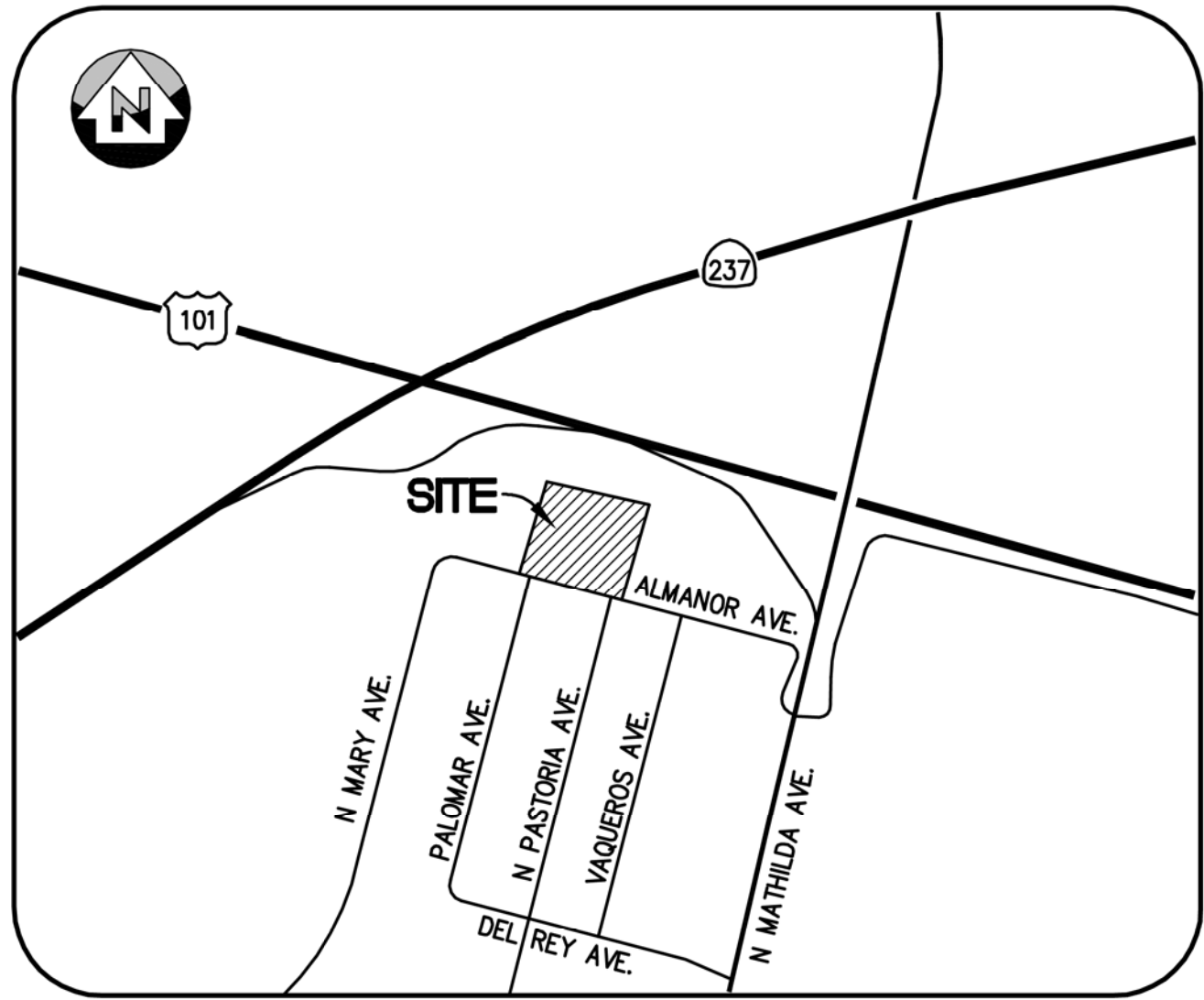
Drawing Title: COVER

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date
Date:	10/14/15		ALT. SCHEMES	10/31/14	CLC		DEPT COMMENT RESPONSE	3/1/16
Scale:	AS NOTED		BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16
			PRE-APP	7/14/15	CLC		PLANNING RESUBMITTAL	9/19/16
			REV. SITE	9/1/15	CLC		SFPUC RESUBMITTAL	10/12/16
Drawn By:			PRE-APP RESUBMITTAL	10/14/15	CLC, BR		PLANNING RESUBMITTAL	11/17/16
			FORMAL PLANNING SUBMITTAL	12/15/15	CLC, BR		PLANNING RESUBMITTAL	1/20/17

Sheet: C



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VICINITY MAP  
N.T.S.

ABBREVIATIONS

- BFP - BACKFLOW PREVENTOR
- BLDC - BUILDING CORNER
- BLDL - BUILDING LINE
- BM - BENCHMARK
- BOLL - BOLLARD
- BOW - BOTTOM OF WALL
- BW - BACK OF WALK
- CHKSH - SURVEY CHECK SHOT
- CLF - CHAIN LINK FENCE
- CNPT - SURVEY CONTROL POINT
- COM-PB - COMMUNICATIONS PULLBOX
- CONC - CONCRETE
- DI - DRAIN INLET
- EP - EDGE OF PAVEMENT
- EPB - ELECTRICAL PULLBOX
- FGDOOR - FINISHED GRADE AT DOOR
- FH - FIRE HYDRANT
- FL - FLOW LINE
- FND IP - FOUND IRON PIPE
- FND MON - FOUND SURVEY MONUMENT
- FND CNPT - FOUND SURVEY CONTROL POINT
- G - GROUND
- GM - GAS METER
- GRATE - DRAIN INLET GRATE
- HCR - ACCESSIBLE RAMP
- JB - JUNCTION BOX
- LIP - LIP OF GUTTER
- MISC-MH - MISCELLANEOUS MANHOLE
- MISC-PB - MISCELLANEOUS PULLBOX
- MISC-VLT - MISCELLANEOUS VAULT
- MON WELL - MONITORING WELL
- MOW - CONCRETE MOW BAND
- P - PAVEMENT ELEVATION
- PED - ELECTRIC PEDESTAL
- RAIL - HANDRAIL / GUARDRAIL
- SDMH - STORM DRAIN MANHOLE
- SSCO - SANITARY SEWER CLEANOUT
- SSMH - SANITARY SEWER MANHOLE
- STL-D - DOUBLE-ARM STREET LIGHT
- STL - SINGLE-ARM STREET LIGHT
- STPB - STREET LIGHT PULLBOX
- SW - SIDEWALK
- TC - TOP OF CURB
- TC@CB - TOP OF CURB AT CATCH BASIN
- TOW - TOP OF WALL
- TRANS - TRANSFORMER
- TS - TOP OF STAIR
- TWP - SURVEY TEMPORARY WORK POINT
- WF - WOOD FENCE
- WM - WATER METER
- WPB - WATER VAULT
- WV - WATER VALVE

LEGEND

ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EASEMENT LINE
- CENTER LINE
- TIE LINE
- BUILDING FACE
- EDGE OF PAVEMENT
- BUILDING OVERHANG
- CURB LINE
- SANITARY SEWER
- STORM DRAIN
- COMMUNICATIONS LINE
- WATER LINE
- UNDERGROUND ELECTRIC LINE
- FENCE
- CONTOURS
- NATURAL GAS LINE
- FOUND STANDARD CITY MONUMENT
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- AREA DRAIN
- ELECTRIC UTILITY BOX
- TELEPHONE PULL BOX
- CABLE TELEVISION BOX
- POWER POLE
- WATER VALVE
- GAS VALVE
- WATER METER
- ELECTROLIER
- ELECTRIC VALVE
- SIGN
- GUY WIRE
- FIRE HYDRANT
- SPOT ELEVATION
- TREE WITH DRIPLINE, TYPE AND DIAMETER AS INDICATED

BOUNDARY NOTES

- TITLE REPORT USED FOR THIS BOUNDARY SURVEY IS PREPARED BY CHICAGO TITLE COMPANY DATED JULY 13, 2015, TITLE NO. FWPS-2982150492MO.
- EXCEPTION #7 PER TITLE REPORT INDICATES THERE IS AN EASEMENT FOR INGRESS AND EGRESS FOR THE PURPOSE OF MAINTENANCE OF GRANTEE'S EXISTING STORM DRAIN FACILITIES, DESCRIBED AS "ALL THAT PORTION OF SAID PARCEL 'A' LYING SOUTHEASTERLY OF THE SOUTHEASTERLY LINE OF THAT CERTAIN 80-FOOT WIDE STRIP OF LAND DESCRIBED IN THE DEED RECORDED IN BOOK 2259 OF OFFICIAL RECORDS AT PAGE 187 AND AS SHOWN ON SAID MAP." (NOT PLOTTED ON THIS DRAWING)
- REFERENCE MAPS USED INCLUDE 242 M 45, ASSESSORS MAP, AND WWW.DATATREE.COM

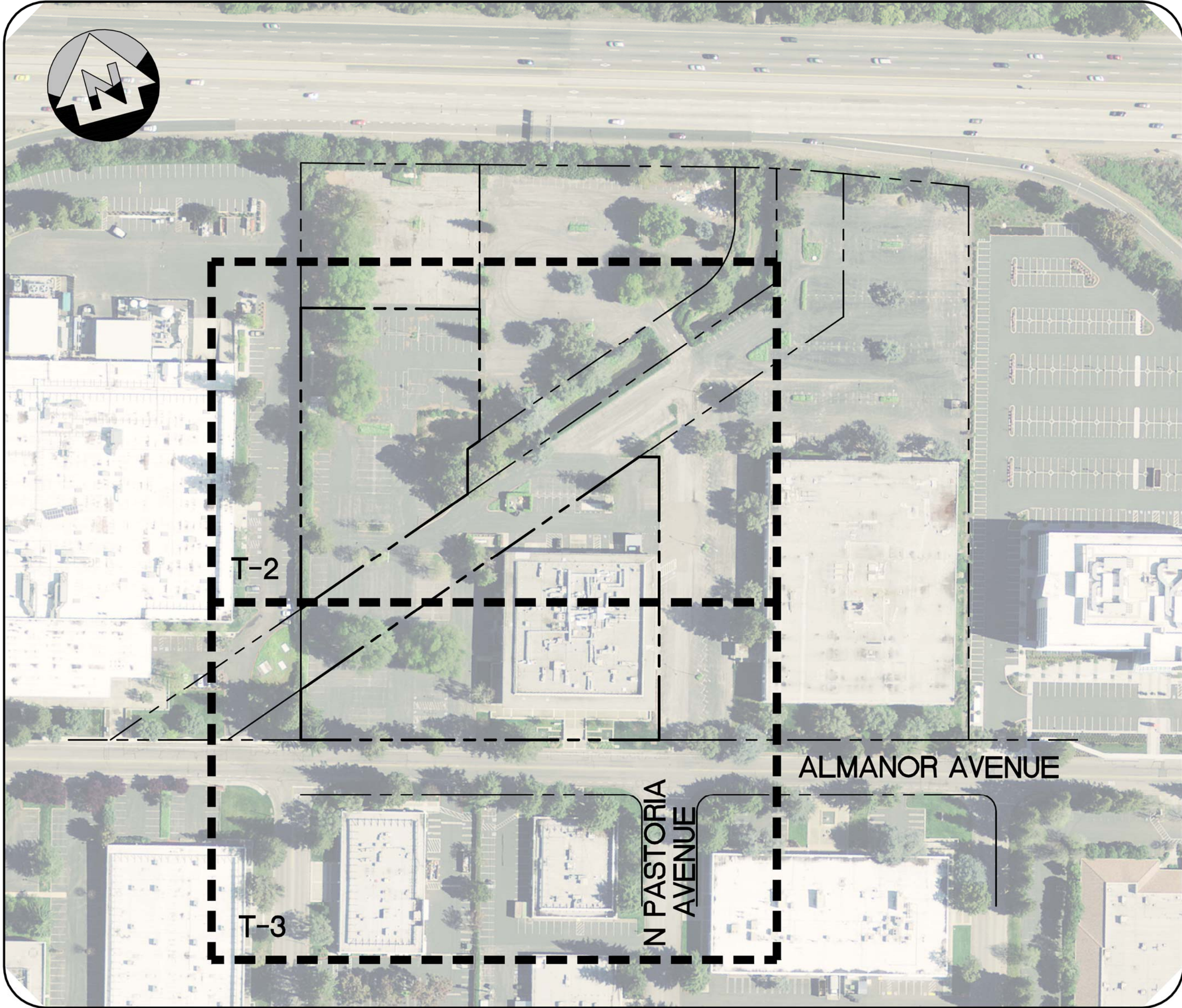
BASIS OF BEARINGS

THE BEARING OF NORTH 75°08'00" WEST OF THE CENTERLINE OF ALMANOR AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED IN BOOK 242 OF MAPS AT PAGE 45, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BENCHMARK

THE ELEVATION REFERENCE FOR THIS SURVEY IS A CITY OF SUNNYVALE BENCHMARK, BM #64, DESCRIBED AS BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE SOUTHWEST CURB RETURN, INTERSECTION OF MATHILDA AVENUE AND ALMANOR AVENUE

ELEV=36.753 FEET (NAVD 88)



KEY MAP  
N.T.S.

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- T-1 COVER SHEET
- T-2 BOUNDARY & TOPOGRAPHIC SURVEY
- T-3 BOUNDARY & TOPOGRAPHIC SURVEY



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SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE:	7/28/2015
SCALE:	7/28/2015
DRAWN BY:	SEC
APPROVED BY:	HP
DRAWING NO.:	615066

No.	REVISION	DATE	BY
1	ADDED CONTOURS	9/11/15	JMS
2	REVISED SHEET SIZE	2/29/16	JMS

675 ALMANOR AVENUE

SUNNYVALE

CALIFORNIA

COVER SHEET

SHEET

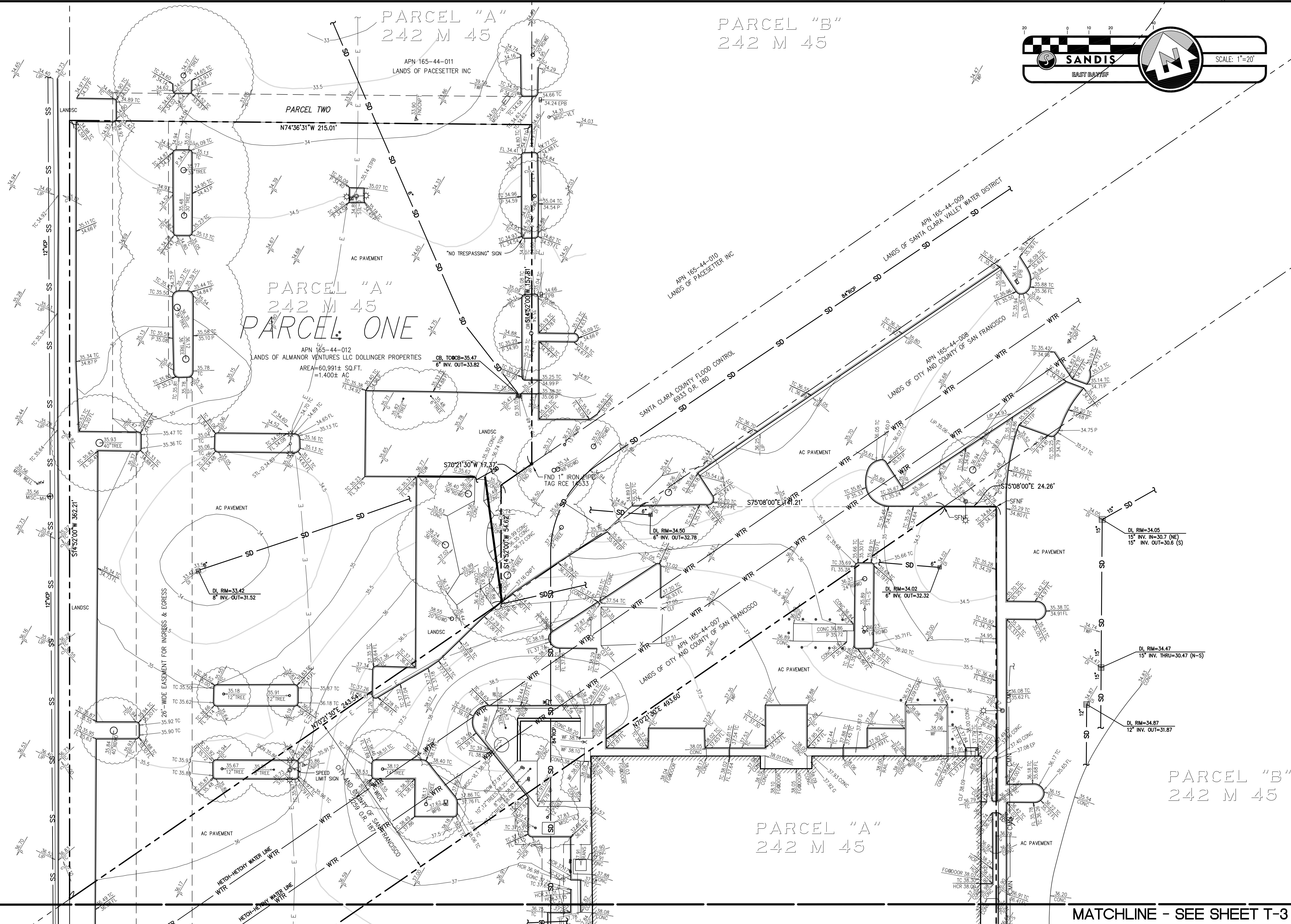
T-1

OF 3 SHEETS



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APN 165-44-004  
LANDS OF IRVINE COMPANY TAX DEPARTMENT



MATCHLINE - SEE SHEET T-3



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SILICON VALLEY TRI-VALLEY CENTRAL VALLEY EAST BAY/SF

DATE: 7/28/2015  
SCALE: 1"=20'  
DRAWN BY: SEC  
APPROVED BY: HP  
DRAWING NO.: 615066

No.	REVISION	DATE	BY
1	ADDED CONTOURS	9/11/15	JMS
2	REVISED SHEET SIZE	2/29/16	JMS

675 ALMANOR AVENUE

SUNNYVALE

CALIFORNIA

BOUNDARY + TOPOGRAPHIC SURVEY

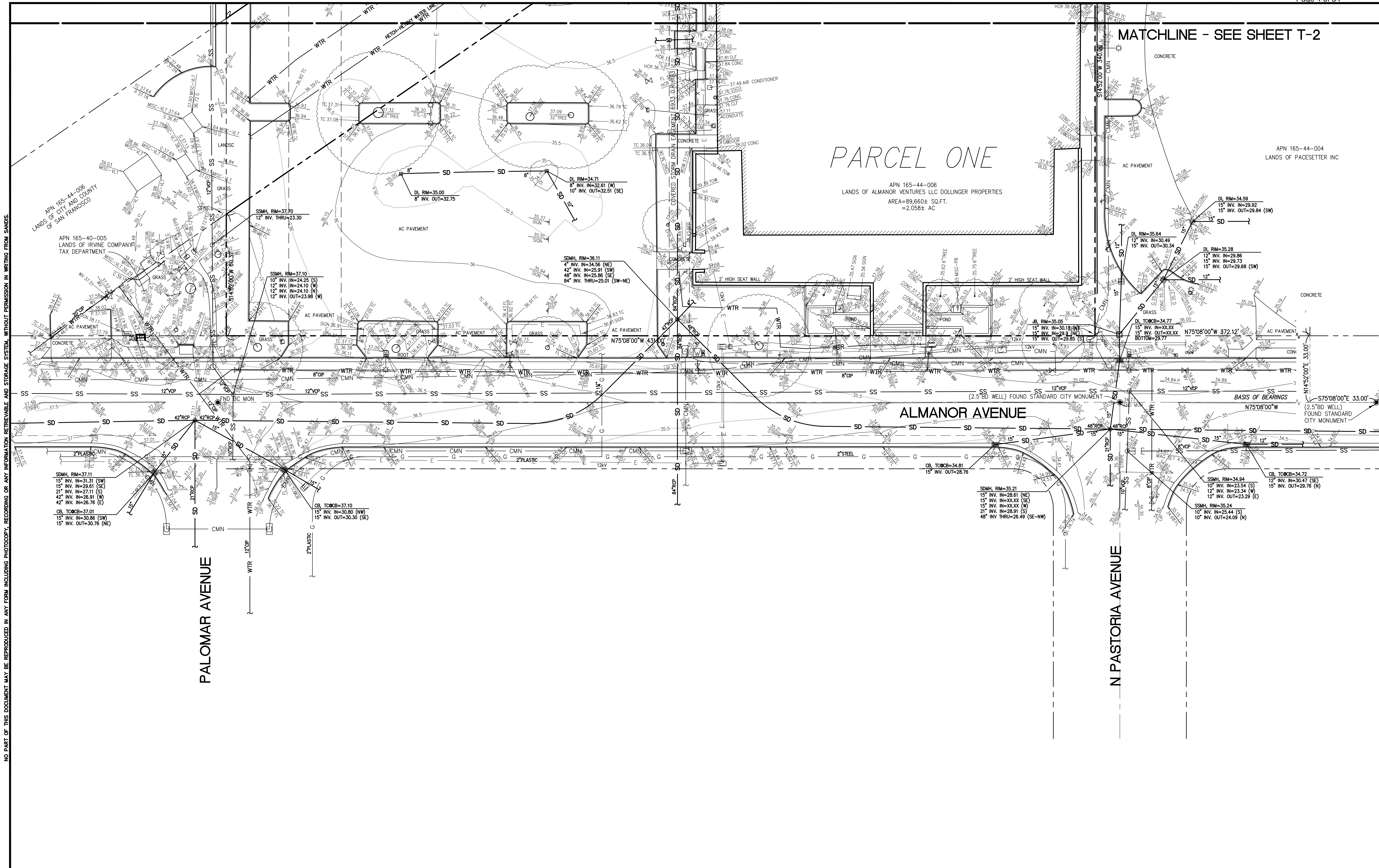
SHEET

T-2

OF 3 SHEETS



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675 ALMANOR AVENUE

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BOUNDARY + TOPOGRAPHIC SURVEY

SHEET

T-3

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**SURVEY NOTES**

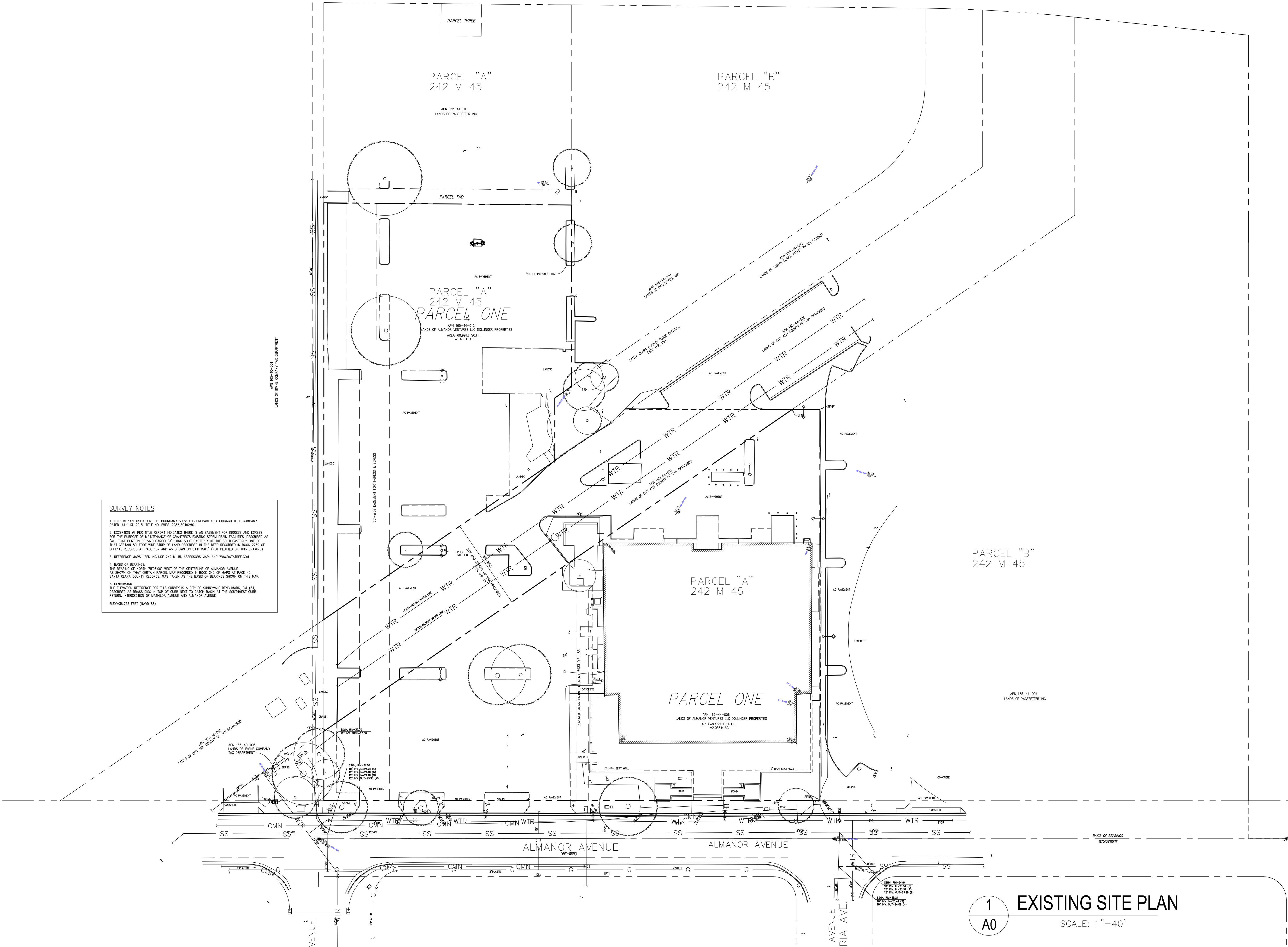
1. TITLE REPORT USED FOR THIS BOUNDARY SURVEY IS PREPARED BY CHICAGO TITLE COMPANY DATED JULY 13, 2015, TITLE NO. FWFS-28623549260.

2. EXCEPTION #1 FOR TITLE REPORT INDICATES THERE IS AN EASEMENT FOR INGRESS AND EGRESS FOR THE PURPOSES OF MAINTENANCE OF GRANTEES EXISTING STORM DRAIN FACILITIES, DESCRIBED AS "ALL THAT PORTION OF SAID PARCEL 'A' LING SOUTHEASTLY OF THE SOUTHEASTLY LINE OF THAT CERTAIN 80-FOOT WIDE STRIP OF LAND DESCRIBED IN THE 1925 RECORDS IN BOOK 2258 OF OFFICIAL RECORDS AT PAGE 187 AND AS SHOWN ON SAID MAP" (NOT PLOTTED ON THIS DRAWING).

