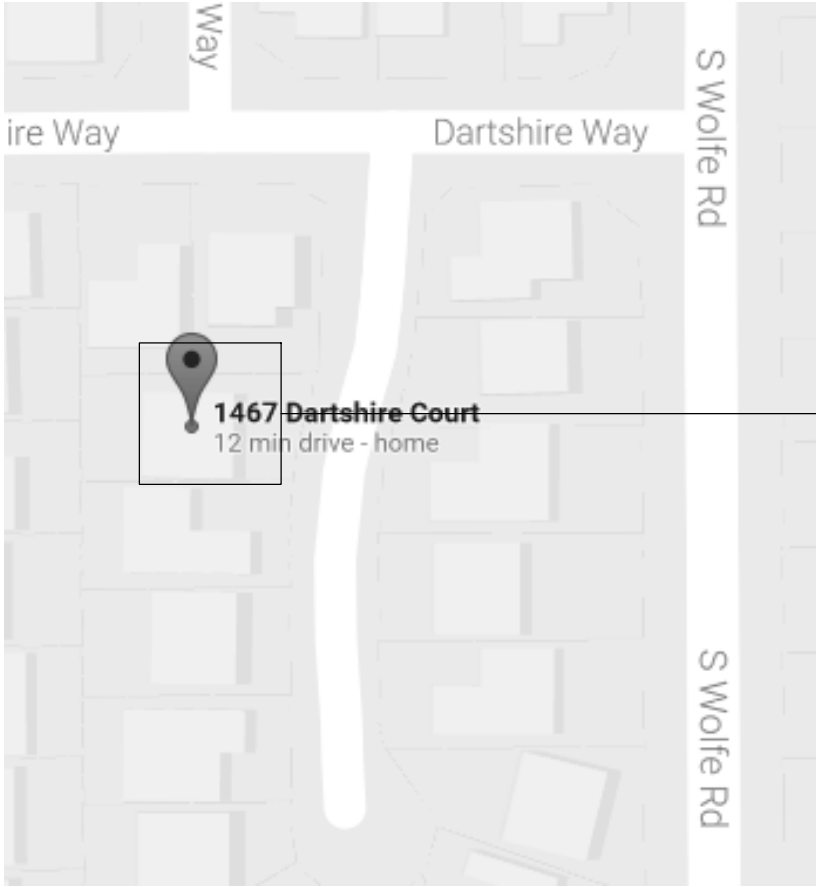


VICINITY MAP:



EXTERIOR REMODELING FOR:

Mohan Akella RESIDENCE  
1467 Dartshire CT, Sunnyvale CA  
94087

PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 309 - 117 -075  
PROJECT TYPE: ADDITION & REMODELING

ZONING: R0  
OCCUPANCY GROUP: R - 3/U  
CONSTRUCTION TYPE: V - B  
NUMBER OF FLOORS: TWO (2)STORY  
FIRE PROTECTION: NOT SPRINKLER

CODE EDITIONS:

2013 CALIFORNIA BUILDING CODE.  
2013 CALIFORNIA RESIDENTIAL CODE.  
2013 CALIFORNIA MECHANICAL CODE.  
2013 CALIFORNIA PLUMBING CODE.  
2013 CALIFORNIA ELECTRICAL CODE.  
2013 CALIFORNIA ENERGY CODE.  
2013 CALIFORNIA FIRE CODE.  
ANY OTHER APPLICABLE LOCAL AND STATE  
LAWS AND REGULATIONS.

SCOPE OF WORK:

1.ADDITION 158 SQ AT LEFT SIDE AND 18  
SQ AT FRONT OF THE FIRST FLOOR OF  
HOUSE REMODELING KITCHEN & LIVING  
AND FAMILY ROOM IN THE FIRST FLOOR.  
2.ADDITION 183 SQ AT LEFT SIDE OF  
HOUSE AND REMODELING BED ROOM AND  
MASTER BATH.

AREA CALCULATION:

"E" 1S FLOOR LIVING AREA: 1868 SQF  
"E" 2ND FLOOR LIVING AREA: 514 SQF  
"E" GARAGE 418 SQF  
"N" 1S FLOOR ADDITION: 162 SQF  
"N" 2ND FLOOR ADDITION: 171 SQF  
"N" 1ST FLOOR LIVING AREA: 2030 SQF  
"N" 2ND FLOOR LIVING AREA: 685 SQF  
"N" TOTAL LIVING AREA: 2715 SQF  
"N" TOTAL BUILDING: 3133 SQF  
LOT AREA: 6322 SQF

FLOOR AREA RATIO (FAR) =(3133/6322) X100= 49.55%

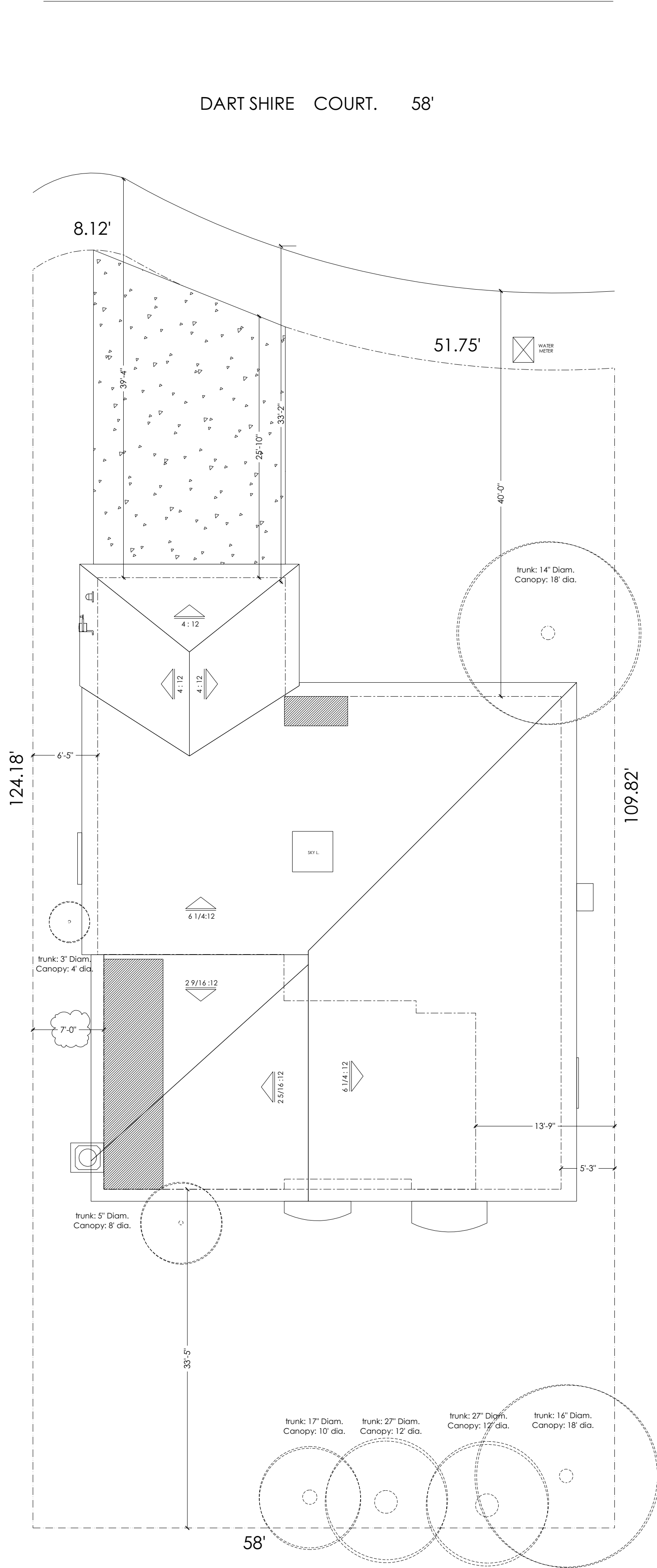
DRAWING INDEX:

A0: COVER SHEET & PROPOSED SITE PLAN  
A0-1: EXISTING SITE PLAN  
A1: EXISTING FIRST FLOOR PLAN  
A1.1: EXISTING SECOND FLOOR PLAN  
A1.2: EXISTING ELEVATIONS  
A1.3: EXISTING ELEVATION  
A2: PROPOSED FIRST FLOOR PLAN  
A2.1: PROPOSED SECOND FLOOR PLAN  
A3: PROPOSED ELEVATIONS  
A3.1: PROPOSED ELEVATION  
A4: PROPOSED SECTIONS  
A5: 3D MODEL  
A6: 3D MODEL  
A7: SUN ANGLE  
A8: ELEVATION  
E1: ELECTRICAL PLAN

PROJECT CONTACT:

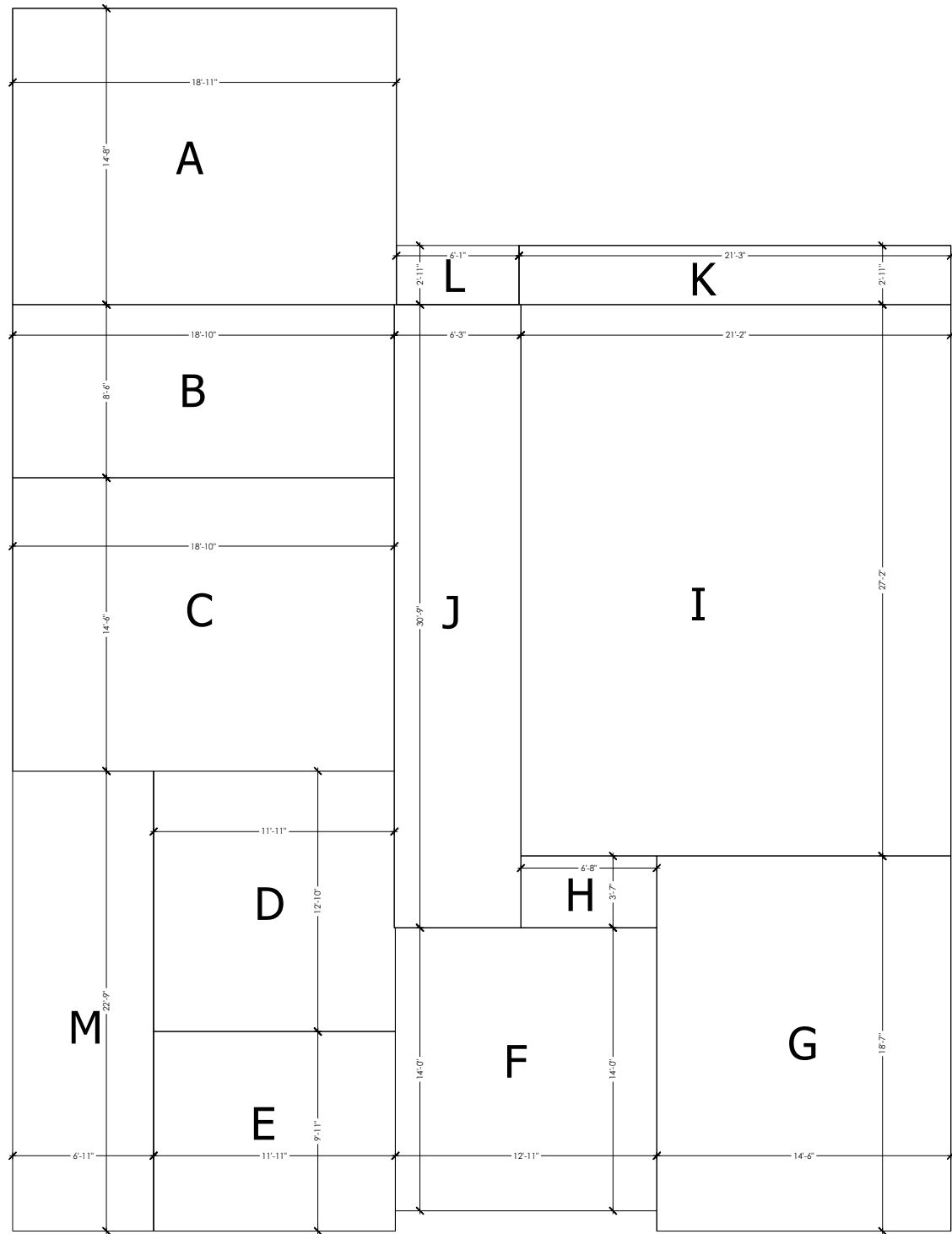
OWNER: Mohan Akella RESIDENCE  
1467 Dartshire CT, Sunnyvale CA 94087

DESIGNER: PAB CONSTRUCTION INC.(408)499-6595  
21060 HOMESTEAD RD #216 CUPERTINO CA 95014



PROPOSED SITE PLAN

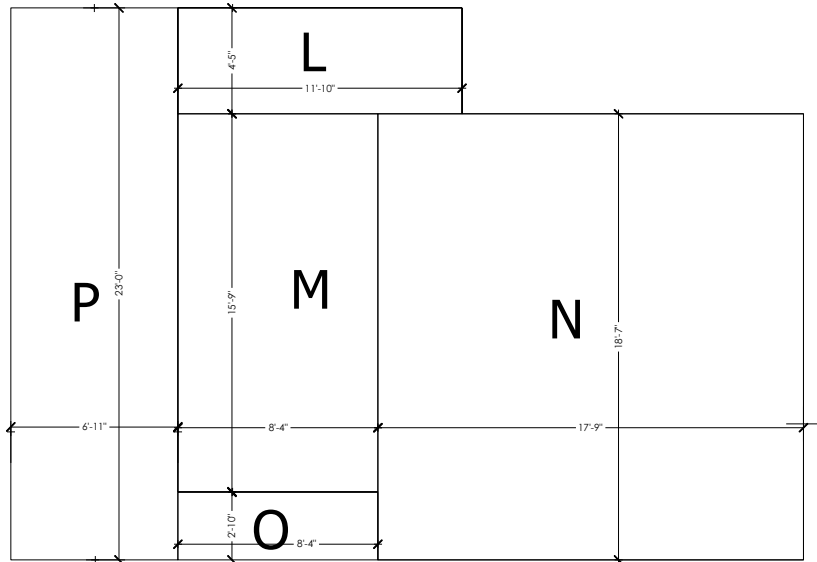
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PROPOSED FIRS FLOOR

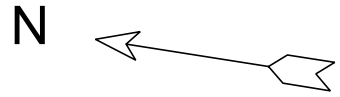
|       |      |    |
|-------|------|----|
| A     | 277  | QF |
| B     | 161  | QF |
| C     | 272  | QF |
| D     | 154  | QF |
| E     | 117  | QF |
| F     | 180  | QF |
| G     | 268  | QF |
| H     | 24   | QF |
| I     | 577  | QF |
| J     | 194  | QF |
| K     | 62   | QF |
| L     | 18   | QF |
| M     | 158  | QF |
| TOTAL | 2462 | QF |

|          |      |    |     |        |    |
|----------|------|----|-----|--------|----|
| LOT SIZE | 6322 | QF | 40% | 2528.8 | QF |
|----------|------|----|-----|--------|----|



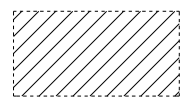
PROPOSED SECOND FLOOR

|       |     |    |
|-------|-----|----|
| L     | 53  | QF |
| M     | 131 | QF |
| N     | 330 | QF |
| P     | 160 | QF |
| O     | 23  | QF |
| TOTAL | 697 | QF |



WALL LEGEND:

GRAPHIC SCALE: 1 INCH = 4 FEET



NEW ADDITION

PROPERTY LINE

BLDG 1st FLOOR FOOTPRINT LINE

BLDG 2nd FLOOR FOOTPRINT LINE

1st Floor

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |

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PAB CONSTRUCTION INC.  
21060 HOMESTEAD RD #216  
CUPERTINO, CA 95014  
WWW.PABCONINC.COM  
Tel 408-499-6595  
Fax 408-542-9645

SHEET TITLE:  
**PROPOSED SITE & ROOF PLAN**

PROJECT DESCRIPTION:  
**Mohan Akella REMODELING AND ADDITION**  
1467 Dartshire CT, Sunnyvale CA 94087

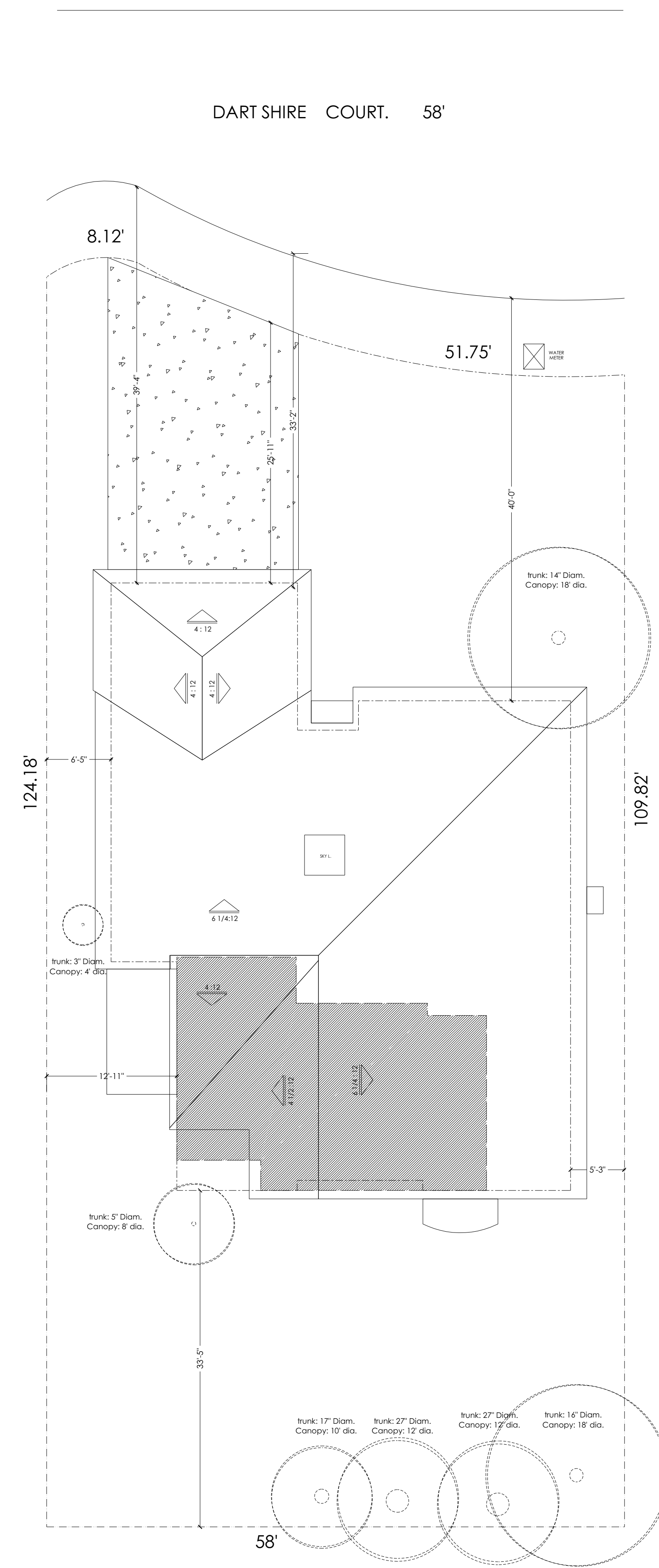
JOB NO:  
PAB.02.16

DATE:  
04.03.2017

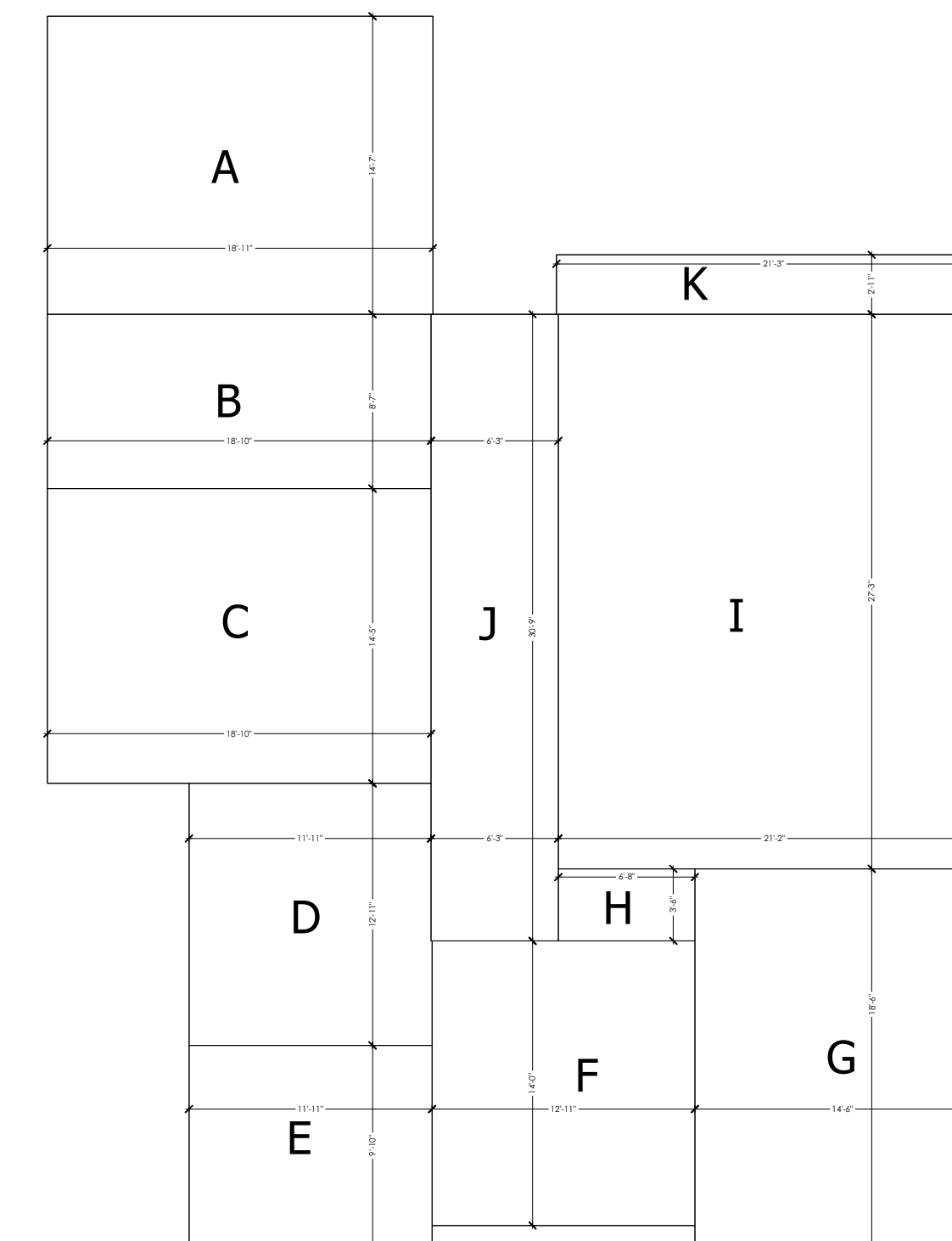
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1/8"=1'

SHEET:

**A-0**



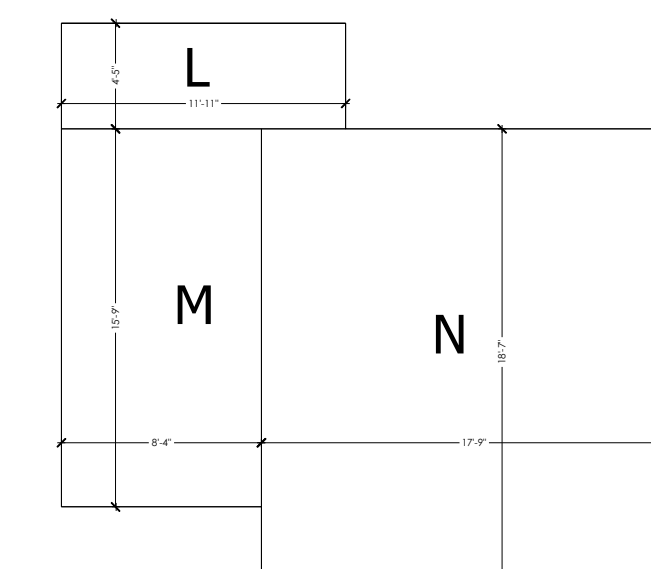
EXISTING SITE PLAN  
SC : 1/8" = 1'-0"



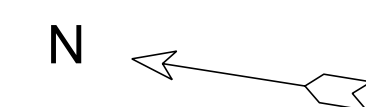
| EXISTING FIRS FLOOR |      |       |
|---------------------|------|-------|
| A                   | 277  | QF    |
| B                   | 161  | QF    |
| C                   | 272  | QF    |
| D                   | 154  | QF    |
| E                   | 117  | QF    |
| F                   | 180  | QF    |
| G                   | 268  | QF    |
| H                   | 24   | QF    |
| I                   | 577  | QF    |
| J                   | 194  | QF    |
| K                   | 62   | QF    |
| TOTAL               | 2286 | QF    |
|                     |      | 36.1% |

|          |      |    |     |        |    |
|----------|------|----|-----|--------|----|
| LOT SIZE | 6322 | QF | 40% | 2528.8 | QF |
|----------|------|----|-----|--------|----|




| EXISTING SECOND FLOOR |     |    |
|-----------------------|-----|----|
| L                     | 53  | QF |
| M                     | 131 | QF |
| N                     | 330 | QF |
| TOTAL                 | 514 | QF |



WALL LEGEND:

GRAPHIC SCALE: 1 INCH = 4 FEET



- 
 2nd FLOOR  
 - - - - -  
 PROPERTY LINE  
 - - - - -  
 BLDG 1st FLOOR FOOTPRINT LINE  
 - - - - -  
 BLDG 2nd FLOOR FOOTPRINT LINE

1st Floor

[illegible]

**PAB CONSTRUCTION INC.**  
21060 HOMESTEAD RD. #216  
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Fax 408-542-9645

SHEET TITLE:

EXISTING SITE & ROOF PLAN

PROJECT DESCRIPTION:

**Mohan Akella REMODELING AND  
ADDITION**

1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:

PAB.02.16

DATE:

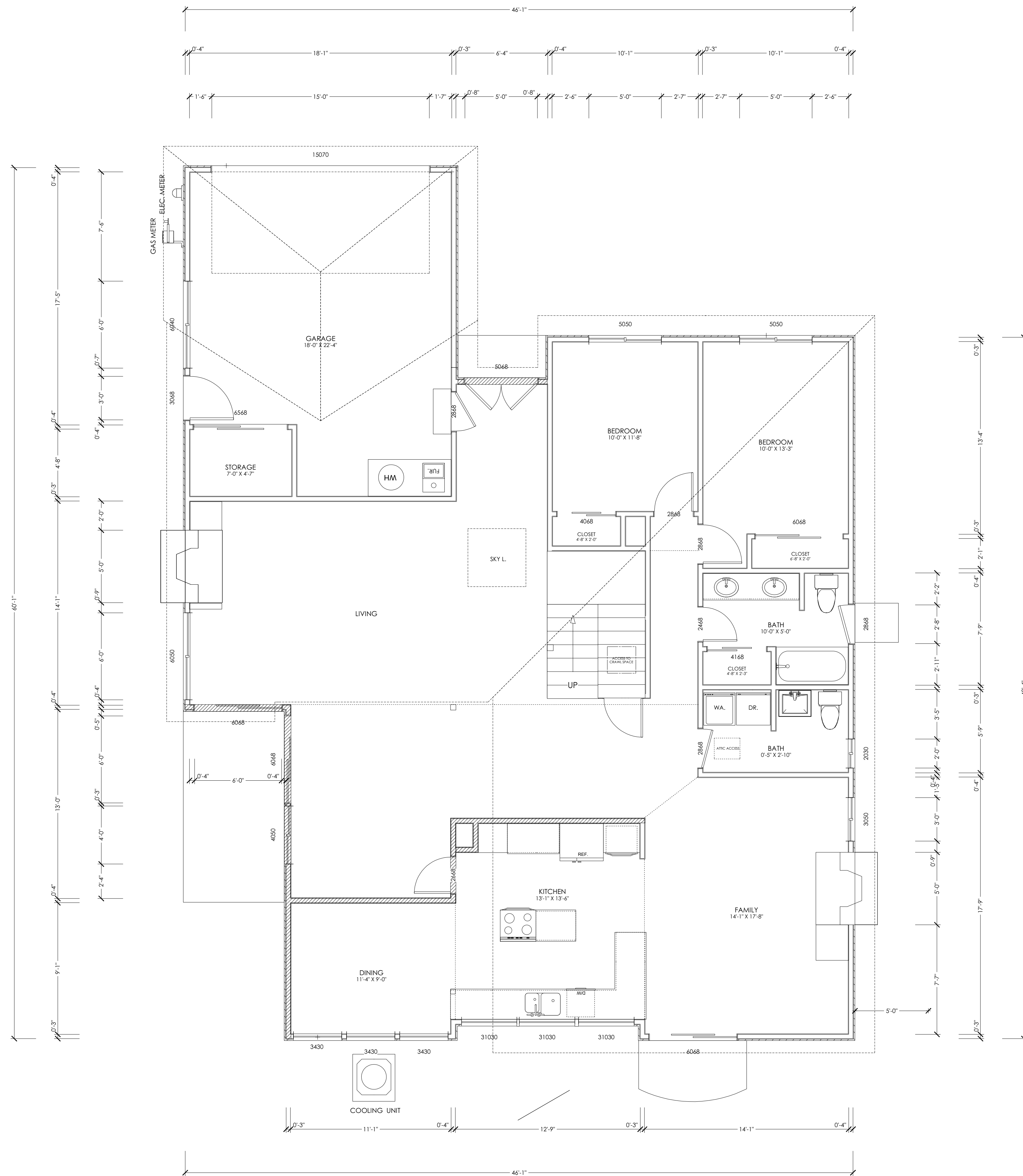
04.03.2017

SCALE:

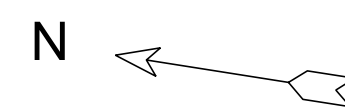
$$1/8''=1'$$

SHEET:

A-0-1



**EXISTING 1ST PLAN**  
SC : 1/4" = 1'-0"



**WALL LEGEND:**

GRAPHIC SCALE: 1 INCH = 4 FEET



- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED
- NEW CONSTRUCTION WALL

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SHEET TITLE:  
**EXISTING 1ST PLAN**