3. REFERENCE MAPS USED INCLUDE 242 M 45, ASSESSORS MAP, AND WWW.DATATREE.COM.

4. BASE OF BEARINGS: THE BEARING OF NORTH TOWER WEST OF THE CENTERLINE OF ALMANOR AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED IN BOOK 242 OF MAPS AT PAGE 45, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

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675 Almanor  
Sunnyvale, CA

Drawing Title:

## EXISTING SITE PLAN

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date
Date:	10/14/15		ALT. SCHEMES	10/31/14	CLC		DEPT COMMENT RESPONSE	3/1/16
Scale:	AS NOTED		BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16
Drawn By:			PRE-APP	7/14/15	CLC		PLANNING RESUBMITTAL	9/19/16
			REV. SITE	9/1/15	CLC			
			PRE-APP RESUBMITTAL	10/14/15	CLC, BR			
			FORMAL PLANNING SUBMITTAL	12/15/15	CLC, BR			

Sheet:

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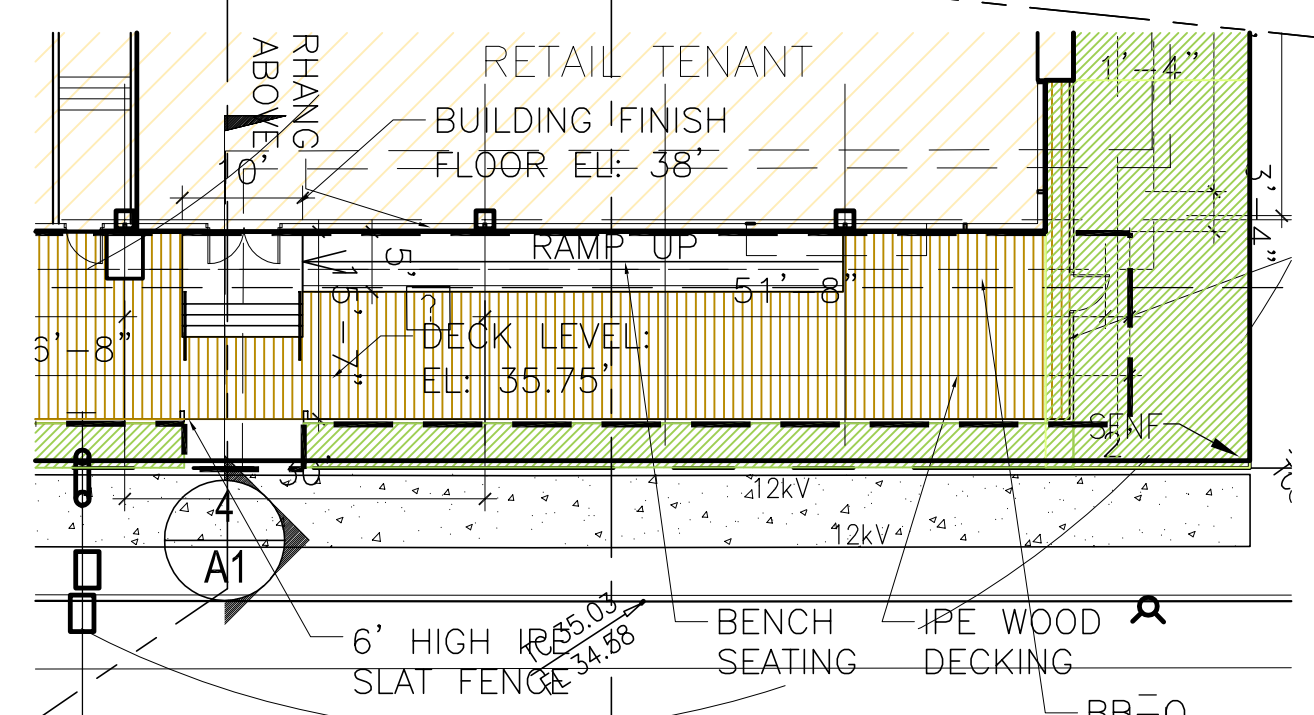
Tel: 650.340.9415  
Fax: 650.340.9461  
Web: www.changarchitecture.com

## HIGHWAY 101

FOUNDATION NOTE:  
PILE DRIVING WILL NOT BE ALLOWED. PILES,  
IF REQUIRED WILL BE DRILLED AND THEN  
CAST-IN-PLACE.

150,651 GSF

- EXISTING ACCESSIBILITY NOTES:
- EXISTING WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL:
- ARE CONTINUOUSLY ACCESSIBLE
  - HAVE MAXIMUM  $\frac{1}{2}$ " CHANGES IN ELEVATION, OR PROVIDE CURB RAMPS COMPLYING WITH CBC 1127B.5.
  - ARE MINIMUM 48" IN WIDTH.
  - WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% (1:20) SHALL HAVE PEDESTRIAN RAMPS COMPLYING WITH CBC 11B-405
  - MAX.  $\frac{1}{2}$ " THRESHOLD AT MAIN ENTRY



### 3 ENLARGED AMENITY SPACE

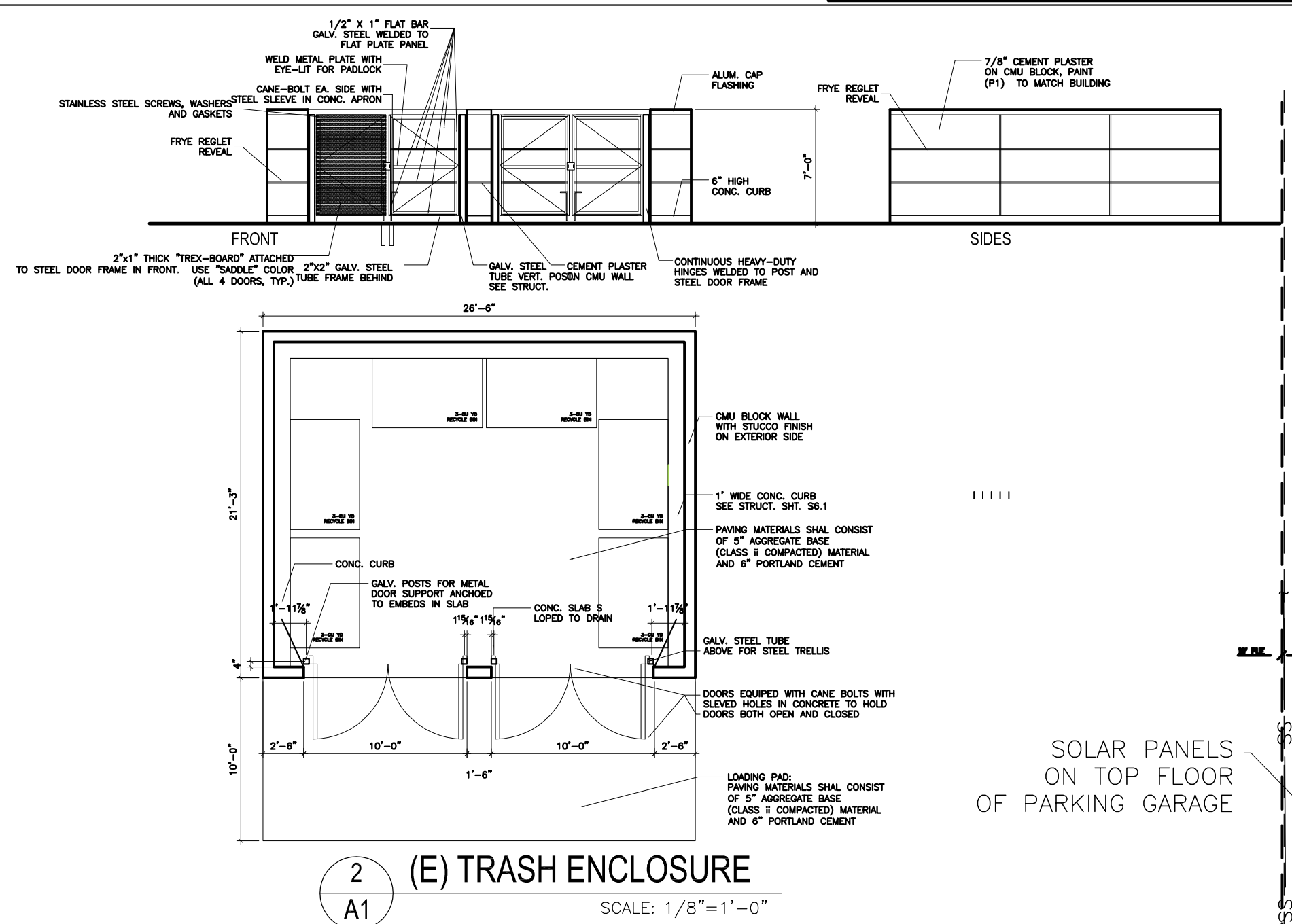
SCALE: 1/16"=1'-0"

ZONING	
ZONE	PERRY PARK SPECIFIC AREA PLAN - INNOVATION EDGE WITH ACTIVITY CENTER OVERLAY
FAR	35% MAX (anticipated 100%)
HEIGHT LIMIT	88' (6-STORIES)
SETBACKS REQUIRED:	
FRONT YARD	15' MIN. 35' MAX.
REAR YARD	10'
SIDE YARD	10'

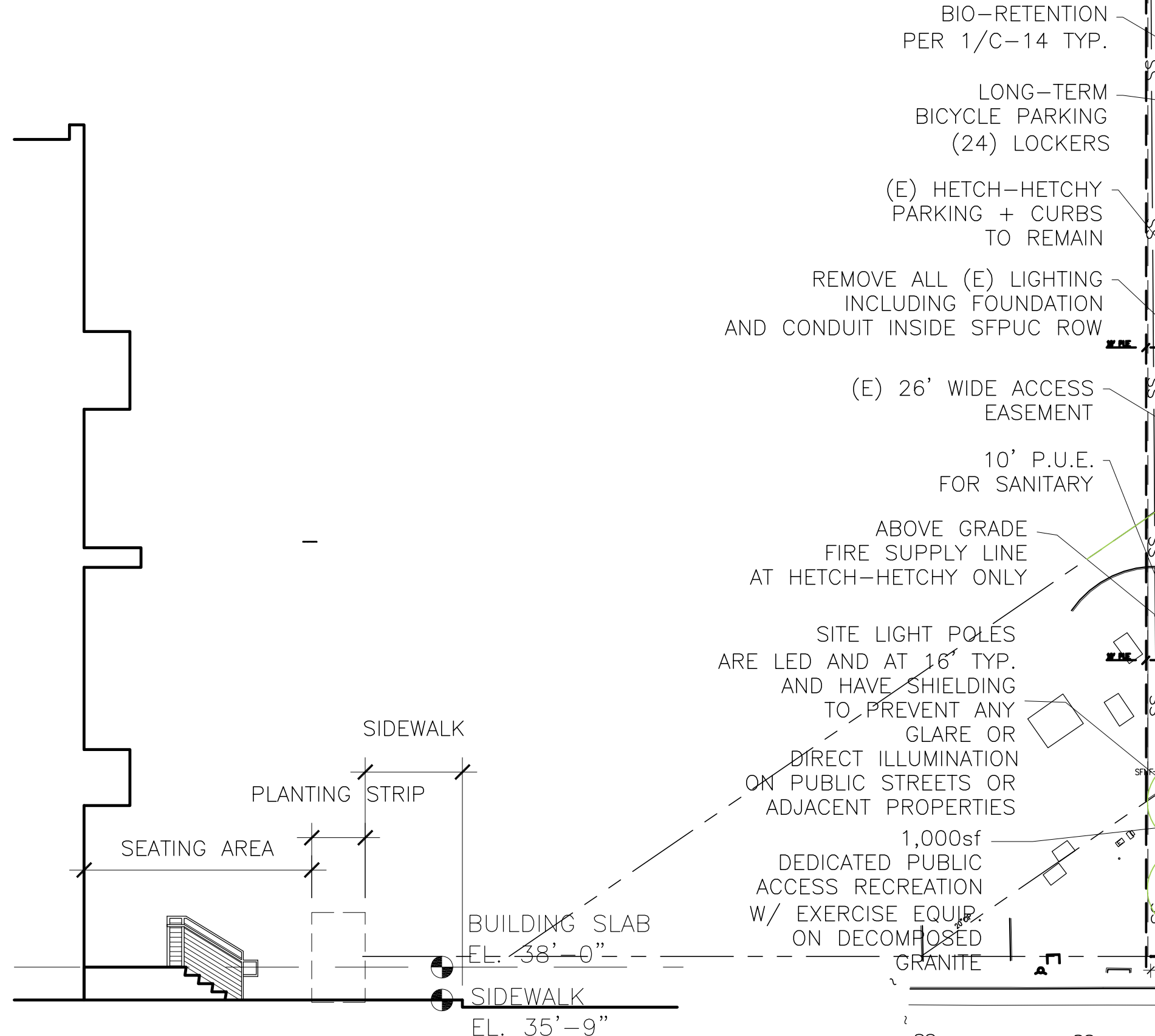
STATISTICS	
SITE AREA:	
SOUTH PARCEL #1	89,660 SF (2.05831 ACRES)
NORTH PARCEL #1	60,991 SF (1.40016 ACRES)
TOTAL SITE AREA	150,651 SF (3.46 ACRES) (EXCLUDES HETCH-HETCHY)
SITE AREA: INCLUDING H.H. TAKEN TO CL OF STREET	
SOUTH PARCEL #1	103,984 SF (2.38507 ACRES)
NORTH PARCEL #1	60,991 SF (1.40016 ACRES)
HETCH HETCHY	32,632 SF (0.74912 ACRES)
TOTAL SITE AREA	197,607 SF (4.5364 ACRES)
BUILDING AREA:	150,651 SF
FAR:	100% OFFICE + GARAGE=TOTAL
COVERAGE:	38,961 + 25,389=64,350 64,350 / 150,651= 42.7%
PARKING: HETCH-HETCHY INCLUDED	
ON-GRADE:	177 STALLS
GARAGE:	346 STALLS (5 LEVELS)
	523 STALLS (3.45/1000)
PARKING: HETCH-HETCHY EXCLUDED	
ON-GRADE:	109 STALLS
GARAGE:	346 STALLS (5 LEVELS)
	455 STALLS (3/1000)
ACCESSIBLE:	11 STALLS (2% TOTAL)
CAR SHARE:	28 STALLS (5% TOTAL)
ELECTRIC CAR:	17 STALLS (3% TOTAL)
BIKES:	24 BIKES (.75 X 32)
	8 BIKES (.25 X 32)
	32 BIKES (5% TOTAL)
LANDSCAPE AREA:	33,263 SF 33,263 SF/150,651 SF (22.07% TOTAL 20% MIN. REQ.) (EXCLUDES HETCH-HETCHY)

1st: 36,315 GSF  
2nd: 38,112 GSF  
3rd: 38,112 GSF  
4th: 38,112 GSF

150,651 GSF



TRASH ENCLOSURE		
BUILDING SQUARE FOOTAGE: OFFICE	150,651	SF
PROJECTED WASTE BY VOLUME PER SF	.0003	CYD/SF
PROJECTED WEEKLY VOLUME	45.195	CYD
3 SERVICE DAYS / WEEK	15.065	CYD/DAY
CONTAINERS PER PICKUP DAY (3CYD PER)	6	CYD/DAY



### 4 PATIO SECTION

SCALE: 1/16"=1'-0"

### 1 SITE PLAN

SCALE: 1"=40'

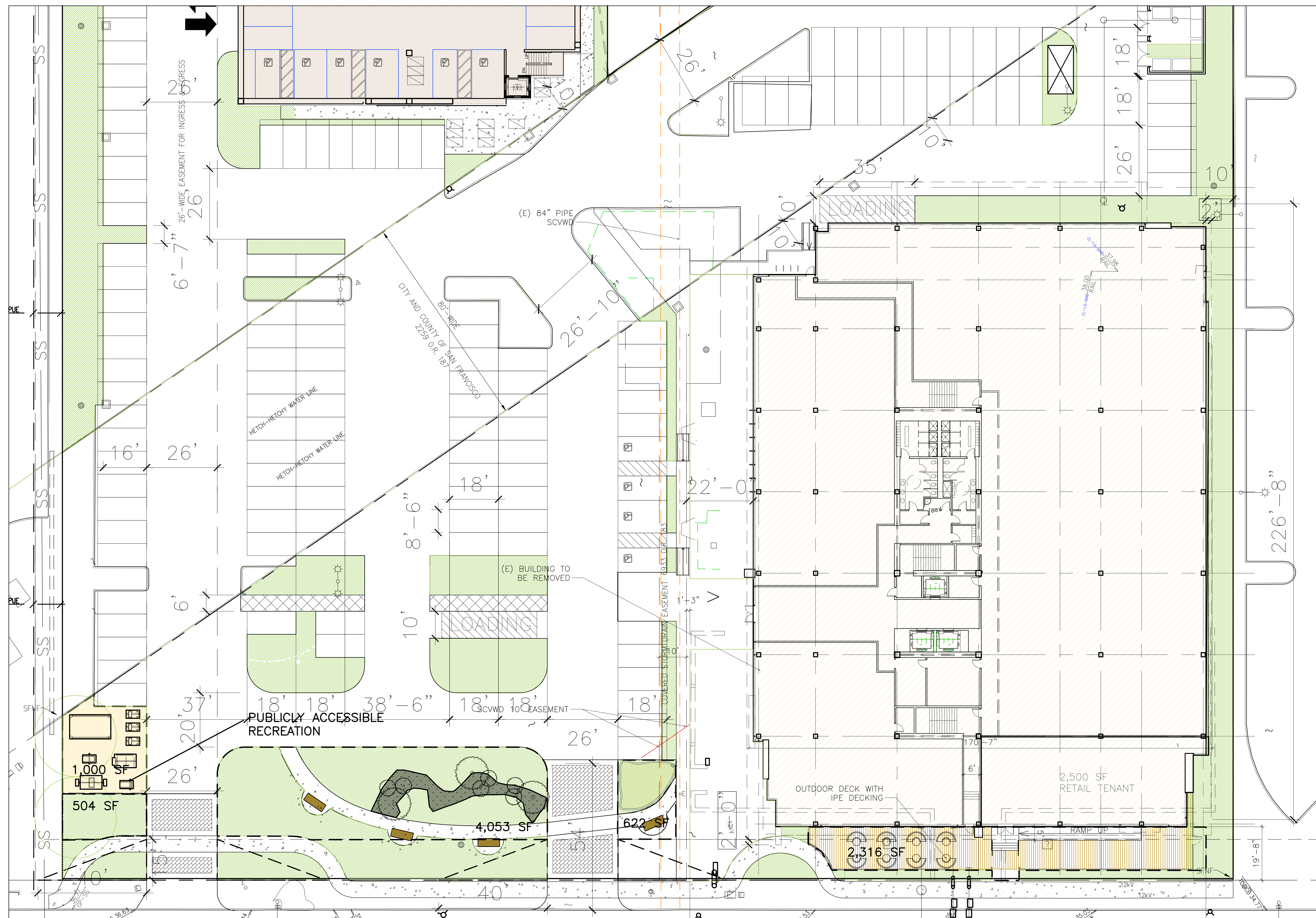
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## SITE PLAN

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date	Sheet:
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			REV. SITE	9/1/15	CLC		SFPUC RESUBMITTAL	10/12/16	
			PRE-APP RESUBMITTAL	10/14/15	CLC, BR		PLANNING RESUBMITTAL	11/17/16	
			FORMAL PLANNING SUBMITTAL	12/15/15	CLC, BR		PLANNING RESUBMITTAL	1/20/17	

A1





# ENLARGED SITE PLAN (SCALE 1/16"=1'-0")

Job #	2014-500	Rev.	Descrip.	Date	By	Rev.	Descrip.	Date
Date:	10/14/15		ALT SCHEMES	10/31/14	CLC		DEPT COMMENT RESPONSE	3/1/16
			BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16
Scale:	AS NOTED		PRE-APP	7/14/15	CLC		PLANNING RESUBMITTAL	9/19/16
			REV SITE	9/1/15	CLC		SEPIC RESUBMITTAL	10/12/16
Drawn By:			PRE-APP RESUBMITTAL	10/14/15	CLC, BR		PLANNING RESUBMITTAL	11/17/16
			FORMAL PLANNING SUBMITTAL	12/15/15	CLC, BR		PLANNING RESUBMITTAL	1/20/17

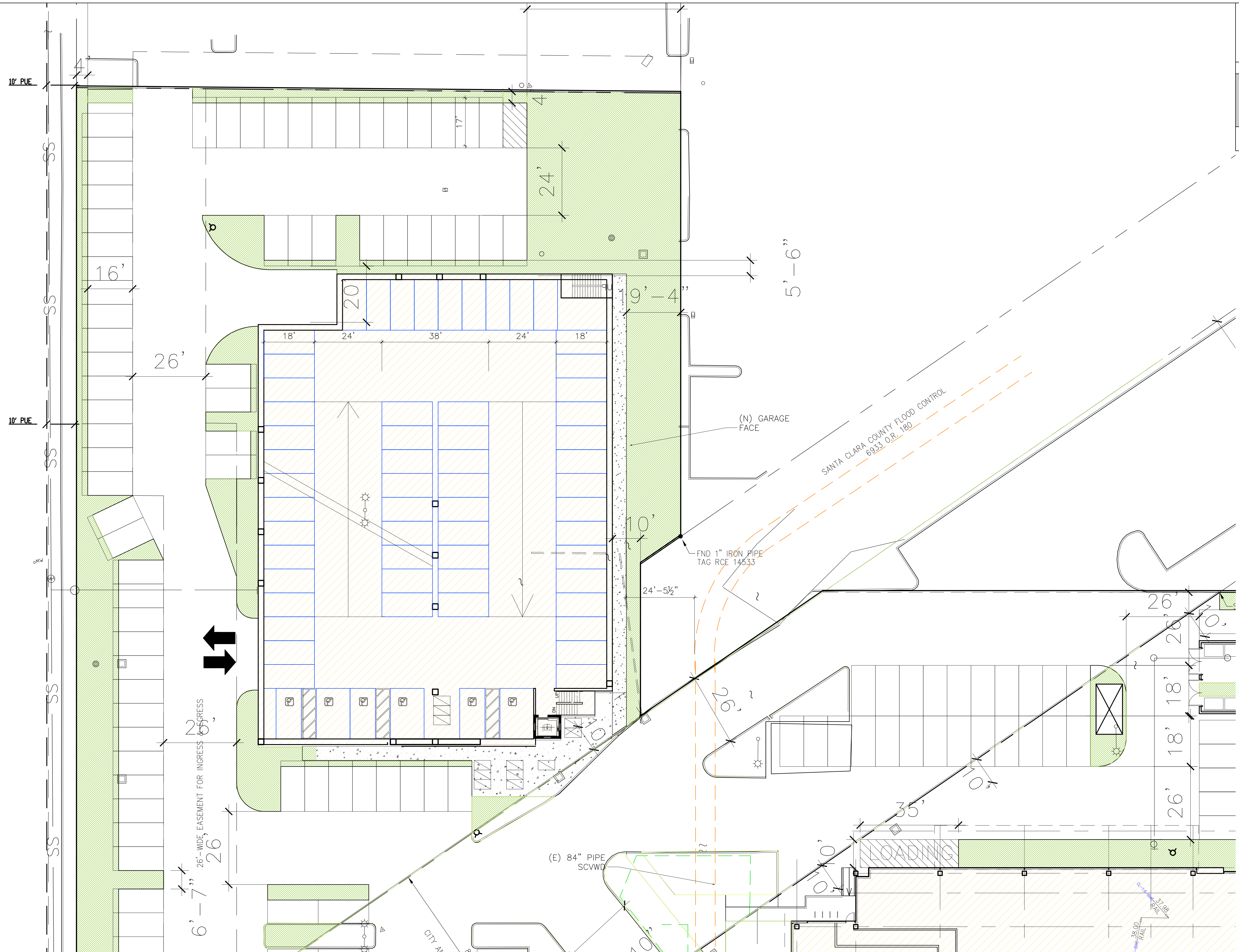
## A1.1



# CHANG ARCHITECTURE

Architecture Planning Interiors

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Burlingame  
California 94010  
Tel: 650.340.9415  
Fax: 650.340.9641  
Web: www.changarchitecture.com



675 Almanor  
Sunnyvale, CA

Drawing Title:

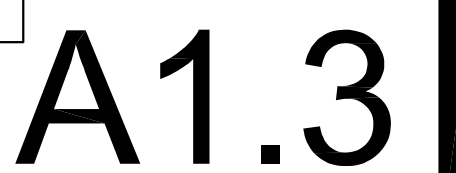
## ENLARGED SITE PLAN (SCALE 1/16"=1'-0")

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date
Date:	10/14/15		ALT. SCHEMES	10/31/14	CLC		DEPT COMMENT RESPONSE	3/1/16
Scale:	AS NOTED		BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16
Drawn By:			PRE-APP	7/14/15	CLC		PLANNING RESUBMITTAL	9/19/16
			REV. SITE	9/1/15	CLC		SFPUC RESUBMITTAL	10/12/16
			PRE-APP RESUBMITTAL	10/14/15	CLC, BR		PLANNING RESUBMITTAL	11/17/16
			FORMAL PLANNING SUBMITTAL	12/15/15	CLC, BR		PLANNING RESUBMITTAL	1/20/17

Sheet:

A1.2









## SHADING DIAGRAM

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date
Date:	10/14/15		ALT SCHEMES	10/31/14	CLC		DEPT COMMENT RESPONSE	3/1/16
			BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16
Scale:	AS NOTED		PRE-APP	7/14/15	CLC		PLANNING RESUBMITTAL	9/19/16
			REV SITE	9/1/15	CLC		SEPIC RESUBMITTAL	10/12/16
Drawn By:			PRE-APP RESUBMITTAL	10/14/15	CLC, BR		PLANNING RESUBMITTAL	11/17/16
			FORMAL PLANNING SUBMITTAL	12/15/15	CLC, BR		PLANNING RESUBMITTAL	1/20/17

Sheet:

## A1.4

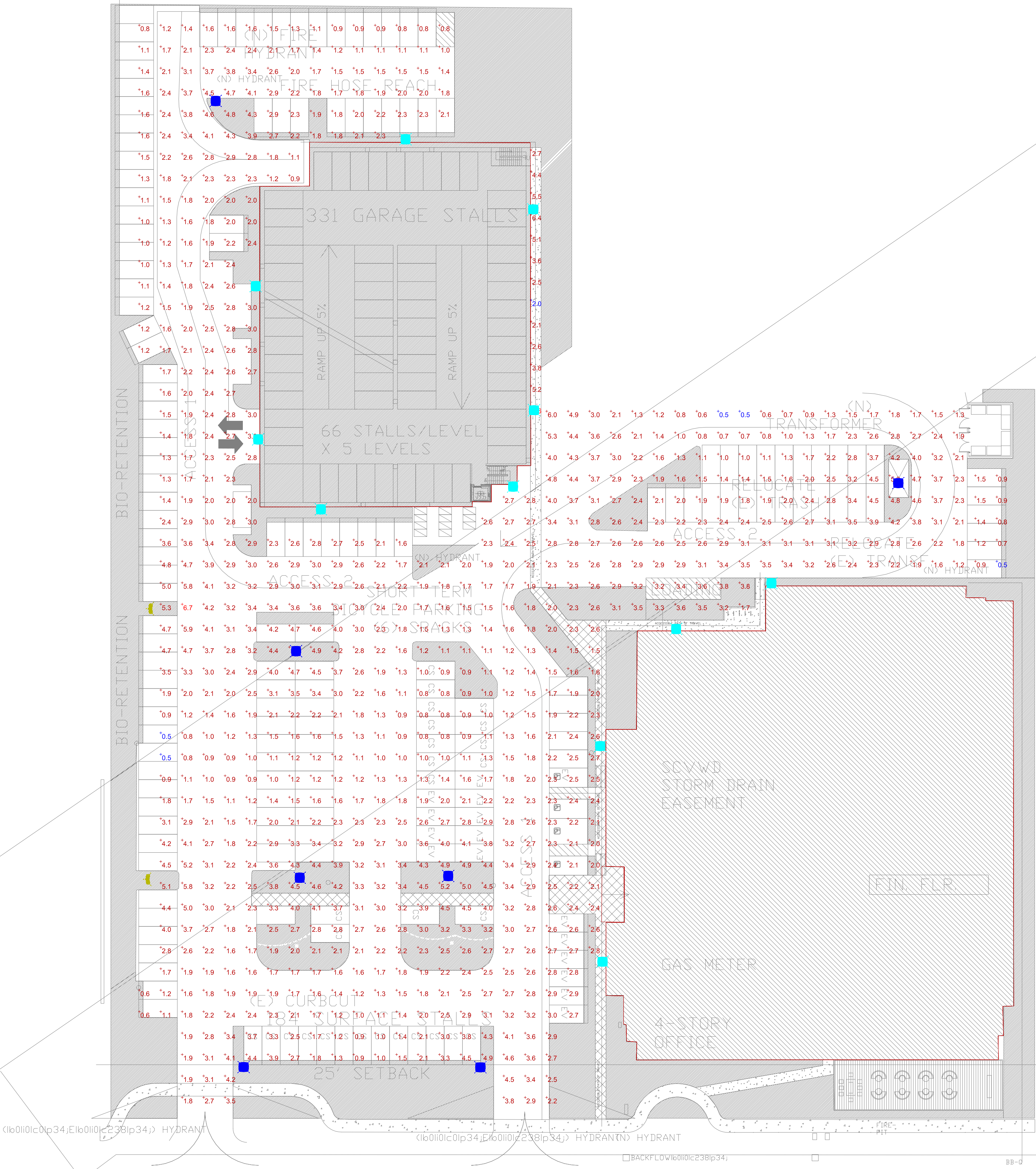


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LUMINAIRE SCHEDULE										
Symbol	Label	Qty	Catalog Number	Description	Lamp	HL	Flux	Lumens	LLF	Watts
	A	0	GLEONAF-04-LED-E1-T3	GALLEON AREA AND ROADWAY LUMINAIRE (1) TO CRJ 4000 1000mA LIGHTSQUARES WITH 16 LEOS EACH AND TYPE III OPTICS Retail, Roadway, Slowak, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location		16'-0"	GLEONAF-04-LED-E1-T3.lvs	Absolute	0.95	166
	B	11	GLEONAF-04-LED-E1-SWG	GALLEON AREA AND ROADWAY LUMINAIRE (4) TO CRJ 4000 1000mA LIGHTSQUARES WITH 16 LEOS EACH AND TYPE IV WIDE OPTICS Retail, Roadway, Slowak, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY		16'-0"	GLEONAF-04-LED-E1-SWG.lvs	Absolute	0.95	225
	C	7	GLEONAF-04-LED-E1-SWG	GALLEON AREA AND ROADWAY LUMINAIRE (2) TO CRJ 4000 1000mA LIGHTSQUARES WITH 16 LEOS EACH AND TYPE V WIDE OPTICS Retail, Roadway, Slowak, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY		16'-0"	GLEONAF-04-LED-E1-SWG.lvs	Absolute	0.95	166
	D	2	GLEONAF-04-LED-E1-T3	GALLEON AREA AND ROADWAY LUMINAIRE (2) TO CRJ 4000 1000mA LIGHTSQUARES WITH 16 LEOS EACH AND TYPE III OPTICS Retail, Roadway, Slowak, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY		16'-0"	GLEONAF-04-LED-E1-T3.lvs	Absolute	0.95	113

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Garage Walkway Layout	+	4.0 fc	6.6 fc	2.0 fc	3.3:1	2.0:1
Main Site Layout	+	2.4 fc	6.7 fc	0.5 fc	13.4:1	4.8:1

675 Almanor  
Sunnyvale, CA

Drawing Title:

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date	Sheet:
Date:	10/14/15		ALT. SCHEMES	10/31/14	CLC		DEPT. COMMENT RESPONSE	3/1/16	
Scale:	AS NOTED		BROCHURE	4/8/15	CLC		PLANNING - RESUBMITTAL	6/20/16	
Drawn By:			PRE-APP	7/14/15	CLC		PLANNING - RESUBMITTAL	9/19/16	
			REV SITE	9/1/15	CLC				
			PRE-APP - RESUBMITTAL	10/14/15	CLC, BR				
			FORMAL PLANNING - SUBMITTAL	12/15/15	CLC, BR				

A1.5



# CHANG ARCHITECTURE

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California 94010

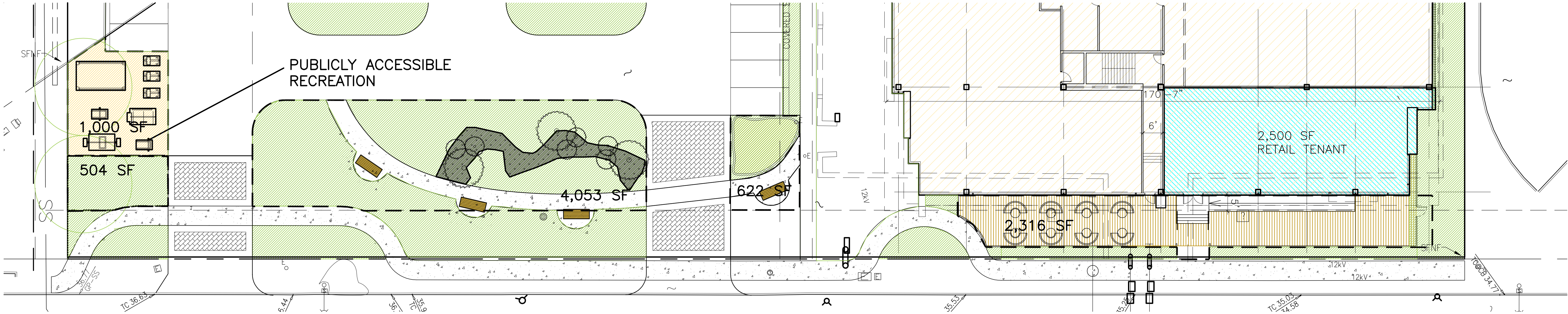
Tel: 650.340.9415  
Fax: 650.340.9641  
Web: www.changarchitecture.com

LANDSCAPED AREAS

TOTAL BUILDING AREA:	150,651 SF.
	$((150,651)/1000)*50 = 7,532 \text{ SF.}$
	4,053 SF
	2,316 SF
	504 SF
	662 SF
PUBLICLY ACCESSIBLE OPEN SPACE:	7,538 SF. (7,532 SF. MIN. REQ.)
TOTAL LANDSCAPED AREA:	33,263 SF. (22.07%)

HATCH LEGEND

PUBLICLY ACCESSIBLE OPEN SPACE:	
PUBLICLY ACCESSIBLE RECREATION:	



675 Almanor  
Sunnyvale, CA

Drawing Title: **COMMUNITY INTERFACE PLAN**  
(SCALE 1/16"=1'-0")

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date	Sheet:
Date:	10/14/15		ALT. SCHEMES	10/31/14	CLC		DEPT COMMENT RESPONSE	3/1/16	
Scale:	AS NOTED		BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16	
Drawn By:			PRE-APP	7/14/15	CLC		PLANNING RESUBMITTAL	9/19/16	
			REV. SITE	9/1/15	CLC		SFPUC RESUBMITTAL	10/12/16	
			PRE-APP RESUBMITTAL	10/14/15	CLC, BR		PLANNING RESUBMITTAL	11/17/16	
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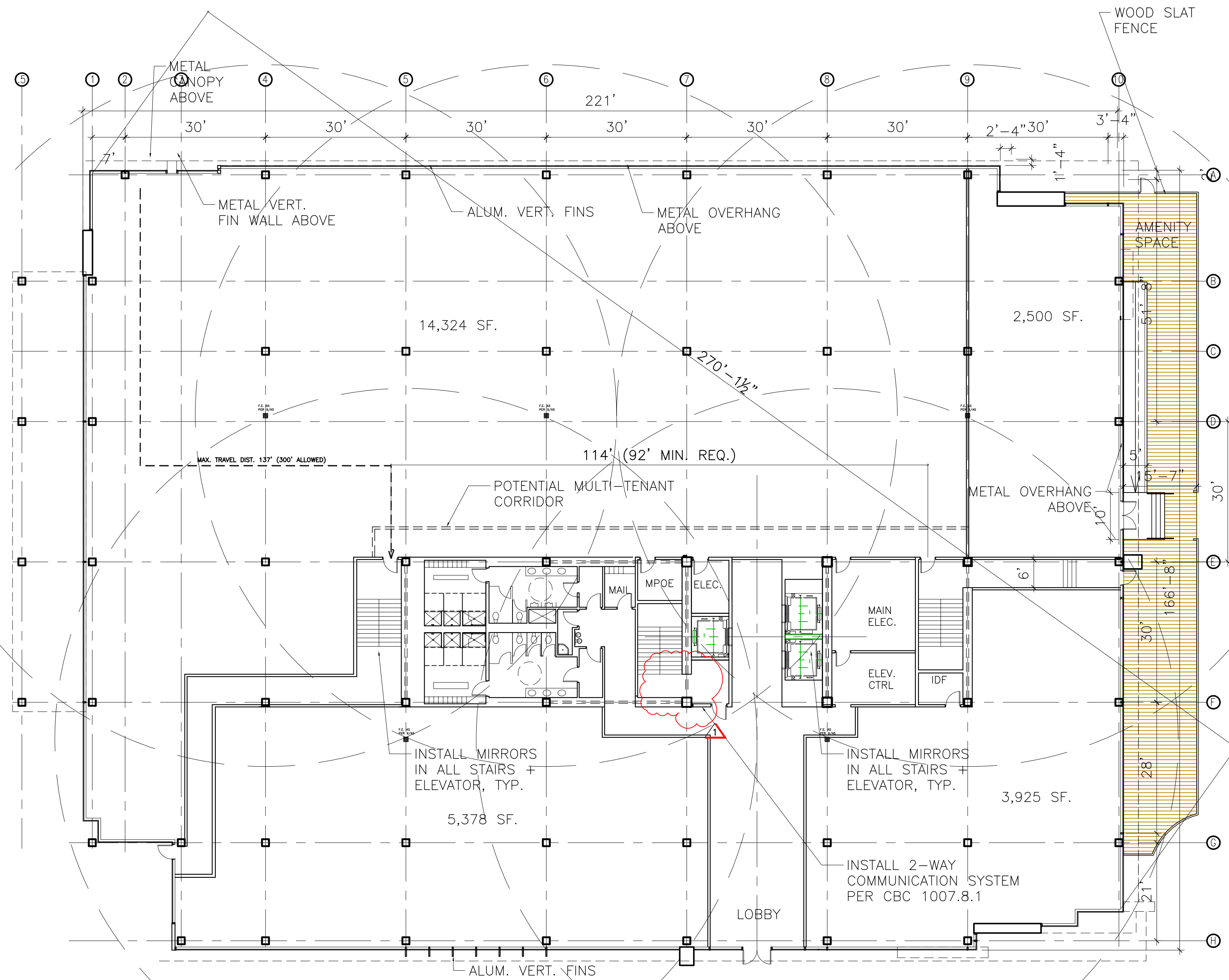
A1.6



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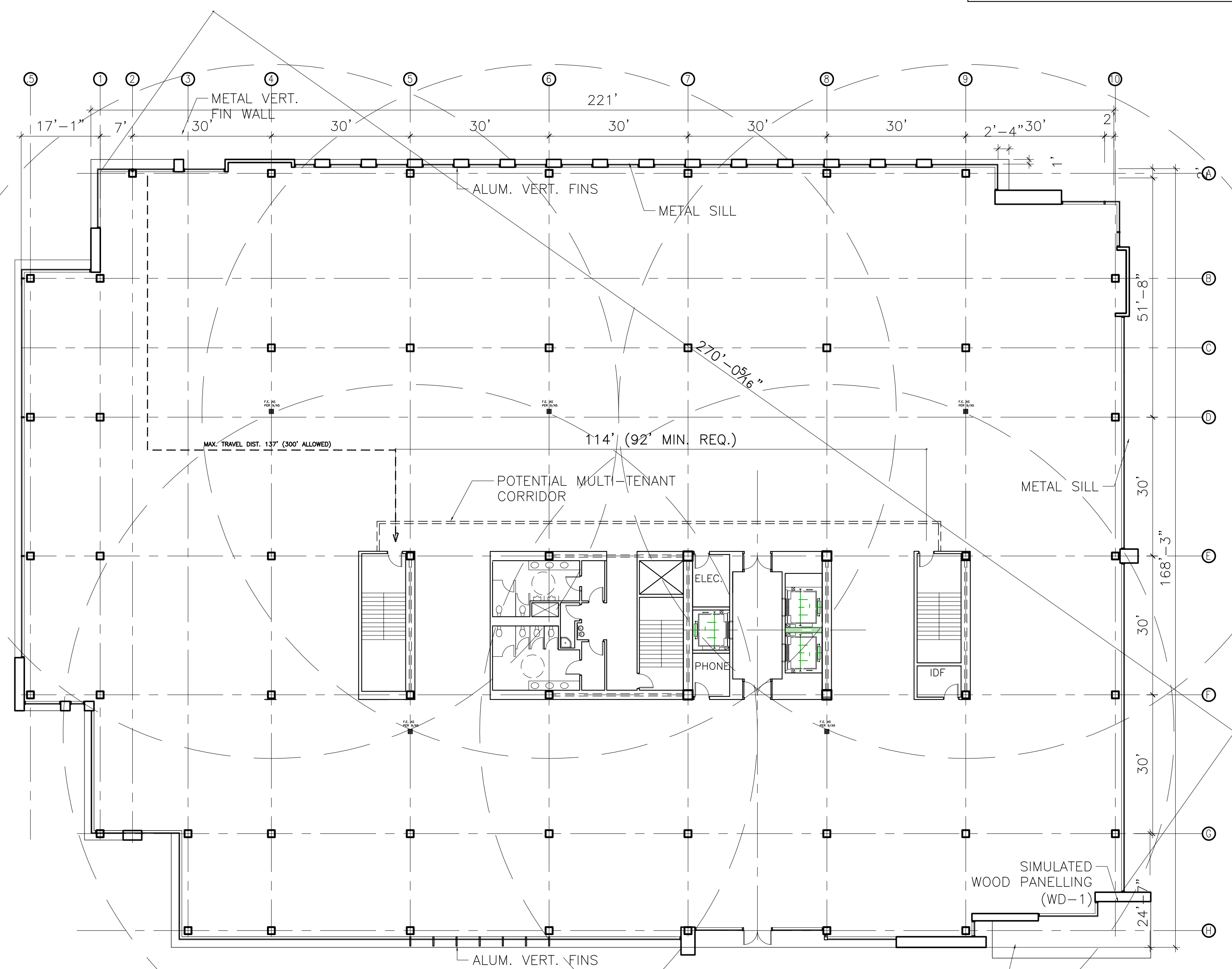


1 1ST FLOOR PLAN

A2.1 36,315 GSF SCALE: 1/16"=4'-0"

1st 36,315 GSF  
2nd 38,112 GSF  
3rd 38,112 GSF  
4th 38,112 GSF

150,651 GSF



2 2ND FLOOR PLAN

A2.1 38,112 GSF SCALE: 1/16"=4'-0"

SIMULATED  
WOOD  
PANELLING  
(WD-1)  
ALUM. CANOPY

675 Almanor

Sunnyvale, CA

Drawing Title:

OFFICE 1ST AND 2ND FLOOR PLANS

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date	Sheet:
Date:	10/14/15		ALT. SCHEMES	10/31/14	CLC		DEPT COMMENT RESPONSE	3/1/16	
Scale:	AS NOTED		BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16	
Drawn By:			PRE-APP	7/14/15	CLC		PLANNING RESUBMITTAL	9/19/16	
			REV. SITE	9/1/15	CLC		SFPUC RESUBMITTAL	10/12/16	
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A2.1





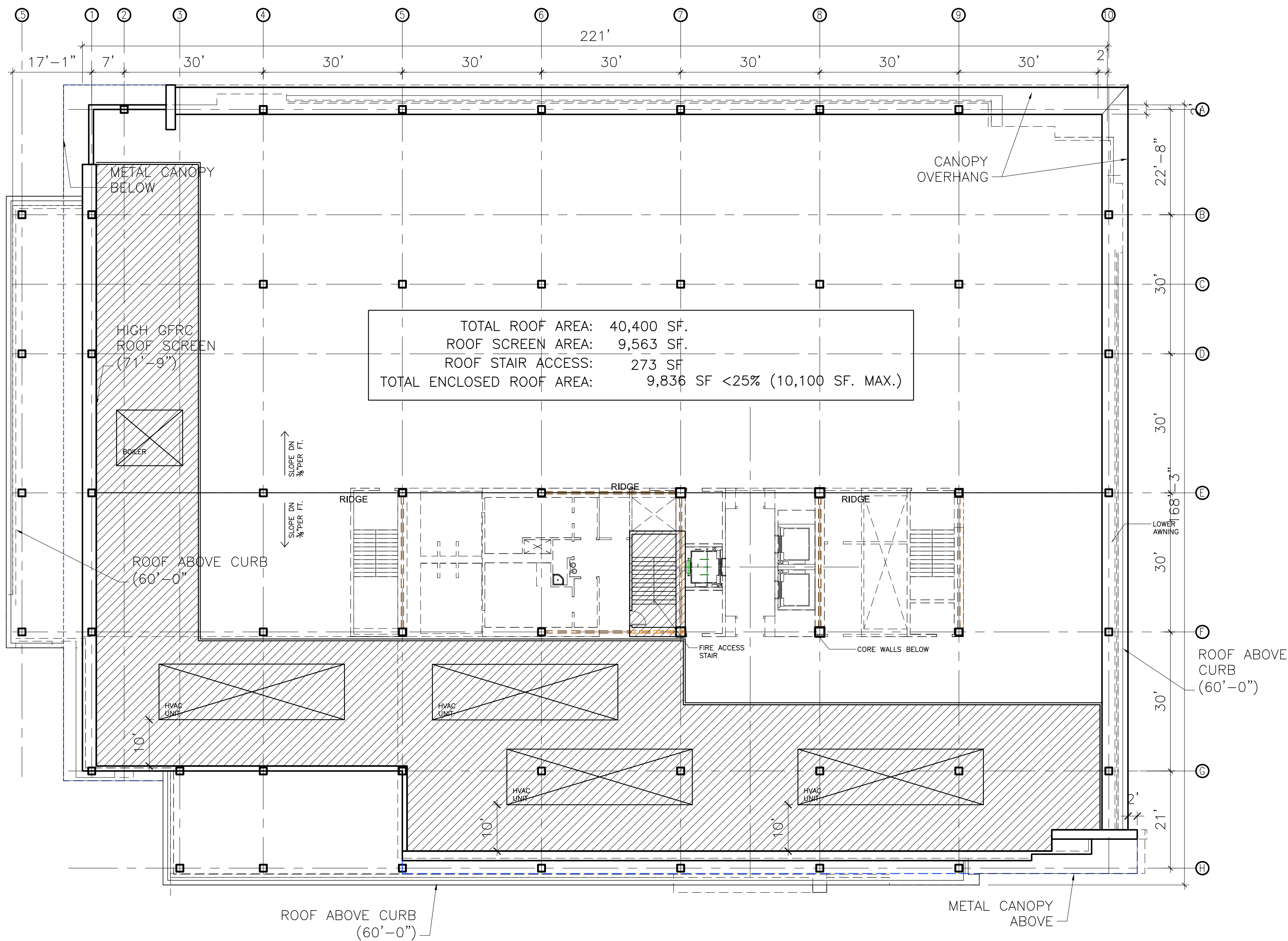
## A2.2



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1 ROOF PLAN

A2.3

SCALE: 1/16"=1'-0"

675 Almanor  
Sunnyvale, CA

Drawing Title:

ROOF PLAN

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date	Sheet:
Date:	10/14/15		ALT. SCHEMES	10/31/14	CLC		DEPT. COMMENT RESPONSE	3/1/16	
Scale:	AS NOTED		BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16	
Drawn By:			PRE-APP	7/14/15	CLC		PLANNING RESUBMITTAL	9/19/16	
			REV. SITE	9/1/15	CLC		SFPUC RESUBMITTAL	10/12/16	
			PRE-APP RESUBMITTAL	10/14/15	CLC, BR		PLANNING RESUBMITTAL	11/17/16	
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A2.3



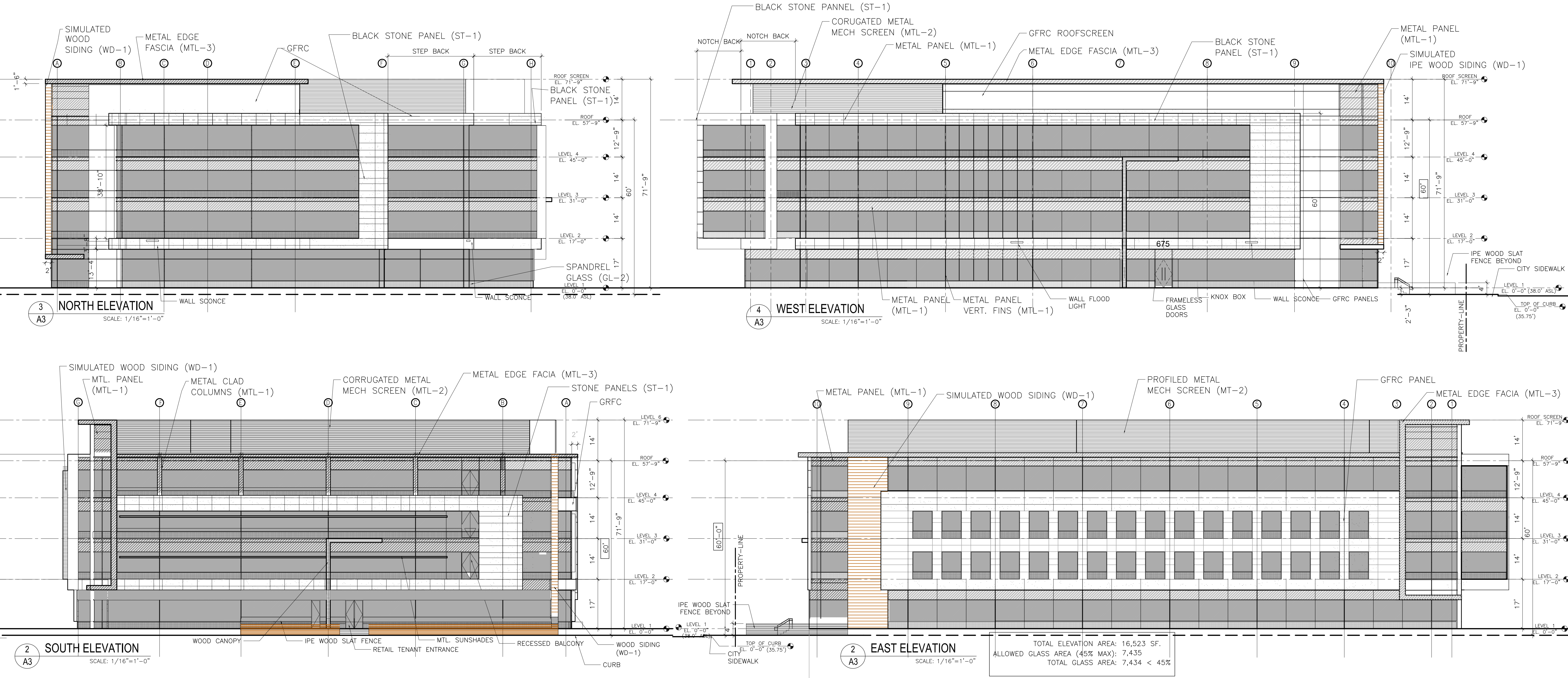
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EXTERIOR FINISH MATERIALS SCHEDULE				
ITEM	DESCRIPTION	MANUFACTURER	SPEC	REMARKS
GL-1	DUAL GLAZED CLEAR GLASS	GUARDIAN	GUARDIAN SUNGUARD CLEAR + CLEAR WITH SOLARBAN 70XL LOW-E COATING ON #2 SURFACE, ALL TEMPERED (SHGC=.27) (STC= 30)	U-VALUE .28
GL-2	SPANDREL GLASS	GUARDIAN	BENJAMIN MOORE "PORCH SWING" (CSP750)	SUBMIT SAMPLE
MTL-1	PROFIED METAL WALL PANEL	ALUMA WALL	SILVERSMITH FACTORY FINISH, 20 GA.	SUBMIT SAMPLE
MTL-2	PROFIED METAL PANEL ROOFSCREEN	MORIN	MX-1 18 GA. SILVERSMITH FACTORY FINISH	SUBMIT SAMPLE
MTL-3	METAL EDGE FASCIA	MORIN	Y-36, STANDARD BLACK FACTORY FINISH	SUBMIT SAMPLE
ST-1	CHARCOAL GREY STONE PANELS	INTERTILE	CHARCOAL GREY	SEALED
WD-1	WOOD SLATS (SIMULATED)	TBD	SIMULATED IPE WOOD PANELS	SUBMIT SAMPLE
GFRC	GLASS FIBER REINFORCED CONCRETE	TBD	WHITE WITH REVEALS	SUBMIT SAMPLE



Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date	Sheet:
Date:	10/14/15		ALT. SCHEMES	10/31/14	CLC		DEPT COMMENT RESPONSE	3/1/16	
Scale:	AS NOTED		BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16	
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			REV. SITE	9/1/15	CLC		SFPUC RESUBMITTAL	10/12/16	
			PRE-APP RESUBMITTAL	10/14/15	CLC, BR		PLANNING RESUBMITTAL	11/17/16	
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A3