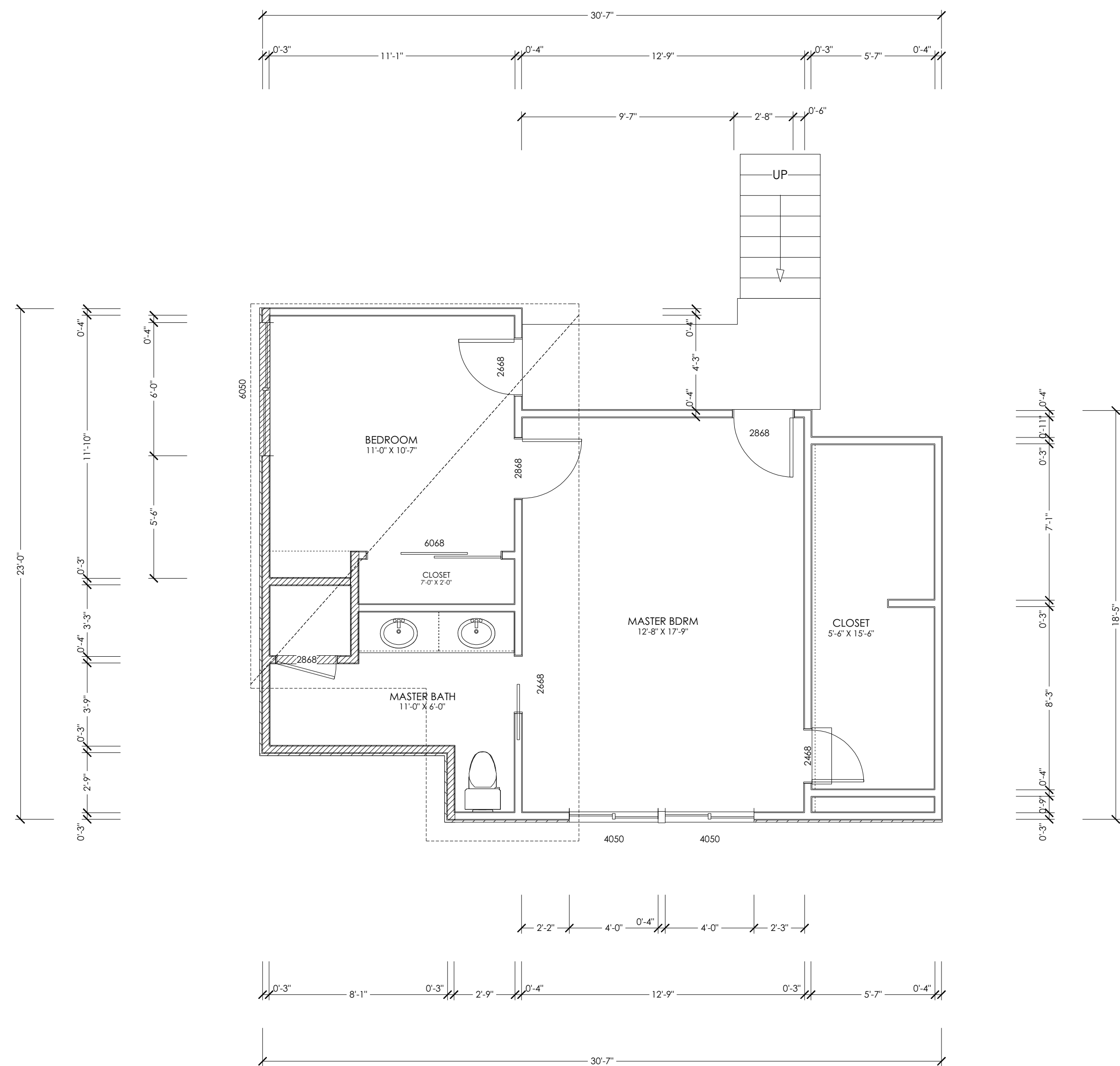
PROJECT DESCRIPTION:  
**Mohan Akella REMODELING AND ADDITION**  
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:  
PAB.02.16

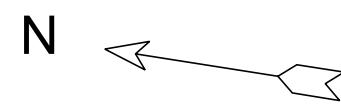
DATE:  
04.03.2017

SCALE:  
1/4"=1'

SHEET:  
**A-1**



**EXISTING 2ND PLAN**  
SC : 1/4" = 1'-0"



**WALL LEGEND:**

GRAPHIC SCALE: 1 INCH = 4 FEET



- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED
- NEW CONSTRUCTION WALL

PAB CONSTRUCTION INC.  
21060 HOMESTEAD RD. #216  
CUPERTINO, CA 95014  
WWW.PABCONINC.COM  
Tel 408-499-6595  
Fax 408-542-9645

SHEET TITLE:  
**EXISTING 2ND PLAN**

PROJECT DESCRIPTION:  
**Mohan Akella REMODELING AND ADDITION**  
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:  
PAB.02.16

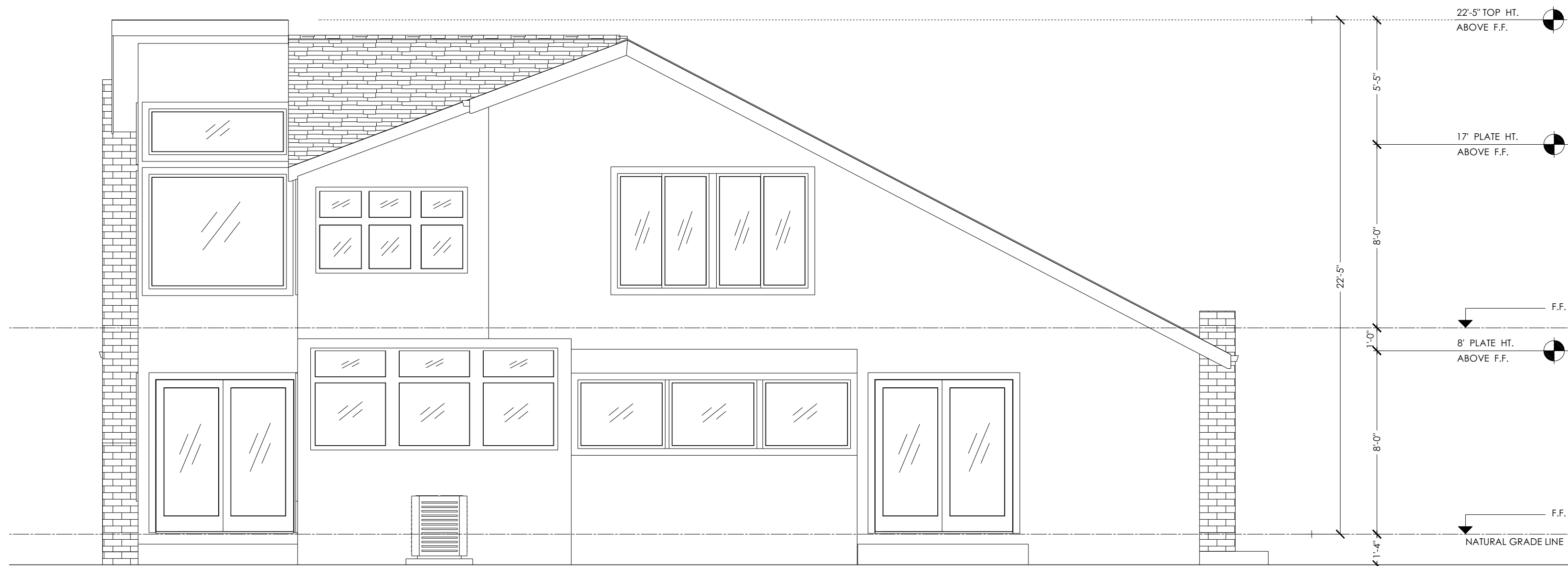
DATE:  
04.03.2017

SCALE:  
1/4"=1'

SHEET:  
**A-1.1**



**FRONT EXISTING ELEVATION**  
SC : 1/4" = 1'-0"



**REAR EXISTING ELEVATION**  
SC : 1/4" = 1'-0"

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Tel 408-499-6595  
Fax 408-542-9645

SHEET TITLE:  
**EXISTING ELEVATION  
PLAN**

PROJECT DESCRIPTION:  
**Mohan Akella REMODELING AND  
ADDITION**  
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:  
PAB.02.16

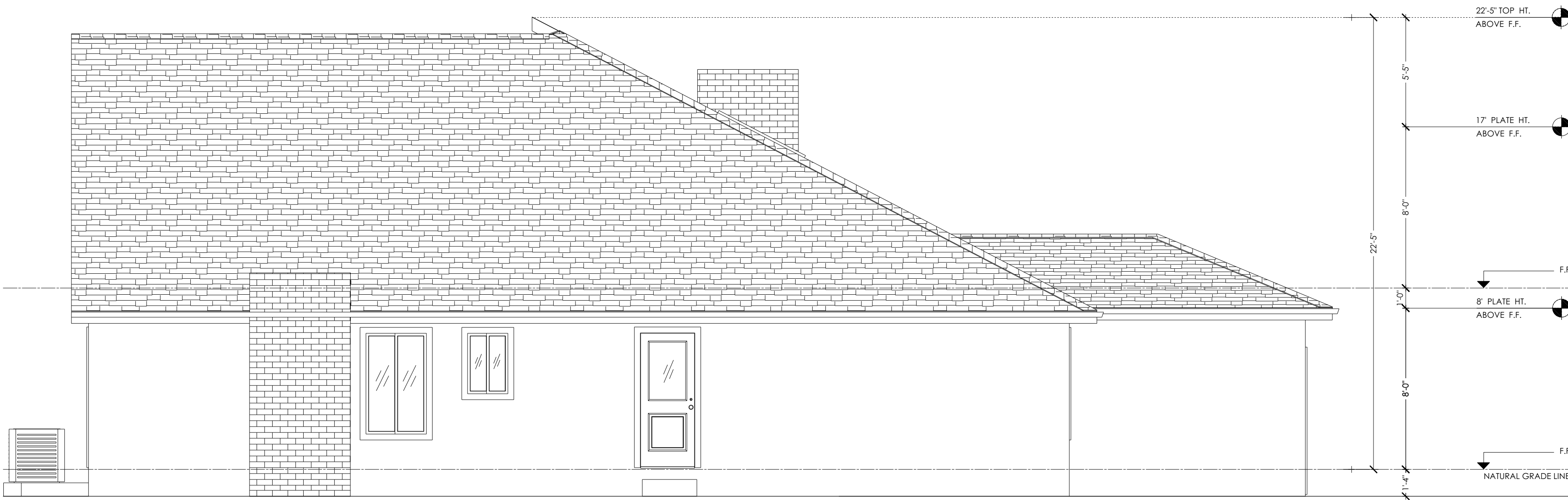
DATE:  
04.03.2017

SCALE:  
1/4"=1'

SHEET:  
**A-1.2**




LEFT EXISTING ELEVATION  
SC : 1/4" = 1'-0"



RIGHT EXISTING ELEVATION  
SC : 1/4" = 1'-0"

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |



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CUPERTINO, CA 95014  
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Tel 408-499-6595  
Fax 408-542-9645

SHEET TITLE:

EXISTING ELEVATION  
PLAN

PROJECT DESCRIPTION:

Mohan Akella REMODELING AND  
ADDITION  
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:

PAB.02.16

DATE:

04.03.2017

SCALE:

1/4"=1'

SHEET:

A-1.3

NOTES:

1- BASEMENTS (EXCEPT THOSE ONLY FOR MECHANICAL EQUIPMENT AND NOT OVER 200 SQFT IN FLOOR AREA), HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. R310.1

- a. MIN. NET CLEAR OPENABLE DIMENSION OF 24 INCHES IN HEIGHT. R310.1.2  
b. MIN. NET CLEAR OPENABLE DIMENSION 20 INCHES IN WIDTH. R310.1.3  
c. MIN. NET CLEAR OPENABLE DIMENSION OF 5.7 SQFT IN AREA. GRADE FLOOR OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5 SQFT. 310.1.1  
d. OPENING SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES MEASURED FROM THE FLOOR. 310.1

2- FOR KITCHEN, A CLEAR PASSAGEWAY OF NOT LESS THAN 3- FEET BETWEEN THE COUNTER FRONTS AND APPLIANCES OR COUNTER FRONTS AND WALLS. CBC 1208.1

3- SHOWER COMPARTMENTS AND WALL ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO THE HEIGHT NOT LESS THAN 72 INCHES(6 FT). CRC R307.2

4- THE DOOR BETWEEN GARAGE AND ENTRY REQUIRED TO BE SELF LATCHING AND SELF CLOSING, SOLID CORE DOOR NOT LESS THAN 1-3/8 INCH THICK.

5- THE MAXIMUM RISER HEIGHT CAN BE 7.75-INCHES. MINIMUM TREAD DEPTH CAN BE 10-INCHES. FOR ANY TREAD DEPTH LESS THAN 11-INCHES. A NOSING OF NOT LESS THAN 0.75-INCHES, BUT NOT MORE THAN 1.25-INCHES SHALL BE PROVIDED.

6- DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CBC 2406.3. GLAZING IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CBC 2406.3, #5

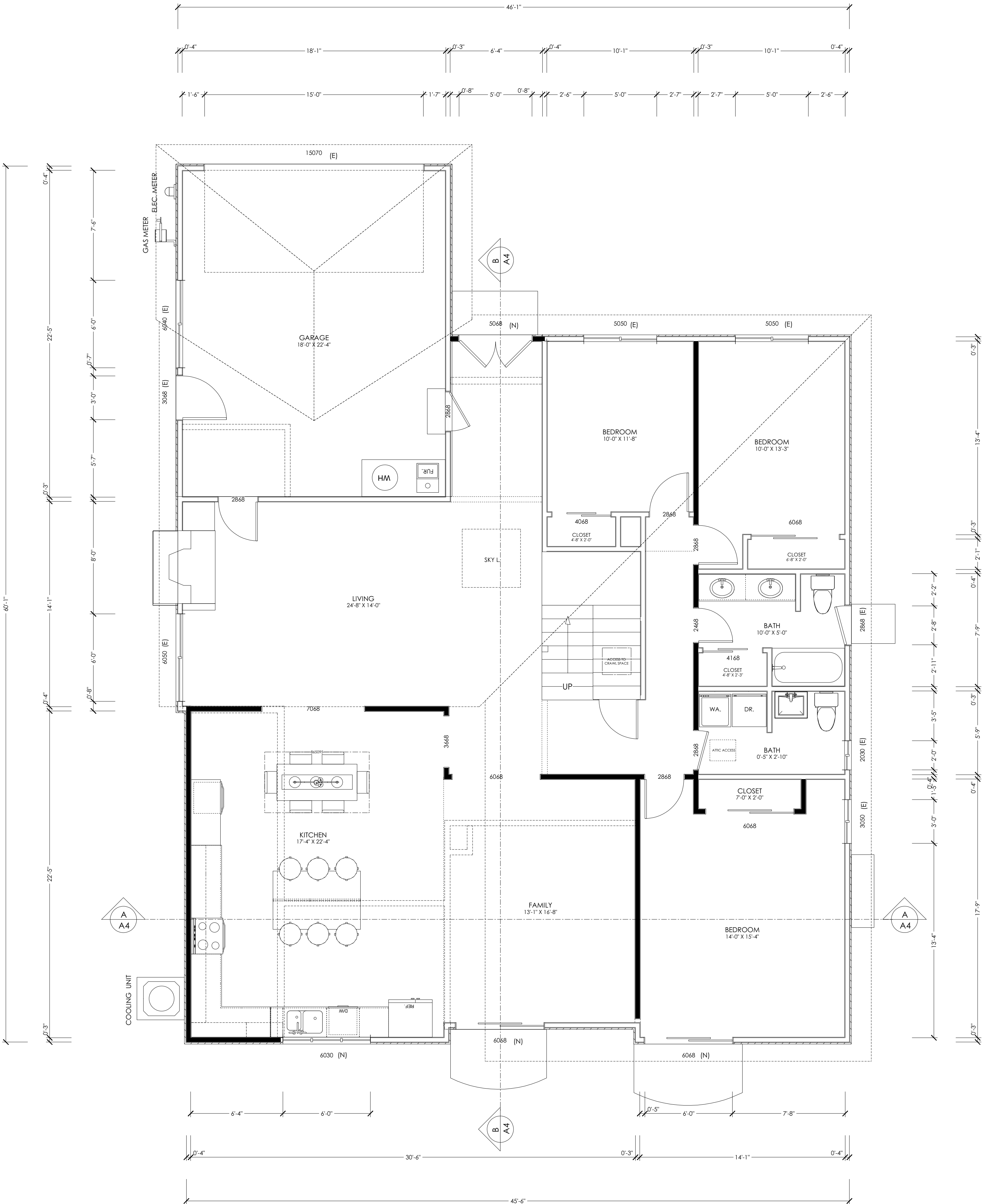
7- GLAZING IN AN INDIVIDUAL FIXED OR PORTABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24- INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60-INCHES ABOVE THE WALKING SURFACE SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC (I.E. SIDE LIGHT AT NEW MAIN ENTRY DOOR) . CBC 2406.3, #6

8- MINIMUM 36" DEEP LANDING IN THE DIRECTION OF TRAVEL AT NEW EXTERIOR DOORS SHALL BE PROVIDED. LANDING TO BE NOT MORE THAN 7-¾ INCHES LOWER THAN THE DOOR'S THRESHOLD FOR IN-SWINGING AND SLIDING GLASS DOORS AND NOT MORE THAN 7" FOR IN-SWINGING AND MAIN ENTRY DOOR.

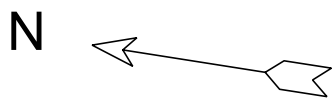
9- NEW ENTRY DOOR SHALL BE OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT USE OF KEY, SPECIAL KNOWLEDGE OR EFFORT. CRC SEC. R311.2

10- 1/2" GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING TO BE INSTALLED ON THE GARAGE SIDE AT SEPARATION WALL BETWEEN GARAGE AND RESIDENCE. (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) CRC SEC. R302.6 AND TABLE R302.6  
ALSO 5/8" TYPE "X" GYP. BOARD FINISH ON THE GARAGE SIDE OF THE WALL IS REQUIRED.

- 11- BATHROOMS & KITCHEN:  
11.1- 22" MIN SHOWER DOOR CLEARANCE.  
11.2- TEMPER GLAZING FOR THE SHOWER DOOR AND SLIDING WINDOWS. CEMENT BOARD SUBSTRATE FOR SHOWER WALLS.  
11.3- LAVATORY FAUCETS TO HAVE A FLOW RATE OF 1.8 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)  
11.4- WATER CLOSETS TO HAVE A FLOW RATE OF 1.28 GALLONS/FLUSH OR LESS. (CALGREEN 4.303.1)  
11.5 -CEMENT BOARD SUBSTRATE (IE. DUROCK OR WONDERBOARD,ETC) FOR TILE APPLICATION SURROUNDING THE BATH TUB WALLS .  
11.6- KITCHEN FAUCETS TO HAVE A FLOW RATE OF 1.8 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)



PROPOSED1 1ST FLOOR PLAN  
SC : 1/4" = 1'-0"



WALL LEGEND:

GRAPHIC SCALE: 1 INCH = 4 FEET



- EXISTING WALL TO STAY  
EXISTING WALL TO BE REMOVED  
NEW CONSTRUCTION WALL

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

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SHEET TITLE:  
**PROPOSED 1ST  
FLOOR PLAN**

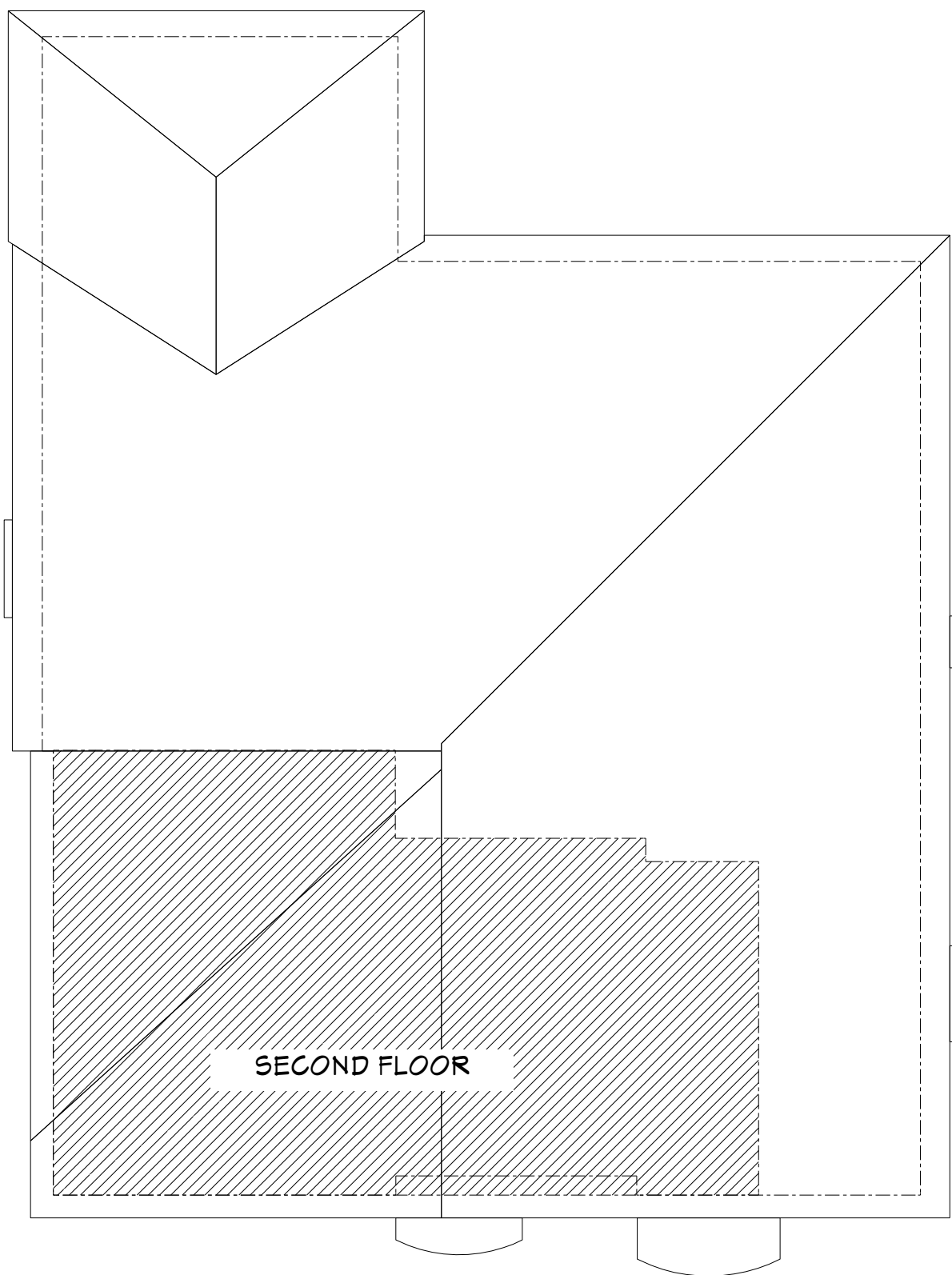
PROJECT DESCRIPTION:  
**Mohan Akella REMODELING AND  
ADDITION**  
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:  
PAB.02.16

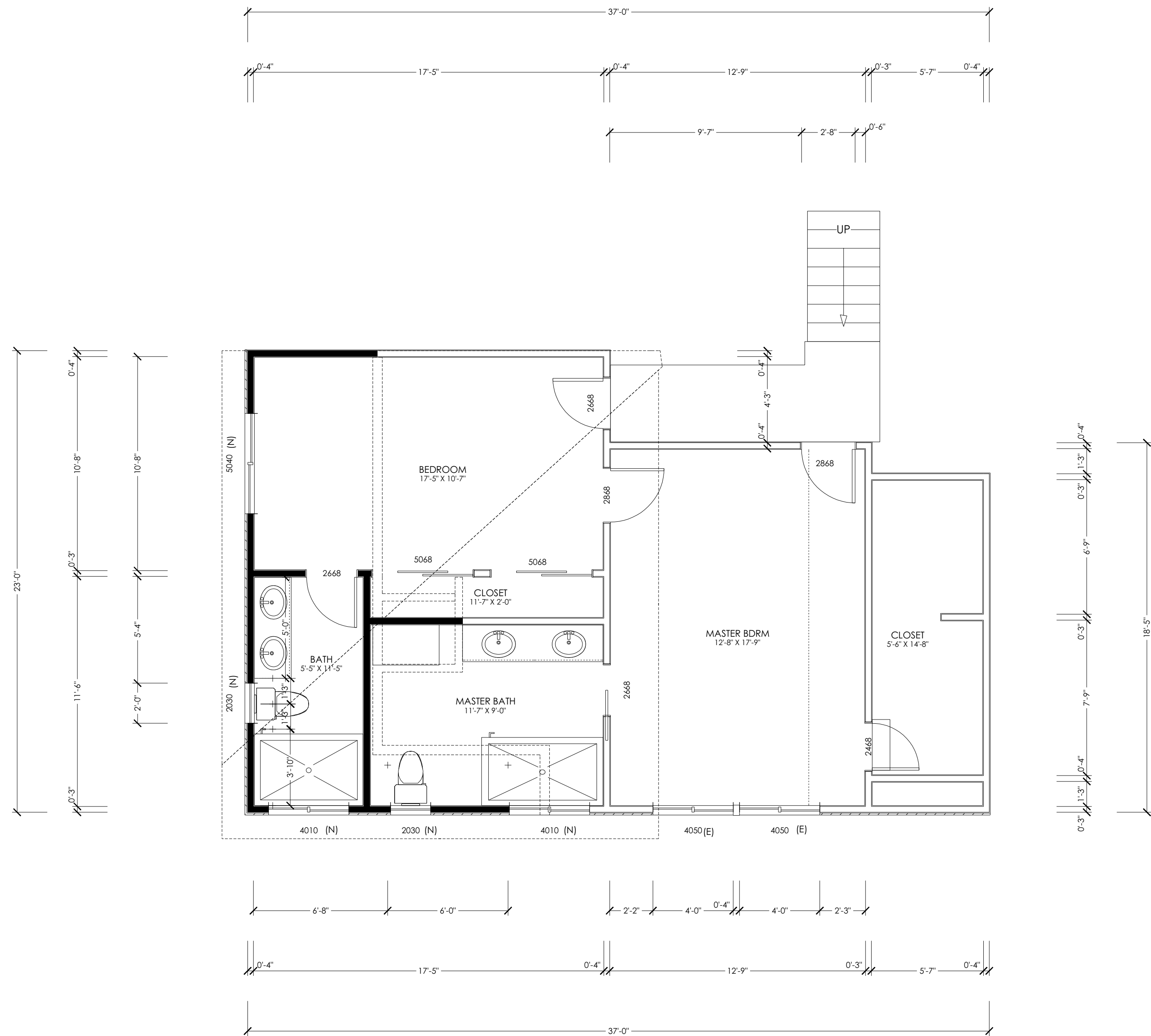
DATE:  
04.03.2017

SCALE:  
1/4"=1'

SHEET:  
**A-2**



TOP VIEW



PROPOSED 2ND FLOOR PLAN  
SC : 1/4" = 1'-0"

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CUPERTINO, CA 95014  
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SHEET TITLE:  
**PROPOSED 2ND  
FLOOR PLAN**

PROJECT DESCRIPTION:  
**Mohan Akella REMODELING AND  
ADDITION**  
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:  
PAB.02.16

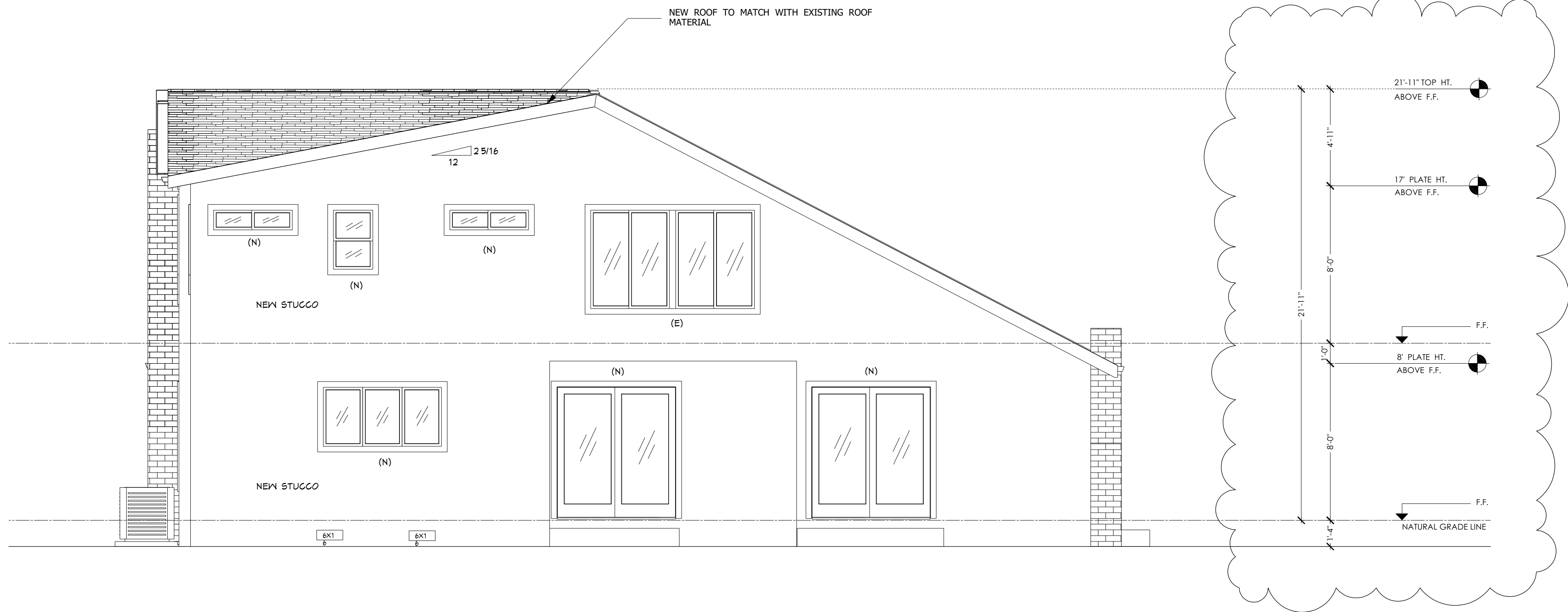
DATE:  
04.03.2017

SCALE:  
1/4"=1'

SHEET:  
**A-2.1**



FRONT PROPOSED ELEVATION  
SC : 1/4" = 1'-0"



REAR PROPOSED ELEVATION  
SC : 1/4" = 1'-0"

NOTE : NEW ROOF MATERIAL WILL BE MATCH WITH EXISTING ROOF MATERIAL.

NOTE : ALL THE NEW EXTERIOR WALL MATERIAL WILL BE MATCHED WITH THE EXISTING (STUCCO WITH 7/8 INCH THICKNESS & TWO LAYERS GRADE D PAPER OVER THE PLYWOOD)

CRAWL SPACE VENTILATION CALC. :  
NEW LIVING AREA : 158 SF.  
VENT DIMENSION : ( 6' X 16' ) = 0.667 SF.  
FORMULA : AREA ( 158 ) / 150 = REQUIRED VENTILATION AREA ( 1.05 SQF )  
VENT NUMBERS = VENTILATION AREA ( 1 ) / VENT AREA ( 0.667 ) = 1.499 ( 2 )

1ST FLOOR ATTIC VENTILATION CALC. :  
FLAT CEILING AREA : 158 SF.  
FORMULA : AREA ( 158 ) / 150 = REQUIRED VENTILATION AREA ( 1.053 SF. )  
50% OF REQUIRED VENTILATION AREA ( 1.053 SF ) = 0.526 SF.  
50% OF THE VENTILATION TO OCCUR AT EAVE/CORNICE LINE, PER SEC.R 806.1 OF 2013 CRC.  
METHOD A : ATTIC VENT ( CIRCULAR VENT )  
VENT DIMENSION : ( 12" ) = 0.022 SF.  
VENT NUMBERS = VENTILATION AREA ( 0.523 ) / VENT AREA ( 0.022 ) = 23.94 ( 24 )  
50% OF THE VENTILATION TO OCCUR AT A LEVEL 3-FEET ABOVE THE EAVE/CORNICE LINE, PER SEC. R 806.1 OF 2013 CRC.  
METHOD B : RIDGE VENT ( EYEBROW VENT )  
VENT DIMENSION : 18 SIN. PER LINEAR FOOT = 0.125 SF.  
VENT LINEAR = VENTILATION AREA ( 0.523 ) / VENT AREA ( 0.125 ) = 4.208 FT.