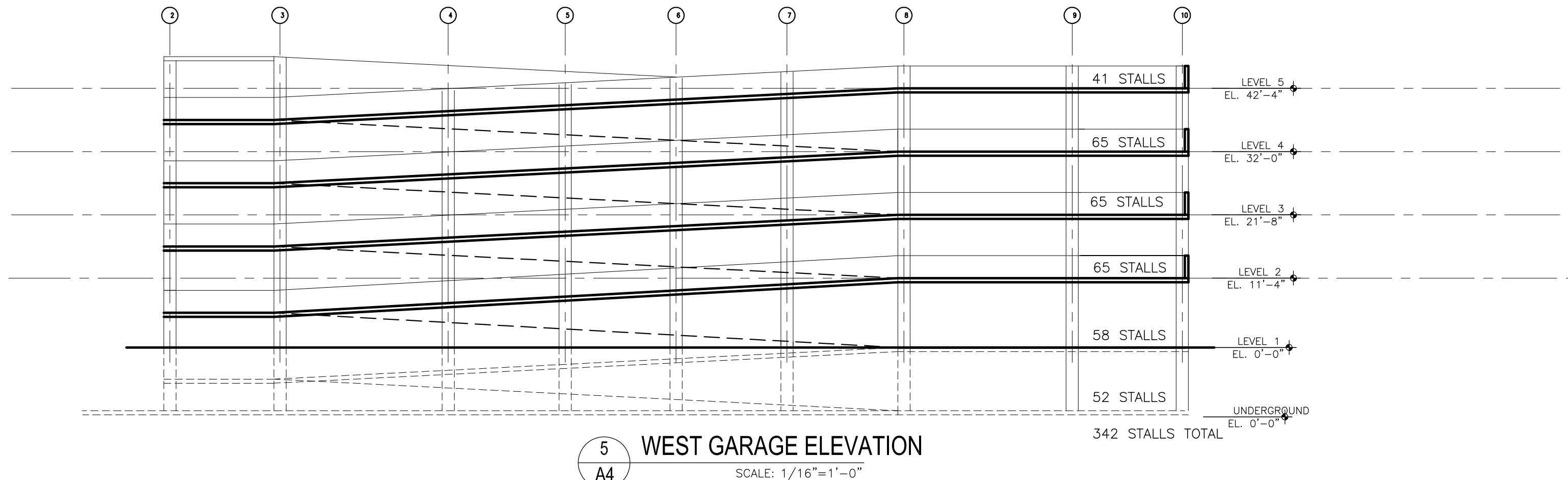
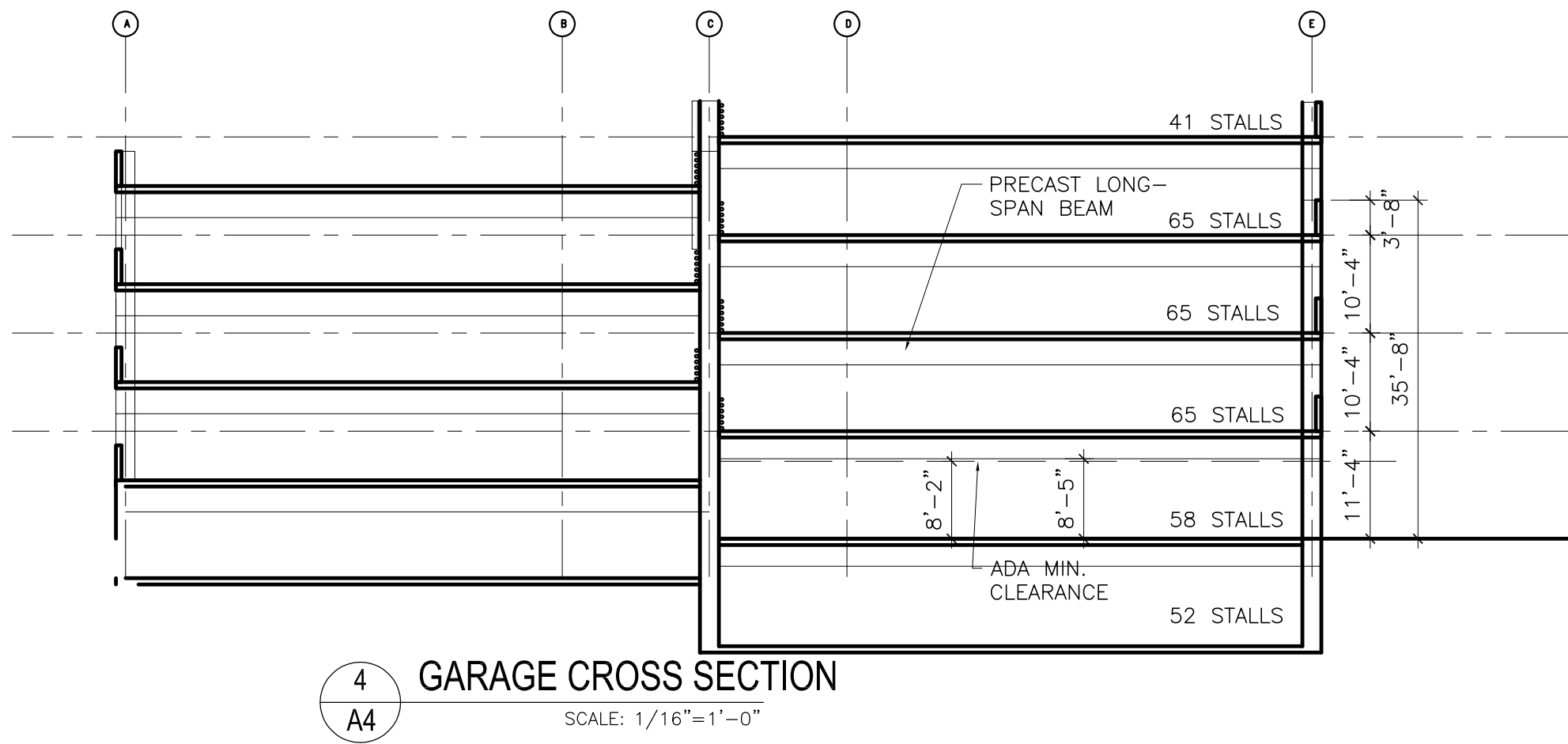


# CHANG ARCHITECTURE

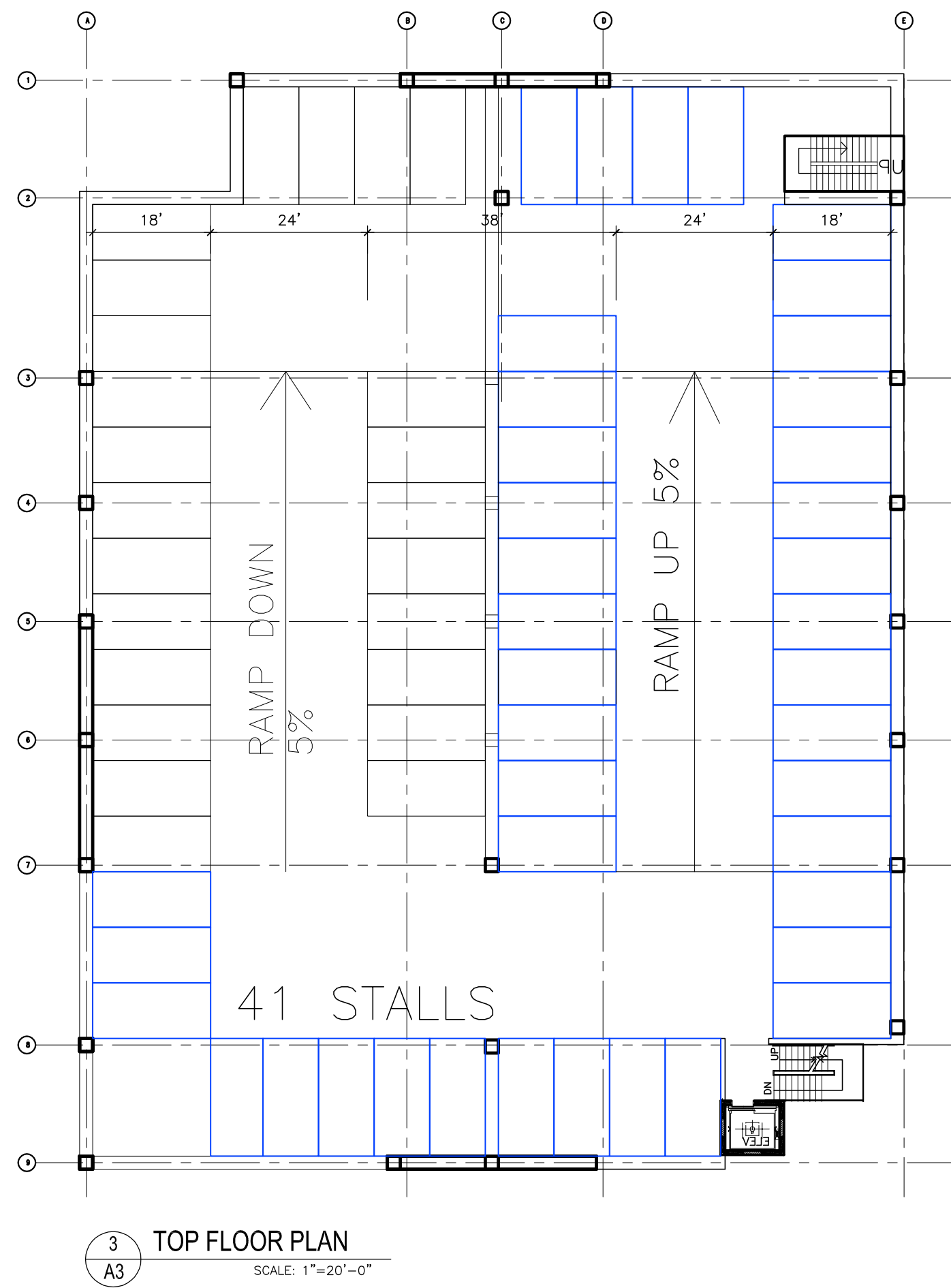
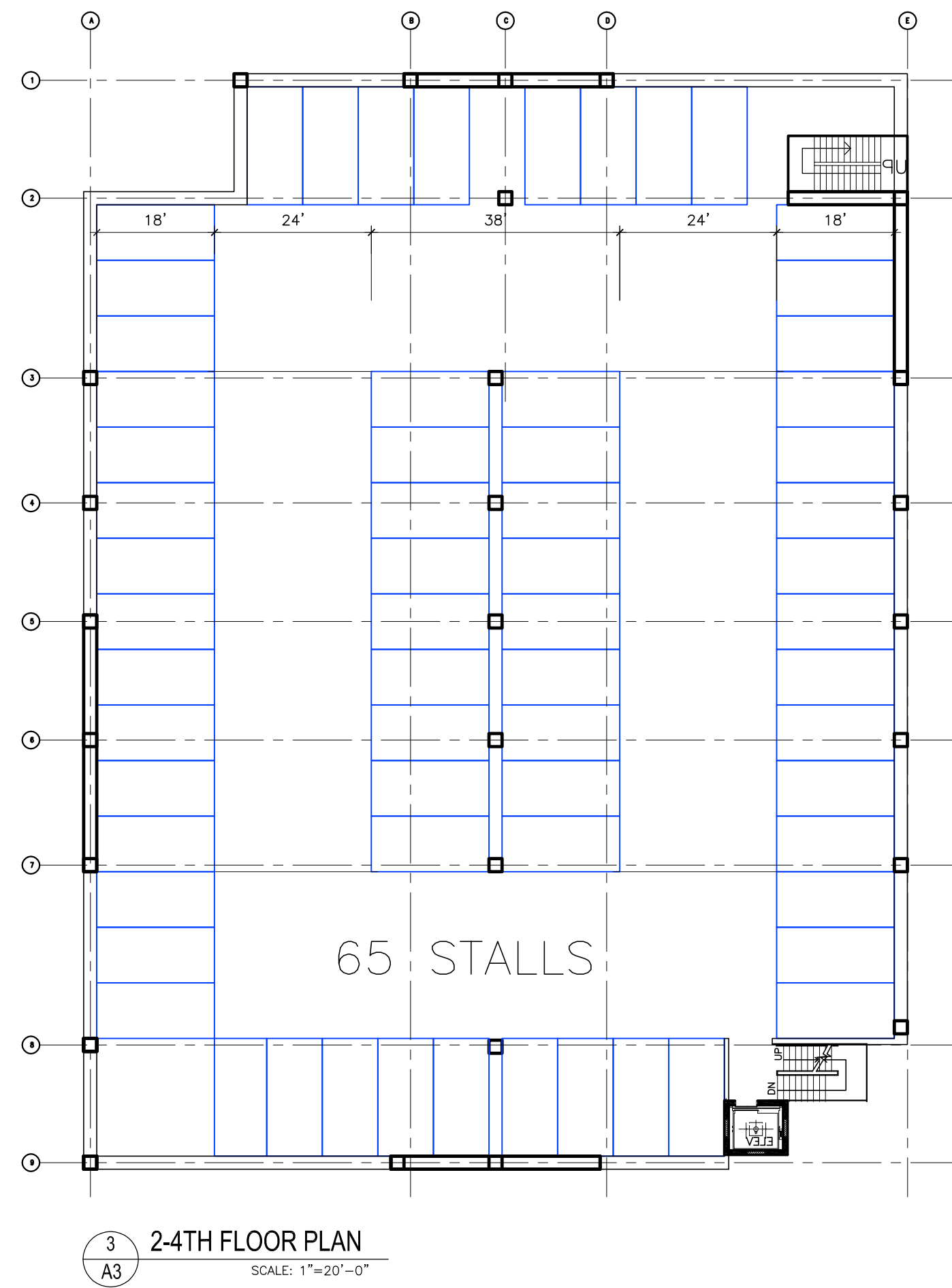
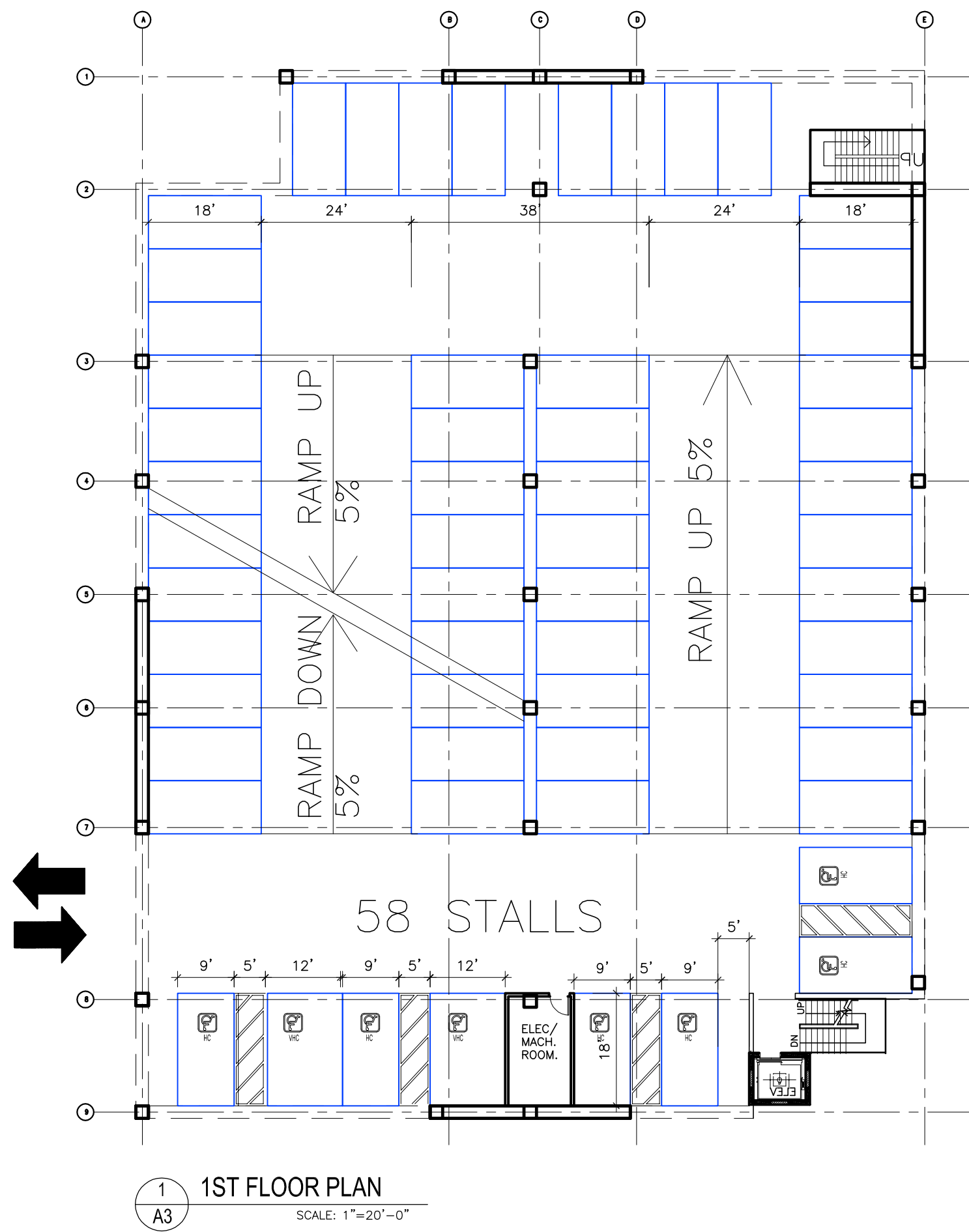
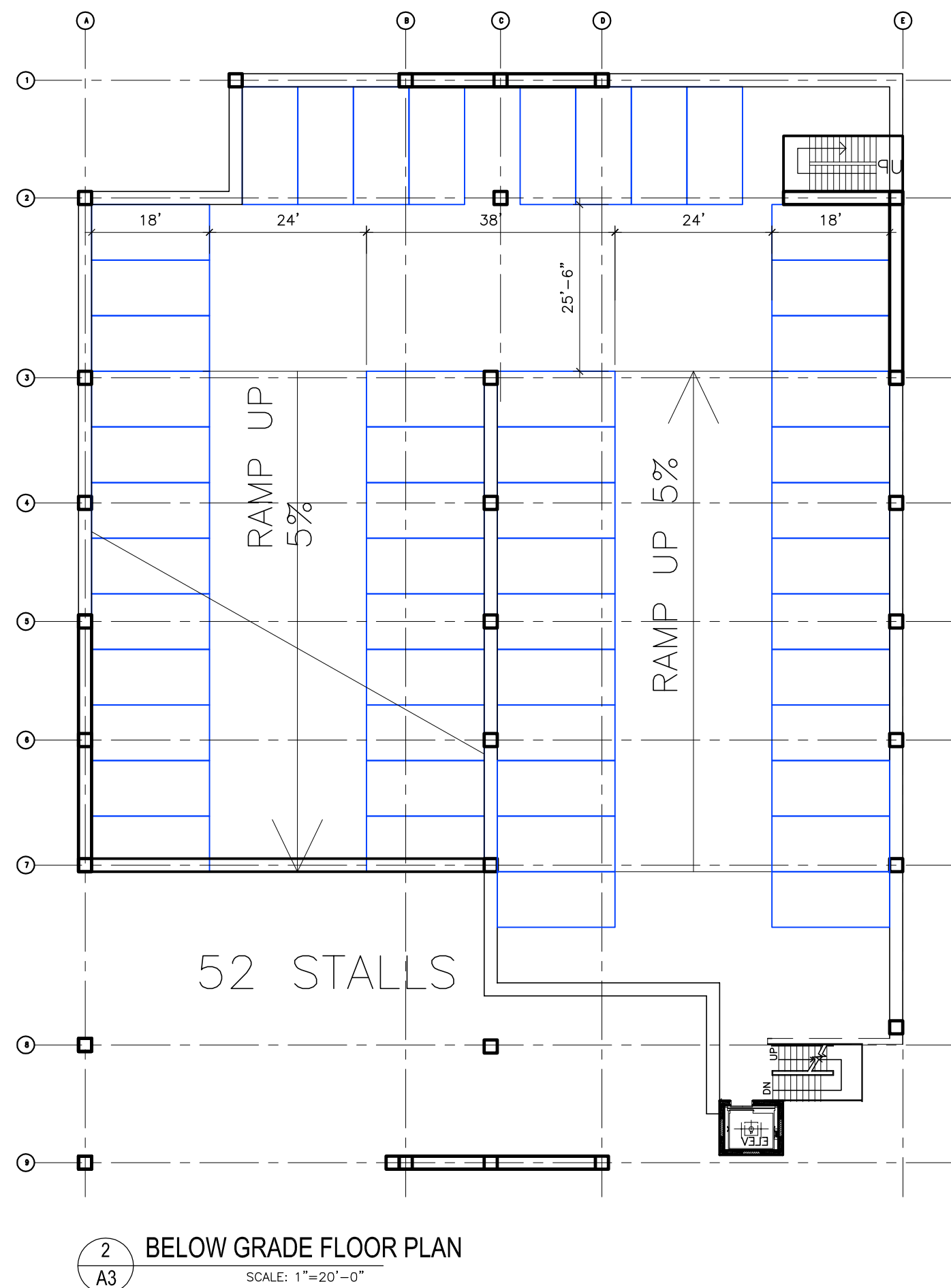
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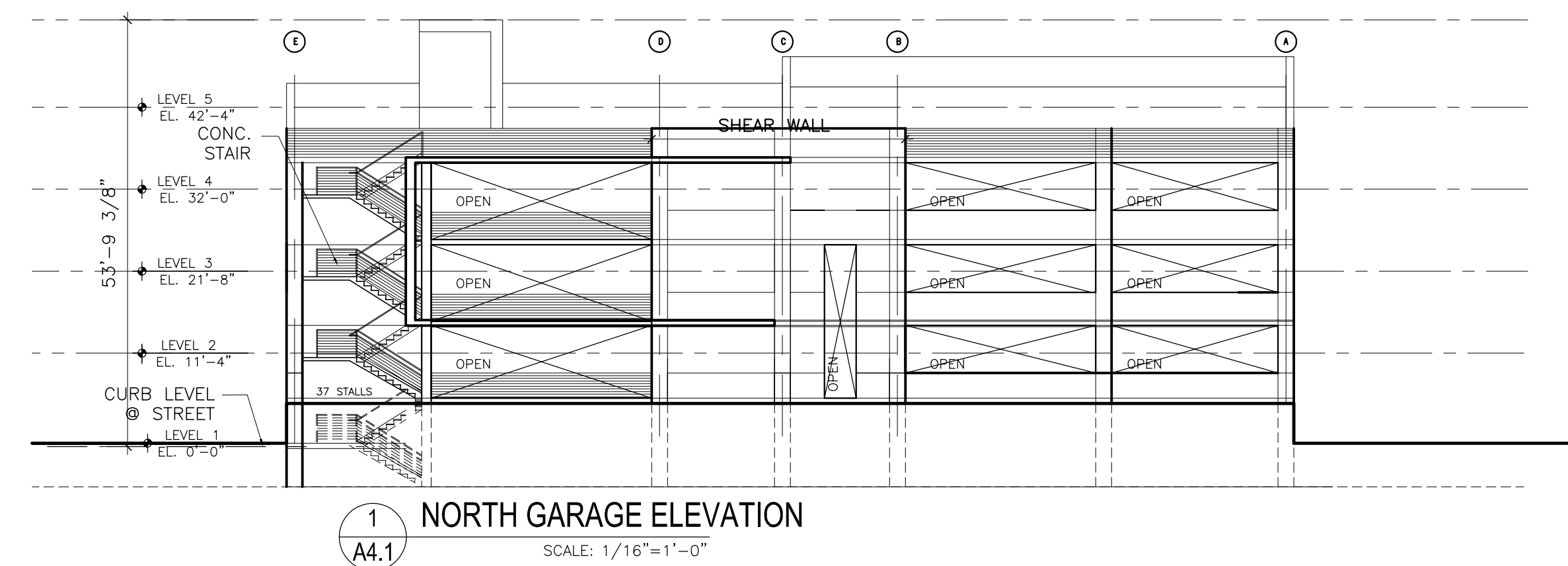
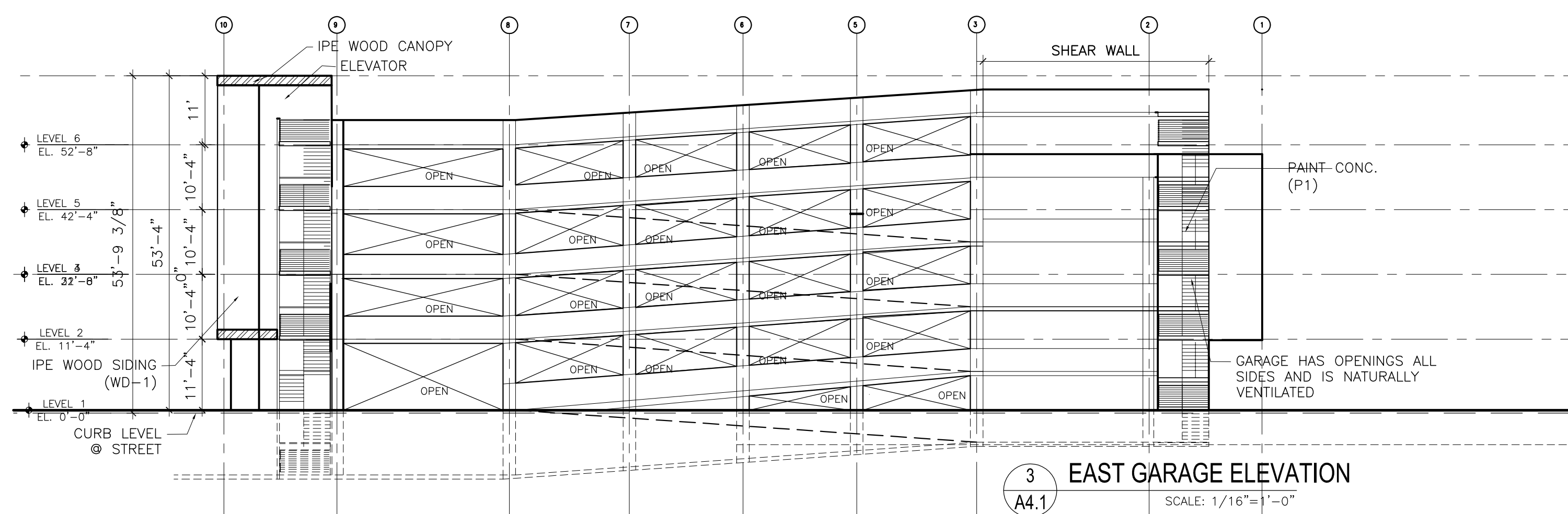
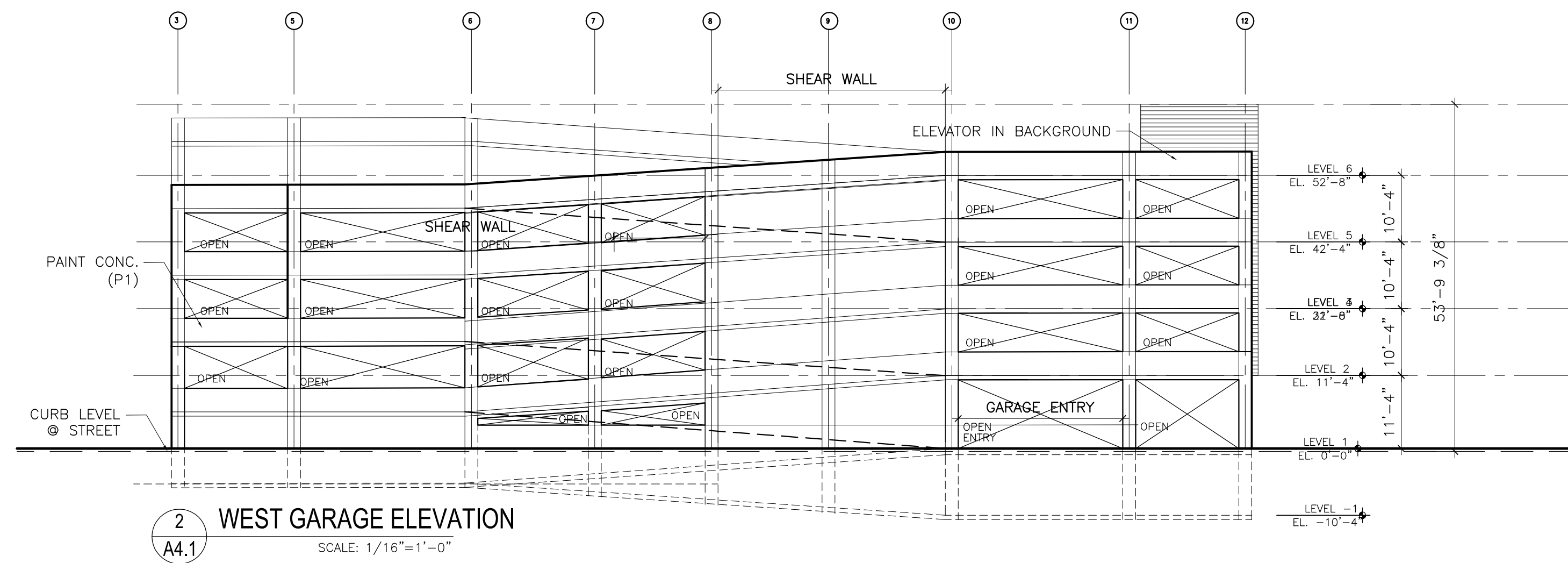
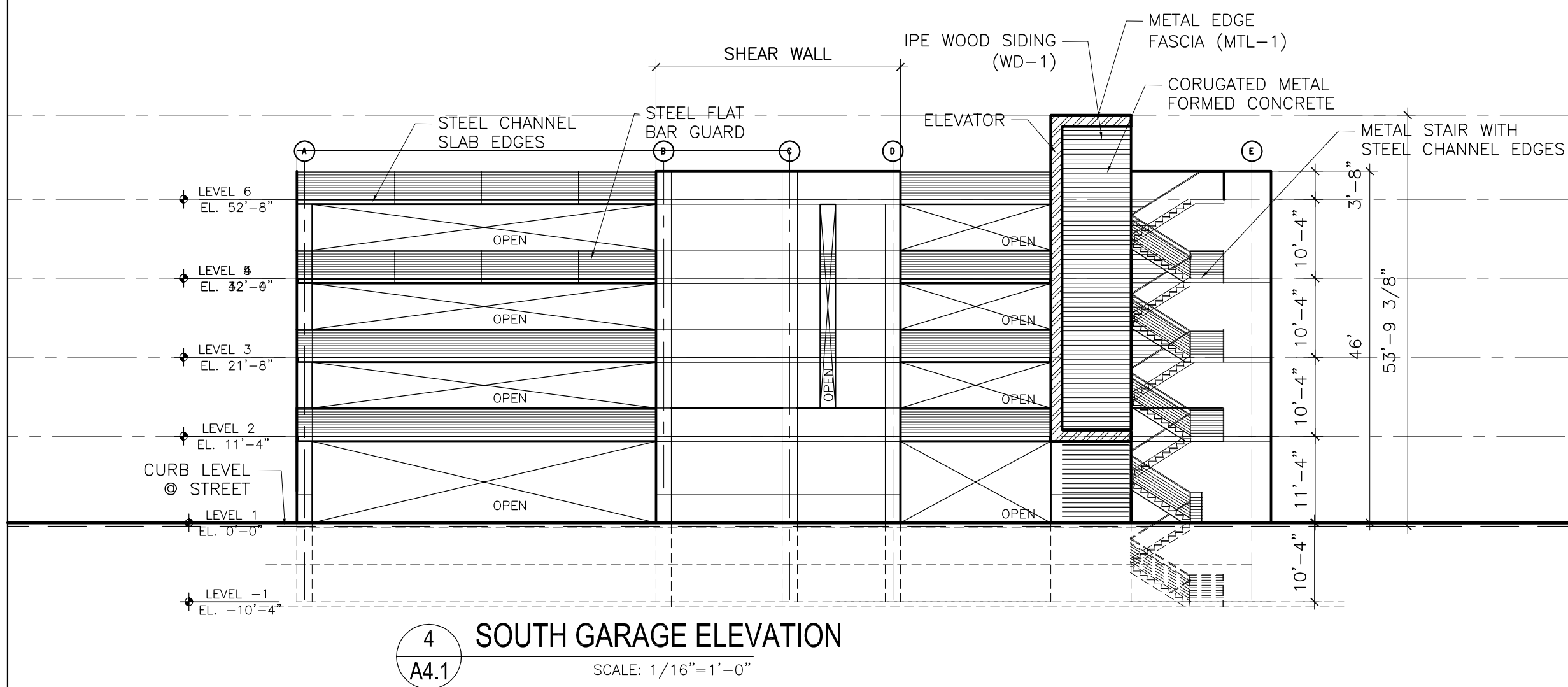
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## 372 GARAGE STALLS TOTAL







Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date
Date:	10/14/15		ALT SCHEMES	10/31/14	CLC		DEPT COMMENT RESPONSE	3/1/16
			BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16
Scale:	AS NOTED		PRE-APP	7/14/15	CLC		PLANNING RESUBMITTAL	9/19/16
			REV SITE	9/1/15	CLC		SFPUC RESUBMITTAL	10/12/16
Drawn By:			PRE-APP RESUBMITTAL	10/14/15	CLC, BR		PLANNING RESUBMITTAL	11/17/16
			FORMAL PLANNING SUBMITTAL	12/15/15	CLC, BR		PLANNING RESUBMITTAL	1/20/17

## A4.1



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NORTHEAST VIEW FROM HWY 101



SOUTHWEST VIEW FROM ALMANOR



SOUTHEAST VIEW FROM ALMANOR

675 Almanor  
Sunnyvale, CA

Drawing Title:

## OFFICE IMAGES

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date	Sheet:
Date:	10/14/15		ALT. SCHEMES	10/31/14	CLC		DEPT COMMENT RESPONSE	3/1/16	
Scale:	AS NOTED		BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16	
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			FORMAL PLANNING SUBMITTAL	12/15/15	CLC, BR		PLANNING RESUBMITTAL	1/20/17	

A5



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VIEW FROM MATHILDA



PATIO WALL



VIEW LOOKING EAST



VIEW LOOKING WEST

675 Almanor  
Sunnyvale, CA

Drawing Title:

CONTEXT STUDIES

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date	Sheet:
Date:	10/14/15		ALT. SCHEMES	10/31/14	CLC		DEPT COMMENT RESPONSE	3/1/16	
Scale:	AS NOTED		BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16	
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A6

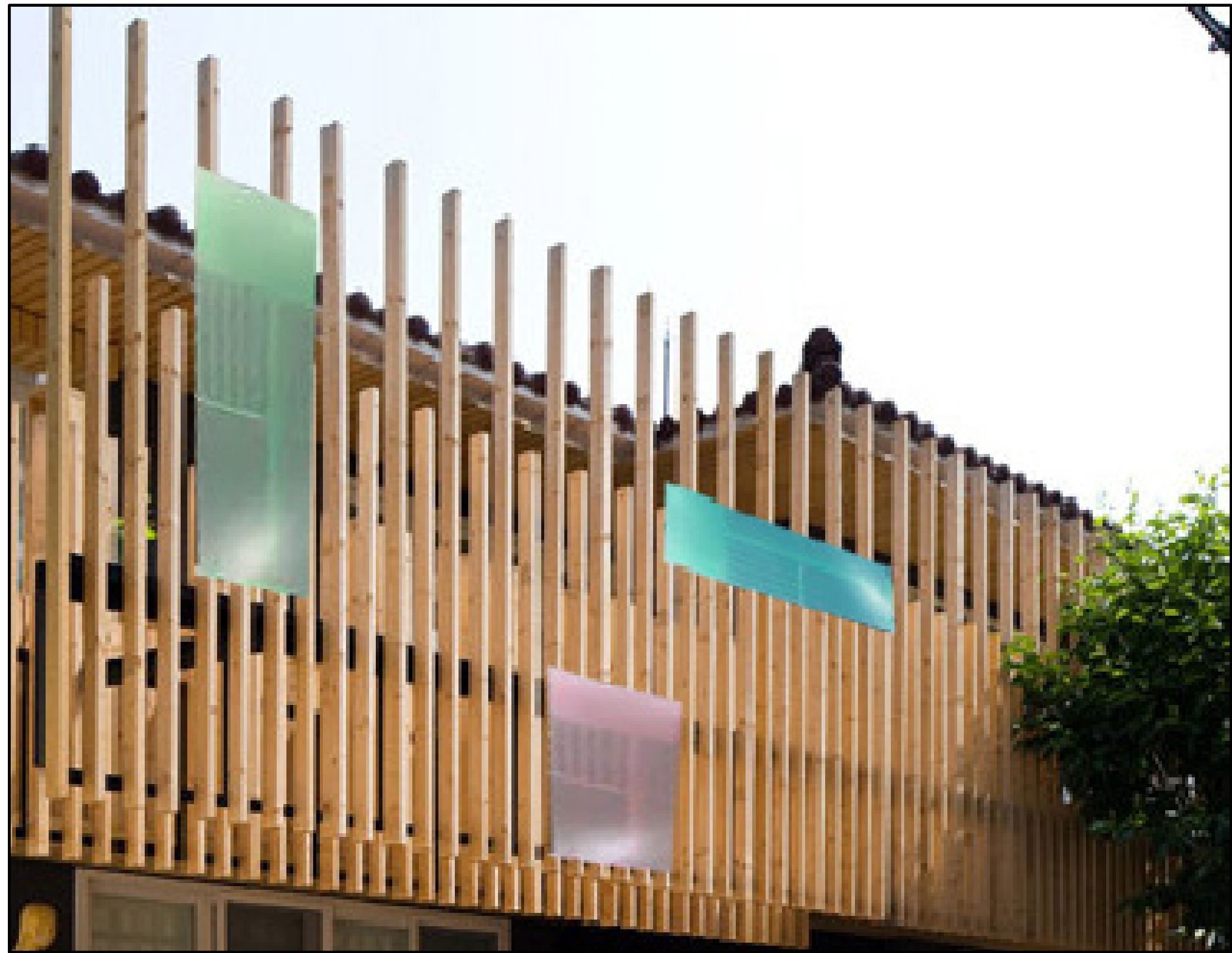


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MIX OF WOOD + GLASS



675 Almanor  
Sunnyvale, CA

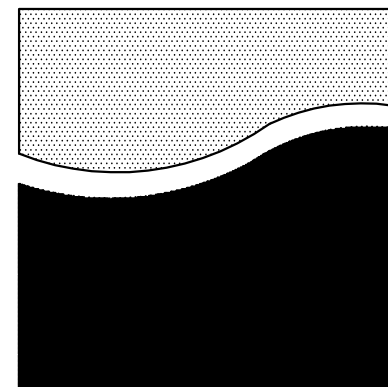
Drawing Title:

## GARAGE ART IMAGES

Job #	2014-500	Rev.	Descrp.	Date	By	Rev.	Descrp.	Date	Sheet:
Date:	10/14/15		ALT. SCHEMES	10/31/14	CLC		DEPT. COMMENT RESPONSE	3/1/16	
Scale:	AS NOTED		BROCHURE	4/8/15	CLC		PLANNING RESUBMITTAL	6/20/16	
Drawn By:			PRE-APP	7/14/15	CLC		PLANNING RESUBMITTAL	9/19/16	
			REV. SITE	9/1/15	CLC		SFPUC RESUBMITTAL	10/12/16	
			PRE-APP RESUBMITTAL	10/14/15	CLC, BR		PLANNING RESUBMITTAL	11/17/16	
			FORMAL PLANNING SUBMITTAL	12/15/15	CLC, BR		PLANNING RESUBMITTAL	1/20/17	

A7





REED ASSOCIATES  
LANDSCAPE ARCHITECTURE  
477 SOUTH TAAFFE STREET  
SUNNYVALE, CALIFORNIA 94086  
408.481.9020 / 408.481.9022 FAX  
web: www.rala.net / email: paul@rala.net

675 Almanor

Sunnyvale, CA

ISSUE	DATE
site plan changes	06.13.16
site plan changes	09.19.16
site plan changes	11.15.16
site plan changes	01.18.17



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Approved: pjr  
Drawn: DS Reviewed: pjr  
Project No.: ---  
Scale: 1"=20' Issue Date: 02-10-17

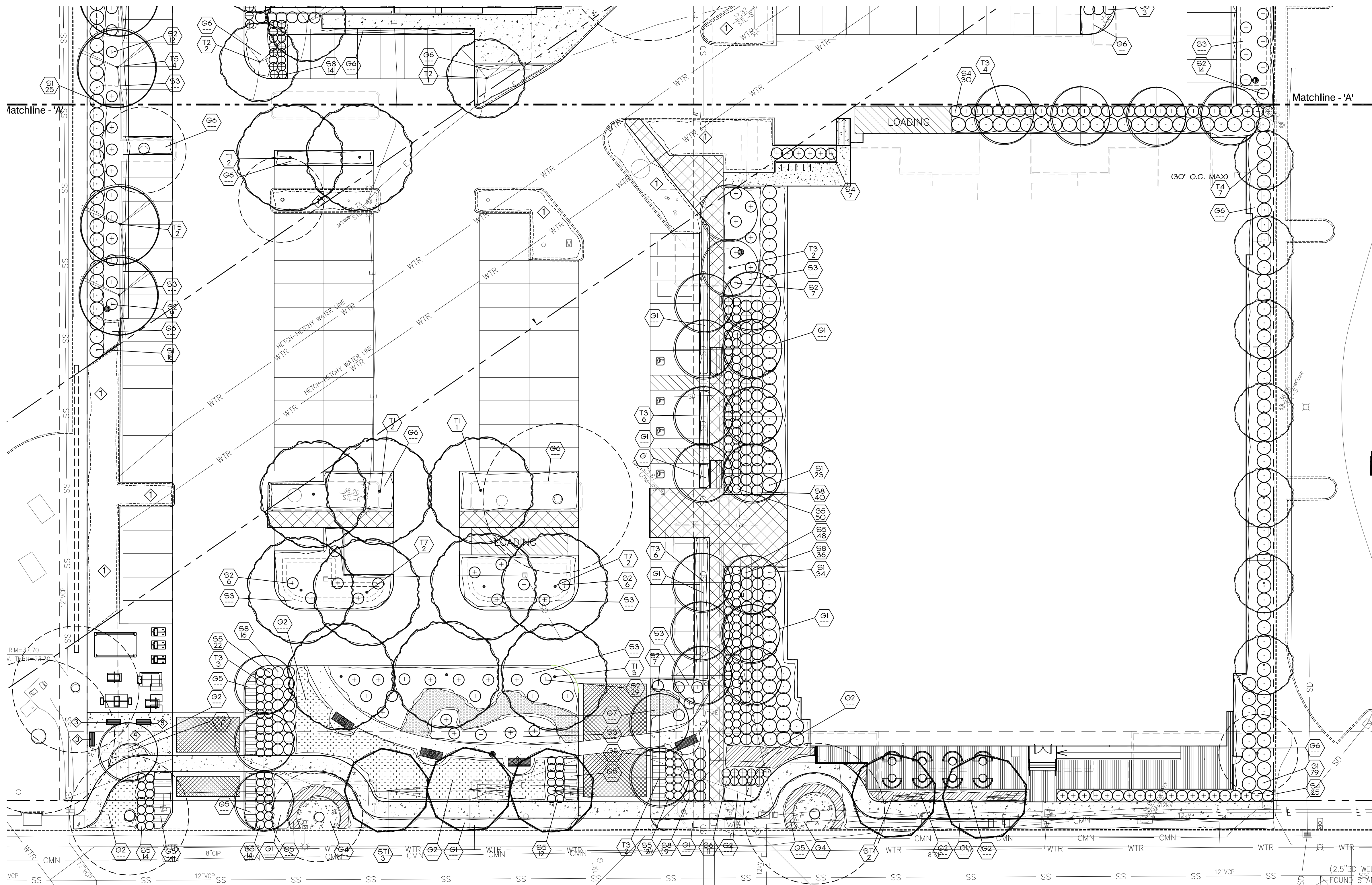
## LANDSCAPE PLANTING PLAN

L1.0



Know what's below.  
Call before you dig.

Sheet of



### PLANT SYMBOLS

INDICATES PLANT KEY  
INDICATES PLANT QUANTITY

EXISTING TREE TO REMAIN

EXISTING LANDSCAPE PLANTING - TO REMAIN.

RIVER WASH COBBLE

DUMOR - BENCH  
1204 / 8-1 / ARGENTO

DECOMPOSED GRANITE PAVING FOR OPEN SPACE

### PLANT NOTES:

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 3:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2% MIN).
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
- ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN 6 FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
- PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT -1800.227.2600
- PROTECT EXISTING STORM DRAIN INLETS DRAIN INLETS, WITH FILTER FABRIC, FOR THE DURATION OF THE PROJECT.

### PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
T1	PLATANUS R. 'ROBERTS'	CALIFORNIA SYCAMORE	5	48"BOX	STANDARD	MEDIUM
T2	ARBUTUS 'MARINA'	MARINA STRAWBERRY TREE	10	48"BOX	STANDARD	LOW
T3	LAGERSTROMIA 'TONTU'	GRAPE MYRTLE	17	36"BOX	STANDARD	LOW
T4	LAURUS 'SARATOGA'	SARATOGA BAY LAUREL	19	24"BOX	STANDARD	LOW
T5	LYONOTHAMNUS FLORIBUNDUS	SANTA CRUZ ISLAND IRONWOOD	5	24"BOX	MULTI-TRUNK	LOW
T6	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	5	24"BOX	STANDARD	LOW
T7	PLATANUS R. 'ROBERTS'	CALIFORNIA SYCAMORE	4	48"BOX	STANDARD	MEDIUM
SHRUBS						
S1	PITTOSPORUM 'VAREGATA'	VARIGATED TOBIRA	157	5 GAL		LOW
S2	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	91	5 GAL		LOW
S3	JUNCUS PATENS	CALIFORNIA GREY RUSH	1	1 GAL	18" O.C.	LOW
S4	RHAPHIOLEPS L. 'MINOR'	DWARF YERBA HAWTHORN	145	5 GAL		LOW
S5	PENSTEMON H. 'MARGARITA BO'	BLUE BEDDER	46	5 GAL		LOW
S6	MULLENBERGIA CAPILLARIS	HAIRY AWN MUHLY	83	5 GAL		LOW
S7	PITTOSPORUM TENUIFOLIUM	KOHLUJI	37	15 GAL		LOW
S8	DIETES BICOLOR	AFRICAN IRIS	103	5 GAL		LOW
GROUND COVERS						
G1	SEBLERIA 'GREENLEE'	GREENLEE MOOR GRASS	1	1 GAL	18" O.C.	MEDIUM
G2	ROSMARINUS O. 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	1	1 GAL	24" O.C.	LOW
G3	WOOD CHIP MULCH				3" DEPTH	
G4	ROCK COBBLE	LINN CREEK COBBLE			1" DIA.	
G5	BULBINE F. 'ORANGE'	ORANGE STALKED BULBINE	1	1 GAL	24" O.C.	LOW
G6	COTONEASTER D. 'LOWFAST'	BREADBERRY COTONEASTER	1	1 GAL	24" O.C.	LOW
G7	DESCHAMPSIA CESPIITOSA SPP. HOLCIFORMIS	COASTAL HAIRGRASS	1	1 GAL	24" O.C.	LOW

### STREET TREE PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
ST1	CEDRUS DEODARA	DEODAR CEDAR	5	24"BOX	STANDARD	MEDIUM

### TREE REPLACEMENT REQUIREMENTS

TREE REPLACEMENT REQUIREMENTS			
TRUNK SIZE	REPLACEMENT	TREES REMOVED	TOTAL REPLACEMENT TREES REQUIRED
UP TO 12"	---	9	---
OVER 12" AND UP TO 18"	ONE 24" BOX TREES	8	8 X 24" BOX TREES
OVER 18" AND UP TO 24"	TWO 24" BOX TREES OR ONE 36" BOX TREE	4	4 X 36" BOX TREES
OVER 24"	ONE 48" BOX TREE OR TWO 36" BOX OR FOUR 24" BOX TREES	16	16 X 48" BOX TREES

#### REPLACEMENT TREES REQUIRED

24" BOX TREES = 8  
36" BOX TREES = 4  
48" BOX TREES = 16

TOTAL NEW TREES REQUIRED = 28

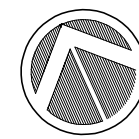
#### REPLACEMENT TREES PROVIDED

24" BOX TREES = 30  
36" BOX TREES = 17  
48" BOX TREES = 19

PROPOSED NEW TREES = 66

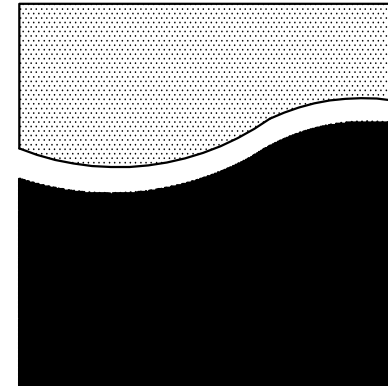
### GENERAL NOTES

- LANDSCAPE PLANTING IS AT MINIMUM 20% OR MORE OF TOTAL PROJECT AREA.



0 10 20 40  
Scale 1" = 20 ft  
sheet size = 36"x24"





REED ASSOCIATES  
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675 Almanor

Sunnyvale, CA

ISSUE	DATE
△ site plan changes	06.13.16
△ site plan changes	09.19.16
△ site plan changes	11.15.16
△ site plan changes	01.18.17



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## LANDSCAPE PLANTING PLAN



Know what's below.  
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### TREE REPLACEMENT REQUIREMENTS

TREE REPLACEMENT REQUIREMENTS			
TRUNK SIZE	REPLACEMENT	TREES REMOVED	TOTAL REPLACEMENT TREES REQUIRED
UP TO 12"	---	9	---
OVER 12" AND UP TO 18"	ONE 24" BOX TREES	8	8 X 24" BOX TREES
OVER 18" AND UP TO 24"	TWO 24" BOX TREES OR ONE 36" BOX TREE	4	4 X 36" BOX TREES
OVER 24"	ONE 48" BOX TREE OR TWO 36" BOX OR FOUR 24" BOX TREES	16	16 X 48" BOX TREES

REPLACEMENT TREES REQUIRED  
24" BOX TREES = 8  
36" BOX TREES = 4  
48" BOX TREES = 16

TOTAL NEW TREES REQUIRED = 28

REPLACEMENT TREES PROVIDED  
24" BOX TREES = 23  
36" BOX TREES = 17  
48" BOX TREES = 19

PROPOSED NEW TREES = 59

### PLANT SYMBOLS

⬡ INDICATES PLANT KEY  
XX INDICATES PLANT QUANTITY

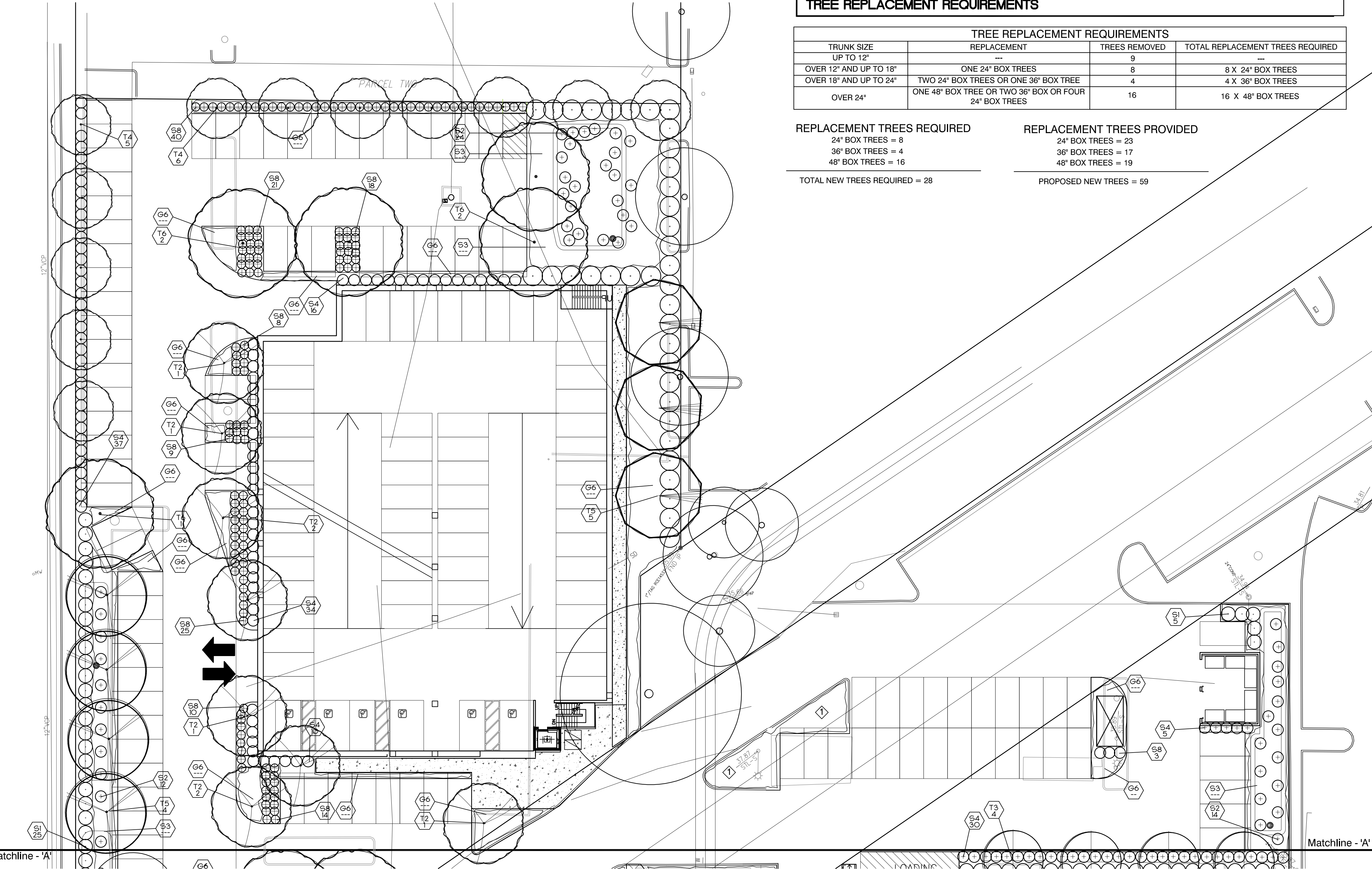
● EXISTING TREE TO REMAIN

1 EXISTING LANDSCAPE PLANTING - TO REMAIN.

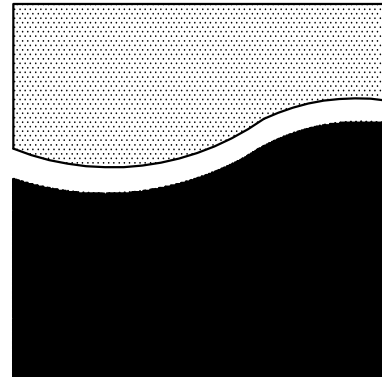
2 RIVER WASH COBBLE

3 DUMOR - BENCH  
#104 / S-1 / ARGENTO

4 DECOMPOSED GRANITE PAVING FOR OPEN SPACE







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Sunnyvale, CA

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## EXISTING TREE INVENTORY PLAN

L1.2

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## TREE PROTECTION NOTES

PROTECT EXISTING TREES SHOWN ON PLAN TO REMAIN BY FOLLOWING THESE INSTRUCTIONS.

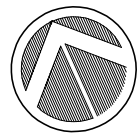
1. THE GRADE BETWEEN THE DRIPLINE AND ROOT CROWN OF THE TREES SHALL NOT BE CUT AND CAN BE FILLED BY ONLY 3 INCHES, EXCEPT WITHIN 5'-0" OF THE TRUNK WHERE THE GRADE SHALL NOT BE DISTURBED.
2. IRRIGATION AND RAIN WATER SHALL BE ABLE TO DRAIN AWAY FROM THE ROOT CROWN OF THE TREES.
3. DO NOT DRIVE OR PARK VEHICLES WITHIN THE DRIPLINE AREA OF THE TREES UNLESS NECESSARY TO DO PAVING CONSTRUCTION. IF THERE HAS BEEN ANY VEHICULAR TRAFFIC WITHIN THE DRIPLINE, THE GROUND SHALL BE SCARIFIED BY HAND TO A DEPTH OF 12 INCHES TO DE-COMPACT.
4. DO NOT ALLOW CONTRACTORS TO DUMP WASTE CONCRETE, PLASTER, ETC. UNDER DRIPLINE OF TREES. DO NOT ALLOW PAINTERS OR OTHER TO CLEAN EQUIPMENT UNDER DRIPLIN OR UPHILL OF EXISTING TREES WHERE NATURAL DRAINAGE WOULD CAUSE WASTE TO RUN WITHIN DRIPLINE. DO NOT ALLOW ANY WASTE TO BE DUMPED IN SOIL ON SITE.
5. TREES SHALL NOT BE PRUNED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT OR ARBORIST.
6. IF IT IS NECESSARY TO PRUNE OR CUT ANY ROOTS LARGER THAN 1 INCH IN DIAMETER, THE ROOTS SHALL BE CUT CLEANLY AND ROOT SEALED. WHERE EXCAVATION IS REQUIRED AROUND TREES (FOR WALL, PAVING, ETC.) THE REPLACED SOIL SHALL BE ½ SOIL AMENDMENT AND ½ NATIVE SOIL.
7. NO IRRIGATION SHALL BE INSTALLED WITHIN 5'-0" OF THE TRUNK. NO SPRAY SHALL HIT THE TRUNKS OF TREES. ALL TRENCHING WITHIN THE DRIPLINE WILL BE DONE BY HAND. ALL PIPING SHALL RUN PERPENDICULAR TO THE TRUNK WITHIN THE DRIPLINE EXCEPT AT FACE OF CURB, PLANTER OR PAVING.

## EXISTING TREE LEGEND

REFER TO ARBORIST REPORT FOR FINAL AND COMPLETE EXISTING TREE AND TREE PRESERVATION INFORMATION.

WALTER LEVISON, CONSULTING ARBORIST  
(415) - 203-0990

KEY	BOTANICAL NAME	COMMON NAME	DIA.	HERITAGE	STATUS	LOCATED ON ADJACENT PROP.	LOCATED ON HETCH HETCHY	LOCATED ON SANTA CLARA FLOOD CONTROL PROP.
1	LAGERSTROEMIA (CULT.)	GRAPE MYRTLE	7	NO	SAVE			
2	LAGERSTROEMIA (CULT.)	GRAPE MYRTLE	7.6	NO	TO REMOVE			
3	QUERCUS (CULT.)	OAK SPECIES	6.3	NO	TO REMOVE			
4	LAGERSTROEMIA (CULT.)	GRAPE MYRTLE	23	NO	TO REMOVE			
5	LAGERSTROEMIA (CULT.)	GRAPE MYRTLE	15	NO	TO REMOVE			
6	LAGERSTROEMIA (CULT.)	GRAPE MYRTLE	19	NO	TO REMOVE			
7	SEQUOIA SEMPERVIRENS	REDWOOD	61	YES	SAVE			
8	BETULA PENDULA	EUROPEAN BIRCH	16.8	YES	TO REMOVE			
9	LAGERSTROEMIA (CULT.)	GRAPE MYRTLE	7.9	NO	TO REMOVE			
10	CASUARINA STRICTA	COAST BEEFWOOD	24.6	YES	TO REMOVE			
11	SEQUOIA SEMPERVIRENS	REDWOOD	41.6	YES	SAVE			
12	SEQUOIA SEMPERVIRENS	REDWOOD	61.8	YES	SAVE			
13	SEQUOIA SEMPERVIRENS	REDWOOD	75.7	YES	SAVE	YES		
14	SEQUOIA SEMPERVIRENS	REDWOOD	36.5	YES	SAVE	YES		
15	PINUS RADIATA	MONTEREY PINE	24	YES	TO REMOVE			
16	FRAXINUS UHDEI	SHAMEL ASH	102	YES	TO REMOVE			
17	FRAXINUS UHDEI	SHAMEL ASH	43.1	YES	TO REMOVE			
18	FRAXINUS UHDEI	SHAMEL ASH	43.3	YES	SAVE			
19	BETULA PENDULA	EUROPEAN BIRCH	12.3	NO	TO REMOVE			
20	BETULA PENDULA	EUROPEAN BIRCH	12.7	YES	TO REMOVE		YES	
21	BETULA PENDULA	EUROPEAN BIRCH	17.9	NO	TO REMOVE		YES	
22	BETULA PENDULA	EUROPEAN BIRCH	7.5	NO	TO REMOVE		YES	
23	BETULA PENDULA	EUROPEAN BIRCH	22.3	NO	TO REMOVE		YES	
24	BETULA PENDULA	EUROPEAN BIRCH	7	NO	TO REMOVE		YES	
25	PLATANUS X ACERIFOLIA	LONDON PLANE (CULT.)	18	YES	TO REMOVE		YES	
26	PLATANUS X ACERIFOLIA	LONDON PLANE (CULT.)	14.7	YES	TO REMOVE		YES	
27	PLATANUS X ACERIFOLIA	LONDON PLANE (CULT.)	7.4	NO	TO REMOVE		YES	
28	PLATANUS X ACERIFOLIA	LONDON PLANE (CULT.)	11	NO	SAVE			
29	SEQUOIA SEMPERVIRENS	REDWOOD	30.4	YES	SAVE			
30	PLATANUS X ACERIFOLIA	LONDON PLANE (CULT.)	10.8	NO	TO REMOVE			
31	PLATANUS X ACERIFOLIA	LONDON PLANE (CULT.)	9.7	NO	TO REMOVE			
32	FRAXINUS UHDEI	SHAMEL ASH	47.3	YES	TO REMOVE			
33	FRAXINUS UHDEI	SHAMEL ASH	43.1	YES	TO REMOVE			
34	FRAXINUS UHDEI	SHAMEL ASH	38.8	YES	TO REMOVE			
35	FRAXINUS UHDEI	SHAMEL ASH	33.7	YES	TO REMOVE			
36	FRAXINUS UHDEI	SHAMEL ASH	39.2	YES	TO REMOVE			
37	SEQUOIA SEMPERVIRENS	REDWOOD	26.3	YES	TO REMOVE			
38	SEQUOIA SEMPERVIRENS	REDWOOD	28.2	YES	SAVE			
39	SEQUOIA SEMPERVIRENS	REDWOOD	30	YES	SAVE			
40	FRAXINUS UHDEI	SHAMEL ASH	6.8	NO	TO REMOVE			
41	FRAXINUS UHDEI	SHAMEL ASH	8.4	NO	TO REMOVE			
42	SEQUOIA SEMPERVIRENS	REDWOOD	15.7	YES	SAVE			YES
43	SEQUOIA SEMPERVIRENS	REDWOOD	52	YES	SAVE			YES
44	SEQUOIA SEMPERVIRENS	REDWOOD	26.4	YES	TO REMOVE			
45	GREVILLEA ROBUSTA	SILK OAK	34.1	YES	TO REMOVE			
46	SEQUOIA SEMPERVIRENS	REDWOOD	15.8	YES	SAVE			YES
47	GREVILLEA ROBUSTA	SILK OAK	31.8	YES	SAVE			YES
48	GREVILLEA ROBUSTA	SILK OAK	20.8	YES	SAVE			YES
49	CEDRUS ATLANTICA	ATLAS CEDAR	29.3	YES	TO REMOVE		YES	
50	OLEA EUROPEA	EUROPEAN OLIVE	50	YES	TO REMOVE		YES	
51	SEQUOIA SEMPERVIRENS	REDWOOD	25.6	YES	TO REMOVE			
52	SEQUOIA SEMPERVIRENS	REDWOOD	12.8	YES	TO REMOVE			



0 15 30 60  
Scale 1" = 30 ft  
sheet size = 36"x24"



Know what's below.  
Call before you dig.

## TREE REPLACEMENT REQUIREMENTS

TREE REPLACEMENT REQUIREMENTS			
TRUNK SIZE	REPLACEMENT	TREES REMOVED	TOTAL REPLACEMENT TREES REQUIRED
UP TO 12"	---	9	---
OVER 12" AND UP TO 18"	ONE 24" BOX TREES	8	8 X 24" BOX TREES
OVER 18" AND UP TO 24"	TWO 24" BOX TREES OR ONE 36" BOX TREE	4	4 X 36" BOX TREES
OVER 24"	ONE 48" BOX TREE OR TWO 36" BOX OR FOUR 24" BOX TREES	16	16 X 48" BOX TREES

### REPLACEMENT TREES REQUIRED

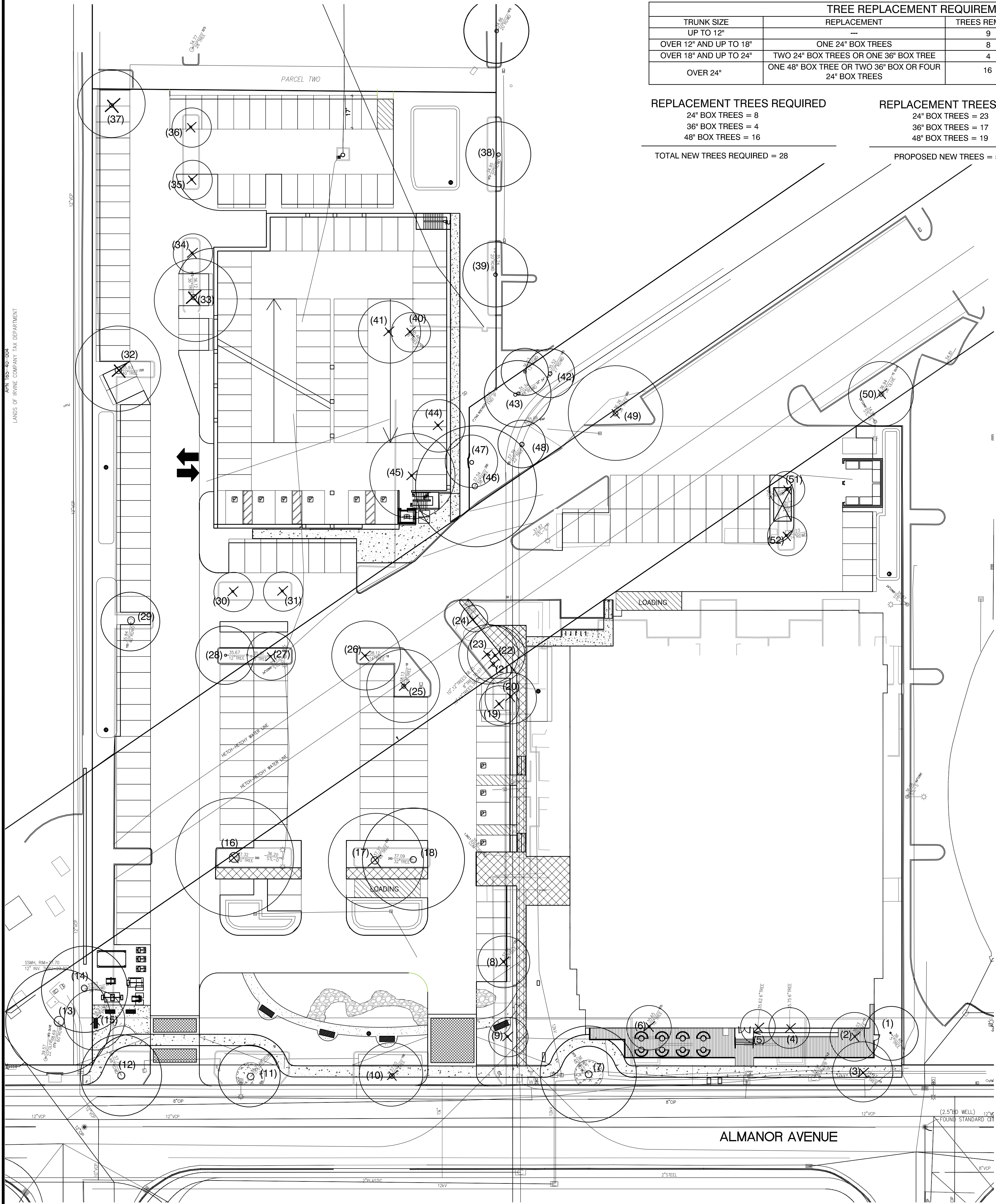
24" BOX TREES = 8  
36" BOX TREES = 4  
48" BOX TREES = 16

TOTAL NEW TREES REQUIRED = 28

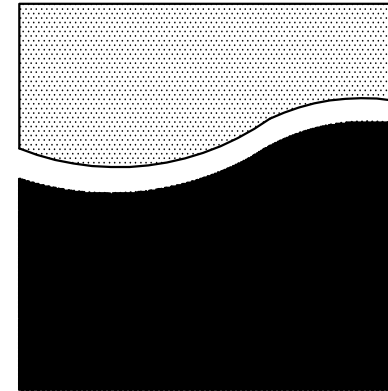
### REPLACEMENT TREES PROVIDED

24" BOX TREES = 23  
36" BOX TREES = 17  
48" BOX TREES = 19

PROPOSED NEW TREES = 59







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△ site plan changes	01.18.17



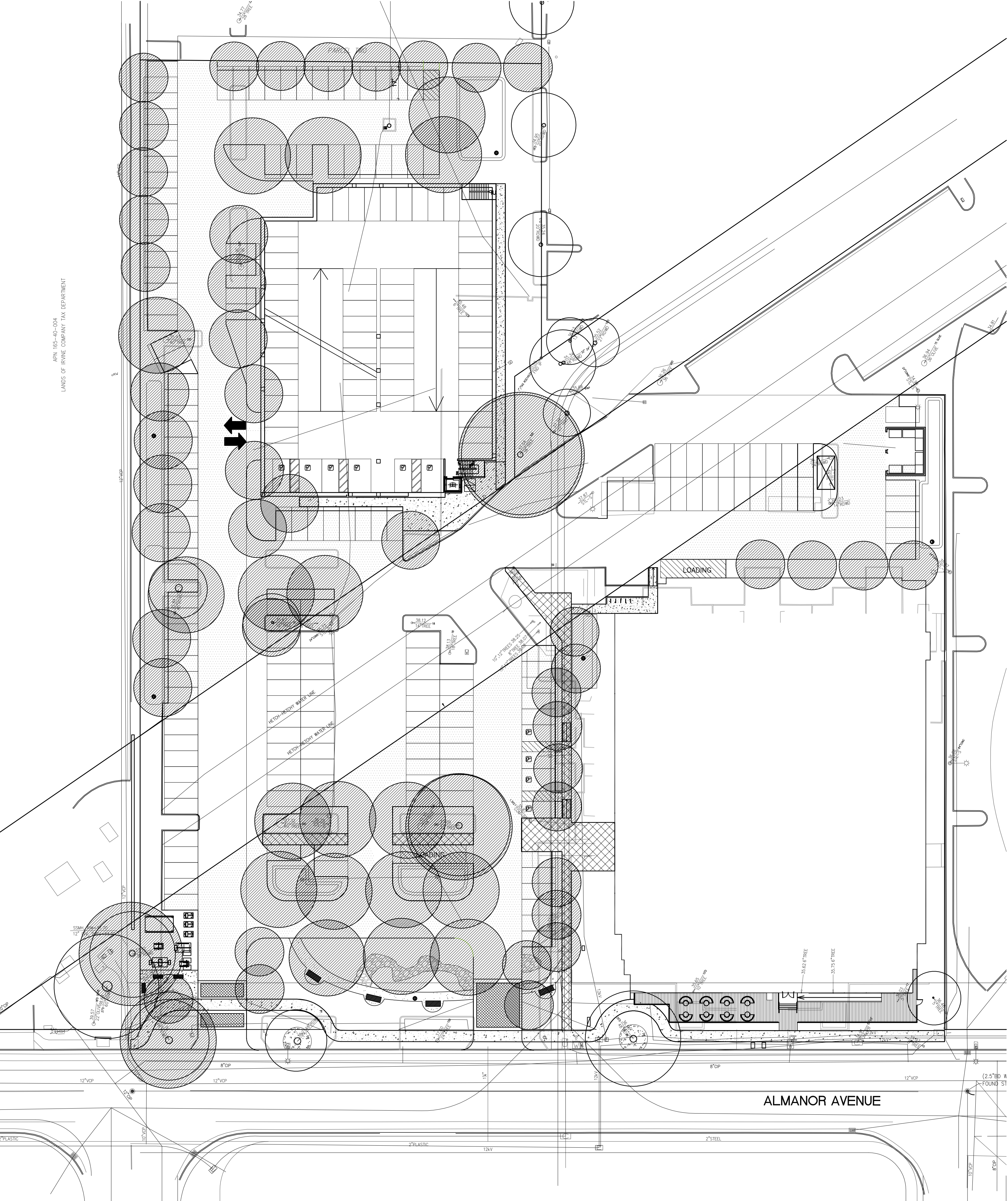
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PARKING LOT  
TREE SHADING  
COVERAGE

L1.3

Sheet of

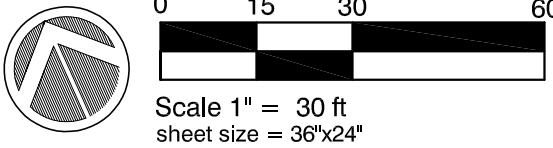


TREE SHADING LEGEND

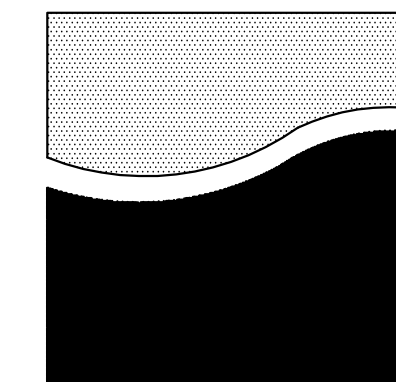
- TREE CANOPY SHADING
- ASPHALT PARKING PAVING AREA

TREE SHADING COVERAGE

Parking lot square footage	48,959 s.f.
Tree shading square footage	23,024 s.f.
Percentage shading coverage in 15 years	47.0 %









**REED ASSOCIATES**  
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Project No.	---,---		
Scale	---	Issue Date	06-15-16

# LANDSCAPE HYDROZONE PLAN

## L2.0



**Know what's below.  
Call before you dig.**

Sheet of

## Appendix B - Water Efficient Landscape Worksheet

Reference Evapotranspiration (ET <sub>o</sub> )	50.0
---	------

MAWA - Regular Landscape Areas

$$\text{MAWA} = (\text{ETo}) \times (0.62) \times ((0.45 \times \text{LA}) + (0.3 \times \text{SLA}))$$

landscape area	35,128	s.f.
ETAF	.45	average ETAF for regular landscape areas must be 0.55 residential areas, and 0.45 for non-residential areas
mawa total	490,036	gallons per year

ETWU - Regular Landscape Areas

$$ETWU = (ET_0) \times (0.62) \times (ETAF \times LA)$$

[illegible]

totals	35,128	15303.41	474,40
--------	--------	----------	--------

### ETAF calculations

total ETAF x area	15303.41	
total area	35,128	s.f.
average ETAF	0.436	Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

## TOTALS

MAWA total	490,036	gallons per year
ETWU total	474,406	gallons per year

3.2 Percentage reduction of Potabel Irrigation Water

## IRRIGATION HYDRO-ZONE LEGEND

PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS.



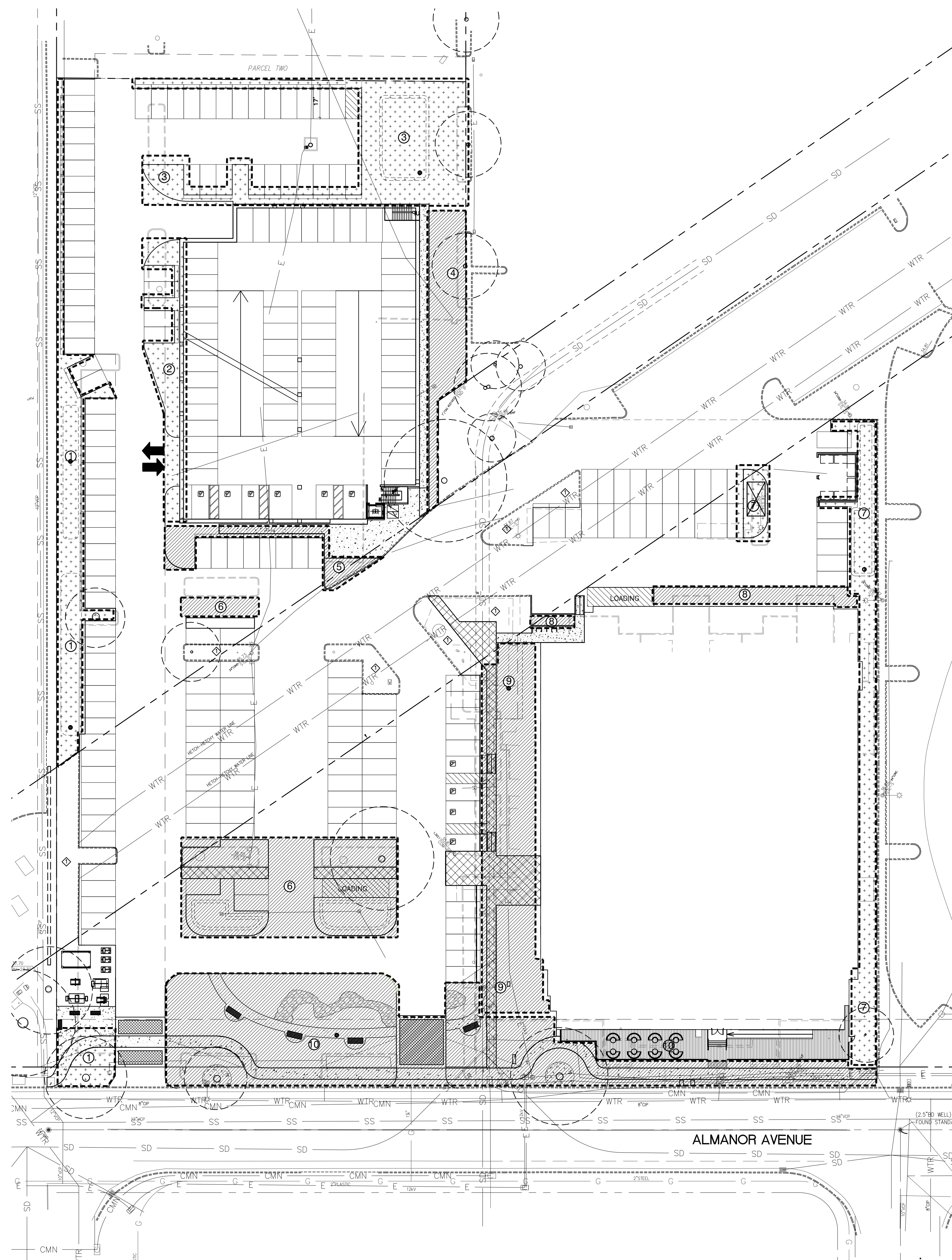
**HIGH WATER REQUIREMENT**


**MEDIUM WATER REQUIREMENT**

 **LOW WATER REQUIREMENT (DROUGHT TOLERANT PLANTING)**

### KEY LEGEND

1 EXISTING LANDSCAPE PLANTING  
NOT INCLUDED IN WATER BUDGET CALCULATIONS.



0 15 30  
Scale 1" = 30 ft  
sheet size = 36"x24"

Sheet of



### GENERAL NOTE:

1. REFER TO SHEET C-11 FOR DEMOLITION WORK WITHIN THE ALMANOR AVENUE RIGHT OF WAY.
2. REFER TO TREE PROTECTION AND REMOVAL PLAN FOR THE DISPOSITION OF ALL (E) TREES.
3. PROTECT ALL EXISTING UTILITIES TO REMAIN.
4. REFER TO ELECTRICAL DRAWINGS FOR DISPOSITION OF ALL ELECTRICAL COMMUNICATION LINES/STRUCTURES.
5. REFER TO SHEET C-21 FOR REMOVAL OF UTILITIES WITHIN THE PUBLIC RIGHT OF WAY.
6. REFER TO SHEET C-21 FOR REMOVAL OF ADDITIONAL UTILITIES WITHIN THE PROJECT BOUNDARY.
7. (E) AC PAVING SHOWN TO BE REMOVED MAY BE GROUND AND MIXED WITH THE EXISTING AGGREGATE BASE AND STOCKPILED FOR USE, AS CL. 2 AGGREGATE BASE AT THE NEW AC PAVING. AC SHALL BE GROUND TO MAXIMUM 1 1/2" PIECES AND THOROUGHLY MIXED WITH THE EXISTING AGGREGATE BASE TO PRODUCE AN AGGREGATE BASE WITH A MINIMUM R VALUE OF 78 PER CAL TRANS SPECIFICATION. SEE SPECIFICATION SECTION 32 10 00 FOR AGGREGATE BASE SPECIFICATION.

### KEY NOTES

- 1 SAWCUT (E) AC PAVING.
- 2 REMOVE (E) AC PAVING. SEE GENERAL NOTE 7.
- 3 REMOVE (E) CONCRETE CURB/CURB & GUTTER.
- 4 REMOVE (E) STRUCTURE, INCLUDING FOUNDATION.
- 5 REMOVE (E) PLANTER, INCLUDING CURB, LANDSCAPING AND IRRIGATION.
- 6 REMOVE (E) LIGHT STANDARD AND FOUNDATION.
- 7 REMOVE (E) CONCRETE WALK/SLAB.
- 8 REMOVE (E) LANDSCAPING.
- 9 EXISTING STORM DRAIN TO REMAIN. SEE GENERAL NOTE 3.
- 10 (E) CURB TO REMAIN.
- 11 (E) AC PAVING TO REMAIN.
- 12 REMOVE EXISTING TRANSFORMER AND TRANSFORMER PAD. COORDINATE WITH PG&E.
- 13 REMOVE EXISTING BOLLARD.
- 14 REMOVE EXISTING TREE.
- 15 REMOVE EXISTING STORM DRAIN.
- 16 REMOVE EXISTING CONCRETE SEAT WALL.
- 17 REMOVE (E) POND, INCLUDING WALL, SLAB, AND FOUNDATION.
- 18 REMOVE (E) ELECTRICAL AND COMMUNICATION CONDUITS AND VAULTS. COORDINATE WITH ELECTRICAL PLANS.
- 19 REMOVE EXISTING STEPS.
- 20 REMOVE (E) AIR CONDITIONER.
- 21 VERIFY (E) VAULT. IDENTIFY AND REMOVE/DISPOSE OF PER APPLICABLE CODE.
- 22 REMOVE EXISTING SIGN.
- 23 REMOVE EXISTING WOOD FENCE.
- 24 REMOVE EXISTING IRRIGATION LINE.
- 25 REMOVE EXISTING GAS METER AND GAS LINE WITHIN THE PROJECT BOUNDARY PER CPA UTILITIES REQUIREMENTS.
- 26 REMOVE EXISTING WATER BACKFLOW VALVE.
- 27 REMOVE EXISTING FIRE LINE TO THE EXISTING FDC. SEE DRAWING C-21 PDC TO NEW 6" FIRE LINE. VIF.
- 28 REMOVE (E) WALL, INCLUDING FOUNDATION.

# CHANG ARCHITECTURE

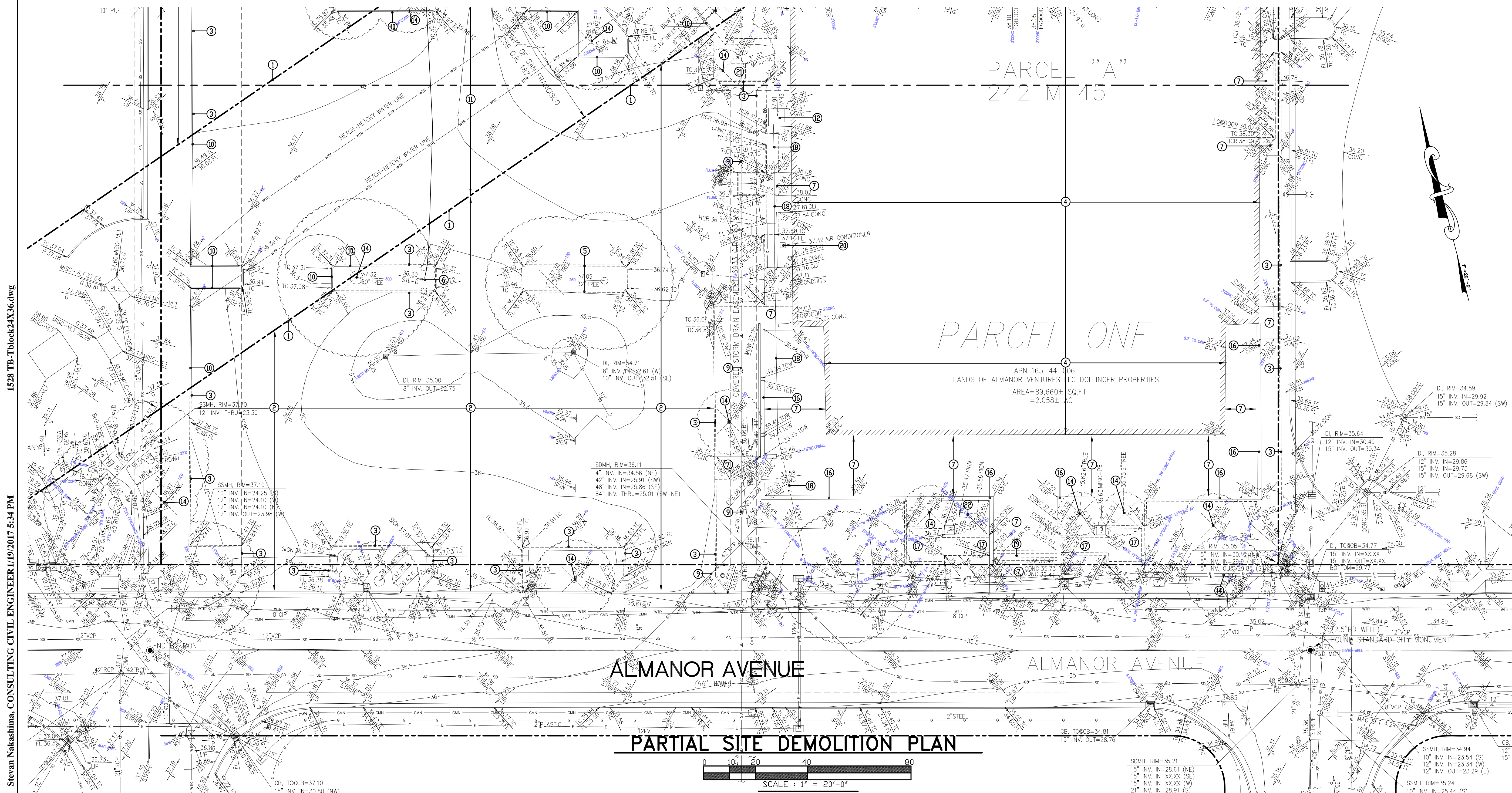
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	PLANNING RESUBMITTAL	06/13/2016
	PLANNING RESUBMITTAL	09/19/2016
	SFPUC COMMENTS	10/07/2016
	PLANNING RESUBMITTAL	11/17/2016
	PLANNING RESUBMITTAL	01/20/2017

Schematic Design  
For:

# 675 Almanor

Sunnyvale, CA

Drawing Title

## PARTIAL SITE DEMOLITION PLAN

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# C-01



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Schematic Design  
For:

## 675 Almanor

Sunnyvale, CA

Drawing Title:

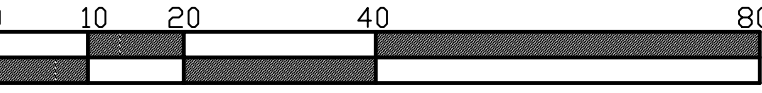
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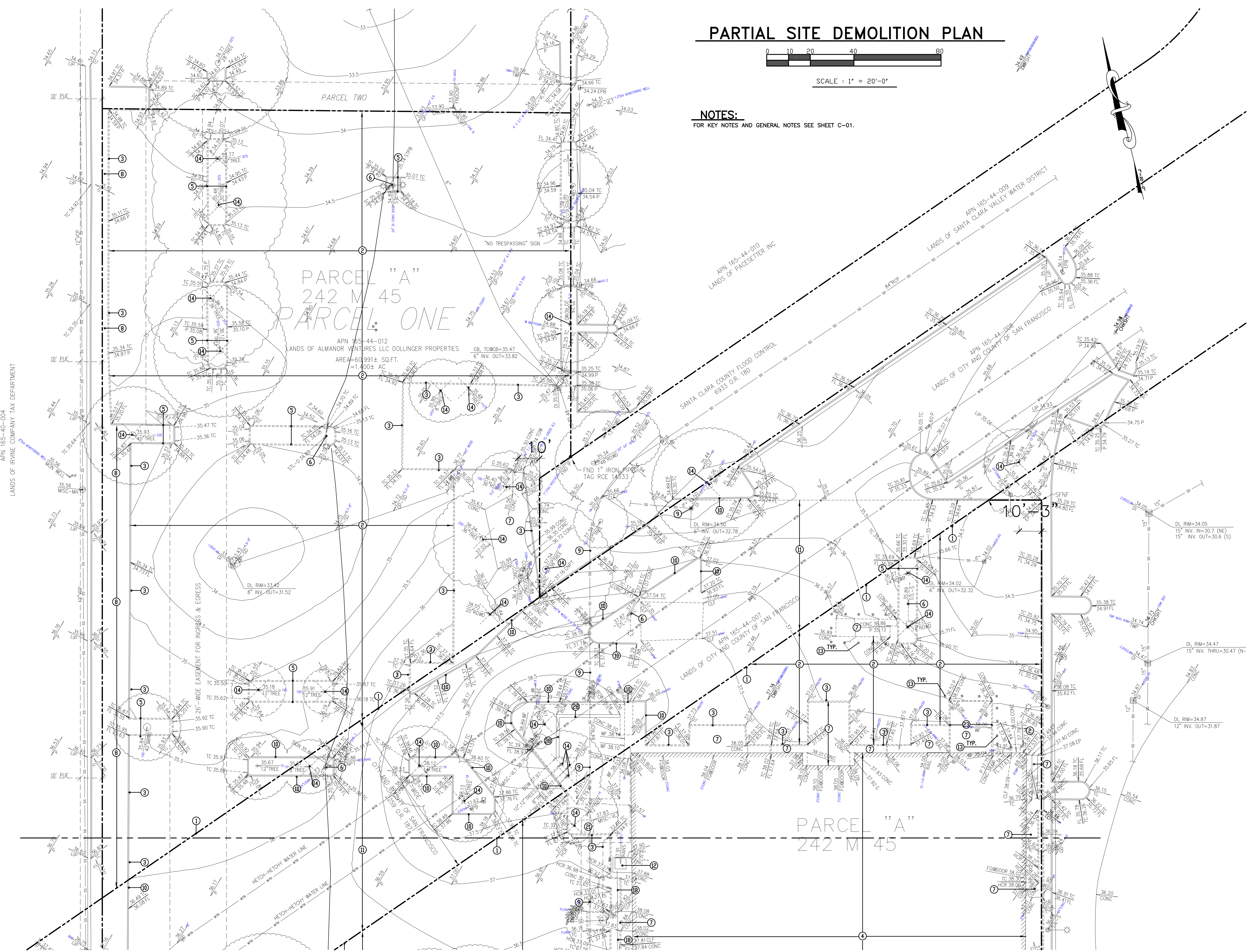
## PARTIAL SITE DEMOLITION PLAN



SCALE : 1" = 20'-0"

### NOTES:

FOR KEY NOTES AND GENERAL NOTES SEE SHEET C-01.



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LANDS OF IRVINE COMPANY TAX DEPARTMENT

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## KEY NOTES FOR WORK ON PUBLIC RIGHT-OF-WAY

- 40 SAWCUT (E) AC PAVING AND REMOVE ALONG PROJECT FRONTAGE.
- 41 REMOVE (E) CONCRETE DRIVEWAY.
- 42 PROVIDE AC PATCH PER CITY STANDARDS.
- 43 PROVIDE NEW CONCRETE DRIVEWAY PER CITY STANDARD DWG. 6C-2 SIMILAR.
- 44 PROVIDE MINIMUM 1.5% AND MAXIMUM 2% CROSS-SLOPE PER CITY STANDARD DWG. 9C-1A.
- 45 PROVIDE DETACHED 6-FOOT SIDEWALK WITH 4-FOOT PARK-STRIP PER CITY STANDARD DWG. 9C-1A.
- 46 PROVIDE (N) CURB AND GUTTER TO MATCH EXISTING PER CITY STANDARD DWG. 15C.
- 47 MATCH (E) CONCRETE WALK GRADE.
- 48 SAWCUT AND REMOVE (E) CONCRETE CURB AND GUTTER WALK ALONG PROJECT FRONTAGE.

## GENERAL NOTES

1. EXTERIOR CONCRETE FLATWORK SUBJECT TO PEDESTRIAN AND/OR OCCASIONAL LIGHT PICK UP LOADING SHALL BE AT LEAST 4" THICK AND SUPPORTED ON AT LEAST 6" OF NON-EXPANSIVE FILL WITH AT LEAST THE UPPER 4" CONSISTING OF CL. 2 AB.
2. REFER TO GEOTECHNICAL REPORT FOR ALL EXCAVATION, BACKFILL, AND COMPACTION REQUIREMENTS AND MATERIAL SPECIFICATIONS.
3. PAINT ADJACENT TO ALL CATCH BASINS THE LOGO, "NO DUMPING, DRAINS TO BAY" IN BLUE COLOR ON WHITE BACKGROUND STENCILS OF THE LOGO ARE AVAILABLE FROM THE CITY PUBLIC WORKS DEPARTMENT.
4. PROVIDE 4" TO 6" COBBLE ROCK ENERGY DISSIPATER TO A DISTANCE 2' ON EITHER SIDE OF THE CURB OPENING. ENERGY DISSIPATER TO BE 12" DEEP AND EXTEND 4' DOWNSLOPE. SEE LANDSCAPE PLANS FOR ROCK SPECIFICATION.
5. PROVIDE 2' WIDE X 12" DEEP COBBLE BAND AROUND THE BUBBLER. PROVIDE 4" TO 6" COBBLE SIZE. SEE LANDSCAPE PLANS FOR ROCK SPECIFICATION.
6. ALL CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY, EASEMENT, OR OTHER PROPERTY UNDER THE CITY JURISDICTION SHALL CONFORM TO STANDARD SPECIFICATIONS OF THE PUBLIC WORKS AND UTILITY DEPARTMENT.
7. NO STORAGE OF CONSTRUCTION MATERIALS IS PERMITTED IN THE STREET OR ON THE SIDEWALK WITHOUT PRIOR APPROVAL OF PUBLIC WORKS ENGINEERING.
8. PROJECT WILL NOT LOCATE OVERFLOW STRUCTURES DIRECTLY IN LINE WITH OR NEXT TO CURB OPENINGS.
9. REMOVE EXISTING CURB AND GUTTER ALONG PROJECT FRONTAGE ON ALMANOR AVENUE AND PROVIDE NEW CURB AND GUTTER PER CITY STANDARD DWG. 15C.
10. NO CONSTRUCTION STAGING OF SUPPLIES AND EQUIPMENT SHALL OCCUR WITHIN THE HATCH-HETCHY RIGHT OF WAY.

## KEY NOTES

- 1 CONCRETE SLAB-SEE STRUCTURAL FOR THICKNESS AND REINFORCING, OVER 2" SAND, 10 MIL MEMBRANE OVER 4" DRAIN ROCK.
- 2 PROVIDE NEW CONCRETE CURB & GUTTER. SEE 10/C-31.
- 3 PROVIDE NEW WALK WITH MAXIMUM 2% CROSS - SLOPE AND SLOPE AND SLOPE IN THE DIRECTION OF TRAVEL LESS THAN 1/20. SEE LANDSCAPE AND ARCHITECTURAL PLAN FOR WALK MATERIAL.
- 4 PROVIDE WALK/LANDING WITH MAXIMUM 2% SLOPE IN ANY DIRECTION. SEE LANDSCAPE PLAN FOR WALK MATERIAL.
- 5 END VERTICAL CURB. BEGIN FLUSH CURB.
- 6 PROVIDE FLUSH CURB.
- 7 PROVIDE NEW AC PAVING WITH MAXIMUM SLOPE IN ALL DIRECTIONS OF 2% AT ALL ACCESSIBLE PARKING SPACES AND ACCESS AISLES. VERIFY LOCATION WITH ARCHITECTURAL DRAWINGS.
- 8 PROVIDE CONCRETE CURB RAMP WITH MAXIMUM 1:12 SLOPE. SEE ARCH. DWG. FOR DETAILS.
- 9 PROVIDE 6" CONCRETE SLAB W/#3 @ 18" OCEW OVER 6" CL. 2 AGGREGATE BASE.
- 10 PROVIDE 18" WIDE CURB CUT AT CURB OR CURB AND GUTTER. PROVIDE MINIMUM 2" DROP FROM FL OF GUTTER TO LANDSCAPE GRADE. SEE GENERAL NOTE 4.
- 11 NEW BUBBLER. PROVIDE 18" ROUND CATCH BASIN OR AREA DRAIN WITH GRATE ELEVATION 7" ABOVE FLOW LINE OF BIRETENTION BASIN. SEE GENERAL NOTE 5.
- 12 END VERTICAL CURB WITH 45° BEVEL.

- 13 END VERTICAL CURB. BEGIN FLUSH CURB.
- 14 NEW OVERFLOW DRAIN. PROVIDE 18" ROUND CATCH BASIN WITH GRATE ELEVATION 6" ABOVE FLOW LINE OF BIRETENTION AREA. SEE GENERAL NOTE 6. SEE DETAIL 2/C-32.
- 15 MATCH (E) CONCRETE WALK GRADE.
- 16 PROVIDE 3' WIDE CONCRETE GUTTER.
- 17 NEW CONCRETE CURB. SEE 7/C-31.
- 18 NEW CONCRETE CURB. SEE 8/C-31.
- 19 PROVIDE NEW ACCESSIBLE PATH WITH MAX. 2% CROSS-SLOPE AND SLOPE IN THE DIRECTION OF TRAVEL LESS THAN 1/20.
- 20 PROVIDE DEEP CURB AT BIRETENTION BASIN. SEE 1/C-32.
- 21 PROVIDE CURB, GUTTER AND RETAINING WALL.
- 22 PROVIDE NEW CONCRETE CURB & GUTTER. SEE 3/C-11.
- 23 PROVIDE FLUSH CURB AND GUTTER WITH 1/2" LIP.
- 24 MATCH (E) TC. VIF.
- 25 MATCH (E) PAVING GRADE. VIF.
- 26 PROVIDE 2 1/2" AC OVER 9" CL.2 AGGREGATE BASE.
- 27 PROVIDE 3" AC OVER 10" CL.2 AGGREGATE BASE.
- 28 PROVIDE FLOOR DRAIN WITH TRAP AND VENT.

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	PLANNING RESUBMITTAL	01/20/2017

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For:

# 675 Almanor

Sunnyvale, CA

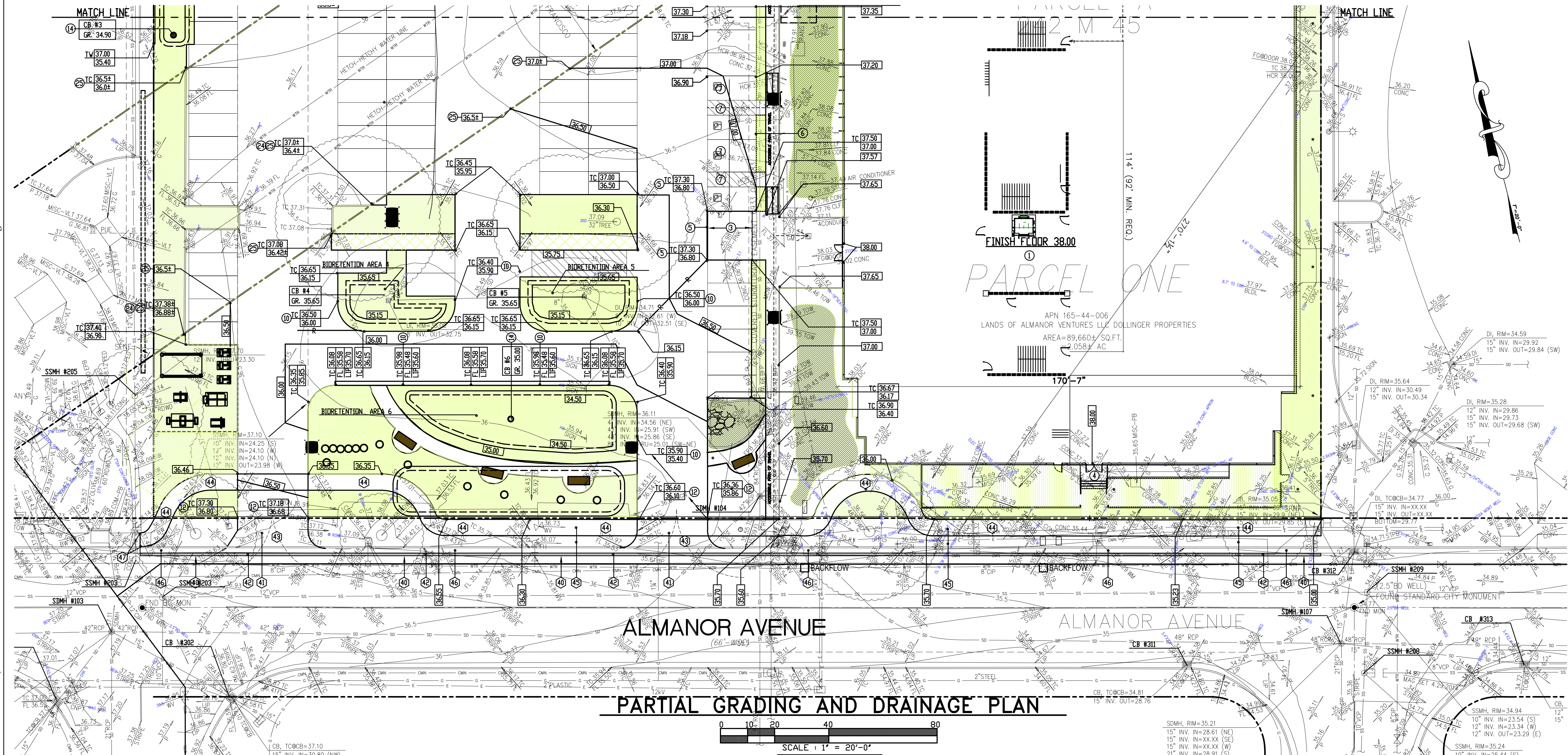
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## PARTIAL GRADING & DRAINAGE PLAN

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# C-11

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## 675 Almanor

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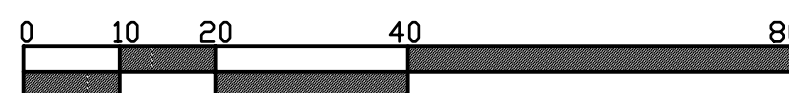
### PARTIAL GRADING & DRAINAGE PLAN

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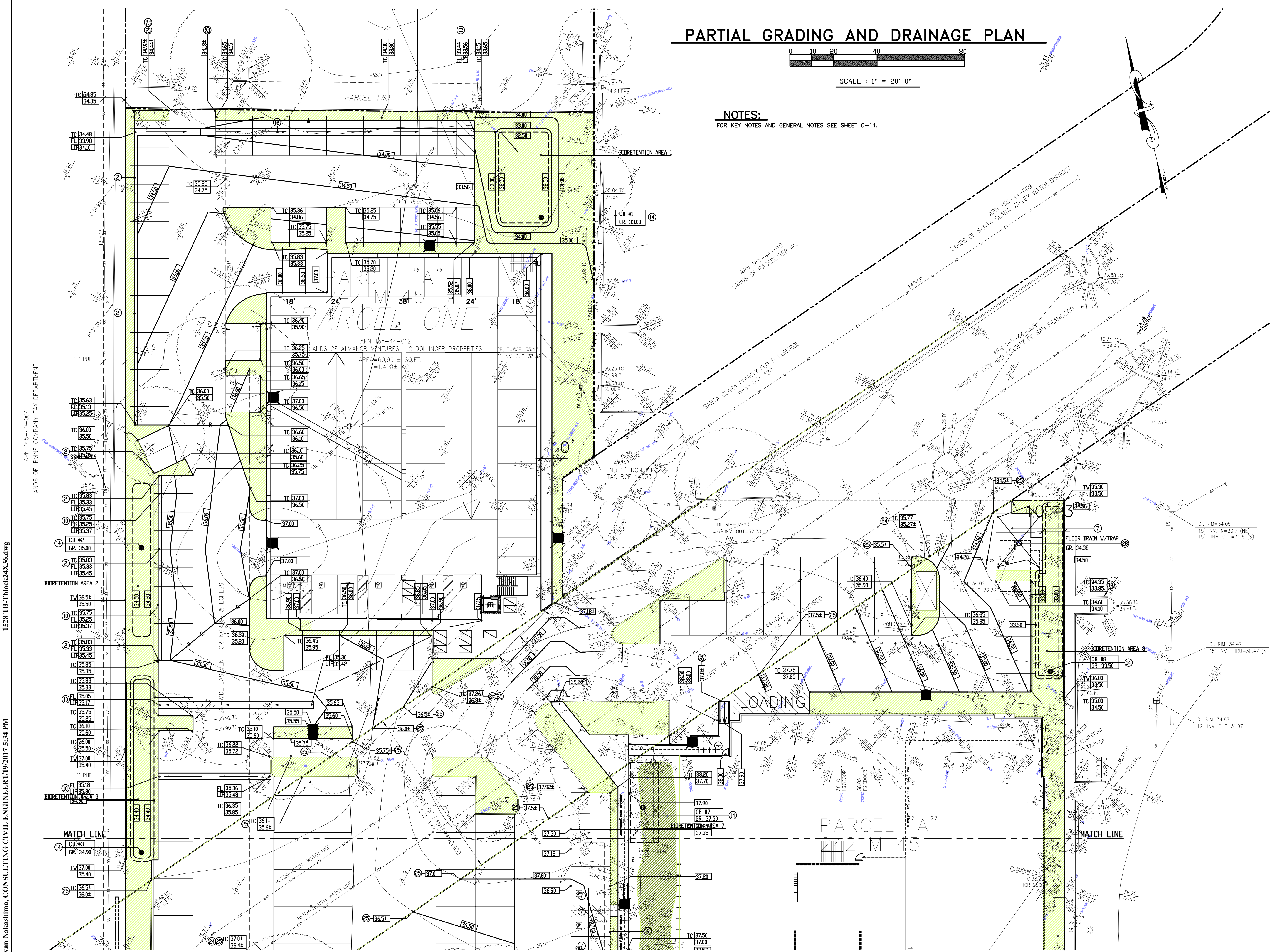
## PARTIAL GRADING AND DRAINAGE PLAN



SCALE: 1" = 20'-0"

### NOTES:

FOR KEY NOTES AND GENERAL NOTES SEE SHEET C-11.



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	PLANNING RESUBMITTAL	11/17/2016
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Schematic Design  
For:

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Almanor

Sunnyvale, CA

Drawing Title

STORMWATER PLAN

Job #	A4095.00/1528
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## STORMWATER CONTROL MEASURES USED

### SITE DESIGN

ROOF DRAINS DIRECTED TO  
BIORETENTION

### STORMWATER TREATMENT

1. BIORETENSION BASIN

### SOURCE CONTROLS

- BENEFICIAL LANDSCAPING  
(MINIMIZES IRRIGATION, RUNOFF,  
PESTICIDES & FERTILIZERS;  
PROMOTES TREATMENT)
- MAINTENANCE (STREET SWEEPING  
CATCH BASIN CLEANING)
- STORM DRAIN SIGNAGE

## SOIL TYPES

BASED ON THE JUNE 18, 2014 GEOTECHNICAL REPORT BY CORNERSTONE  
EARTH GROUP FOR THE 1750 JUNCTION COURT PROJECT THE SOILS ENCOUNTERED  
GENERALLY CONSISTED OF VARIABLE AMOUNTS OF SAND AND SILTY CLAY  
TO ABOUT 12 FEET BELOW CURRENT GRADES. THE CLAY WAS UNDERLAIN BY STIFF  
TO VERY STIFF, HIGHLY PLASTIC CLAY TO A DEPTH OF 45 FEET.

## GENERAL NOTE

- STENCIL ALL CATCH BASINS "NO DUMPING! FLOWS TO BAY" STORM WATER  
STENCILING. CONTACT CITY OF SUNNYVALE FOR STENCILS.

TABLE 1-TREATMENT CONTROL MEASURE (TCM) SUMMARY TABLE AREA \*

AREA ID	TCM	SURFACE	PERVIOUS AREA (s.f.)	IMPERVIOUS AREA (s.f.)	TOTAL AREA (s.f.)	SIZING FACTOR	BIORETENTION AREA REQUIRED(s.f.)	BIORETENTION AREA PROVIDED(s.f.)	TREATMENT METHOD
AREA 1	TCM#1	ROOF PAVING	7,894	24,878	32,772	.04 X IMPERVIOUS AREA	995 SF	1,146 SF	BIORETENTION AREA #1
AREA 2	TCM#2	ROOF PAVING	2,456	13,843	16,299	.04 X IMPERVIOUS AREA	554 SF	563 SF	BIORETENTION AREA #2
AREA 3	TCM#3	PAVING WALKS	3,857	21,302	25,159	.04 X IMPERVIOUS AREA	852 SF	916 SF	BIORETENTION AREA #3
AREA 4	TCM#4	PAVING	801	6,175	6,976	.04 X IMPERVIOUS AREA	247 SF	264 SF	BIORETENTION AREA #4
AREA 5	TCM#5	CONCRETE PAVING WALKS	687	14,080	14,767	.04 X IMPERVIOUS AREA	563 SF	563 SF	BIORETENTION AREA#5
AREA 6	TCM#6	ROOF CONCRETE PAVING WALKS	7,517	26,641	34,158	.04 X IMPERVIOUS AREA	1,065 SF	1,198 SF	BIORETENTION AREA #6
AREA 7	TCM#7	ROOF	2,515	9,865	12,380	.04 X IMPERVIOUS AREA	395 SF	478 SF	BIORETENTION AREA #7
AREA 8	TCM#8	ROOF CONCRETE PAVING WALKS	2,827	21,974	24,801	.04 X IMPERVIOUS AREA	879 SF	892 SF	BIORETENTION AREA #8
AREA 9	TCM#9	PERV. PAVER	779	-	779	-	NA	NA	SELF TREATING
TOTAL			29,333	138,758	168,091				
AREA 10		REPLACED SIDEWALK ALONG PROJECT FRONTAGE	0	531	531				MAINTENANCE
AREA 11		NEW SIDEWALK ALONG PROJECT FRONTAGE		1283	1283				ROADWAY PROJECT
TOTAL AREA SERVED BY BMPs								140,957 SF	

\*PER CHAPTER 2.3 OF THE C.3 STORMWATER HANDBOOK ROADWAY PROJECT THAT ADD  
NEW SIDEWALK ALONG AN EXISTING ROADWAY ARE EXEMPT FROM PROVISION C.3.c  
OF THE MUNICIPAL STORMWATER PERMIT.

## ENGINEERS CERTIFICATION

THE SELECTION, SIZING, AND PRELIMINARY DESIGN TREATMENT BMP'S  
AND OTHER CONTROL MEASURES IN THIS PLAN MEET THE  
REQUIREMENTS OF REGIONAL WATER QUALITY CONTROL BOARD ORDER

## RECEIVING BODY OF WATER:

SANTA CLARA COUNTY FLOOD CONTROL STORM DRAIN TO SAN FRANCISCO BAY.

## FLOOD ZONE:

THIS SITE IS IN FLOOD ZONE "X".

## PAVING MATERIALS:

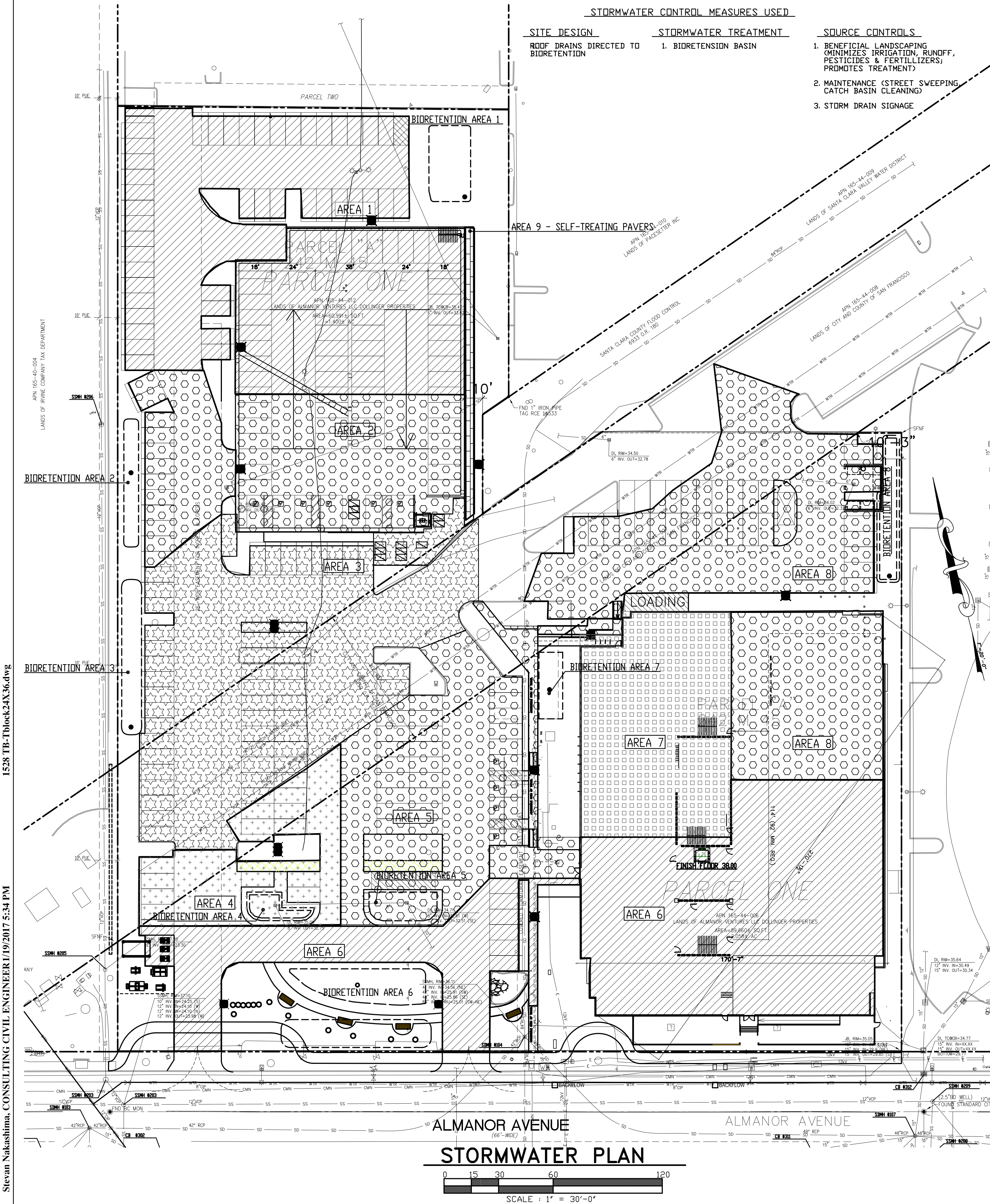
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CERTIFYING ENGINEER  
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REGISTERED PROFESSIONAL ENGINEER  
STEVEAN H. NAKASHIMA  
C26597  
REN.3/31/18  
CIVIL  
STATE OF CALIFORNIA

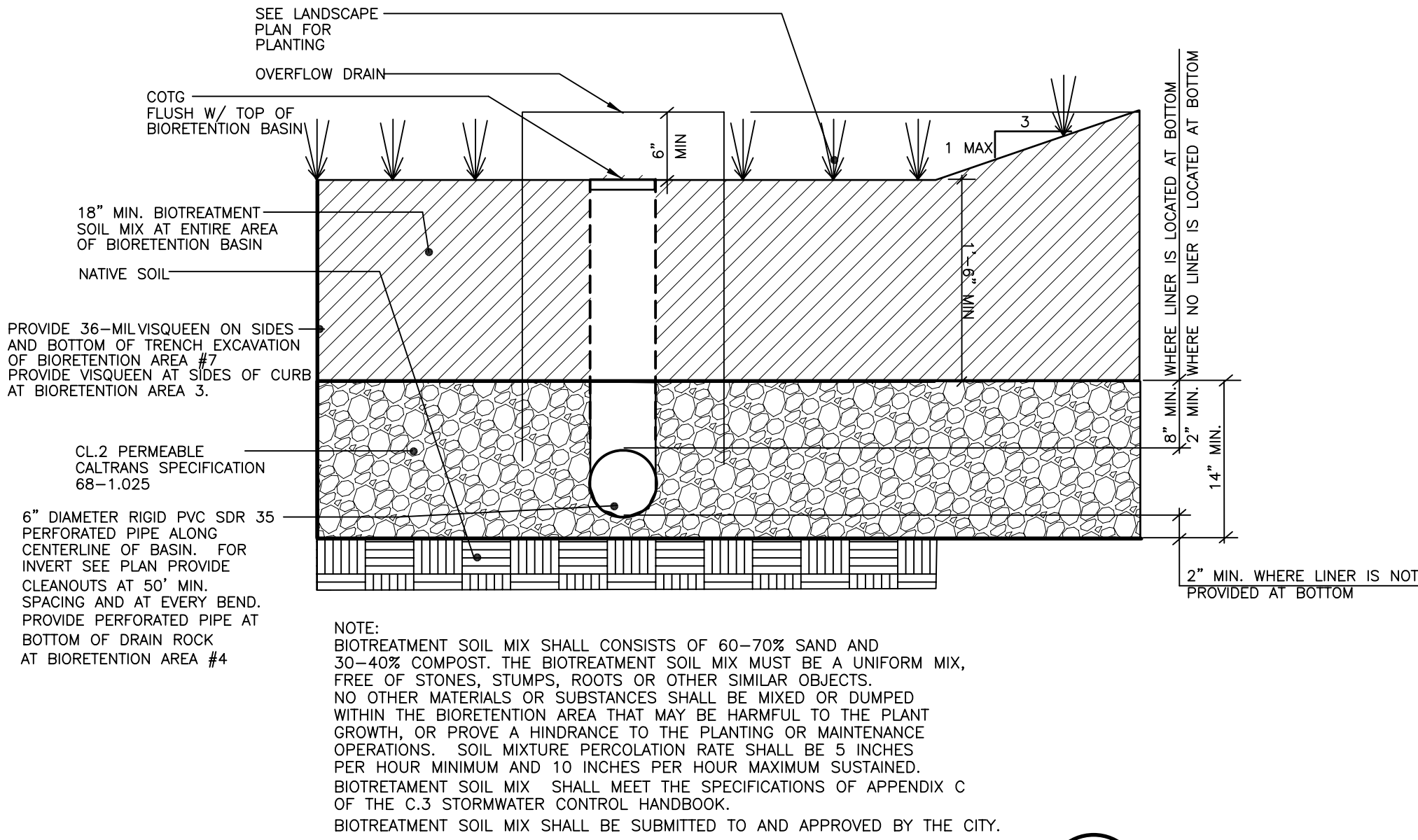
SUMMARY OF MAINTENANCE REQUIREMENTS

ENTITY RESPONSIBLE FOR THE MAINTANENCE OF THE STORMWATER  
CONTROL MEASURES:

SCOTT A. ATHEARN  
DOLLINGER PROPERTIES  
OFFICE 650-508-8666  
CELL 408-221-8380  
SCOTT@DOLLINGERPROPERTIES.COM

BIORETENTION BASINS REMOVE POLLUTANTS PRIMARILY  
BY FILTERING RUNOFF SLOWLY THROUGH AN ACTIVE LAYER OF SOIL.  
ROUTINE MAINTENANCE IS NEEDED TO INSURE THAT FLOW IS  
UNOBSTRUCTED, THAT EROSION IS PREVENTED, AND THAT SOILS ARE  
HELD TOGETHER BY PLANT ROOTS AND ARE BIOLOGICALLY ACTIVE.  
TYPICAL ROUTINE MAINTENANCE CONSISTS OF THE FOLLOWING:

- INSPECT INLETS, EXPOSURE OF SOILS, OR  
OTHER EVIDENCE OF EROSION. CLEAR ANY OBSTRUCTIONS AND  
REMOVE ANY ACCUMULATION OF SEDIMENT. EXAMINE ROCK OR  
OTHER MATERIAL USED AS A SPLASH PAD AND REPLENISH IF  
NECESSARY.
- INSPECT OUTLETS FOR EROSION OR UNPLUGGING.
- INSPECT SIDE SLOPES FOR EVIDENCE OF INSTABILITY OR EROSION  
AND CORRECT AS NECESSARY.
- OBSERVE SOIL IN THE BASINS FOR UNIFORM  
PERCOLATION THROUGHOUT. IF PORTIONS OF THE SWALE OR  
FILTER DO NOT DRAIN WITHIN 48 HOURS  
AFTER THE END OF A STORM, THE SOIL SHOULD  
BE TILLED AND REPLANTED. REMOVE ANY DERBIS OR  
ACCUMULATIONS OF SEDIMENT.
- EXAMINE THE VEGETATION TO INSURE THAT IT IS HEALTHY AND  
DENSE ENOUGH TO PROVIDE FILTERING AND TO PROTECT SOILS  
FROM EROSION. REPLENISH MUCH AS NECESSARY, REMOVE  
FALLEN LEAVES AND DEBRIS, PRUNE LARGE SHRUBS OR TREES,  
AND MOW TURF AREAS. CONFIRM THAT IRRIGATION IS ADEQUATE  
AND NOT EXCESSIVE. REPLACE DEAD PLANTS AND REMOVE  
INVASIVE VEGETATION.
- ABATE ANY POTENTIAL VECTORS BY FILLING HOLES IN THE  
GROUND IN AND AROUND THE SWALE AND BY INSURING THAT  
THERE ARE NOT AREAS WHERE WATER STANDS LONGER THAN  
48 HOURS FOLLOWING A STORM. IF MOSQUITO LARVAE ARE  
PRESENT AND PERSISTENT, CONTACT THE SANTA CLARA COUNTY  
VECTOR CONTROL DISTRICT FOR INFORMATION AND ADVICE.  
MOSQUITO LARVICIDES SHOULD BE APPLIED ONLY WHEN  
ABSOLUTELY NECESSARY AND THEN ONLY BY A LICENSED  
INDIVIDUAL OR CONTRACTOR.



BIORETENTION BASIN WITH SUBDRAIN

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	SFPUC COMMENTS	10/07/2016
	PLANNING RESUBMITTAL	11/17/2016
	PLANNING RESUBMITTAL	01/20/2017

Schematic Design  
For:

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Almanor

Sunnyvale, CA

Drawing Title

STORMWATER NOTES &  
DETAILS

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C-14



### GENERAL NOTES:

1. PAINT ADJACENT TO ALL CATCH BASINS THE LOGO, \*NO DUMPING, DRAINS TO BAY \*IN BLUE COLOR ON WHITE BACKGROUND STENCILS OF THE LOGO ARE AVAILABLE FROM THE CITY ENVIRONMENTAL SERVICES DEPARTMENT.
  2. A STREET WORK PERMIT FROM THE CITY MUST BE OBTAINED PRIOR TO ANY WORK ON ALMANOR AVENUE.
  3. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (800) 227-2600 48 HOURS IN ADVANCE OF STARTING EXCAVATION TO PROVIDE FOR MARKING OF UNDERGROUND UTILITIES.
  4. VERIFY LOCATION OF EXISTING SANITARY SEWER PRIOR TO ANY SANITARY SEWER INSTALLATION.
  5. ALL STORM DRAINS SHALL BE PVC SDR 35 UNLESS OTHERWISE NOTED.
  6. POUR CONCRETE BASE AROUND INLET & OUTLET PIPE AND SET 18" ROUND SECTION OF CATCH BASIN ON THE POURED BASE.
  7. ALL CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY, EASEMENT, OR OTHER PROPERTY UNDER THE CITY JURISDICTION SHALL CONFORM TO STANDARD SPECIFICATIONS OF THE PUBLIC WORKS AND UTILITY DEPARTMENT.
  8. NO STORAGE OF CONSTRUCTION MATERIALS IS PERMITTED IN THE STREET OR ON THE SIDEWALK WITHOUT PRIOR APPROVAL OF PUBLIC WORKS ENGINEERING.
  9. ALL AREA DRAINS SHALL BE CHRISTY V01 DRAIN BOX WITH V01-71C CAST IRON GRATE.
  10. THE CONTRACTOR SHALL MAKE A VIDEO COPY OF THE INTERIOR OF THE NEW SANITARY SEWER INSTALLED PRIOR TO PUTTING INTO SERVICE.
  11. INSTALL FULL TRASH CAPTURE DEVICE ON THE PROJECT SITE PRIOR TO CONNECTING TO THE CITY STORM DRAIN COLLECTION SYSTEM.
  12. REPLACE ALL EXISTING STREETLIGHT CONDUITS, WIRES AND PULL BOXES WITH NEW ONES ALONG ENTIRE PROJECT FRONTAGE PER CITY'S CURRENT STANDARDS.
  13. PRIOR TO CONSTRUCTING ANY UTILITIES WITHIN THE HATCH-HATCHY R/W CONTRACTOR SHALL POT HOLE ALONG THE LOCATION OF THE NEW UTILITY LINES TO CONFIRM ANY CONFLICTS.
- △ PROVIDE MINIMUM 12" CLEAR SEPARATION FOR OPEN TRENCH METHOD AND 24" FOR DIRECTIONAL BORE.

### KEY NOTES FOR WORK ON PUBLIC RIGHT-OF-WAY/ EASEMENT

- 50 NEW 8" FIRE SERVICE PER CITY STANDARD DWG. 21B. SEE GENERAL NOTE 7.
- 51 NEW 2" DOMESTIC WATER SERVICE PER CITY STANDARD DWG. 4B. SEE GENERAL NOTE 7.
- 52 NEW 1" IRRIGATION WATER SERVICE PER CITY STANDARD DWG. NO. 4B. CONNECT TO PROPOSED RECLAIMED WATER MAIN. VIF. SEE GENERAL NOTE 7.
- 53 (N) 2" RADIO READ WATER METER PER CITY STANDARD DWG. NO. 4B. SEE GEN. NOTE 7.
- 54 NEW 3" C900 PVC CL. 200 DR14 WATER LINE.
- 55 NEW 1" WATER METER FOR IRRIGATION PER CITY STANDARD. SEE GENERAL NOTE 7.
- 56 NEW 1 1/2" C900 PVC CL. 200 DR 14 IRRIGATION LINE.
- 57 PROVIDE SSMH AT PROPERTY LINE PER CITY STANDARD.
- 58 CONNECT TO (E) SSMH PER CITY STANDARD DWG. 14A.
- 59 PROVIDE SANITARY SEWER MANHOLE PER CITY STANDARD DWG. NO. 1A SEE GENERAL NOTE 7.
- 60 REMOVE AND REPLACE (E) FH BARREL WITH CITY STANDARD CLOW-RICH 75. NEW FH LOCATION TO BE PER CITY STANDARD DETAIL 2B AND 2B-2.
- 61 REMOVE (E) BACKFLOW, PIV AND FDC. ABANDON (E) FIRE SERVICE. PER CITY STANDARDS.
- 62 REMOVE (E) BACKFLOW.
- 63 REMOVE (E) WATER METER. ABANDON (E) WATER SERVICE PER CITY STANDARDS.
- 64 28 LF 6" PVC SDR 26.
- 65 NEW FIRE SERVICE AND CLOW MODEL 75 FIRE HYDRANT PER CITY STANDARD.

### KEY NOTES:

- 1 PROVIDE PVC SDR 26 SANITARY SEWER.
- 2 PROVIDE 6" PVC SDR 26 SANITARY SEWER LINE AT S=02 TO WITHIN 5' OF THE BUILDING. PLUMBING CONTRACTOR TO CONNECT BUILDING SEWER TO NEW LATERAL.
- 3 P.O.C. TO BUILDING SEWER. SEE PLAN FOR INVERT. SEE PLUMBING DRAWINGS FOR CONTINUATION.
- 4 PROVIDE 2" REDUCED PRESSURE PRINCIPLE ASSEMBLY PER CITY STANDARD DWG. 18 B.
- 5 PROVIDE 2" SCHEDULE 40 PVC WATER LINE.
- 6 P.O.C. TO BUILDING WATER. SEE PLUMBING DWGS FOR CONTINUATION.
- 7 (N) 1 1/2" SCHEDULE 40 PVC IRRIGATION LINE.
- 8 (N) 1 1/2" REDUCED PRESSURE PRINCIPLE ASSEMBLY PER CITY STANDARD DWG. 18B-1.
- 9 P.O.C. TO IRRIGATION. SEE IRRIGATION PLANS FOR CONTINUATION.
- 10 PROVIDE 8" RPDA PER CITY STANDARD.
- 11 PROVIDE 8" C900 PVC CL.200 (DR14) FIRE LINE TO BLDG. FIRE SERVICE. SIZE TO BE VERIFIED BY UNDERGROUND FIRE PROTECTION ENGINEER.
- 12 P.O.C. TO BUILDING FIRE. SEE FIRE PROTECTION PLANS FOR CONTINUATION.
- 13 PROVIDE 6" PVC SDR 35 PERFORATED PIPE AT S=01 MIN.
- 14 COTG AT PERFORATED PIPE. SEE 11/C-31.
- 15 (N) OVERFLOW DRAIN. PROVIDE 18" ROUND CATCH BASIN GRATE 6' ABOVE BIORETENTION BASIN GRADE. SEE GENERAL NOTE 6.
- 16 CONNECT TO (E) 84" STORM DRAIN PER CITY STANDARD 14A.
- 17 NEW GAS LINE.
- 18 PROVIDE 8" C900 PVC CL.200 (DR14) FIRE LINE TO FIRE HYDRANTS. SIZE TO BE VERIFIED BY UNDERGROUND FIRE PROTECTION ENGINEER.
- 19 PROVIDE CLOW MODEL 865 FIRE HYDRANT.
- 20 PROVIDE 4-WAY FDC WITH 4 HOSE CONNECTIONS.
- 21 PROVIDE NEW 3" ELECTRICAL CONDUIT TO PARKING STRUCTURE.

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Rev.	Descrp.	DATE
	PLANNING SUBMITTAL	10/06/2015
	FORMAL PLANNING SUBMITTAL	12/10/2015
	PLANNING RESUBMITTAL	02/22/2016
	PLANNING RESUBMITTAL	06/13/2016
	PLANNING RESUBMITTAL	09/19/2016
△	SFPUC COMMENTS	10/07/2016
	PLANNING RESUBMITTAL	11/17/2016
	PLANNING RESUBMITTAL	01/20/2017

Schematic Design  
For:

# 675 Almanor

Sunnyvale, CA

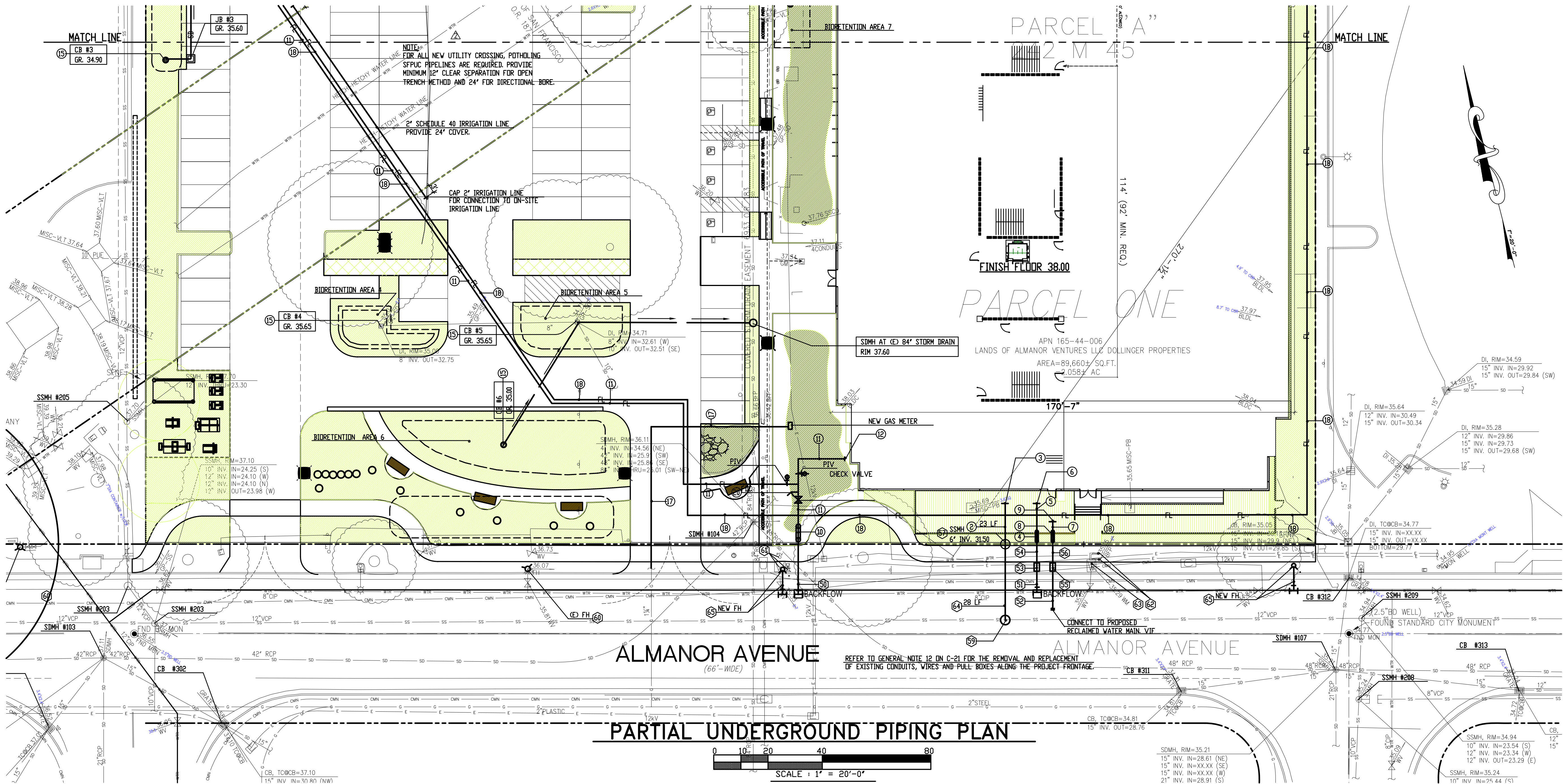
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## PARTIAL UNDERGROUND PIPING PLAN

Job #	A4095.00/1528
Date:	10/06/2015
Scale:	AS NOTED
Drawn By:	SN
Sheet:	

# C-21

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Schematic Design  
For:

## 675 Almanor

Sunnyvale, CA

Drawing Title

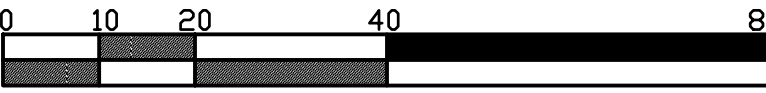
### PARTIAL UNDERGROUND PIPING PLAN

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Date:	10/06/2015
Scale:	AS NOTED
Drawn By:	SN
Sheet:	

## C-22

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## PARTIAL UNDERGROUND PIPING PLAN



SCALE: 1" = 20'-0"

### NOTES:

FOR KEY NOTES AND GENERAL NOTES SEE SHEET C-21.

NOTE:  
FOR ALL NEW UTILITY CROSSING, POT-HOLING  
SFPUC PIPELINES ARE REQUIRED. PROVIDE  
MINIMUM 12" CLEAR SEPARATION FOR OPEN  
TRENCH METHOD AND 24" FOR DIRECTIONAL BORE.

NOTE:  
FOR ALL NEW UTILITY CROSSING, POT-HOLING  
SFPUC PIPELINES ARE REQUIRED. PROVIDE  
MINIMUM 12" CLEAR SEPARATION FOR OPEN  
TRENCH METHOD AND 24" FOR DIRECTIONAL BORE.

2" SCHEDULE 40 IRRIGATION LINE  
PROVIDE 24" COVER.

APN 165-40-004  
LANDS OF IRVINE COMPANY TAX DEPARTMENT

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