2ND FLOOR ATTIC VENTILATION CALC. :  
FLAT CEILING AREA : 183 SF.  
FORMULA : AREA ( 183 ) / 150 = REQUIRED VENTILATION AREA ( 1.22 SF. )  
50% OF REQUIRED VENTILATION AREA ( 1.22 SF ) = 0.61 SF.  
50% OF THE VENTILATION TO OCCUR AT EAVE/CORNICE LINE, PER SEC.R 806.1 OF 2010 CRC.  
METHOD A : ATTIC VENT ( CIRCULAR VENT )  
VENT DIMENSION : ( 12" ) = 0.022 SF.  
VENT NUMBERS = VENTILATION AREA ( 0.61 ) / VENT AREA ( 0.022 ) = 27.727 ( 28 )  
50% OF THE VENTILATION TO OCCUR AT A LEVEL 3-FEET ABOVE THE EAVE/CORNICE LINE, PER SEC. R 806.1 OF 2013 CRC.  
METHOD B : RIDGE VENT ( EYEBROW VENT )  
VENT DIMENSION : 18 SIN. PER LINEAR FOOT = 0.125 SF.  
VENT LINEAR = VENTILATION AREA ( 0.61 ) / VENT AREA ( 0.125 ) = 4.88 FT.

NOTE : BOTH METHODS A & B SHOULD BE DONE BY CONTRACTOR.

NOTE : NEW VENTS IN CRAWL SPACE DOES NOT INTERFERE WITH ANY BRACE WALLS/SHEAR PANELS.

NOTE : ADDITIONAL FOUNDATION VENTS ARE REQUIRED AS MUCH AS THEY ARE BLOCKED OR ELIMINATED BY THE ADDITION.

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

PAB

Construction Inc.

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21060 HOMESTEAD RD.#216

CUPERTINO, CA 95014

WWW.PABCONINC.COM

Tel 408-499-6595

Fax 408-542-9645

SHEET TITLE:

PROPOSED  
ELEVATION PLAN

PROJECT DESCRIPTION:

Mohan Akella REMODELING AND  
ADDITION  
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:

PAB.02.16

DATE:

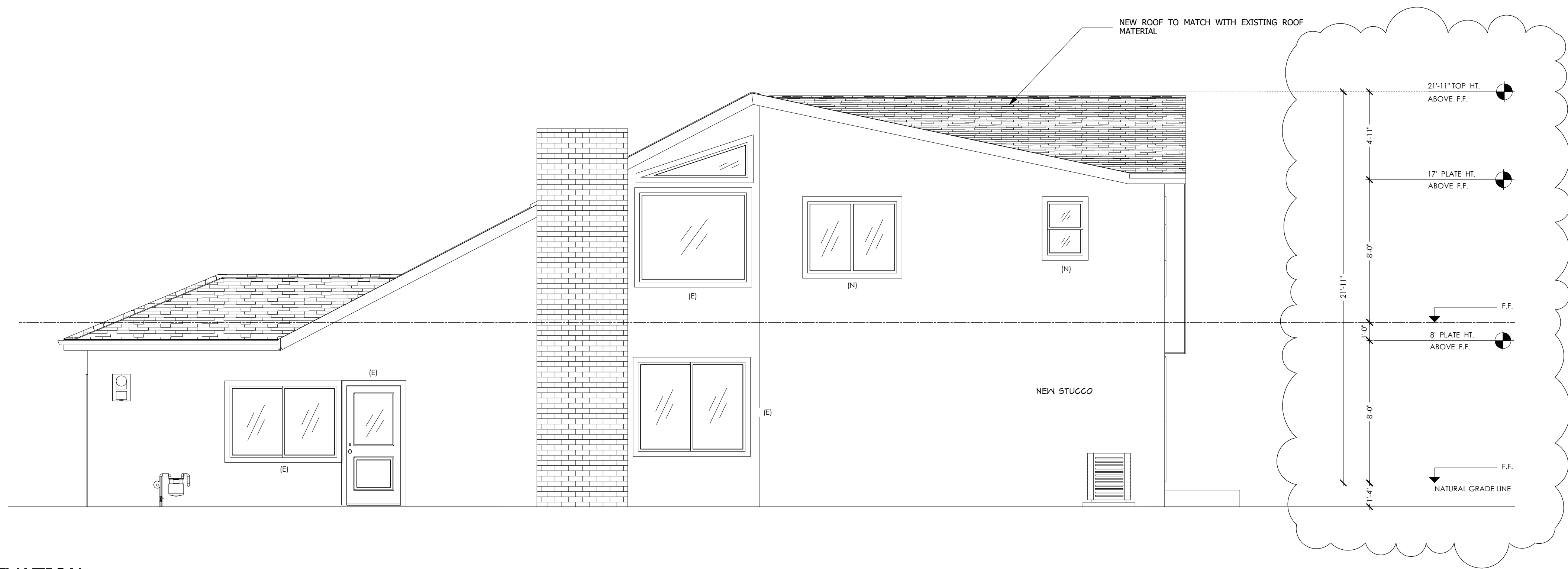
04.03.2017

SCALE:

1/4"=1'

SHEET:

A-3



**LEFT PROPOSED ELEVATION**  
SC : 1/4" = 1'-0"



**RIGHT PROPOSED ELEVATION**  
SC : 1/4" = 1'-0"

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |

**PAB**  
Construction Inc.

PAB CONSTRUCTION INC.  
21060 HOMESTEAD RD. #216  
CUPERTINO, CA 95014  
WWW.PABCONINC.COM  
Tel 408-499-6595  
Fax 408-542-9645

SHEET TITLE:

**PROPOSED  
ELEVATION PLAN**

PROJECT DESCRIPTION:

**Mohan Akella REMODELING AND  
ADDITION**

1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:

PAB.02.16

DATE:

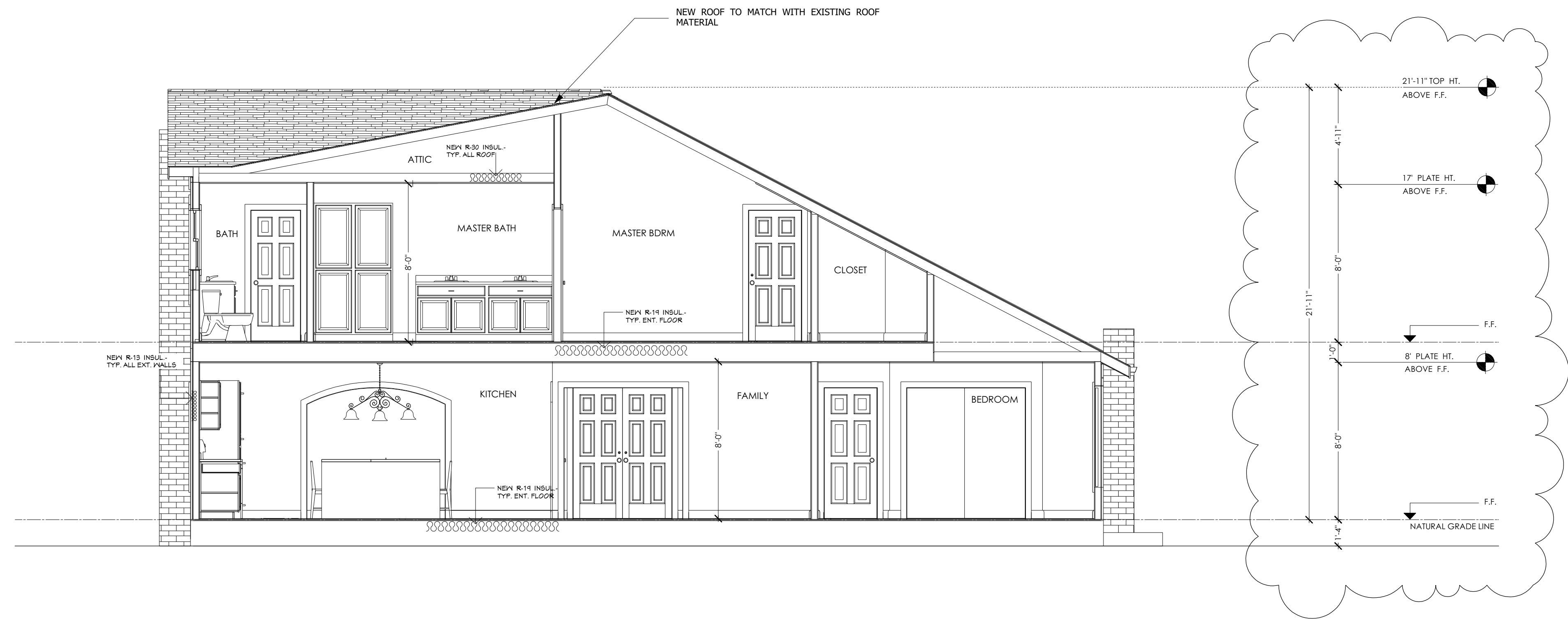
04.03.2017

SCALE:

1/4"=1'

SHEET:

**A-3.1**



**A - A CROSS SECTION**  
SC : 1/4" = 1'-0"



**B - B CROSS SECTION**  
SC : 1/4" = 1'-0"

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SHEET TITLE:  
**SECTION FLOOR PLAN**

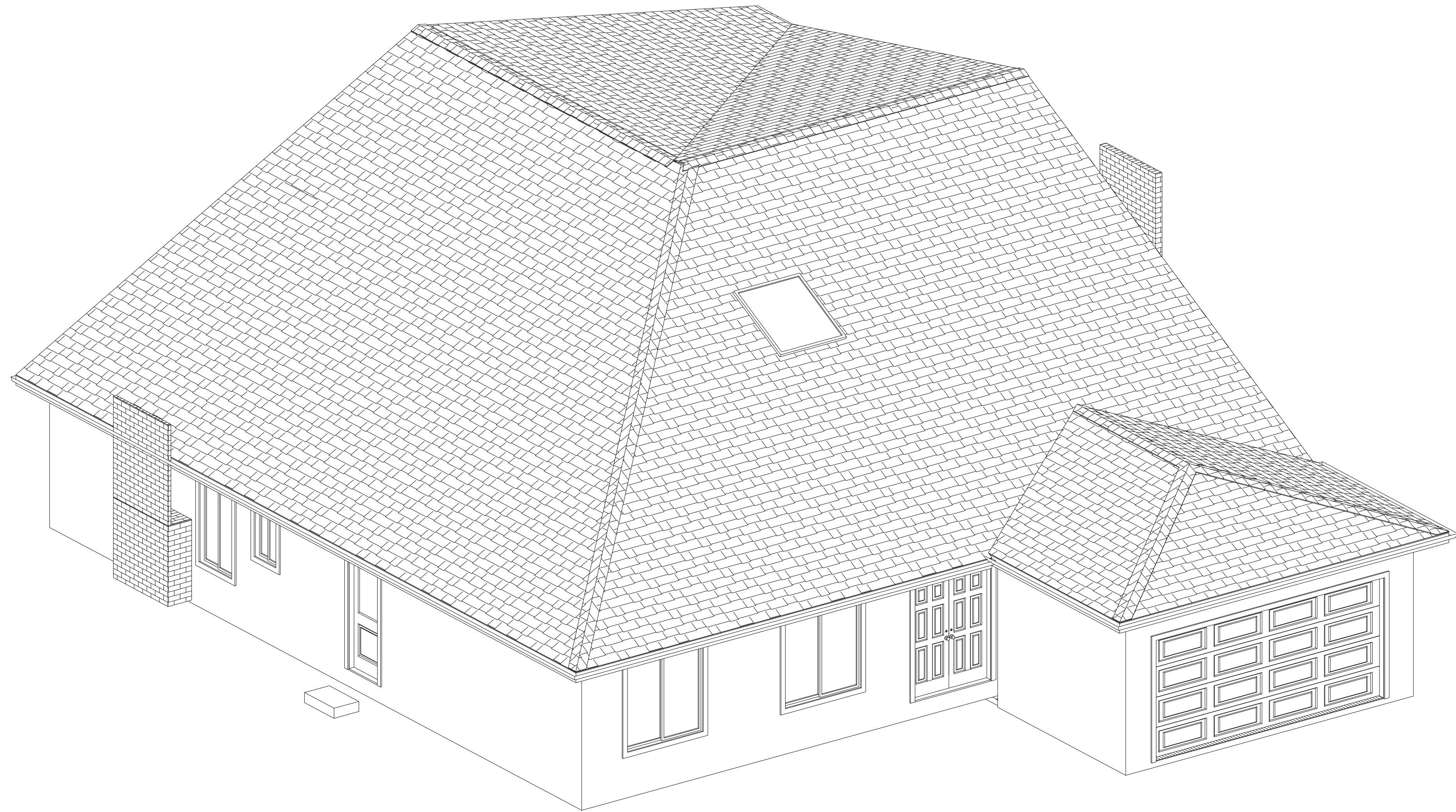
PROJECT DESCRIPTION:  
**Mohan Akella REMODELING AND ADDITION**  
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:  
PAB.02.16

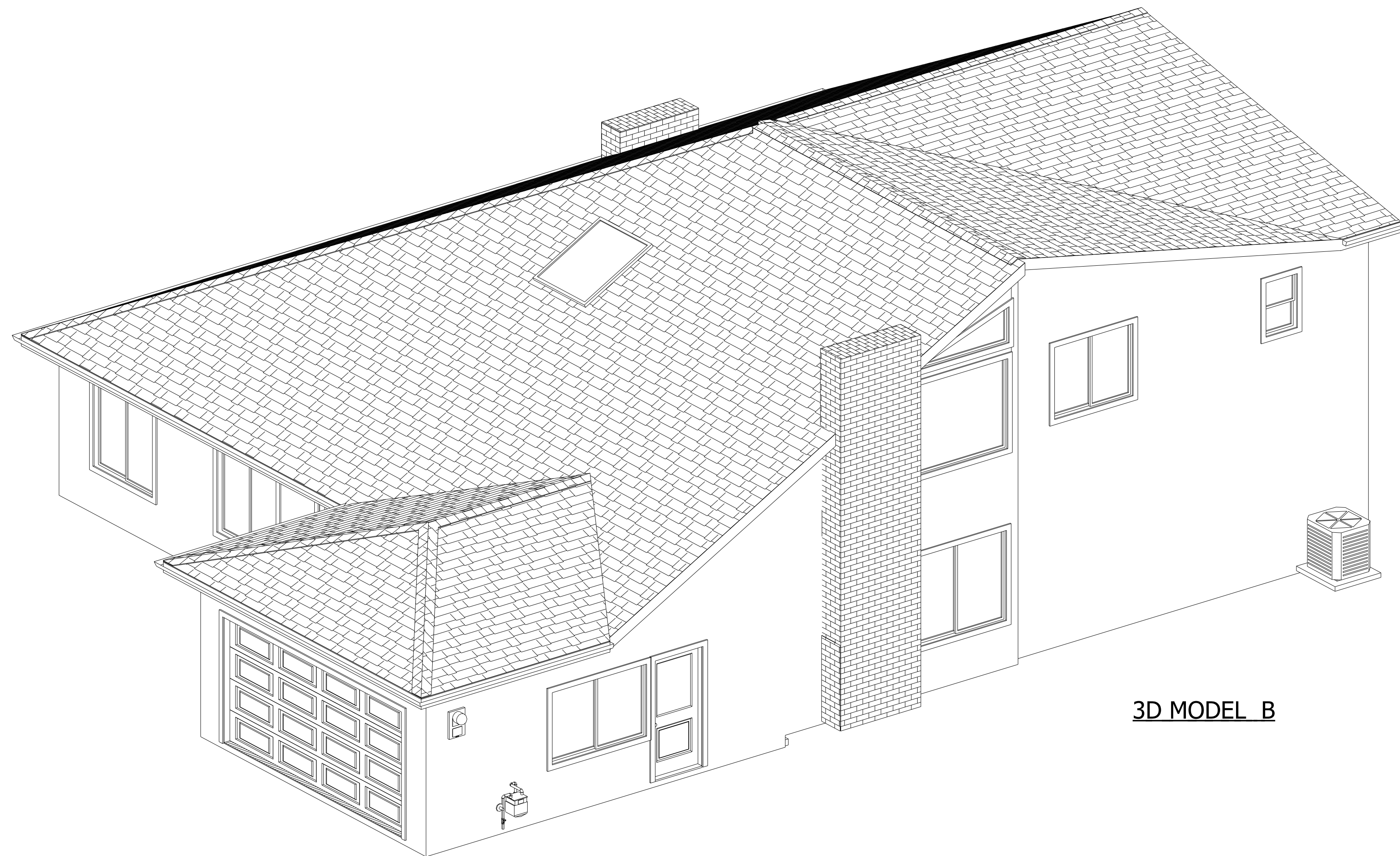
DATE:  
04.03.2017

SCALE:  
1/4"=1'

SHEET:  
**A-4**



3D MODEL\_A



3D MODEL\_B

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SHEET TITLE:  
**3D MODELS**

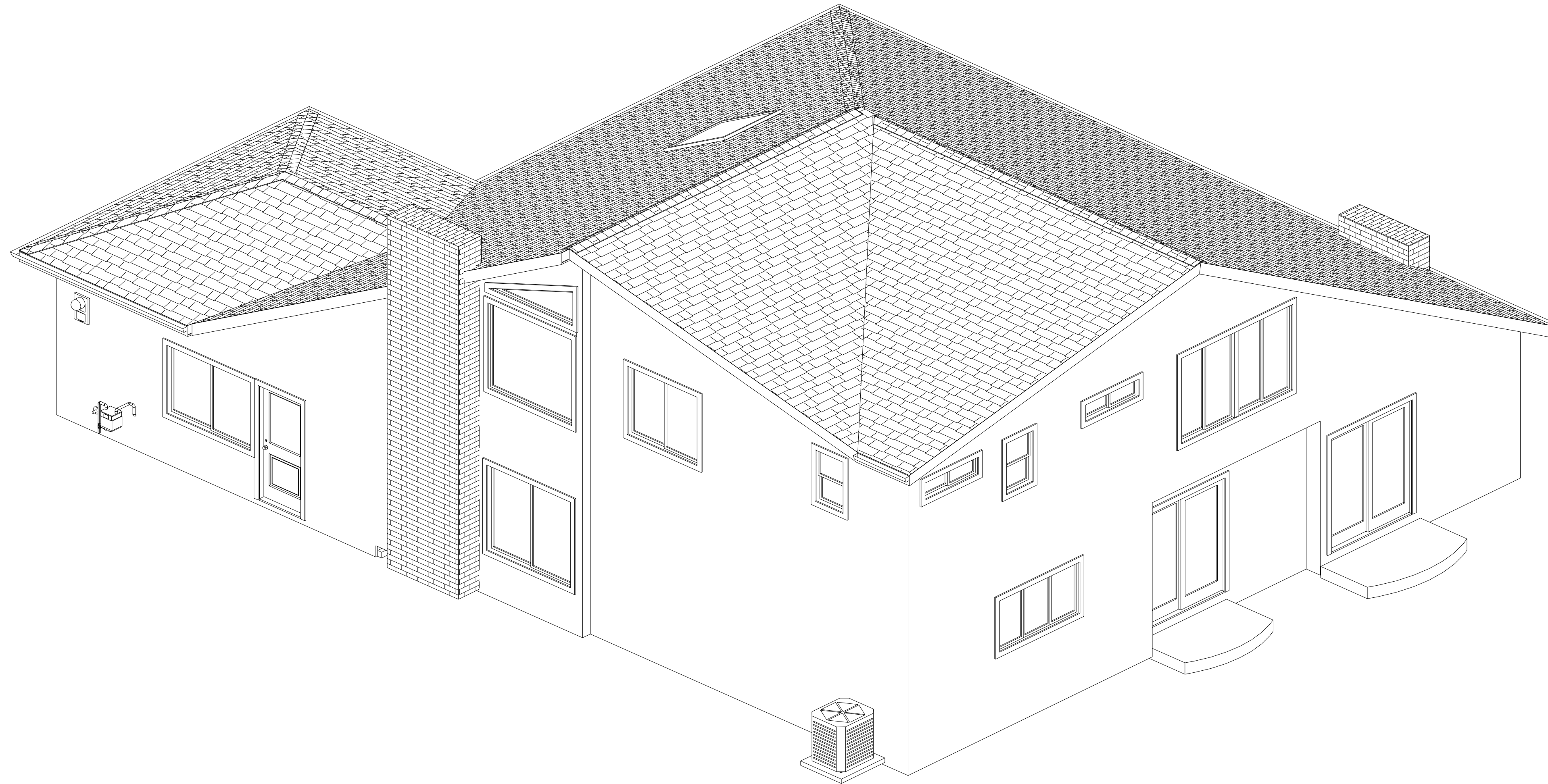
PROJECT DESCRIPTION:  
**Mohan Akella REMODELING AND ADDITION**  
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:  
PAB.02.16

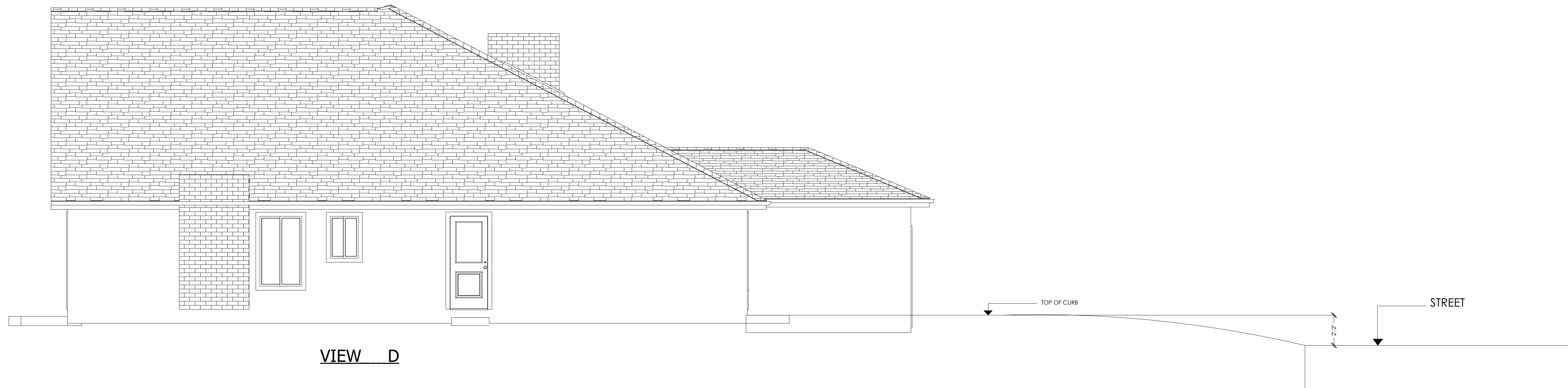
DATE:  
04.03.2017

SCALE:  
1/4"=1'

SHEET:  
**A-5**



3D MODEL C



VIEW D

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SHEET TITLE:  
**3D MODELS**

PROJECT DESCRIPTION:  
**Mohan Akella REMODELING AND ADDITION**  
1467 Dartshire CT, Sunnyvale CA 94087

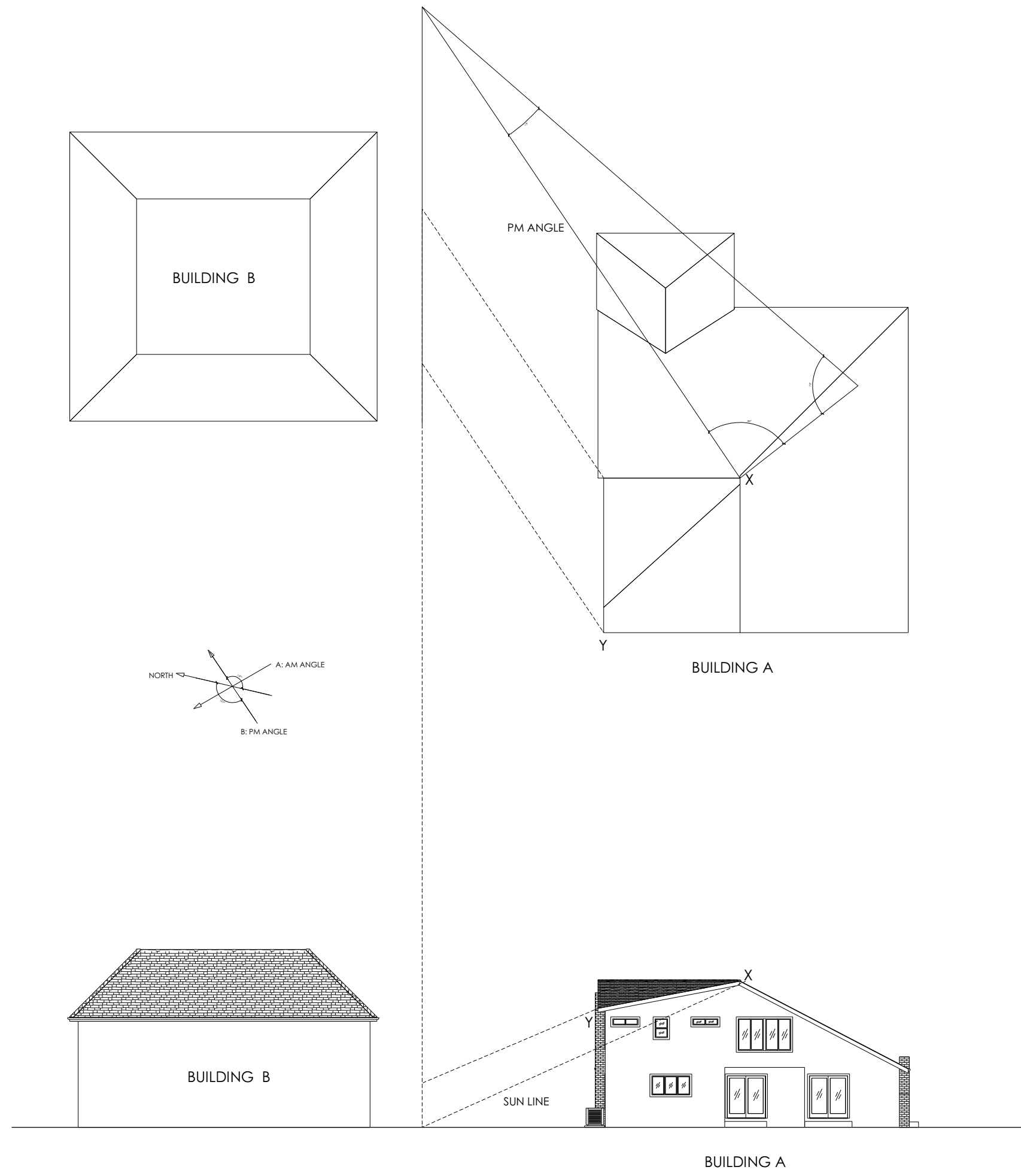
JOB NO:  
PAB.02.16

DATE:  
04.03.2017

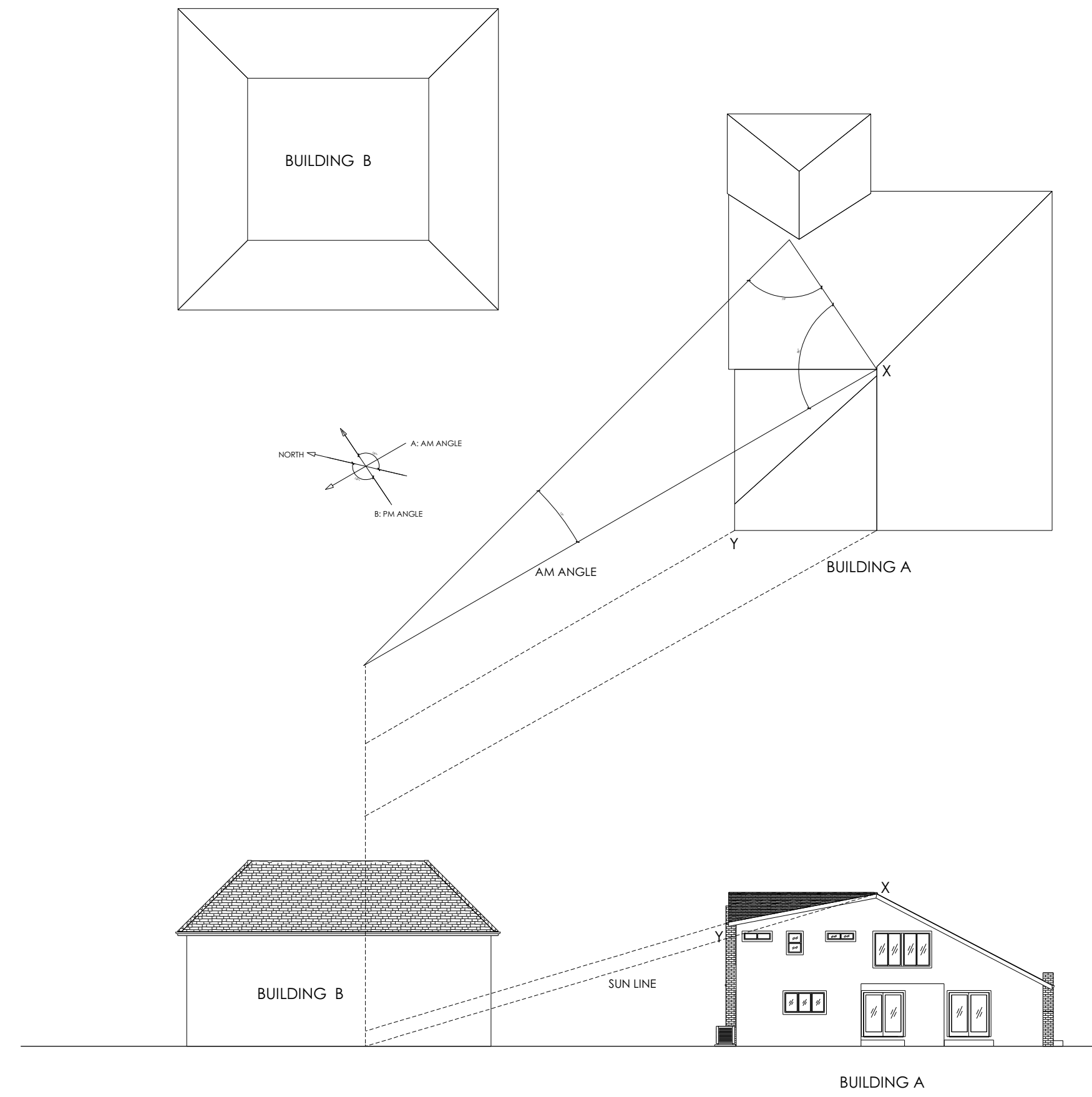
SCALE:  
1/4"=1'

SHEET:

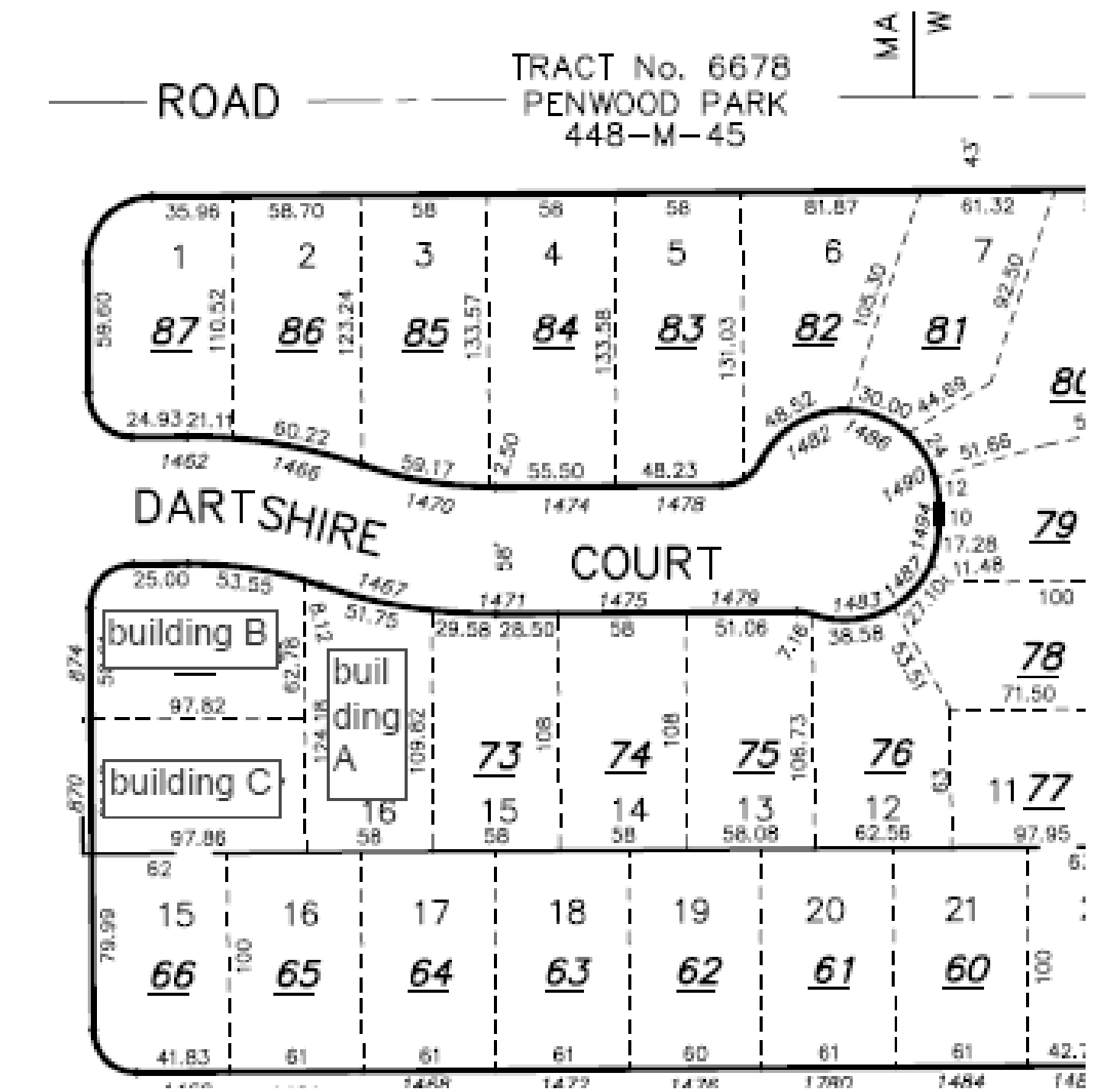
**A-6**



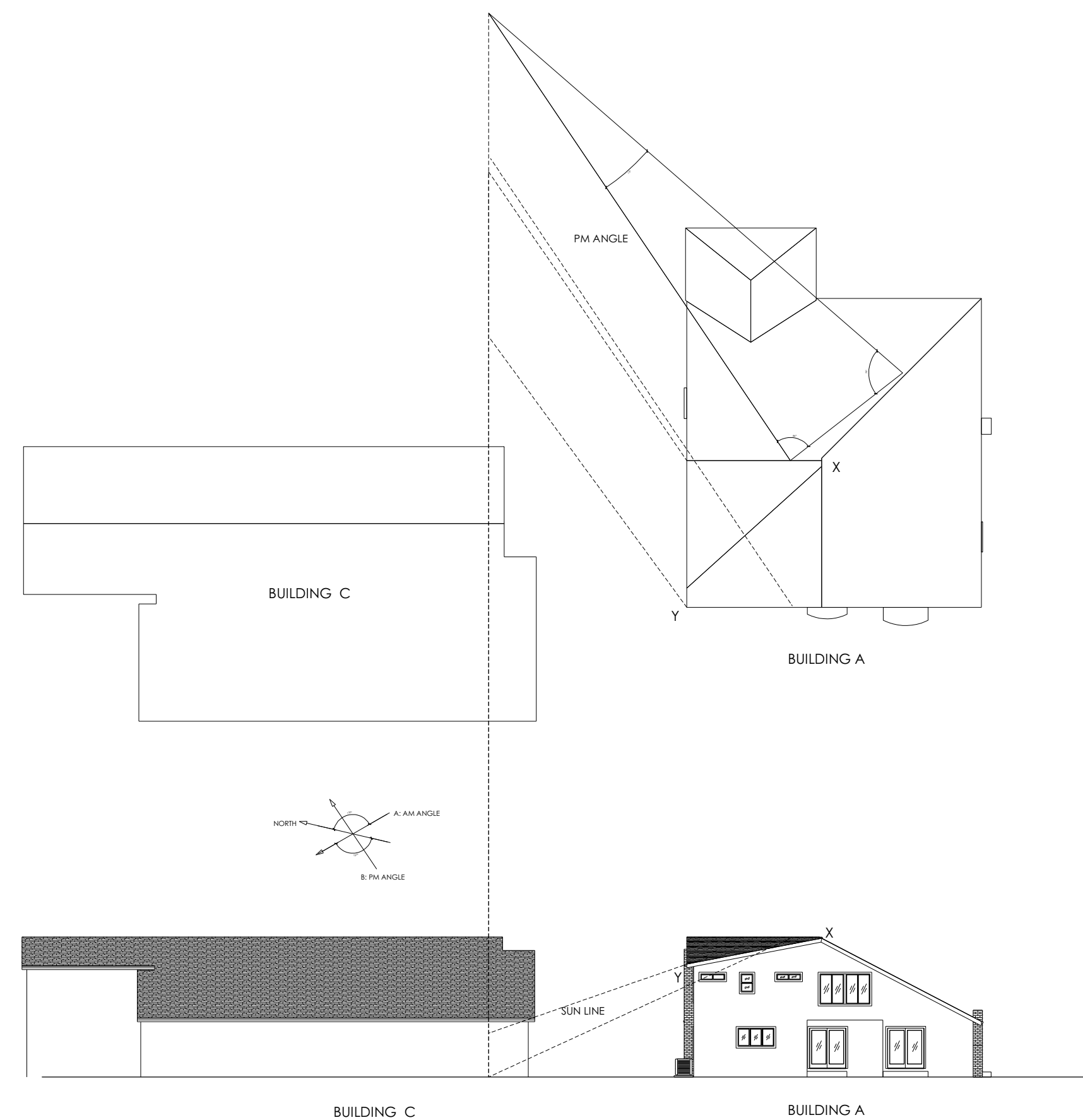
PM ANGLE: 0% of shading for this house



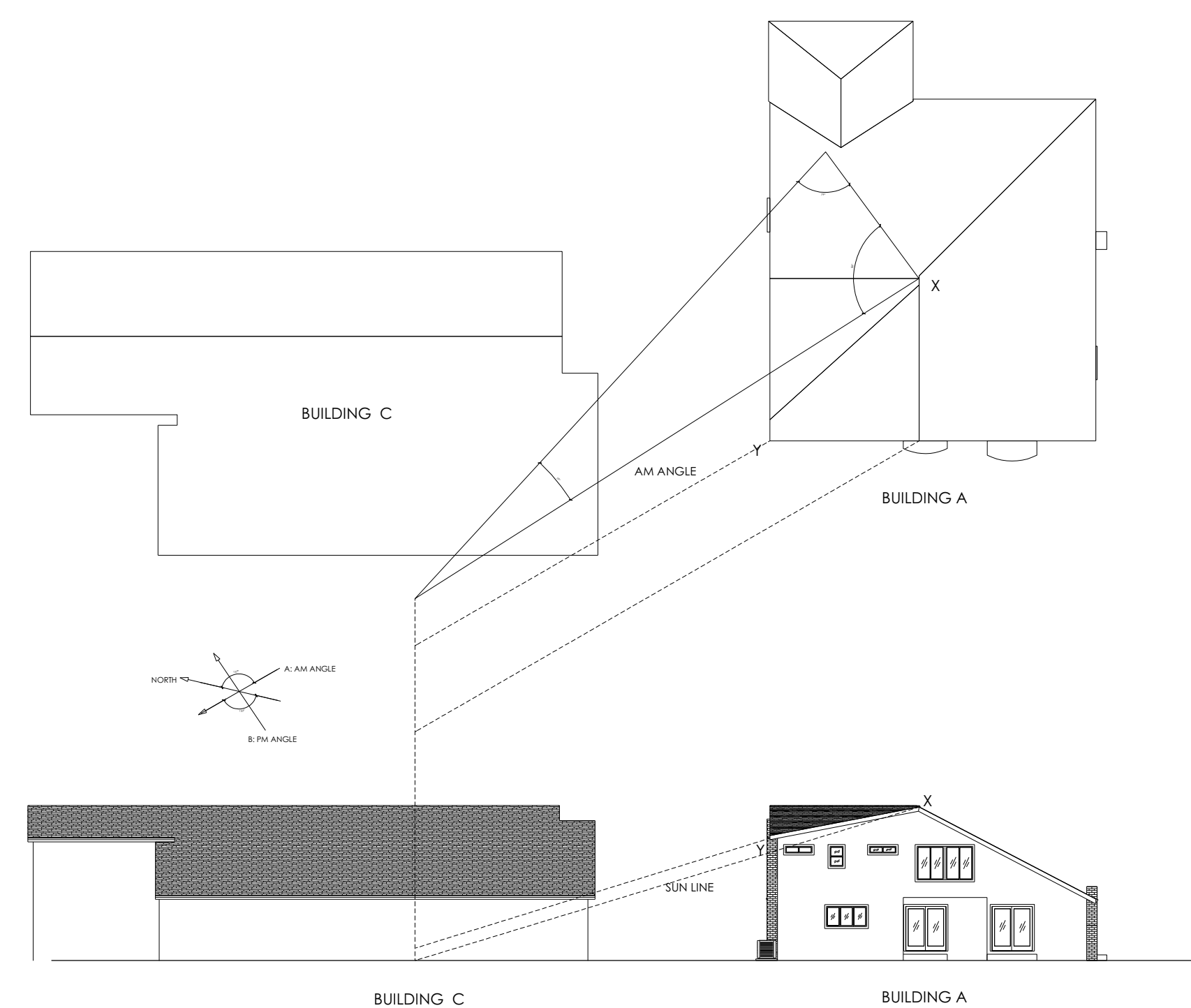
AM ANGLE: 0% of shading for this house



Property address of neighbors



PM ANGLE: 0% of shading for this house



AM ANGLE: 7 % of shading for this house

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SHEET TITLE:  
SUN ANGLE

PROJECT DESCRIPTION:  
Mohan Akella REMODELING AND  
ADDITION  
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:  
PAB.02.16

DATE:  
04.03.2017

SCALE:

SHEET:

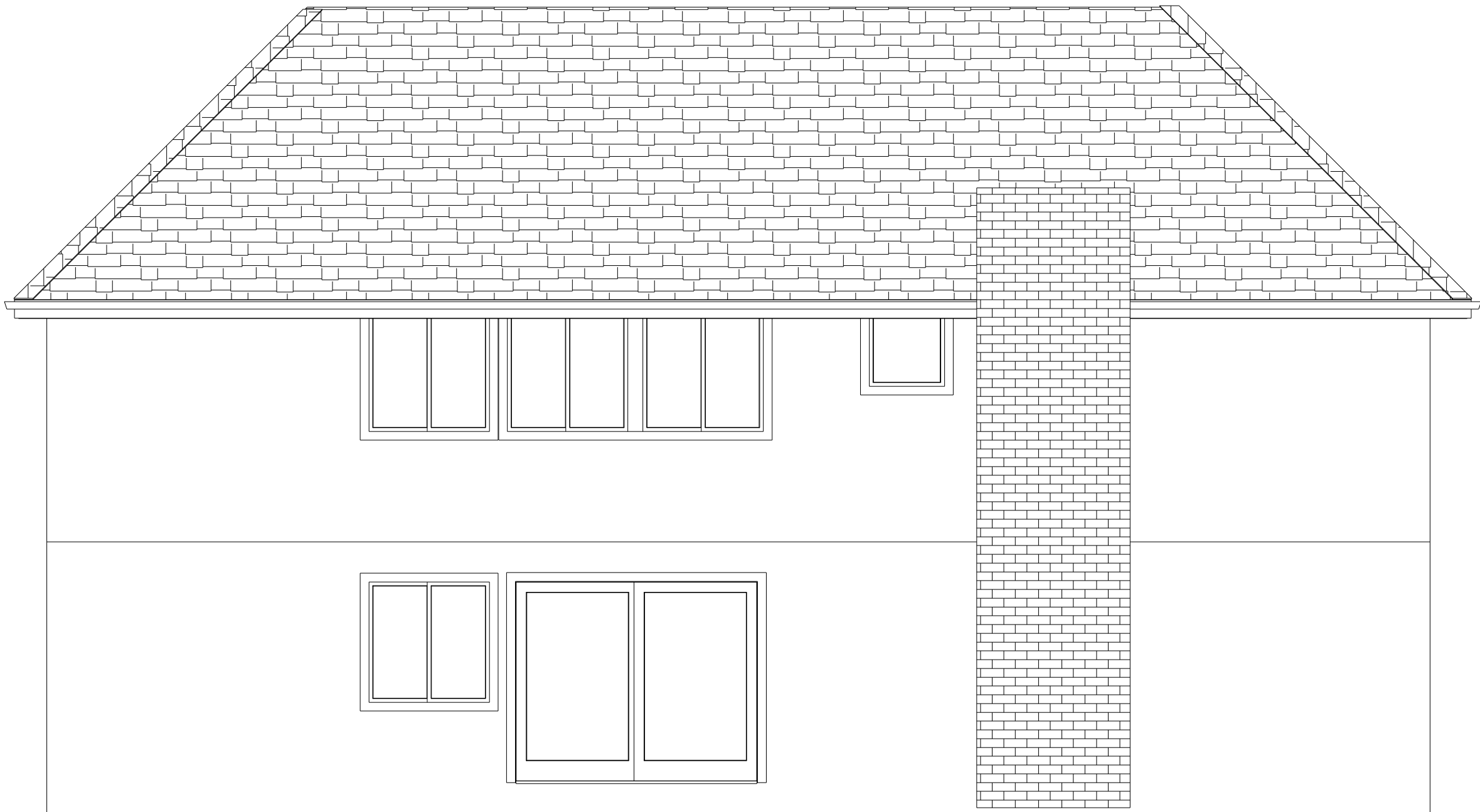
A-7



LEFT SIDE NEIGHBOR



RIGHT SIDE NEIGHBOR



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SHEET TITLE:  
**NEIGHBORS ELEVATION**

PROJECT DESCRIPTION:  
**Mohan Akella REMODELING AND ADDITION**  
1467 Dartshire CT, Sunnyvale CA 94087

JOB NO:  
PAB.02.16

DATE:  
04.03.2017

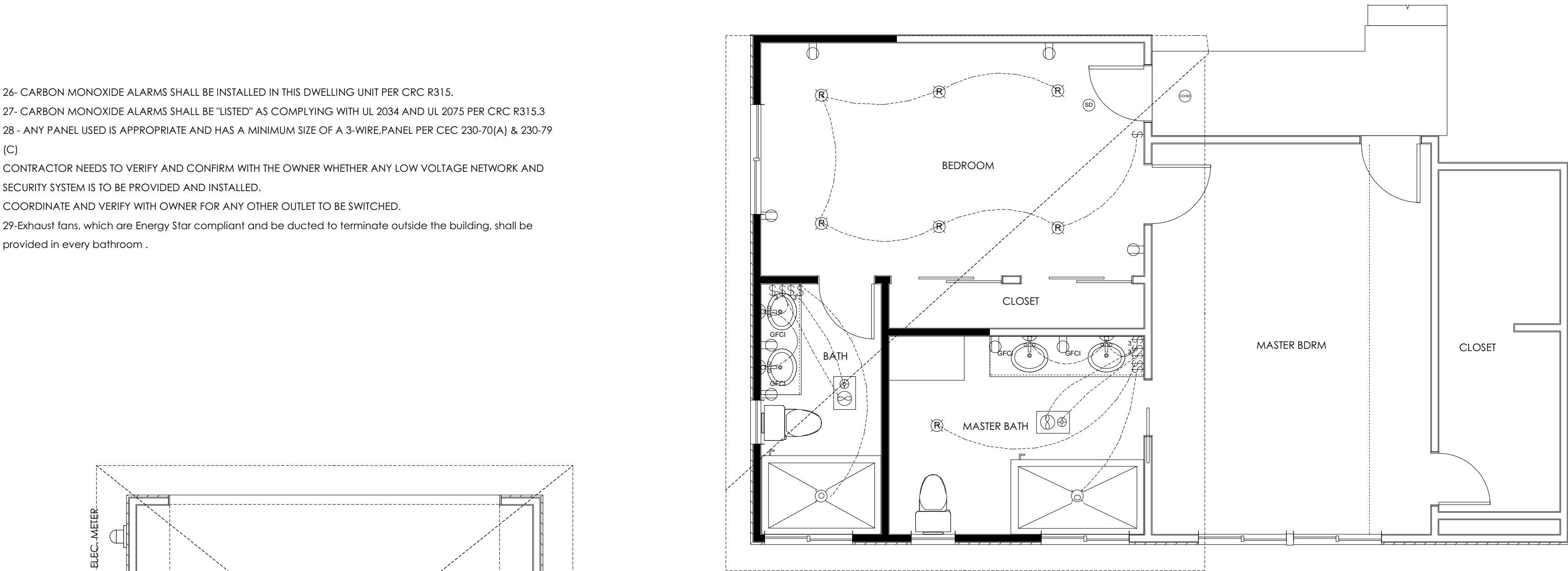
SCALE:

SHEET:

**A-8**

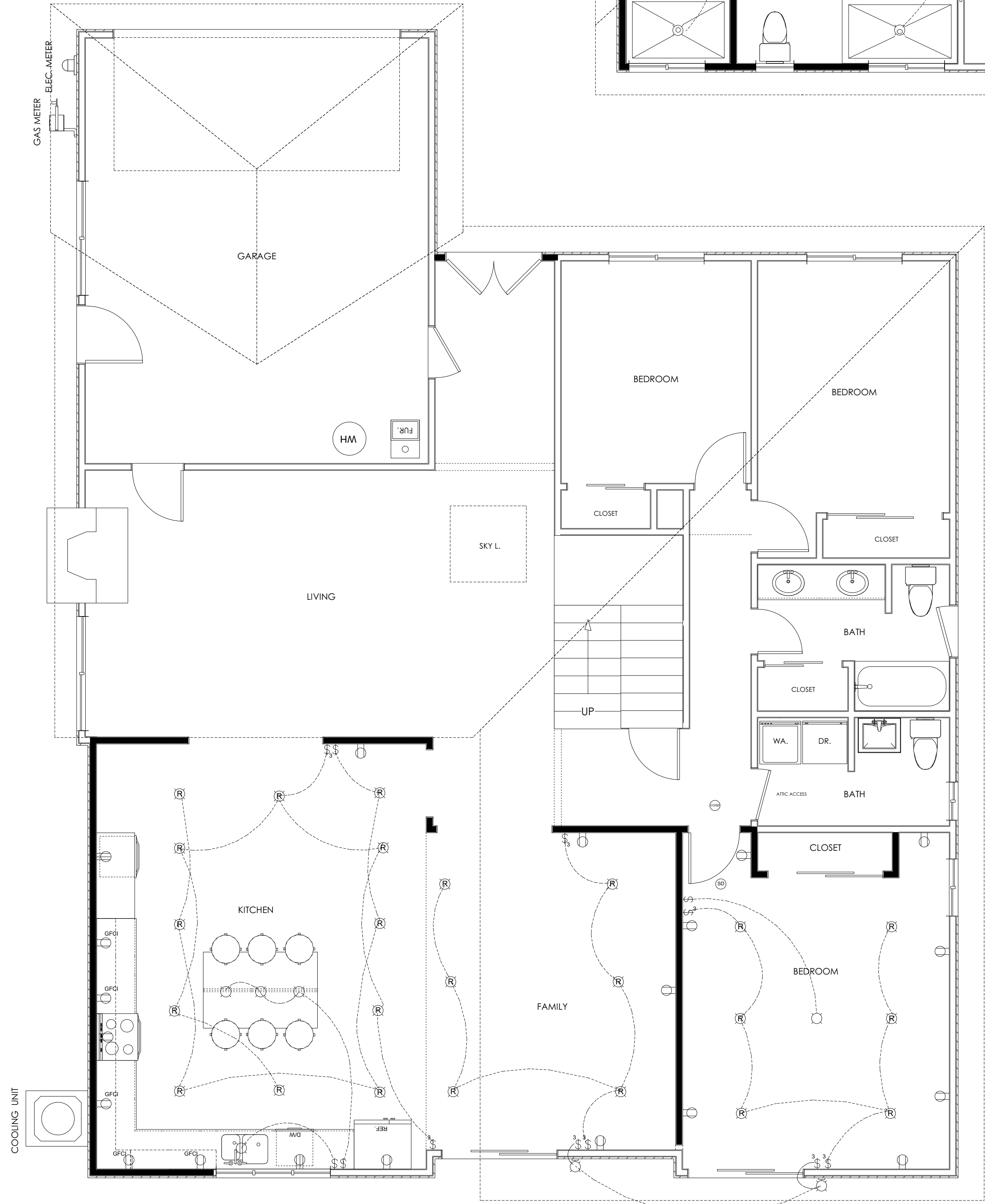
ELECTRICAL NOTES:

- 1 - PER SEC. 210.52 (C) OF THE 2010 CEC, IN KITCHENS AND DINING AREAS OF DWELLING UNITS, AT EACH COUNTER SPACE WIDER THAN 12" AND AT EACH ISLAND COUNTER OR PENINSULA SPACE 24" BY 12" OR LARGER RECEPTACLE SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. COUNTER TOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE SPACES. RECEPTACLE RENDERED INACCESSIBLE BY APPLIANCES FASTENED IN PLACE OR APPLIANCES OCCUPYING DEPICTED SPACE SHALL NOT BE CONSIDERED AS THESE REQUIRED OUTLETS.
- 2 - PER SEC. 210.52 (C) (5) OF THE 2010 CEC, ISLAND/PENINSULA'S OVERHANG ABOVE OUTLET IS LESS THAN 6-INCHES AND OUTLET IS LESS THAN 12-INCHES BELOW THE COUNTERTOP.
- 3 - PER SEC. 210.11 AND 422.12 OF 2010 CEC, IN ADDITION TO BRANCH CIRCUITS INSTALLED TO SUPPLY GENERAL ILLUMINATION AND RECEPTACLE OUTLETS IN DWELLING UNITS, THE FOLLOWING MINIMUM REQUIREMENTS APPLY:
- TWO 20-AMP CIRCUITS FOR THE KITCHEN RECEPTACLES.
- ONE 20-AMP CIRCUIT FOR THE LAUNDRY RECEPTACLES.
- ONE 20-AMP CIRCUIT FOR THE BATHROOM RECEPTACLES.
- ONE SEPARATE, INDIVIDUAL BRANCH CIRCUIT FOR CENTRAL HEATING EQUIPMENT.
- 4 - PER SEC. 210.52 RECEPTACLES INSTALLED IN THE KITCHEN TO SERVE COUNTERTOP SURFACES SHALL BE SUPPLIED BY NOT LESS THAN TWO SEPARATE SMALL APPLIANCE BRANCH CIRCUIT.
- 5 - PER SEC. 210.52 OF THE 2010 CEC, ALL RECEPTACLES AT THE FRONT AND REAR OF THE HOME SHALL BE WITHIN 6 FEET 6 INCHES OF GRADE AND THEY ARE TO BE WEATHER PROOFED GFCI.
- 6 - PER SEC. 210.12 (B) OF THE 2010 CEC, ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
- 7 - PER SEC. 210.8 OF THE 2010 CEC, ALL RECEPTACLES IN BATHROOMS, GARAGE, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENT, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY, UTILITY, WET BAR SINKS (WITHIN 6 FT OF THE EDGE OF THE SINK), SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION.
- 8 - SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POIT CENTRALLY LOCATED IN CORRIDORS GIVING ACCESS TO SUCH ROOMS AS REQUIRED, PER SEC. 310.9.1.4 OF THE 2010 CBC, AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION.
- 9 - SMOKE DETECTORS TO BE HARD WIRED AND SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW., PER SEC. 310.9.1.3 OF THE 2010CBC.
- 10 - PER SEC. 410.8 OF 2010 CEC, LUMINARIES IN CLOSETS SHALL HAVE THE FOLLOWING CLEARANCES TO COMBUSTIBLE/SHELVES
- A. SURFACE-MOUNTED INCANDESCENT FIXTURES SHALL HAVE 12" CLEARANCE AND HAVE AN ENCLOSED BULB.
- B. FLUORESCENT FIXTURES AND RECESSED TO HAVE MINIMUM 6' CLEARANCE.
- 11 PER SEC. 410.66 OF THE 2010 CEC, ALL RECESSED LIGHTING FIXTURE INSTALLED IN INSULATED CEILING OR INSTALLED WITHIN 1/2-INCH-OF COMBUSTIBLE MATERIAL SHALL BE APPROVED FOR INSULATION CONTACT AND LABLED TYPE IC.
- 12 - PER SEC. 410.4 (A) AND (D) OF 2010 CEC, ALL LUMINARIES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE LISTED FOR SUCH USE BY AN APPROVED AND RECOGNIZED AGENCY. LUMINARIES SUBJECT TO SHOWER SPRAY MUST BE LISTED "SUITED FOR WET LOCATIONS." LUMINARIES NOT SUBJECT TO SHOWER SPRAY CAN BE LISTED AS EITHER "SUITED FOR WET LOCATIONS" OR "SUITED FOR DAMP LOCATIONS.
- 13 -LIGHT FIXTURES INSTALLED ABOVE AND WITHIN 5'-0" FROM INSIDE WALLS OF THE SPA/WHIRLPOOL UNIT SHALL BE AT LEAST 7'-6" ABOVE THE MAXIMUM WATER LEVEL AND FFICI PROTECTED. FIXTURES MAY BE INSTALLED LESS THAN 7'-6" PROVIDED THAT THEY ARE LISTED FOR USE IN DAMPED LOCATIONS AND GFCI PROTECTED.
- 14 -LAMP USED FOR GENERAL LIGHTING IN KITCHENS AND BATHROOMS SHALL HAVE AN EFFICACY OF NOT LESS THAN 40 LUMENS PER WATT, PER TITLE 24, 2.5352 (J).
- 15 -ALL RECEPTACLES TO BE INSTALLED IN GARAGE TO BE MIN. 18" ABOVE FINISH FLOOR AND GFCI PROTECTED.
- 16 -AT LEAST HALF OF THE INSTALLED WATTAGE OF LIGHT FIXTURES IN KITCHENS SHALL BE HIGH EFFICACY AND THOSE THAT ARE NOT MUST BE SWITCHED SEPARATELY. HIGH EFFICACY LIGHT FIXTURES MUST PROVIDE AT LEAST 40 LUMEN PER WATT, ALMOST ALL FLUORESCENT LAMPS EQUIPPED W/ELECTRONIC BALLAST QUALIFY, (VERIFY) INCANDESCENT LAMPS (INCLUDING ANY SCREW IN INCANDESCENT LAMPS) QUARTZ HALOGEN LAMPS OR LOW VOLTAGE LAMPS SUCH AS HALOGEN LAMPS DO NOT.
- 17 -OTHER ROOMS SHALL HAVE LIGHT FIXTURES EITHER BE HIGH EFFICACY (FLUORESCENT) OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQF, ARE EXEMPT FROM THIS REQUIREMENT, AN APPROVED OCCUPANT SENSOR DOES NOT ALLOW THE LIGHT TO BE TURNED ON AUTOMATICALLY, AND DOES NOT HAVE AN OVERRIDE THAT ALLOWS IT TO REMAIN ON.
- 18 - ALL OUTDOOR LIGHT FIXTURES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LIGHT FIXTURES (FLUORESCENT) OR SHALL BE CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION.
- 19 -FOR EXISTING BUILDINGS TO BE REMOVED GAS AND ELECTRICAL METER ARE TO BE REMOVED BY PG&E PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY.
- 20 -CONTRACTOR NEEDS TO VERIFY AND CONFIRM THE LOCATION OF ALL LIGHT SWITCHES AND PROVIDE ANY ADDITIONAL OUTLETS OTHER THAN SHOWN ON THIS DRAWING. DO NOT ELIMINATE ANY OF THE OUTLETS SHOWN ON THIS DRAWING.
- 21 -BOTTOM OUTPUT OF ALL ELECTRICAL OUTLETS BY THE HEADBOARD LOCATIONS OF BEDS IN BEDROOMS AND GUEST ROOMS TO BE SWITCH OPERATED. SWITCH LOCATED BY THE ROOM ENTRY DOOR.
- 22 -PER CEC ARTICLE 406.11, ALL 15-AMP AND 20 AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- 23 -PER CEC ARTICLE 406.11, ALL 125-VOLT, 15-AND 20-AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- 24 -PER CEC 210.12(B), ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20-AMP, OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED.
- 25 -THE MAX. FLOW RATES SET BY CALIFORNIA ENERGY COMMISSION AND CPC CHAPTER 4:
- a. TOILET 1.28 GPM
- b. SHOWER HEADS 2.5 GPM
- c. SINK FAUCETS 2.2 GPM
- d. Urinals 0.5 gal per flush
- 26- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THIS DWELLING UNIT PER CRC R315.
- 27- CARBON MONOXIDE ALARMS SHALL BE "LISTED" AS COMPLYING WITH UL 2034 AND UL 2075 PER CRC R315.3
- 28 - ANY PANEL USED IS APPROPRIATE AND HAS A MINIMUM SIZE OF A 3-WIRE,PANEL PER CEC 230-70(A) & 230-79 (C)
- CONTRACTOR NEEDS TO VERIFY AND CONFIRM WITH THE OWNER WHETHER ANY LOW VOLTAGE NETWORK AND SECURITY SYSTEM IS TO BE PROVIDED AND INSTALLED.
- COORDINATE AND VERIFY WITH OWNER FOR ANY OTHER OUTLET TO BE SWITCHED.
- 29-Exhaust fans, which are Energy Star compliant and be ducted to terminate outside the building, shall be provided in every bathroom .



ELECTRICAL 2ND FLOOR PLAN

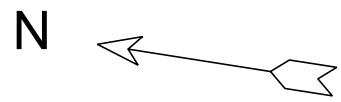
SC : 1/4" = 1'-0"



ELECTRICAL 1ST FLOOR PLAN

SC : 1/4" = 1'-0"

| ELECTRICAL - DATA - AUDIO LEGEND |   |
|----------------------------------|---|
| SYMBOL                           | DESCRIPTION   |
|                                  | Ceiling Fan   |
|                                  | Ventilation Fans: Ceiling Mounted, Wall Mounted                                   |
|                                  | Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage |
|                                  | Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce                           |
|                                  | Chandelier Light Fixture  |
|                                  | Fluorescent Light Fixture   |
|                                  | 240V Receptacle   |
|                                  | 110V Receptacles: Duplex, Weather Proof, GFCI                                     |
|                                  | Switches: Single Pole, Weather Proof, 3-Way, 4-Way                                |
|                                  | Switches: Dimmer, Timer   |
|                                  | Audio Video: Control Panel, Switch  |
|                                  | Speakers: Ceiling Mounted, Wall Mounted   |
|                                  | Wall Jacks: CAT5, CAT5 + TV, TV/Cable   |
|                                  | Telephone Jack  |
|                                  | Intercom  |
|                                  | Thermostat  |
|                                  | Door Chime, Door Bell Button  |
|                                  | Smoke Detectors: Ceiling Mounted, Wall Mounted                                    |
|                                  | Electrical Breaker Panel  |



WALL LEGEND:

GRAPHIC SCALE: 1 INCH = 4 FEET



- EXISTING WALL TO STAY
- EXISTING WALL TO BE REMOVED
- NEW CONSTRUCTION WALL

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DATE:  
04.03.2017

SCALE:  
1/4"=1'

SHEET:  
**E-1**

ELECTRICAL FLOOR PLAN

SHEET TITLE: