

PROJECT DATA

1. APN

201-22-006

2. GENERAL PLAN

COMMERCIAL GENERAL BUSINESS

3. ZONING DISTRICT

C-2/ECR

4. LOT SIZE

23,760 SF (0.55 AC)

5. GROSS FLOOR AREA

53,538 SF

6. LOT COVERAGE

56%

1ST FLR - 3075 SF

2ND FLR - 12,621 SF

3RD FLR - 13,409 SF

4TH FLR - 13,409 SF

5TH FLR - 10,491 SF

13,409 SF (LARGEST FLOOR) - 41 SF (PROJECT FEATURE) = 13,368 SF / 23760 = 56%

7. FLOOR AREA RATIO (FAR)

2.25

8. BUILDING HEIGHT

59'-10" (SEE NORTH ELEVATION ON A-9)

9. NO. OF STORIES

5

10. BUILDING SETBACKS

FRONT - 15'MIN. (TO DED1 PL); LEFT SIDE- 7'/ 10'/ 12'; RIGHT SIDE - 7'/ 10'/ 12'; REAR- 51'-71' (SEE AS-1)

11. LANDSCAPING

a. GROUND LEVEL (PERIMETERS)

6865 SF (29%) (LOCATION SEE AS-1 & PLANTING SEE L-1)

i. GREAT THAN 4752 SF (20% OF LOT) OR

ii. GREAT THAN 6674 (12.5% OF FLOOR AREAS)

(FRONT - 1523 SF) + (REAR - 1186 SF) = 2706 / 23760 = 11% (LOCATIONS SEE A-6 PLANTING SEE L2 & L-3)

b. ROOF LEVEL (USABLE OPEN SPACE TO MEET LANDSCAPING REQUIREMENTS, SMC 19.37)

6865 + 2706 = 9571 / 23760 = 40%

c. COMBINED LANDSCAPE

68 (STANDARDS 8.5'X18' = 65; ACCESSIBLE =3) (SEE A-1 & A-2)

12. TOTAL NO. OF PARKING

12 / 18%

13. BICYCLE PARKING

a. CLASS 1 - INSIDE BUILDING (CHECK-IN SYSTEM) LOCATION SEE AS-1 & A-1

b. CLASS 2 - OUTSIDE BUILDING AS-1 & A-1

14. IMPERVIOUS SURFACE AREA

16,896 SF

15. IMPERVIOUS SURFACE, %

16896 / 23760 = 71%

16. ADDITIONAL FEATURES:

A. PROJECT LEED CHECKLIST TO GOLD 60 TO 79 POINTS IN THE FOLLOWING SEVEN (7) AREAS;

a. SUSTAINABLE SITE

b. WATER EFFICIENCY

c. ENERGY & ATMOSPHERE

d. MATERIALS AND RESOURCES

e. INDOOR ENVIRONMENTAL QUALITY

f. INNOVATION & DESIGN PROCESS

g. REGIONAL PRIORITY CREDITS

B. PROJECT INCLUDES ON-SITE EV PARKING

C. PROJECT MANAGEMENT INCLUDES SHUTTLE SERVICES

17. TYPE OF OCCUPANCY

S-2 (PARKING ABOVE & BELOW GRADE)

R-1 (HOTEL GUEST ROOMS)

A-3 (HOTEL LOBBY AN ASSEMBY ROOM)

A-3 OCCUPANT LOAD = 2536 /15 = 169

OR O.L = 2536 / 7 = 362

REQUIRED WIDTH OF EXIT = 362x0.2 = 72 IN (CBC 1005.3.2)

TWO (2) EXITS REQUIRED MIN. & EXITS OF 147 IN PROVIDED

18. TYPE OF CONSTRUCTION

TYPE IB AT S-2

TYPE IIA AT R-1 (RESCUE OPEN'GS IN SLEEP'G RM'S ARE NOT REQ'D AS PER CFC 1029.1 EXCEPTION NO. 1)

19. ALLOWABLE BLDG AREA

TYPE IB: 79,000 SF PER STORY

TYPE IIA: 24000 SF PER STORY

20. ALLOWABLE BLDG HT

TYPE IB: 160' /11 STORIES

TYPE IIA: 4 STORIES

21. SUMMARY:

a. GROUND-LEVEL PARKING, S-2, TYPE IB FSD 10' BUILDING ELEMENTS TO BE 2-HR FIRE RESISTANCE RATING AS PER TABLE 601; NON-BEARING EXTERIOR WALLS TO BE NO-HR FIRE RESISTANCE RATING AS PER TABLE 602 EXCEPTION d.

b. EXTERIOR WALL OPENINGS ALONG EAST & WEST SIDES AT S-2 W/ FSD 10' IS NOT LIMITED (TABLE 705.8 EXCEPTION g.)

c. FIRE-RESISTANCE RATING OF EXTERIOR WALLS ALONG EAST & WEST FOR R1 OCCUPANCY IS 1-HR (AS PER CBC TABLE 705.8)

d. WALL BETWEEN A-2 AND A-3 IS NOT FIRE RATED (REF TABLE 508.4)

Number of stories for determining minimum type of construction

Type IIA is appropriate for one-story buildings to buildings more than 10' in height

One story

Group R

Group R

Group R

Group R

Group S-2

FIRE SEPARATION IS 2 HR SAME AS TYPE IB

GARAGE CONSTRUCTION AS PER CBC TABLE 601

Floor assembly based on garage type of construction, but not less than Table 508.4 (if closed)

Type I construction if enclosed Type I or IV if open (Type I is appropriate)

Grade entrance

Parking beneath Group R. (B-1.8a)

21. NATURAL VENTILATION FOR GROUND PARKING GARAGE (CBC 406.5.2)

AREA OF OPENINGS IS MORE THAN 20% OF THE PERIMETER WALL AREA

22. A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, CLASS III STANDPIPE SYSTEM, SMOKE DETECTION SYSTEM, CARBON MONOXIDE DETECTION SYSTEM AND OCCUPANT NOTIFICATION SYSTEM ARE REQUIRED.

23. ACTIVATION OF THE FIRE ALARM SYSTEM SHALL INITIATE AN OCCUPANT NOTIFICATION SYSTEM IN ACCORDANCE WITH CFC 907.6.

24. ALL BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS IN ACCORDANCE WITH SECTION 51.0 OF THE CALIFORNIA FIRE CODE AND LOCAL STANDARDS. RADIO RETRANSMISSION EQUIPMENT MAY BE REQUIRED IN AREAS LACKING SUFFICIENT COVERAGE. REFER TO SMC 16.52.230, EMERGENCY RESPONDER RADIO COVERAGE AND CFC APPENDIX J FOR ADDITIONAL DETAILS. (SMC 510.1)

25. WHEREVER A NEW STRUCTURE OBSTRUCTS THE LINE OF SIGHT EMERGENCY RADIO COMMUNICATIONS TO EXISTING BUILDINGS OR TO ANY OTHER LOCATIONS, THE DEVELOPER OF THE STRUCTURE IS REQUIRED TO PROVIDE AND INSTALL RADIO RETRANSMISSION EQUIPMENT NECESSARY TO RESTORE COMMUNICATION CAPABILITIES. SUCH EQUIPMENT SHALL BE LOCATED IN AN APPROVED SPACE OR AREA WITHIN THE NEW STRUCTURE. (SMC 510.1.1)

26. KNOX BOXES (KEY BOXES) WILL BE REQUIRED IN ACCORDANCE WITH SUNNYVALE FIRE PREVENTION GUIDELINES.

27. PRIOR TO ANY COMBUSTIBLE CONSTRUCTION OR MATERIALS ON SITE, PROVIDE FIRE ACCESS DRIVES AND OPERATIONAL ON-SITE FIRE PROTECTION SYSTEMS.

28. REQUIRED MEANS OF EGRESS DURING CONSTRUCTION. EACH LEVEL ABOVE THE FIRST STORY IN NEW MULTI-STORY BUILDINGS THAT REQUIRE TWO EXIT STAIRWAYS SHALL BE PROVIDED WITH AT LEAST TWO USABLE EXIT STAIRWAYS AFTER THE FLOOR DECKING IS INSTALLED. THE STAIRWAYS SHALL BE CONTINUOUS AND DISCHARGE TO GRADE LEVEL. STAIRWAYS SERVING MORE THAN TWO FLOOR LEVELS SHALL BE ENCLOSED (WITH OPENINGS ADEQUATELY PROTECTED) AFTER EXTERIOR WALLS AND WINDOWS ARE IN PLACE. EXCEPTION: IN NEW MULTI-STORY BUILDINGS, ONE OF THE REQUIRED EXIT STAIRS MAY BE OBSTRUCTED ON NOT MORE THAN TWO CONTIGUOUS FLOOR LEVELS FOR THE PURPOSE OF STAIRWAY CONSTRUCTION (I.E. INSTALLATION OF GYPSUM BOARD, PAINTING, FLOORING, ETC.). [SMC 1411.1]

29.

	WC	LAV	BATHTUB	SERVICE SINK
84 GUEST ROOM	1	1	1	1
1 MAID ROOM	1	1	0	1
TOTAL (84 + 1)	85	85	84	85

P GRAND LOBBY (ASSEMBLY) AS PER CBC TABLE A-GROUP A-2, A-3 & A-4 OCCUPANCY OCC LOAD = 2914 SF/30 = 97 OCCUPANTS

	WC	LAV	UNIRAL	DF
MALE RM	1	1	1	
FEMALE RM	2	2	0	1 SET

LOCATION MAP

N.T.S.

EL CAMINO REAL WEST

MARRIOTT HOTEL

CHICK-FIL-A

PROJ. SITE

LAS PALMS BY SUMMERHILL HOMES

HOLLENBECK AVE.

MATHILDA AVE.

NORTH

DRAWING INDEX

ARCHITECTURAL

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SHEET 6 A-2 BASEMENT PLAN (UNDERGROUND PARKING)

SHEET 7 A-3 2ND FLOOR PLAN

SHEET 8 A-4 3RD FLOOR PLAN

SHEET 9 A-5 4TH FLOOR PLAN

SHEET 10 A-6 5TH FLOOR PLAN

SHEET 11 A-7 ROOF PLAN

SHEET 12 A-8.a STREETScape (2D & 3D)

SHEET 13 A-8.b STREETScape (2D & 3D)

SHEET 14 A-9 BUILDING ELEVATION, WEST

SHEET 15 A-10 BUILDING ELEVATIONS, EAST / SOUTH

SHEET 16 A-11 BUILDING SECTIONS

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CIVIL

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SHEET 25 C-3.0 PRELIMINARY GRADING & UTILITY PLAN

SHEET 26 C-4.0 PRELIMINARY STORMWATER MANAGEMENT PLAN

LANDSCAPE

SHEET 19 L-1 LANDSCAPE PLAN (GROUND LEVEL)

SHEET 20 L-2 LANDSCAPE PLAN (ROOF LEVEL)

SHEET 21 L-3 LANDSCAPED BUILDING ELEVATIONS FRONT & REAR (NORTH & SOUTH)

SHEET 22 L-4 LANDSCAPED BUILDING ELEVATIONS SIDES (EAST & WEST)

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San Ramon, CA 94583

TEL (925) 866-0322 x258

SOIL ENGINEER :

LANDSCAPE ARCHITECT : TODD KALBFELD

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SANTA CLARA, CA 95128

TEL (408) 247-6634

STRUCTURAL ENGINEER :

MECHANICAL ENGINEER :

ELECTRICAL ENGINEER :

5-STORY
(84 ROOMS)

HOTEL LE CIEL

a luxury hotel

590 W. EL CAMINO REAL

SUNNYVALE, CA

Steve Yang & Associates

architects aia/pe

planning architecture & design

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8/25/14

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APPLICANT:

DEGAN DEVELOPMENT, INC.

2959 S. WINCHESTER BLVD, SUITE 200A

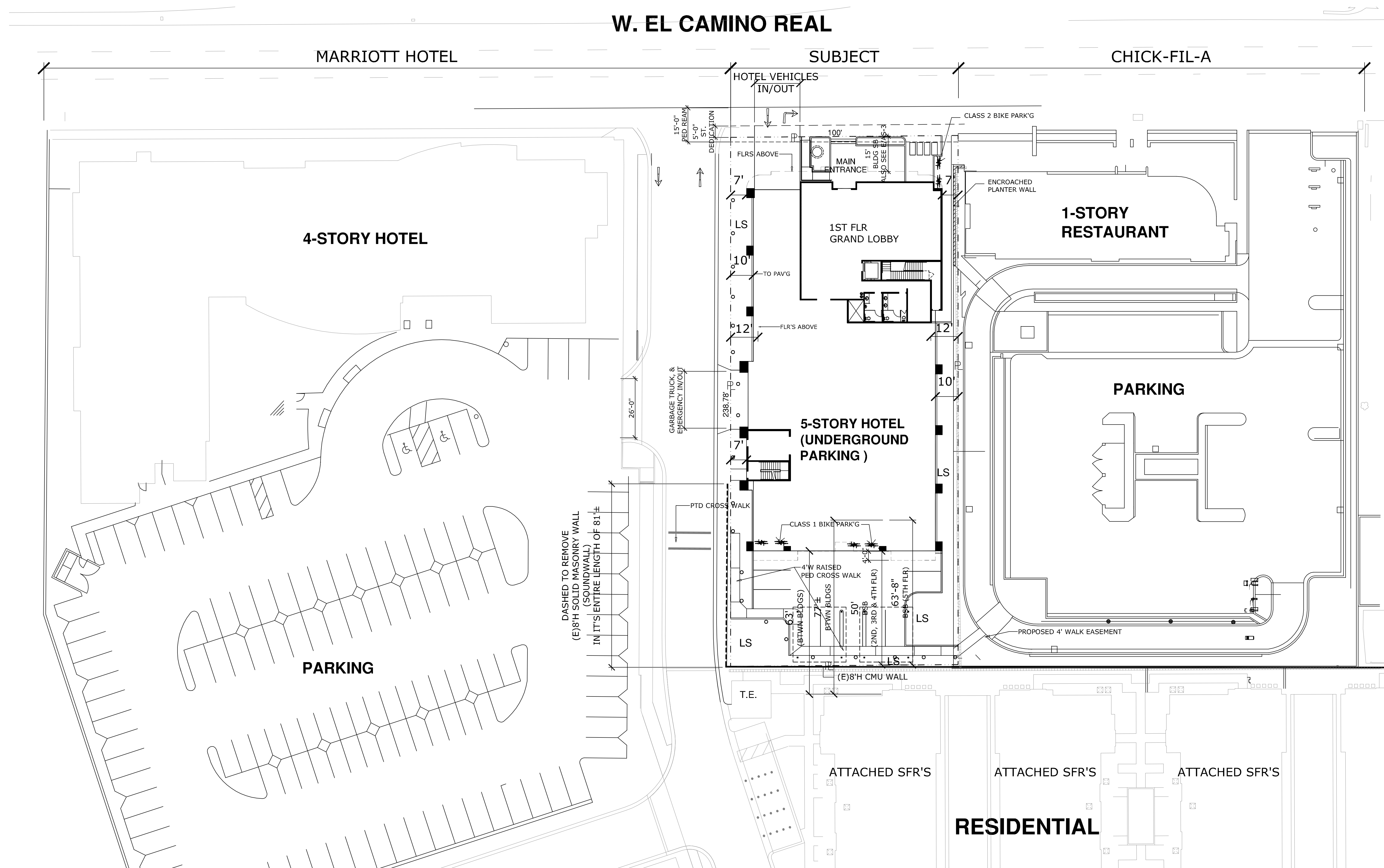
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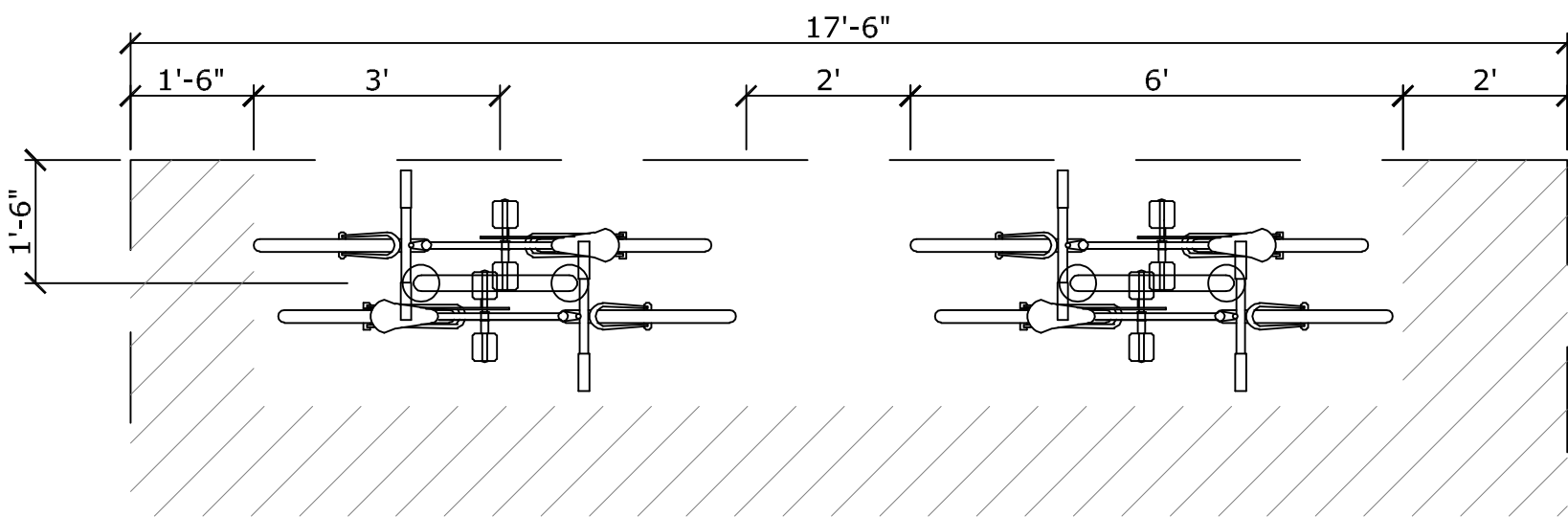
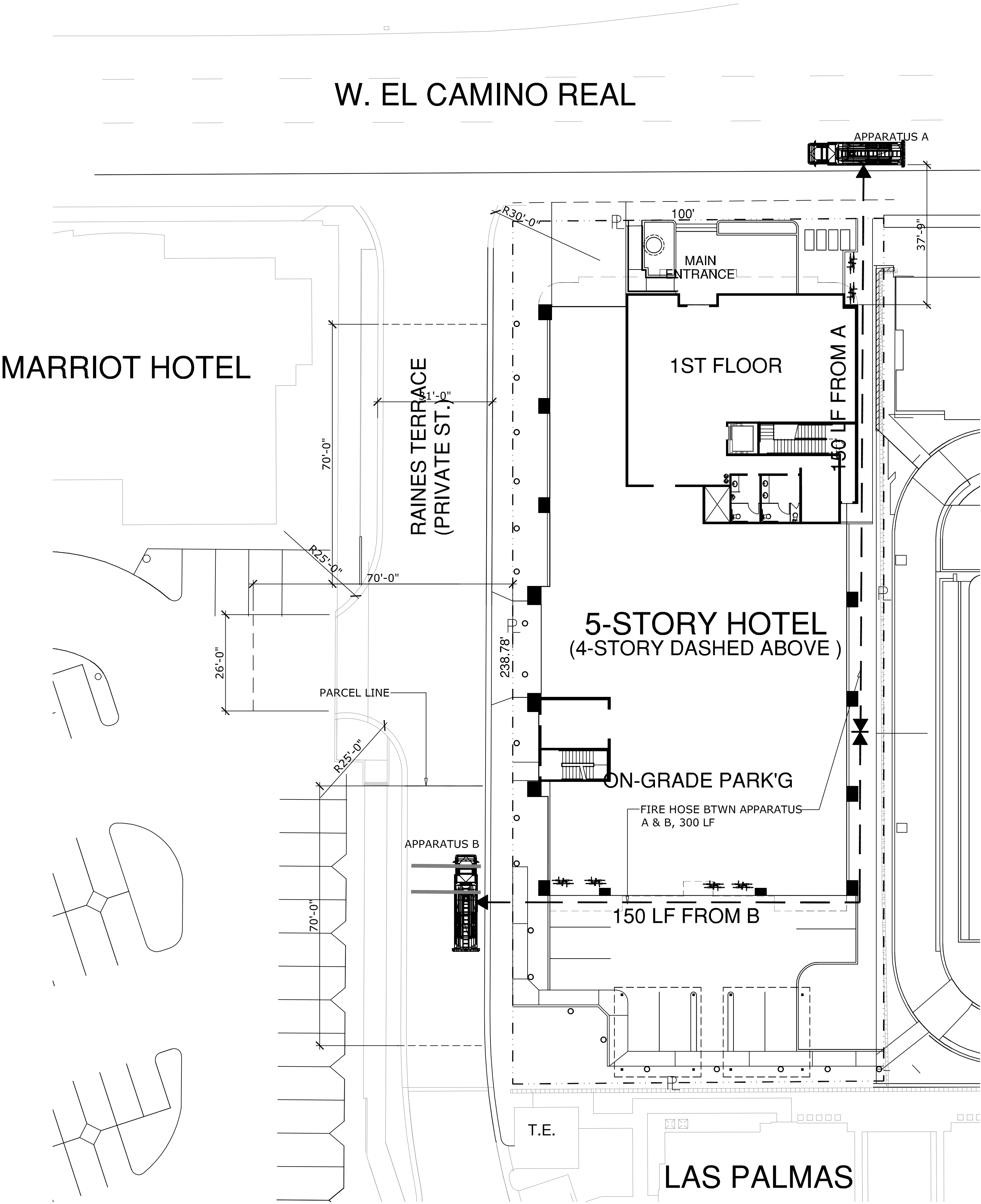
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1. REF TO 'C'-DWG'S FOR SUBJECT SITE DETAILS
2. REF TO 'L'-DWG'S FOR SUBJECT PLANTING LAYOUT
3. REF TO A-1 & A-2 FOR ON GRADE & BASEMENT PARKING

4'H BOALLARD LIGHT ON GND

$$\begin{array}{r} 1'' = 20' - 0'' \\ \underset{\text{0}}{\quad} \qquad \underset{\text{20'}}{\quad} \qquad \qquad \underset{\text{40'}}{\quad} \end{array}$$

BIKE PARKING (A)

N.T.S.
CLASS 1 & CLASS 2
SEE LOCATION ON AS-1 & A-1

CHICK-FIL-A

GENERAL NOTES:

1. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE ASPHALT, CONCRETE OR ANOTHER APPROVED ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 90,000 POUNDS. (SMC 503.2.3)
 2. BUILDINGS OR FACILITIES EXCEEDING 30 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS, OR THREE STORIES IN HEIGHT, SHALL HAVE AT LEAST TWO FIRE APPARATUS ACCESS ROADS FOR EACH STRUCTURE.
- A. EACH ACCESS ROAD SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET AND A MINIMUM INSIDE TURNING RADIUS OF 25 FEET.
- B. AT LEAST ONE OF THE REQUIRED ACCESS ROADS MUST BE LOCATED WITHIN A MINIMUM OF 15 FEET AND MAXIMUM OF 30 FEET FROM THE BUILDING AND POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING. (SMC 503.2.1.1)
- C. FIRE DEPARTMENT ACCESS ROADS DO NOT CROSS PROPERTY LINES.

FIRE APPARATUS ACCESS ROADS

1/16"=1'-0"

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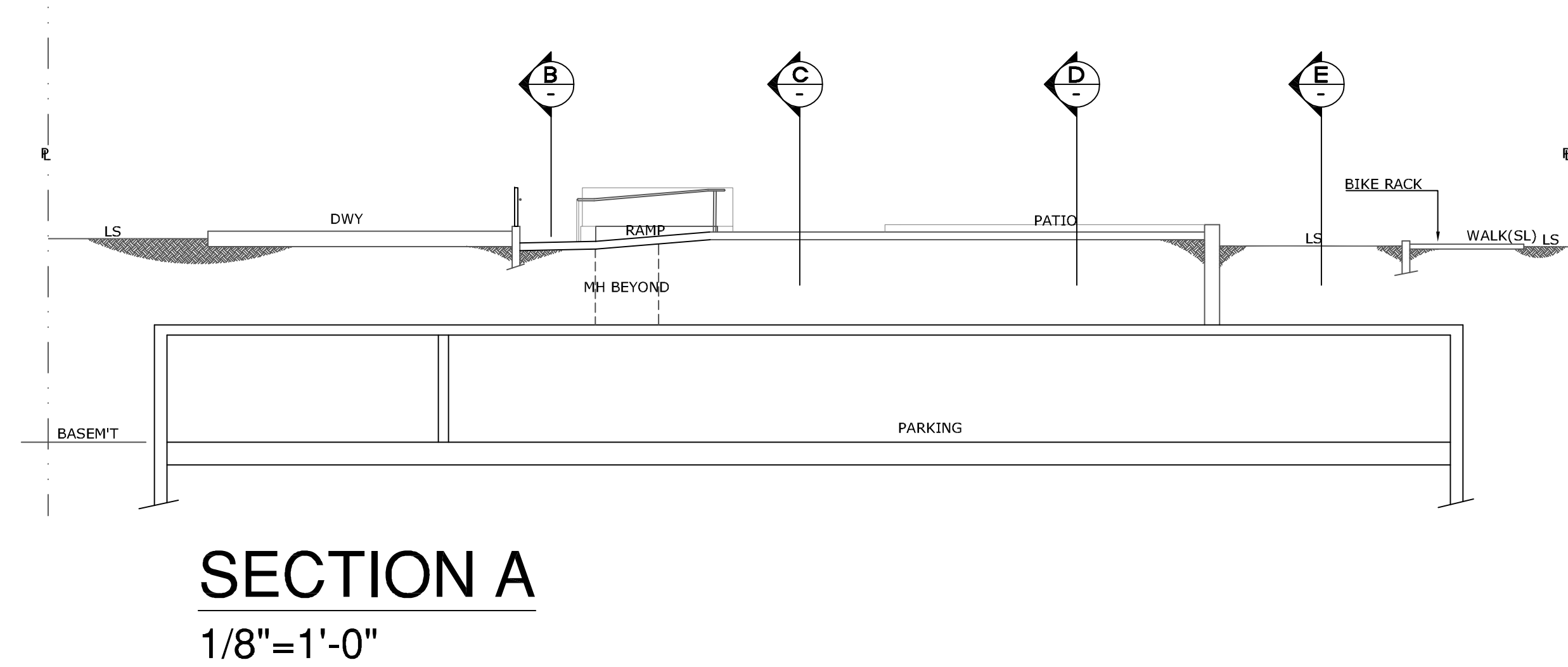
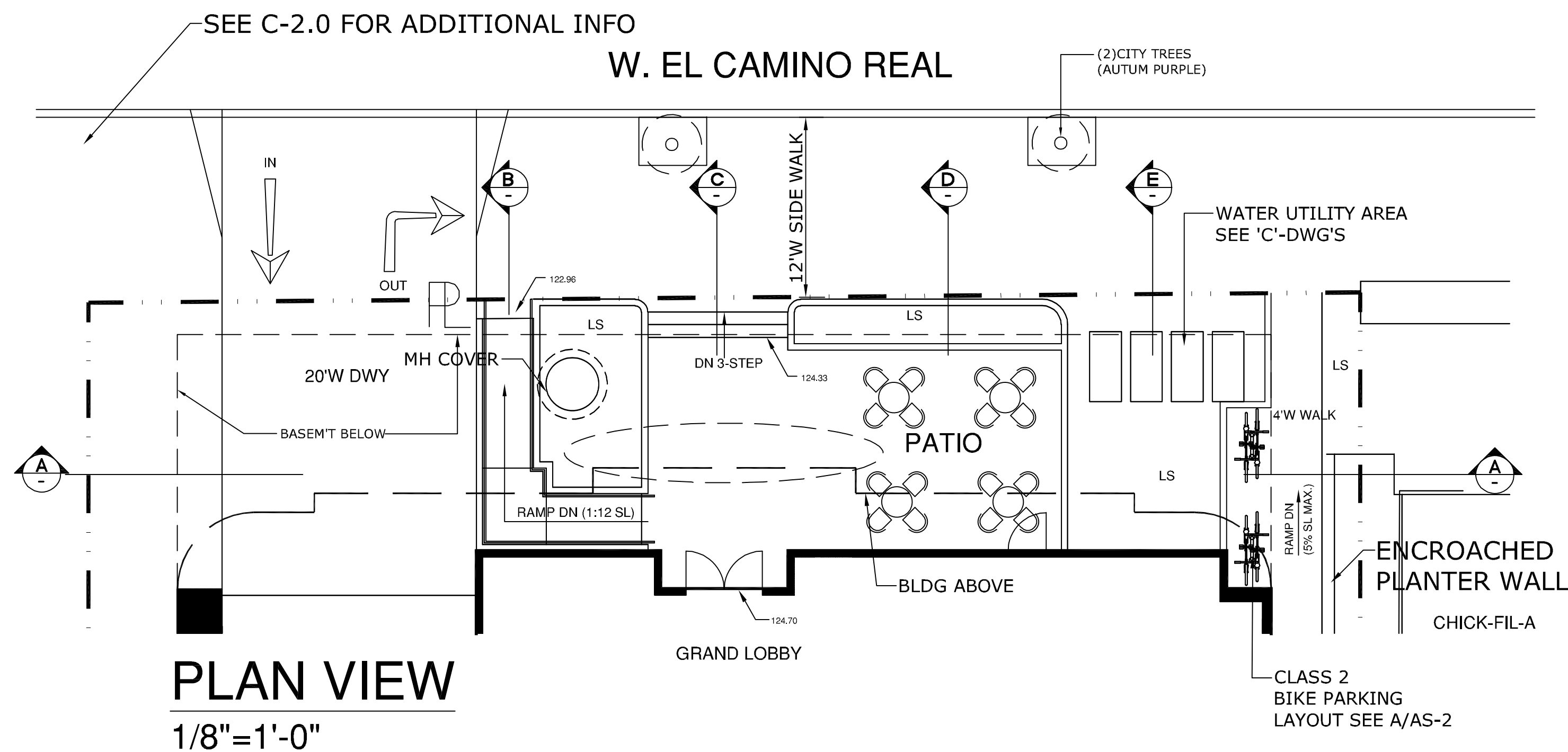
HOTEL LE CIEL
a luxury hotel
590 W. EL CAMINO REAL
SUNNYVALE, CA

LICENSED ARCHITECT
STEVE YANG
No. C-9501
REN 1/31/2017
STATE OF CALIFORNIA

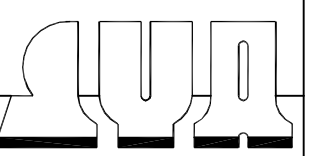
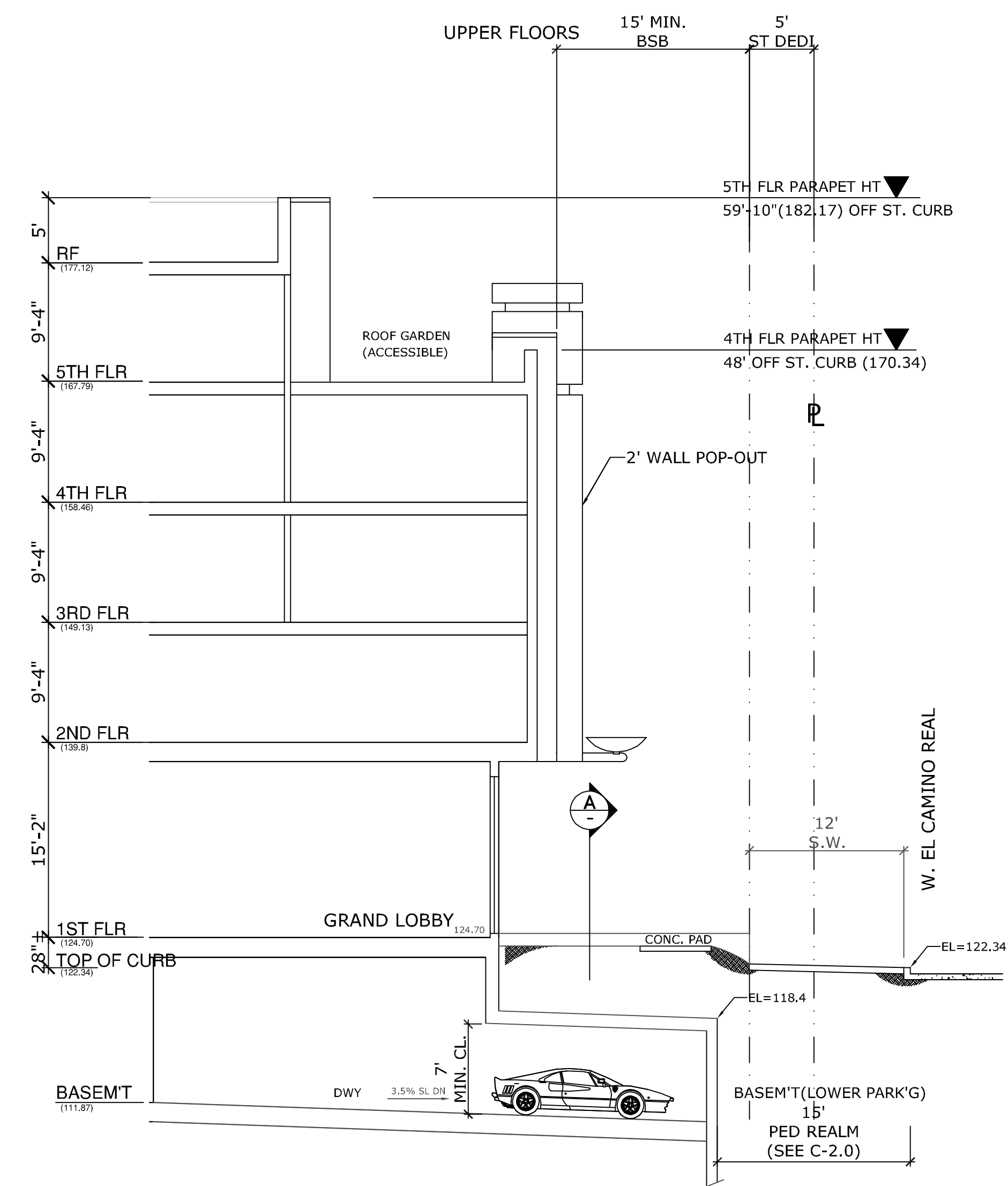
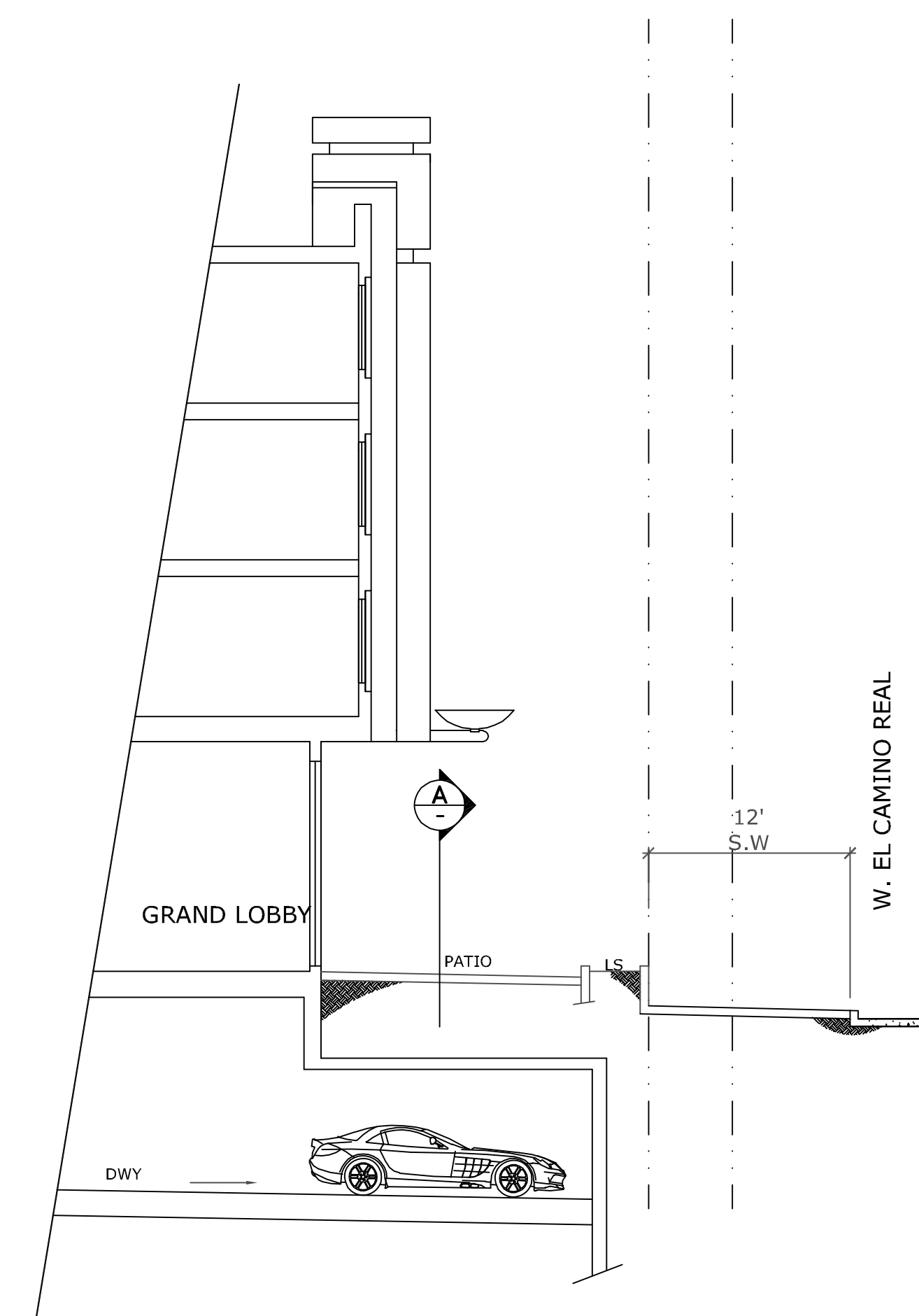
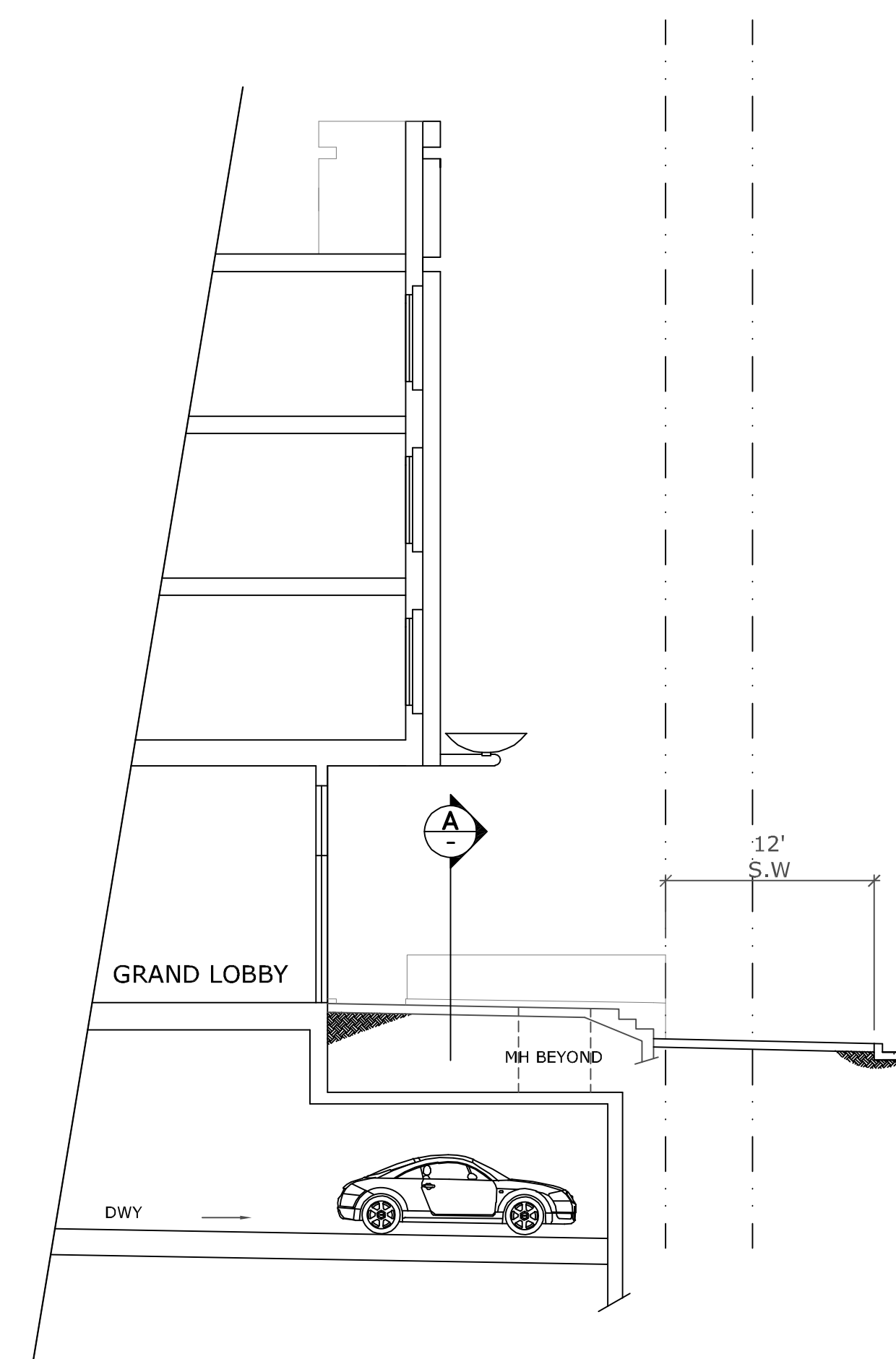
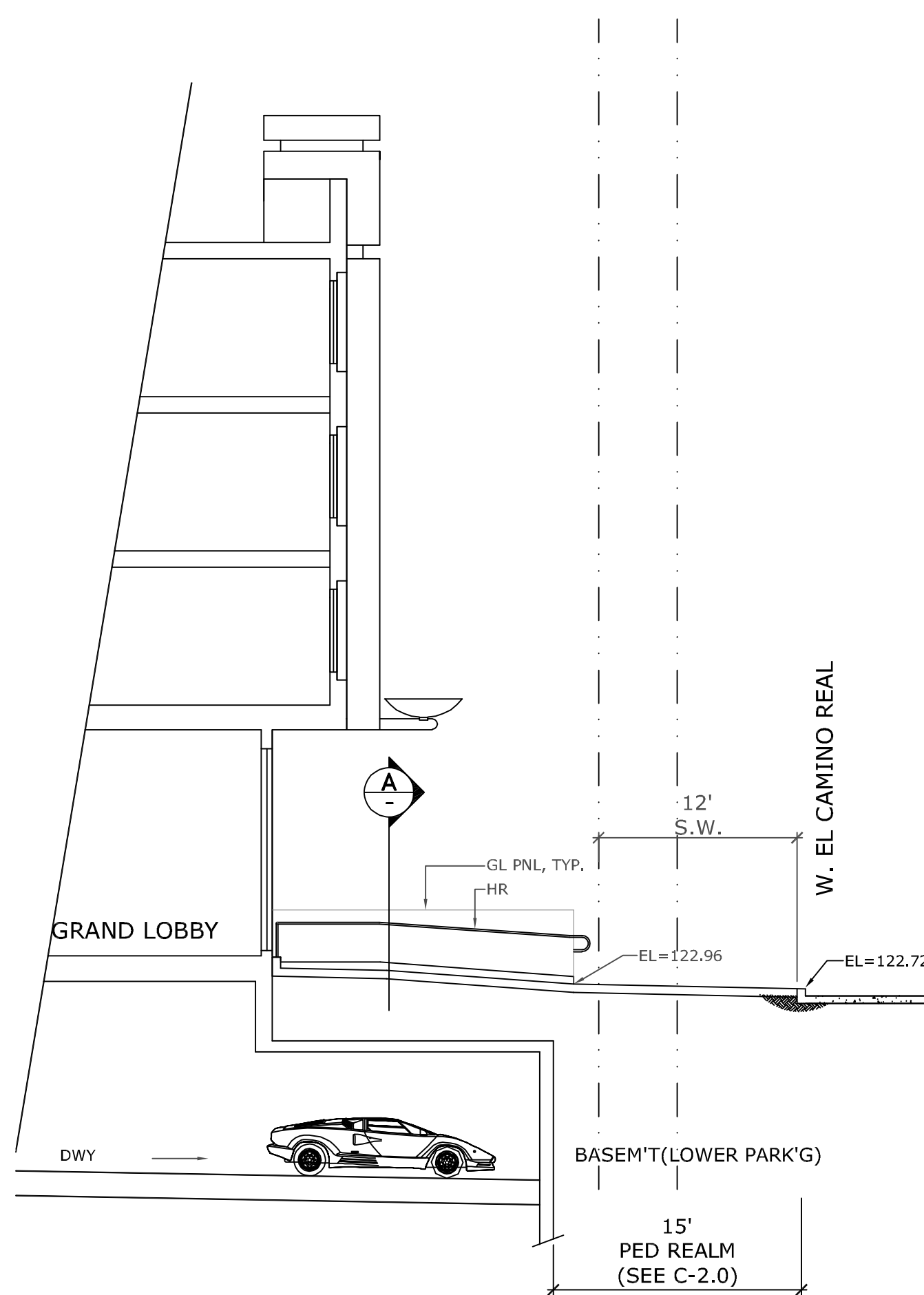
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FRONT PATIO



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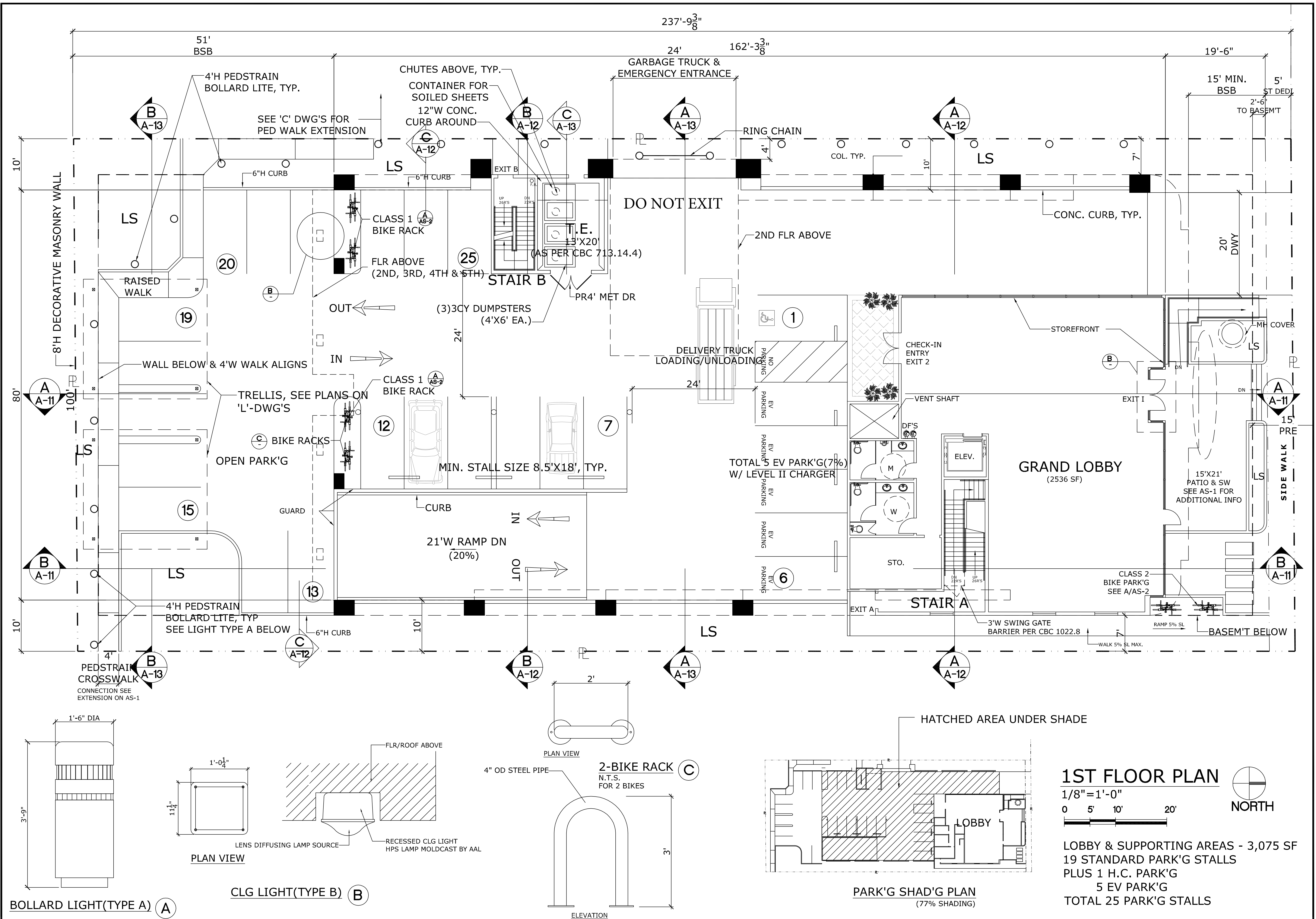
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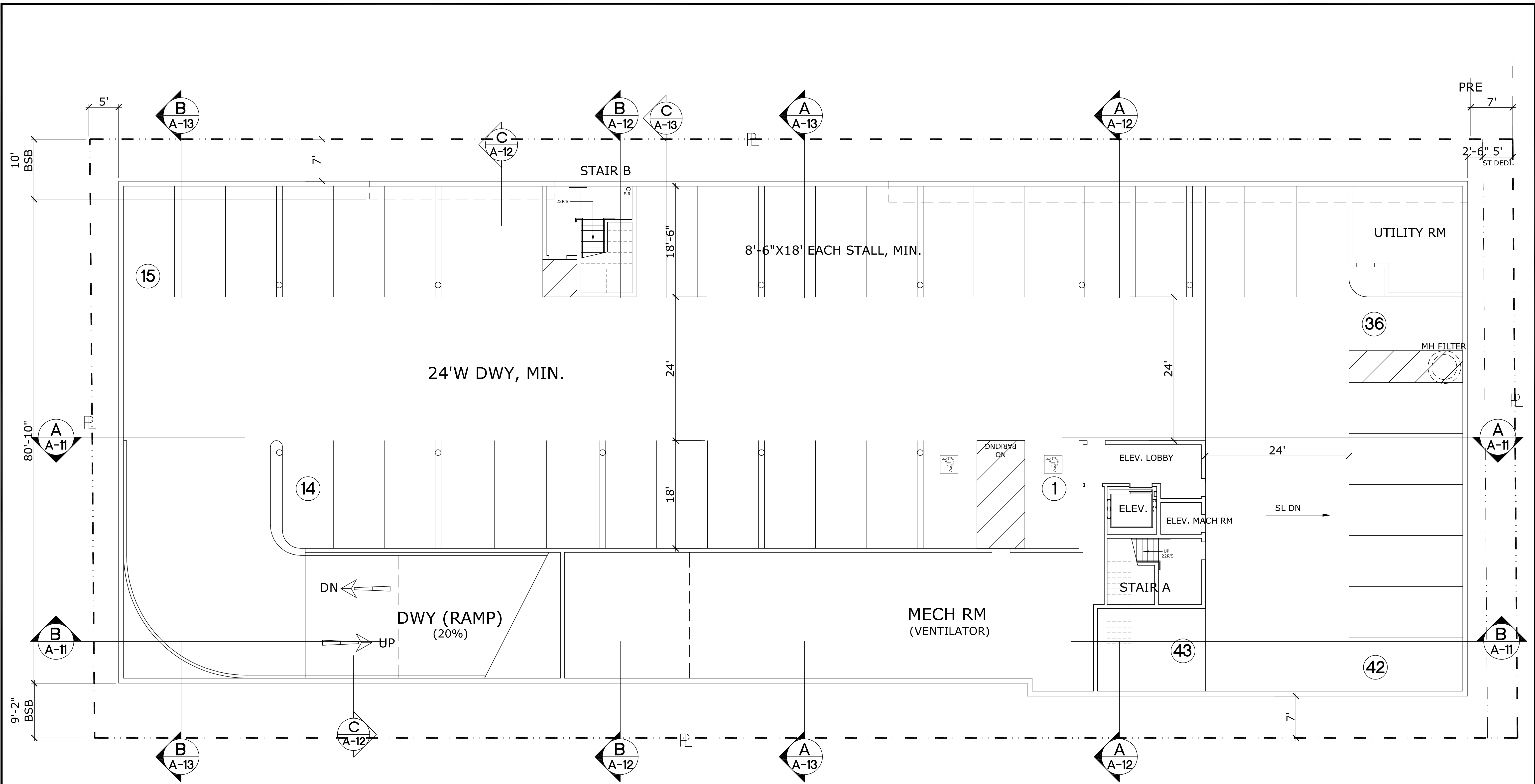
Hotel Le Ciel
a luxury hotel
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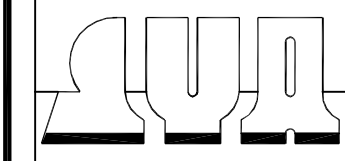
- NOTES:
- EMERGENCY CALL BOX
 - PARKING ABOVE & BELOW GRADE TO BE EQUIPPED WITH APPROVED EMERGENCY ALL BOXES W/ DEDICATED PHONE LINE FOR EACH BOX.
 - BOXES TO BE LOCATED AT EXIT DISCHARGES-EXTERIOR OF STAIR WELLS AND ABOVE EVERY 100FT OF TRAVEL DIST. (200' APART) FOR AREAS BETWEEN DISCHARGES.
 - BOXES TO BE ACCESSIBLE

BASEMENT PLAN  NORTH

1/8"=1'-0" 19,374 SF

0 5' 10' 20'

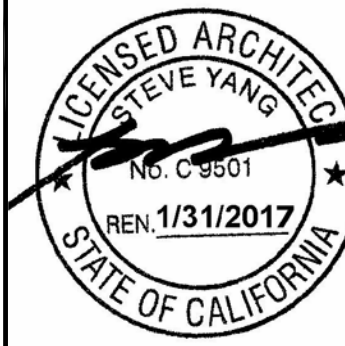
41 STANDARD PARKING STALLS
PLUS 2 H.C. PARKING
TOTAL 43 PARK'G STALLS



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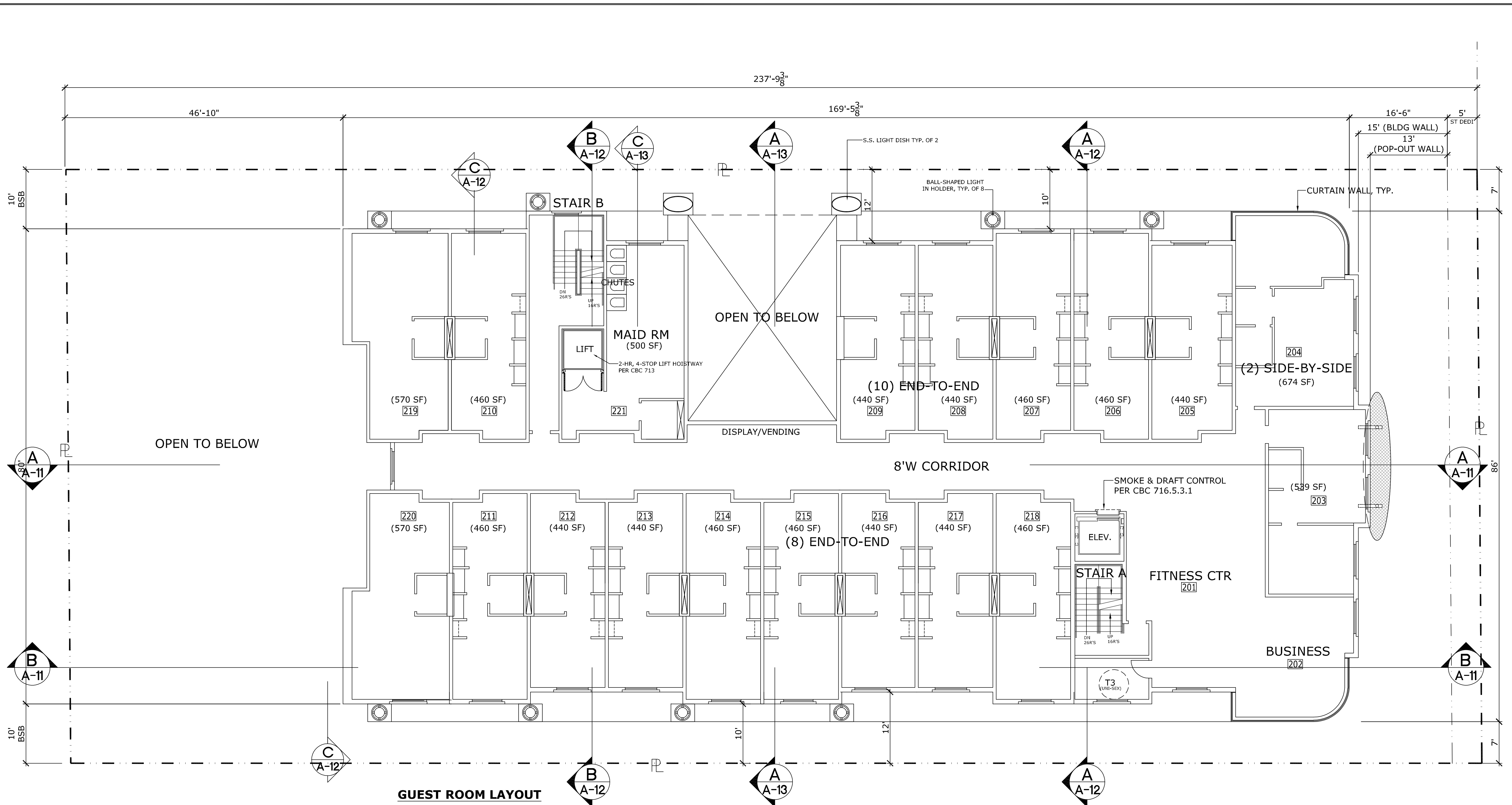
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GUEST ROOM LAYOUT

TYPE **A** RM'S - 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218 (14)

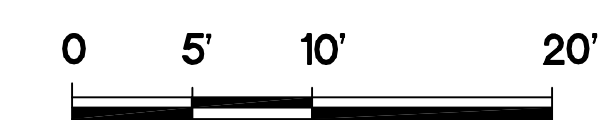
TYPE **B** RM'S - 203 (1)

TYPE **C** RM'S - 204 (1)

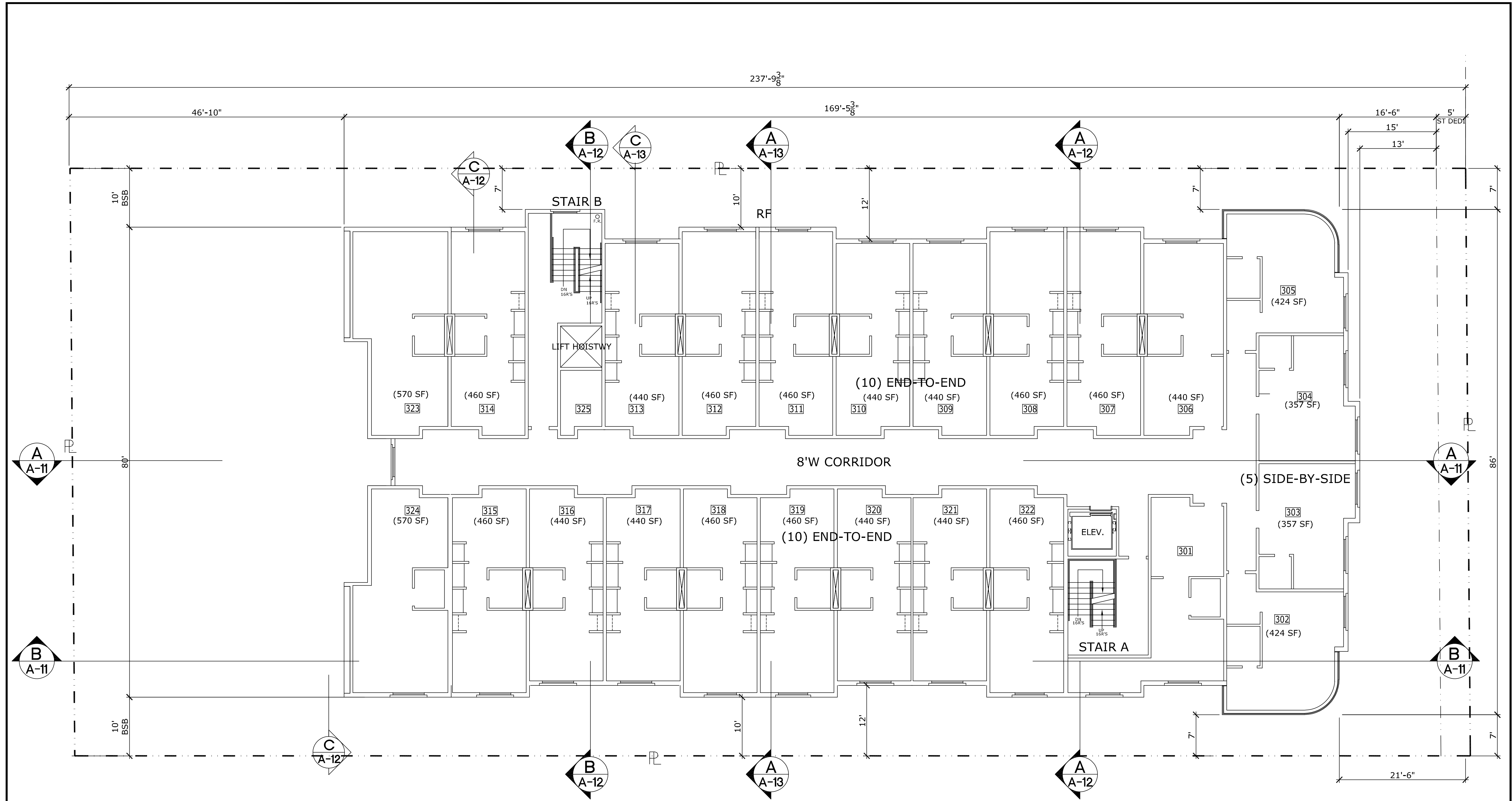
TYPE **D** RM'S - 219, 220 (2)

TOTAL - 18 ROOMS

2ND FLOOR PLAN

$$\overline{1/8'' = 1' - 0''}$$


18 ROOMS (OCC. TYPE R2)
INTERIOR CORRIDOR TYPE
16 END-TO-END ROOMS
2 SIDE-BY-SIDE ROOMS
12,621 SF



GUEST ROOM LAYOUT

TYPE **A** RM'S - 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322 (17)
TYPE **D** RM'S - 323, 324 (2)
TYPE **E** RM'S - 301 (1)
TYPE **F** RM'S - 302, 305 (2)
TYPE **G** RM'S - 303, 304 (2)

TOTAL - 24 ROOMS

3RD FLOOR PLAN

1/8"=1'-0"
0 5' 10' 20'
NORTH

24 ROOMS (OCC. TYPE R2)
INTERIOR CORRIDOR TYPE
20 END-TO-END ROOMS
4 SIDE-BY-SIDE ROOMS
13,409 SF

SYA

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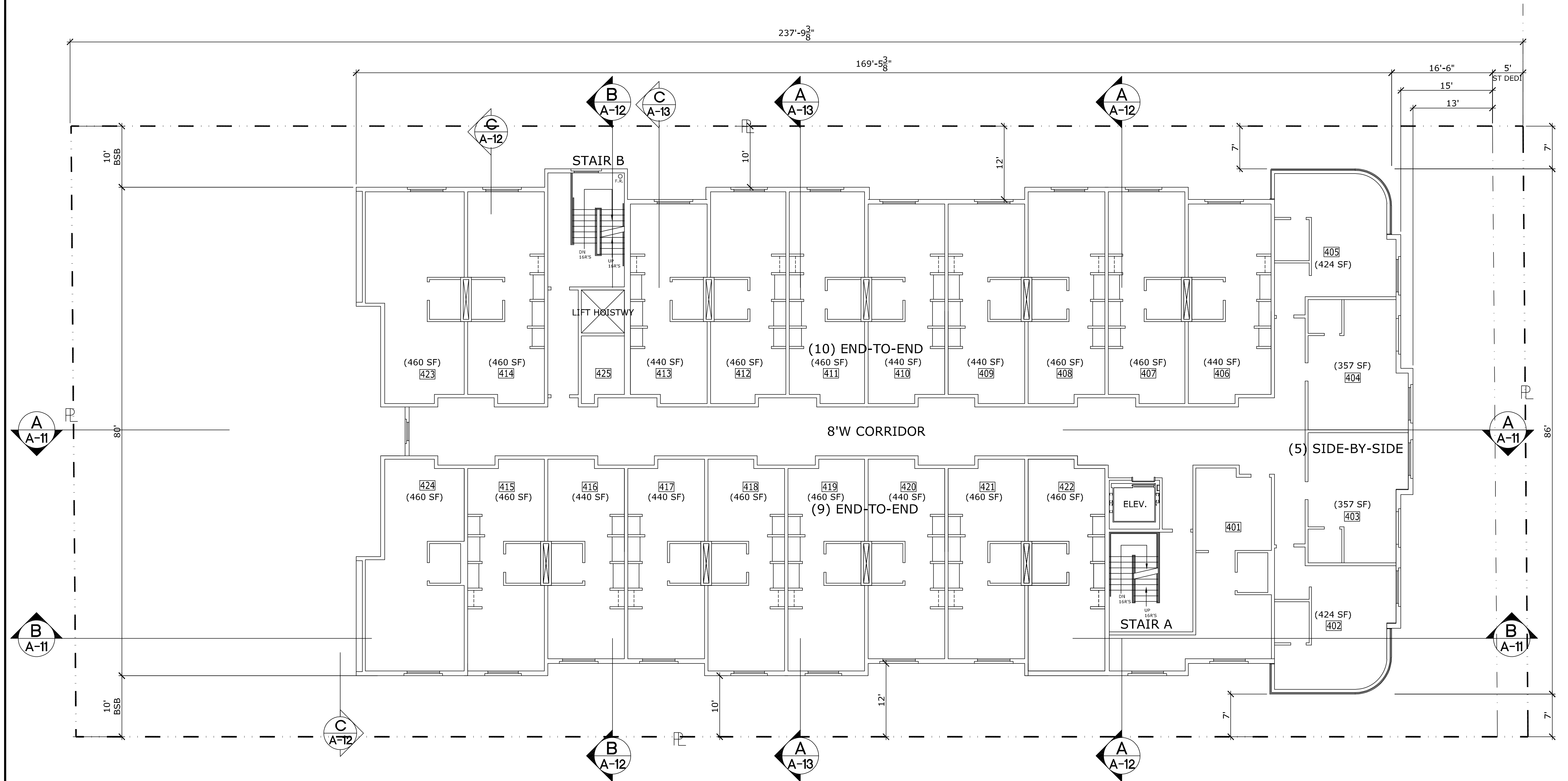
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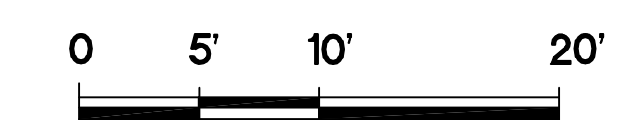


GUEST ROOM LAYOUT

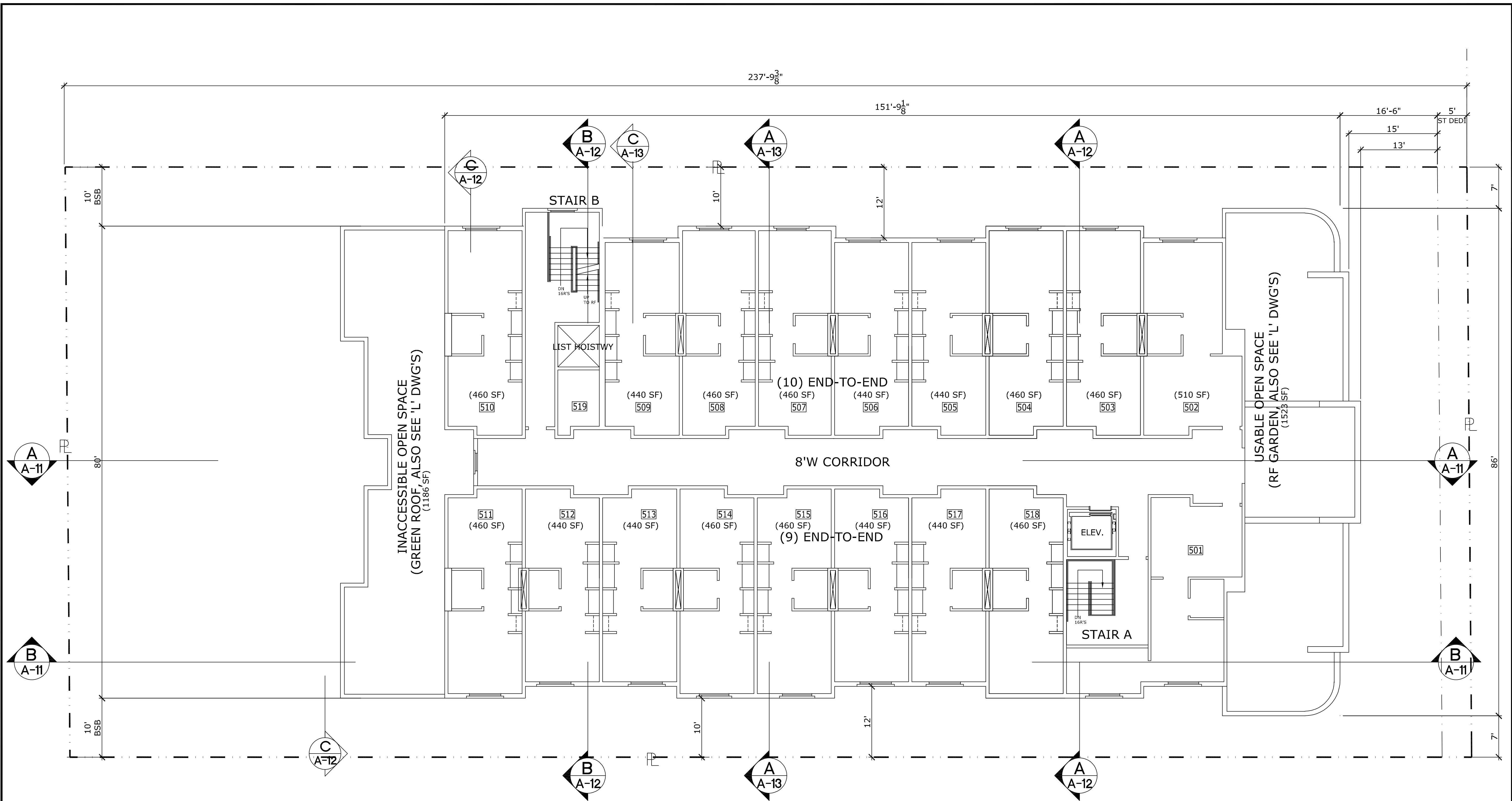
TYPE **A** RM'S - 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424 (19)
 TYPE **E** RM'S - 401 (1)
 TYPE **F** RM'S - 402, 405 (2)
 TYPE **G** RM'S - 403, 404 (2)

TOTAL - 24 ROOMS

4TH FLOOR PLAN

$$\overline{1/8'' = 1' - 0''}$$


24 ROOMS (OCC. TYPE R2)
INTERIOR CORRIDOR TYPE
20 END-TO-END ROOMS
4 SIDE-BY-SIDE ROOMS
13,409 SF



GUEST ROOM LAYOUT

TYPE **A** RM'S - 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520 (18)
TYPE **E** RM'S - 501 (1)
TYPE **H** RM'S - 502 (1)

TOTAL - 18 ROOMS

5TH FLOOR PLAN

1/8"=1'-0"

0 5' 10' 20'



18 ROOMS (OCC. TYPE R2)
INTERIOR CORRIDOR TYPE
18 END-TO-END ROOMS
0 SIDE-BY-SIDE ROOMS
10,491 SF

SYA

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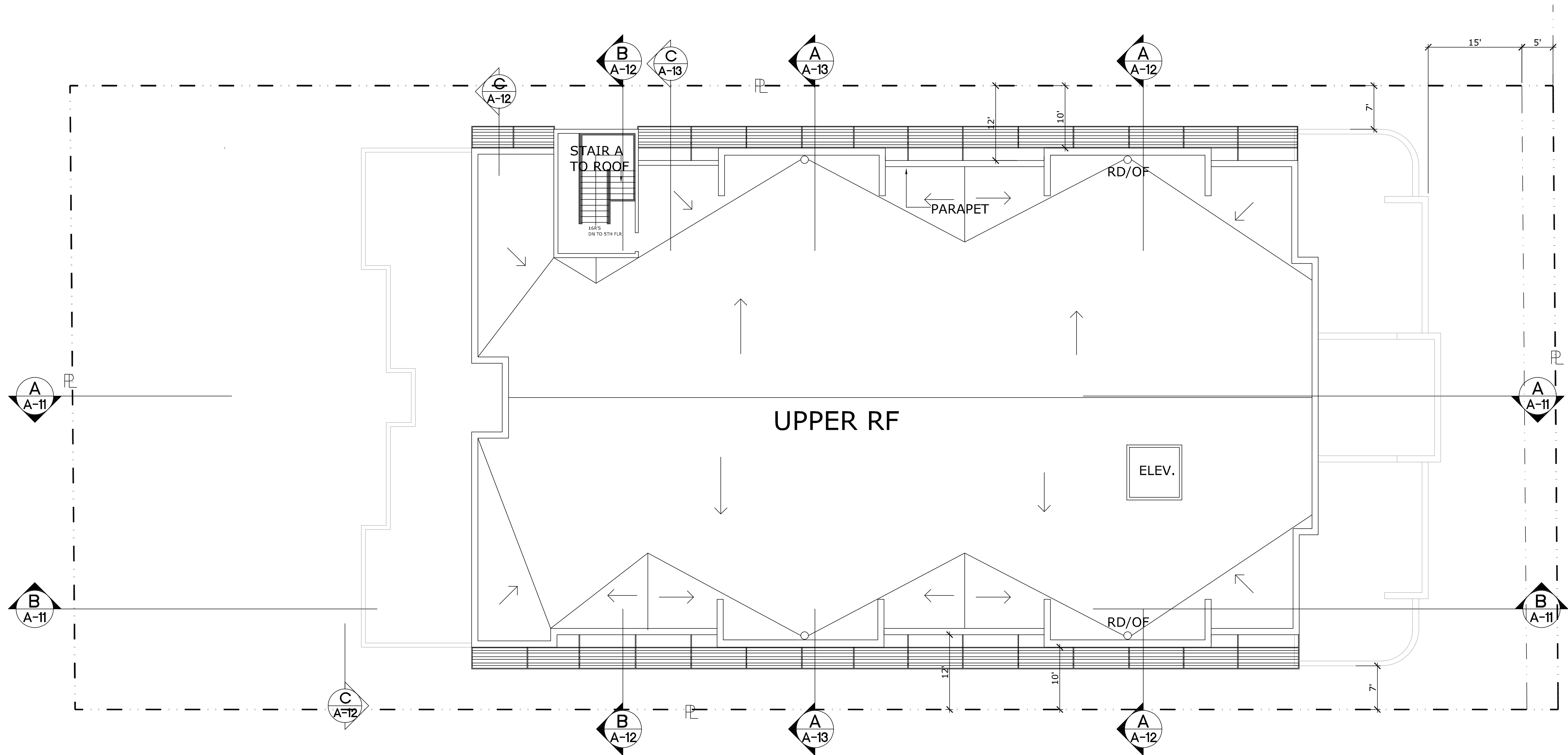
HOTEL LE CIEL
a luxury hotel
590 W. EL CAMINO REAL
SUNNYVALE, CA



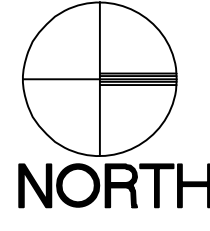
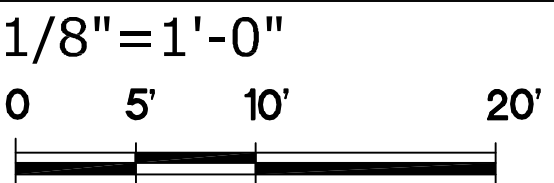
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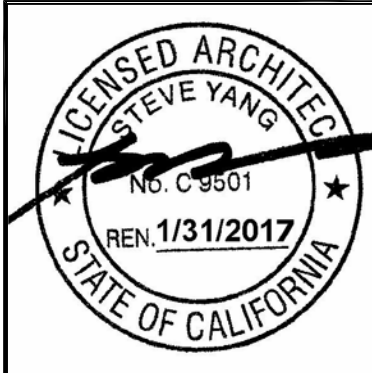
ROOF FLOOR PLAN



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& design

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HOTEL LE CIEL
a luxury hotel
590 W. EL CAMINO REAL
SUNNYVALE, CA



Revisions	By
6/6/15	NH
7/20/15	NH
6/24/16	NH

Drawn	NH
Check	SY
Date	
Scale	AS-NOTED
Job No.	14.06

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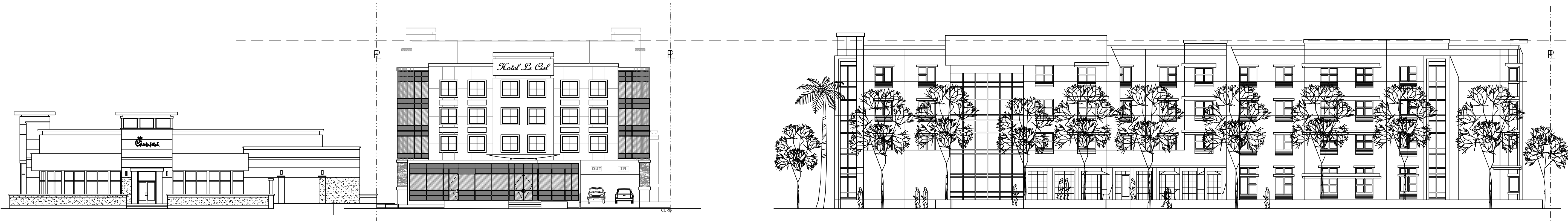
A-7

Of

CHICK-FIL-A

HOTEL LE CIEL

MARRIOTT HOTEL



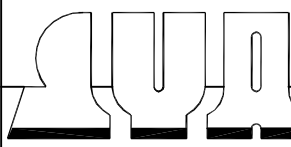
STREETSCAPE (EL CAMINO REAL)
N.T.S.



DAYTIME VIEW



FRONT SIDEWALK VIEW



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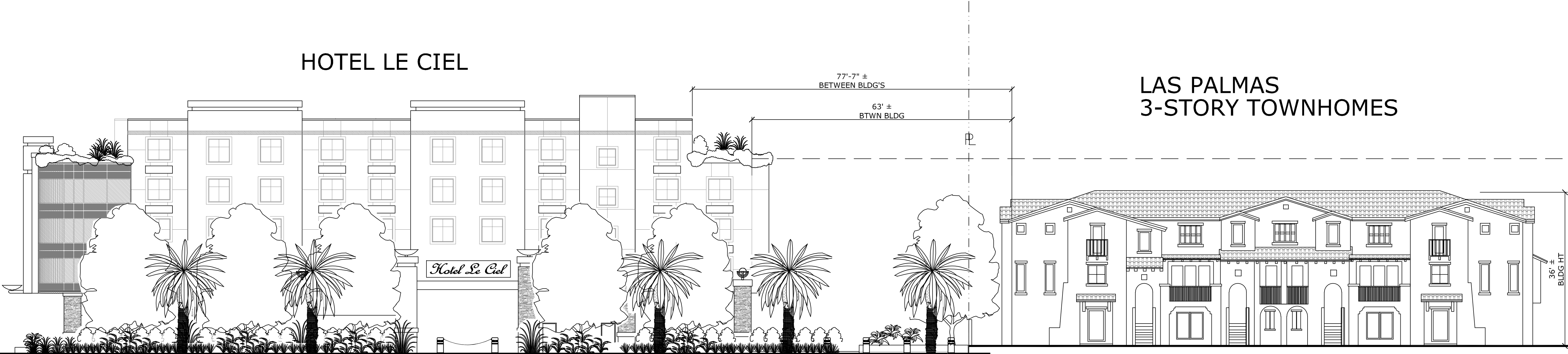
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9/1/16	NH
11/15/16	NH

Drawn	NH
Check	SY
Date	
Scale	AS-NOTED
Job No.	14.06

Sheet
A-8.a
of

HOTEL LE CIEL

LAS PALMAS
3-STORY TOWNHOMES



STREETSCAPE (RAINES TERRACE)
EAST VIEW N.T.S. (PRIVATE STREET)



REAR VIEW FROM NEIGHBOR

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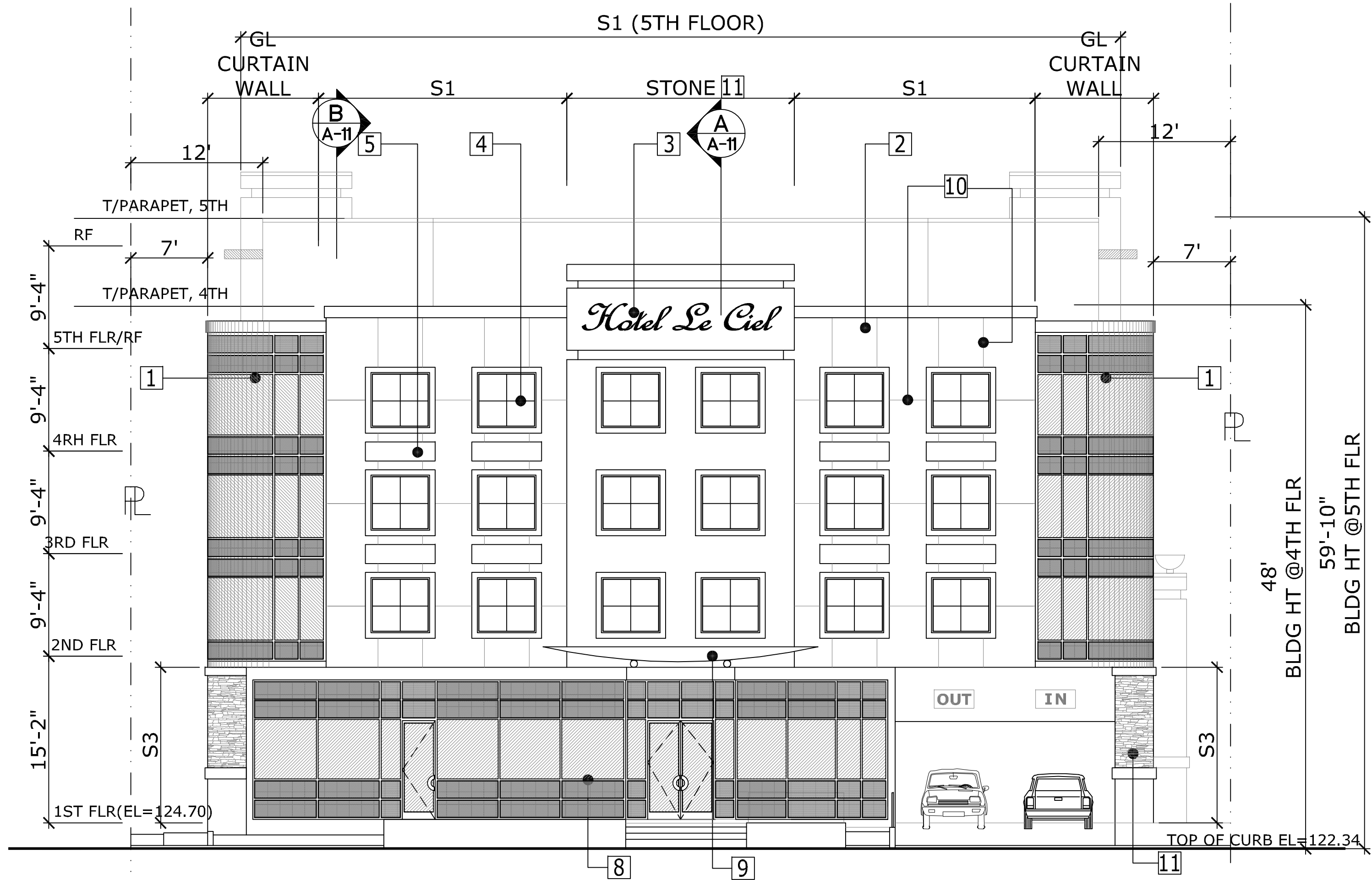
HOTEL LE CIEL
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Revisions	By
6/24/16	NH
9/1/16	NH
11/15/16	NH

Drawn	NH
Check	SY
Date	
Scale	AS-NOTED
Job No.	14.06

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A-8.b
of

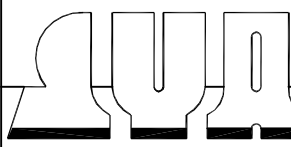
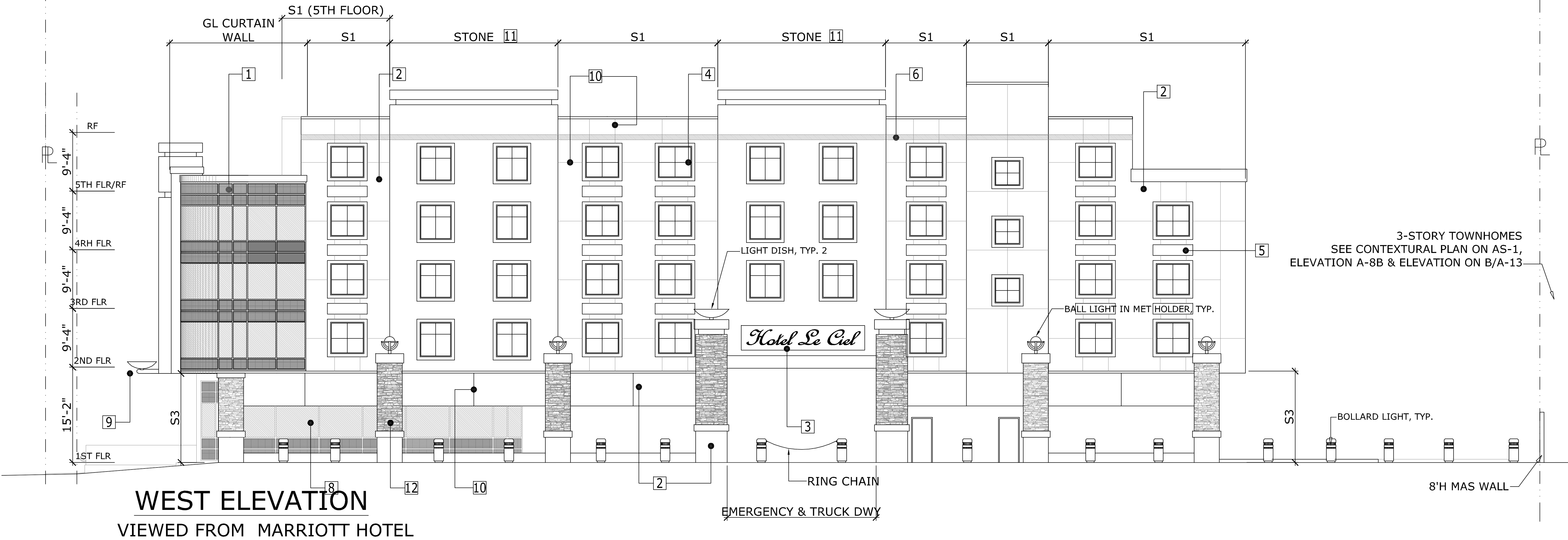


NORTH ELEVATION
1/8"=1'-0" VIEWED FROM W. EL CAMINO REAL

EXTERIOR FIN. SCHEDULE				
MATERIAL	LOCATION	FINISH	COLOR	REMARKS
1 GLASS	FRONT & SIDES		TINTED (NON-REFLECTIVE)	CURTAIN GL TO BE 'SOLARBLUE' VE26 W/ REFLECTANCE OF 6% & TRANSMITTANCE OF 58%, MFG BY VIRACON, SEE DET ON B/A-10
2 CEM PLAS	4-SIDE WALLS	PTD	S1/ S3	EFIS EQUIVALENT
3 METALLIC	FRONT & WEST SIDE		SILVER	SIGNAGE
4 ALUM / GL	4-SIDE WALLS			RECESSED FIXED WINDOW, SEE A/A-10 & C/A-10
5 GRANITE VENEER	BELOW WIN		GREY	RECESSED SEE A/ A-10
6 METALLIC	UPPER SIDE WALLS		SILVER	SHADOW-CAST LOUVER, SEE 2/A-10
7 METALLIC	SIDE WALLS		SILVER	WALL LIGHT
8 ALUM / GL	FRONT			STOREFRONT
9 METALLIC	FRONT WALLS		SILVER	DISH, SEE 1 /A-10
10 METAL	WALLS			1" METAL REVEAL
11 GRANITE VENEER	SELECTED WALLS		GREY	
12 CUL. STONE	COL.			

COLOR SCHEME			
S1	KM4565-1	SOPHISTICATION	*
S3	KM4566-3	CITY LOFT	*
STONE VENEER	BASALTINA	GREY	*

* SEE SEPARATE 3D COLOR BOARD



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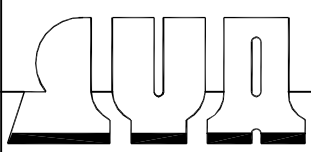
HOTEL LE CIEL
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SUNNYVALE, CA



Revisions	By
6/6/15	NH
7/20/15	NH
6/24/16	NH
9/1/16	NH

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Check	SY
Date	
Scale	AS-NOTED
Job No.	14.06

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Of



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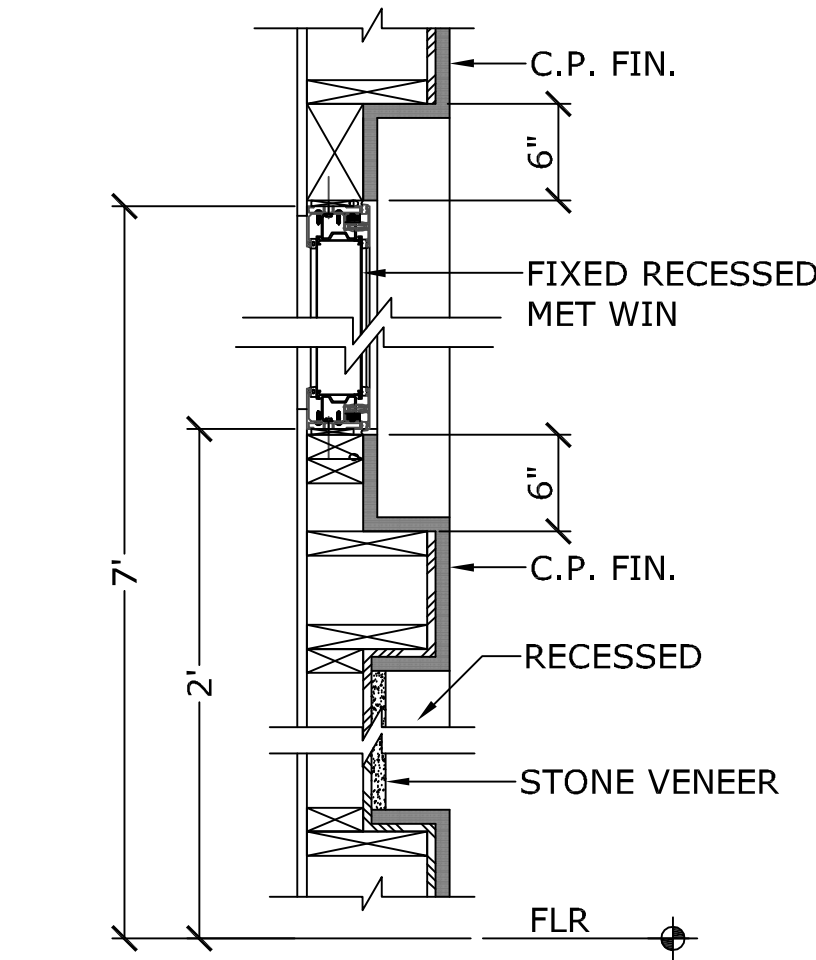
HOTEL LE CIEL
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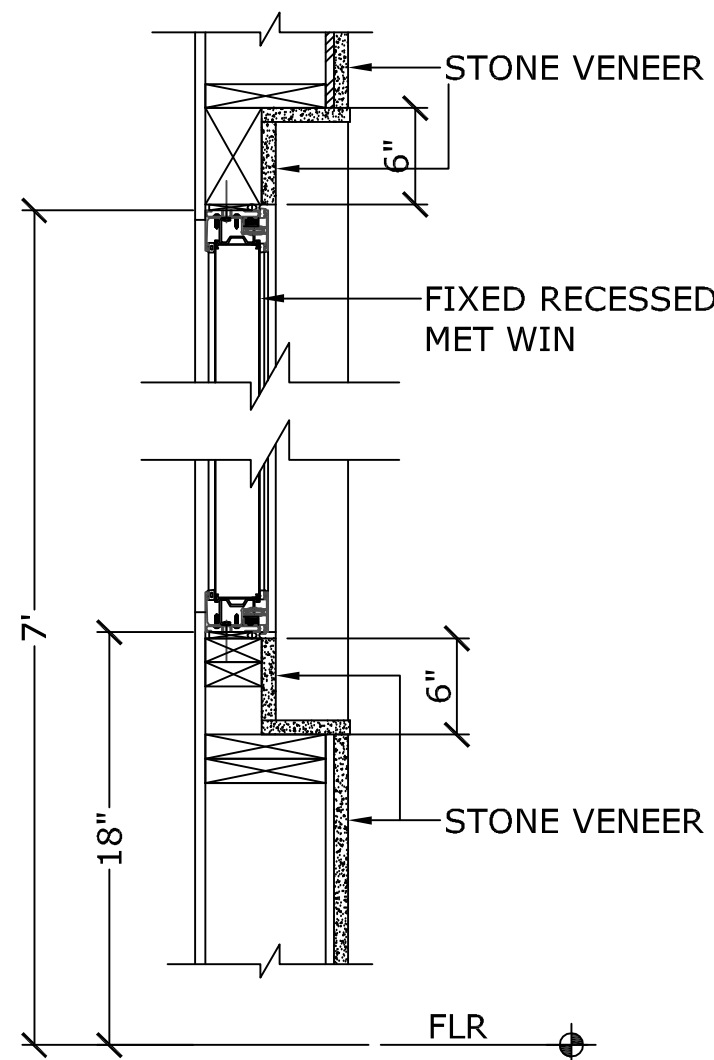
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6/6/15	NH
7/20/15	NH
6/24/16	NH
11/15/16	NH

Drawn	NH
Check	SY
Date	
Scale	AS-NOTED
Job No.	14.06

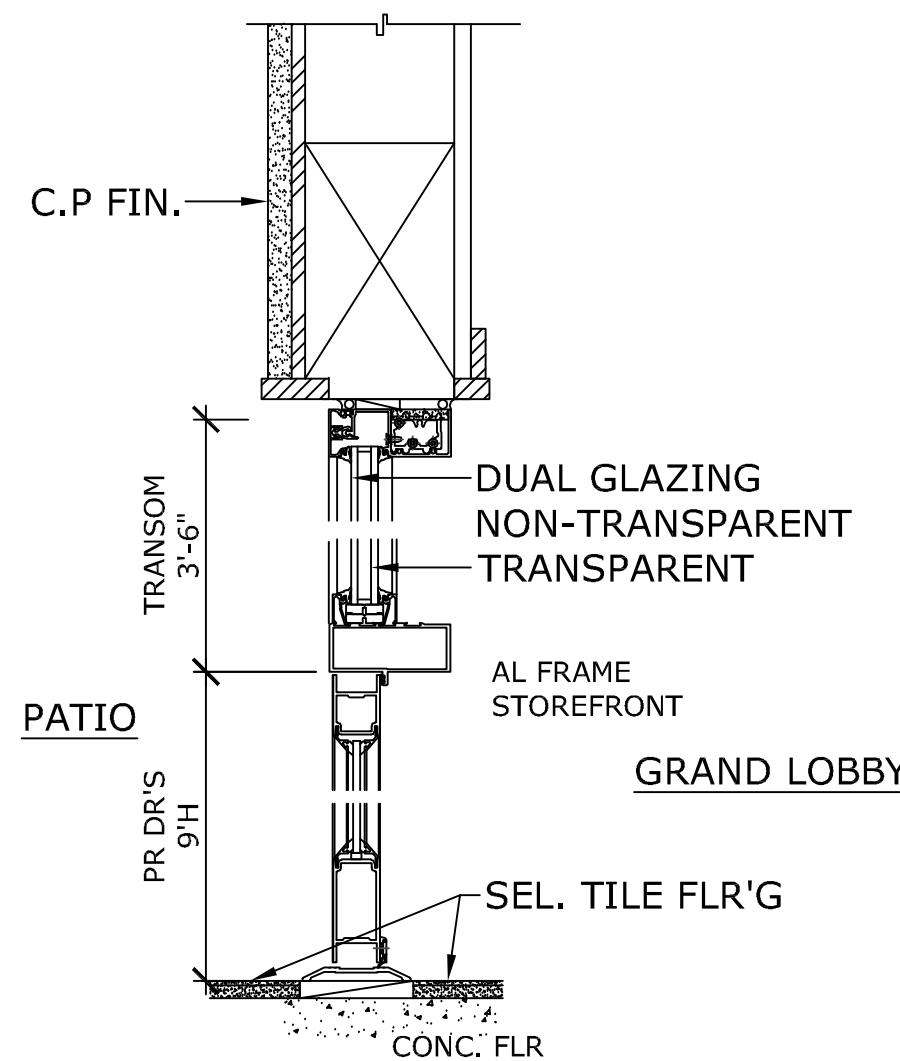
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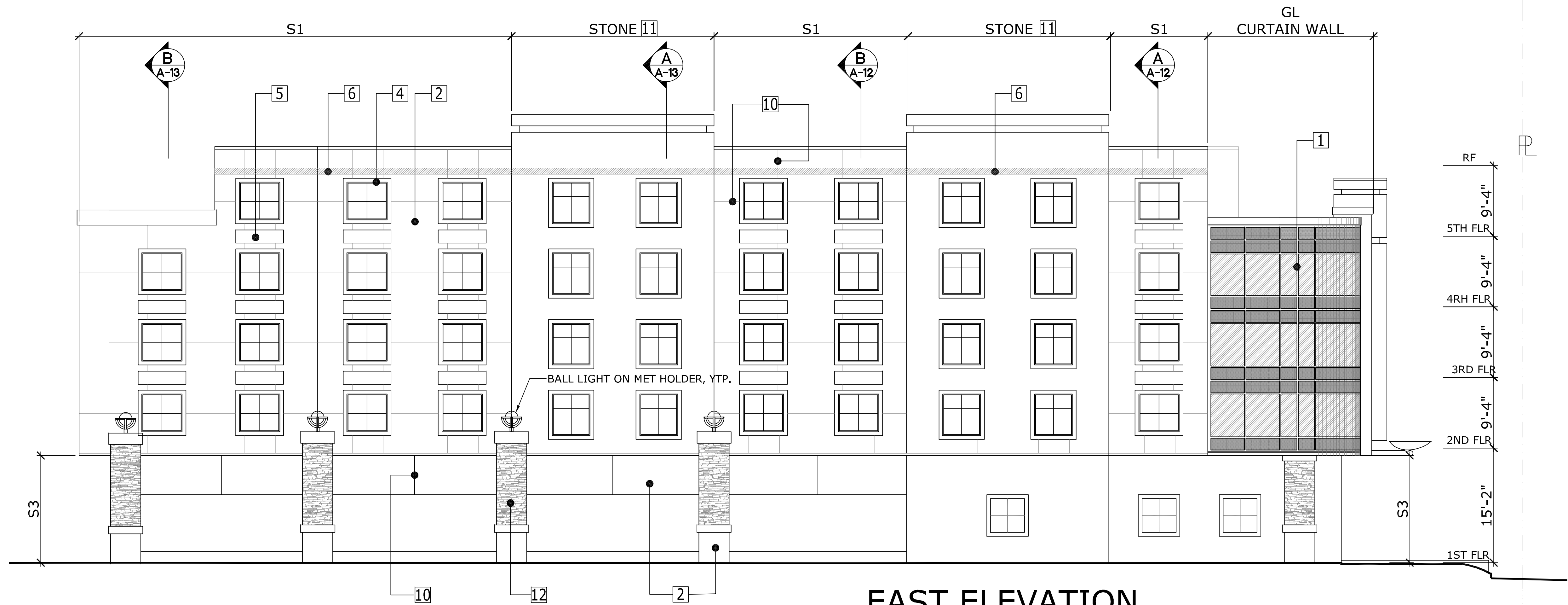
TYP. WINDOW TREATMENT
@ CEM PLAS (A)
N.T.S.



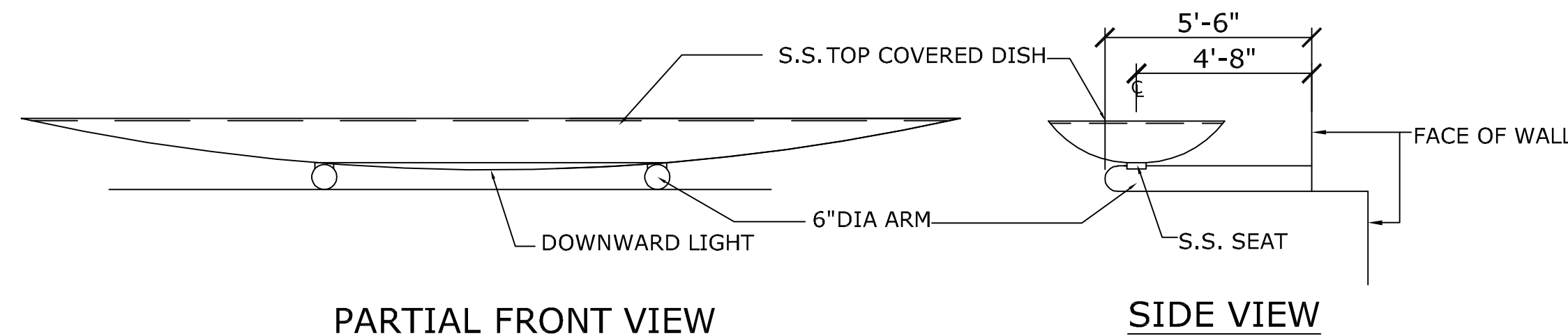
TYP. WINDOW TREATMENT
@ GRANITE (C)
N.T.S.



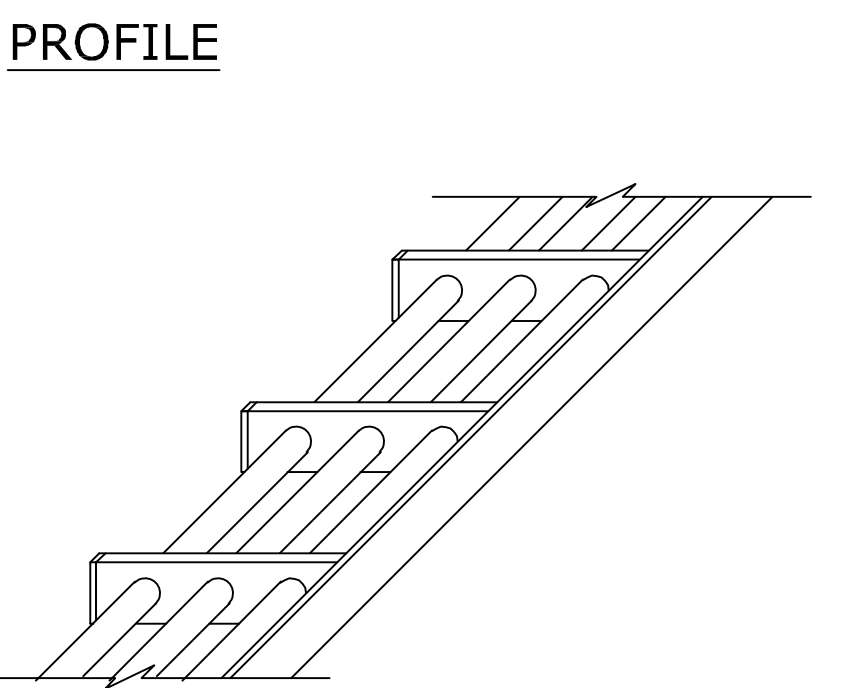
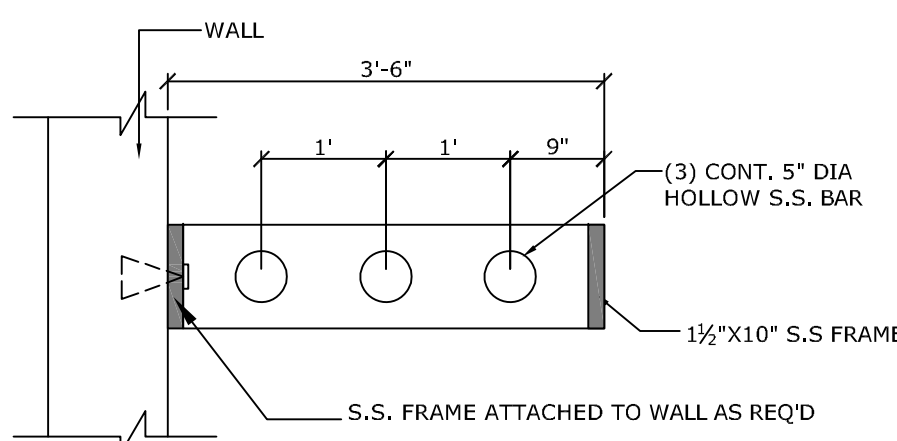
TYP. DOOR TREATMENT (D)
@ RECESSED FRONT ENTRANCE
N.T.S.



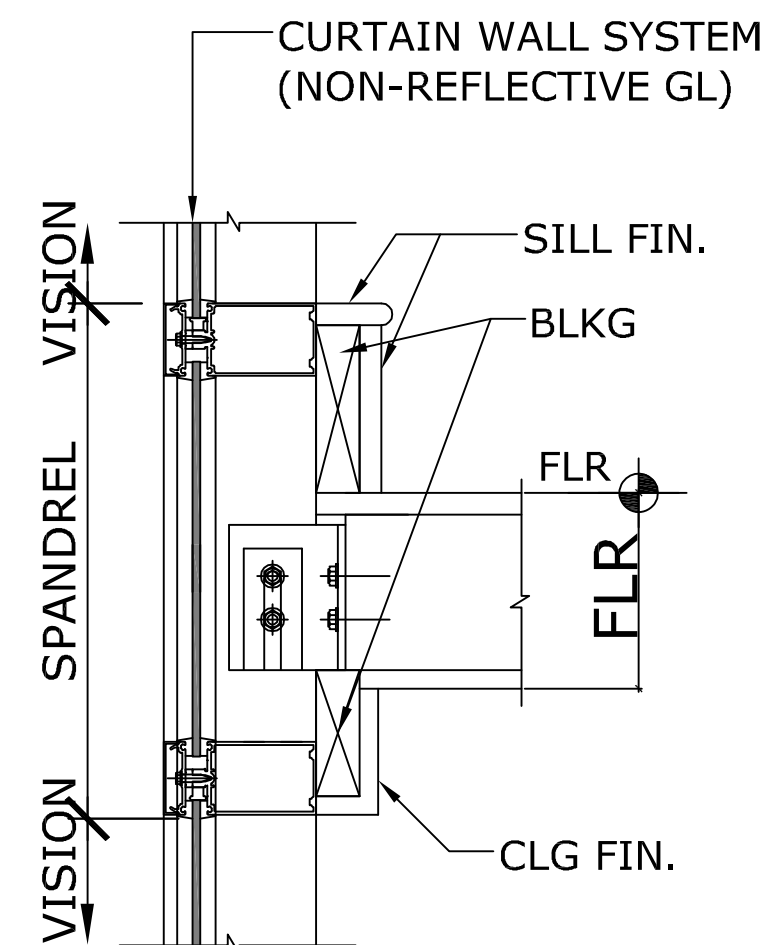
EAST ELEVATION
1/8"=1'-0"
VIEWED FROM CHICK-FIL-A



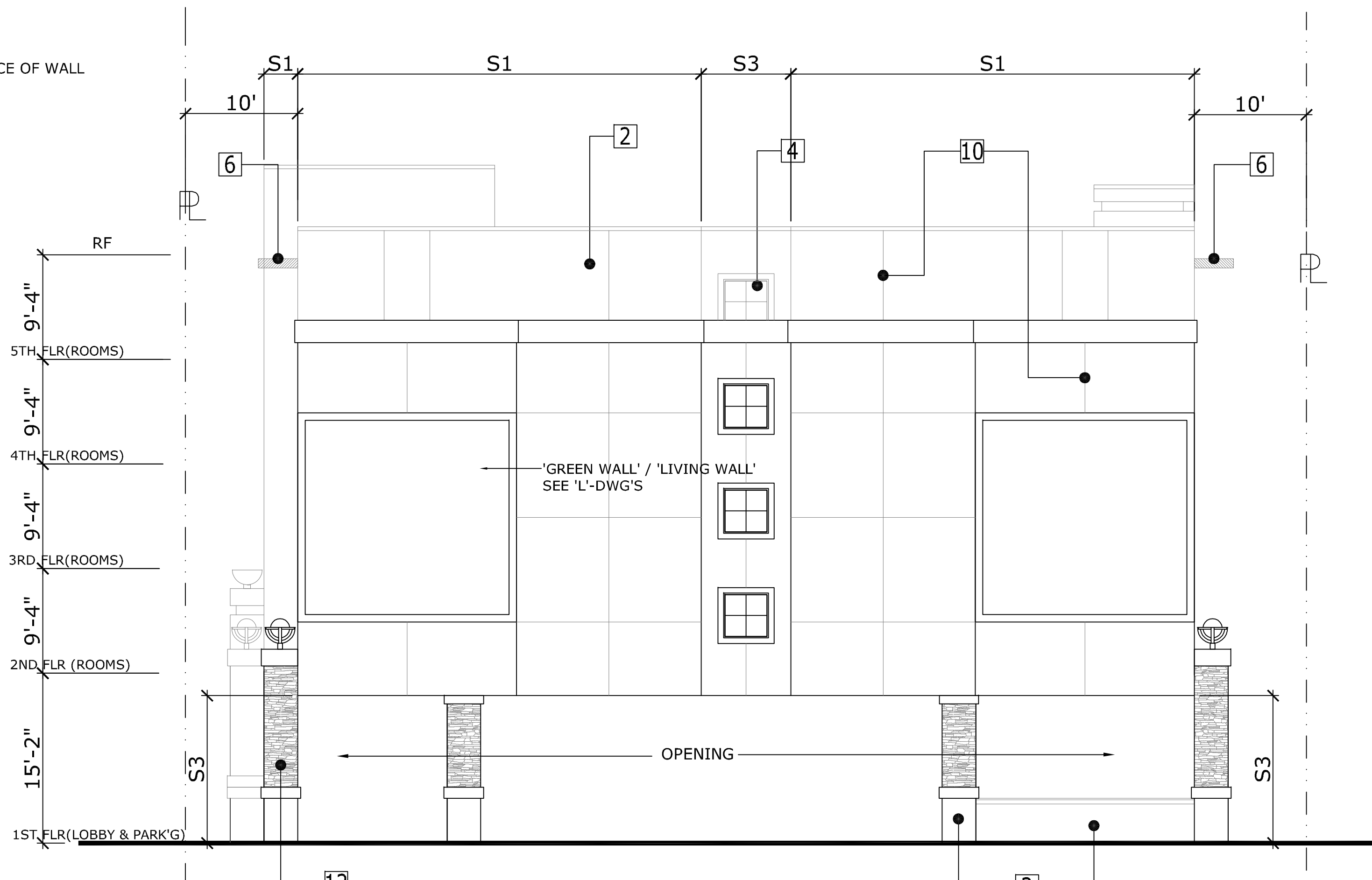
PARTIAL FRONT VIEW
SIDE VIEW
LIGHT DISH (1)
N.T.S.
NOTE: S.S. DISH, TOP COVERED BOTTOM OPEN FOR LIGHTING



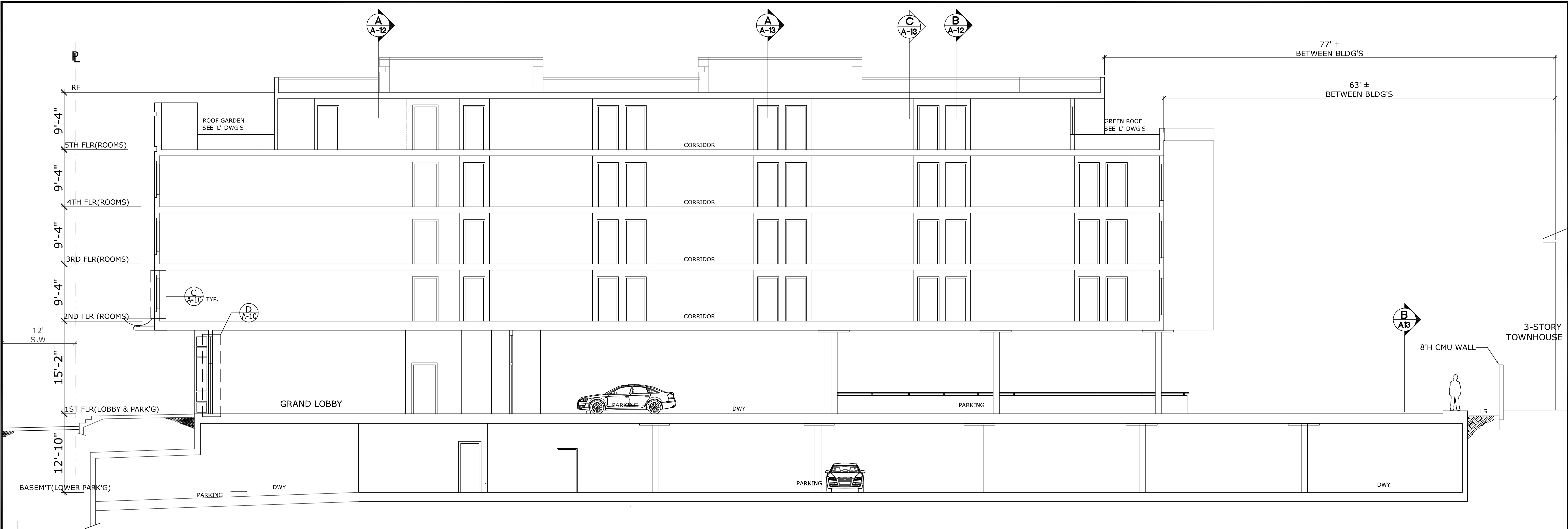
ISOMETRIC
SHADOW-CAST LOUVER (2)
N.T.S.



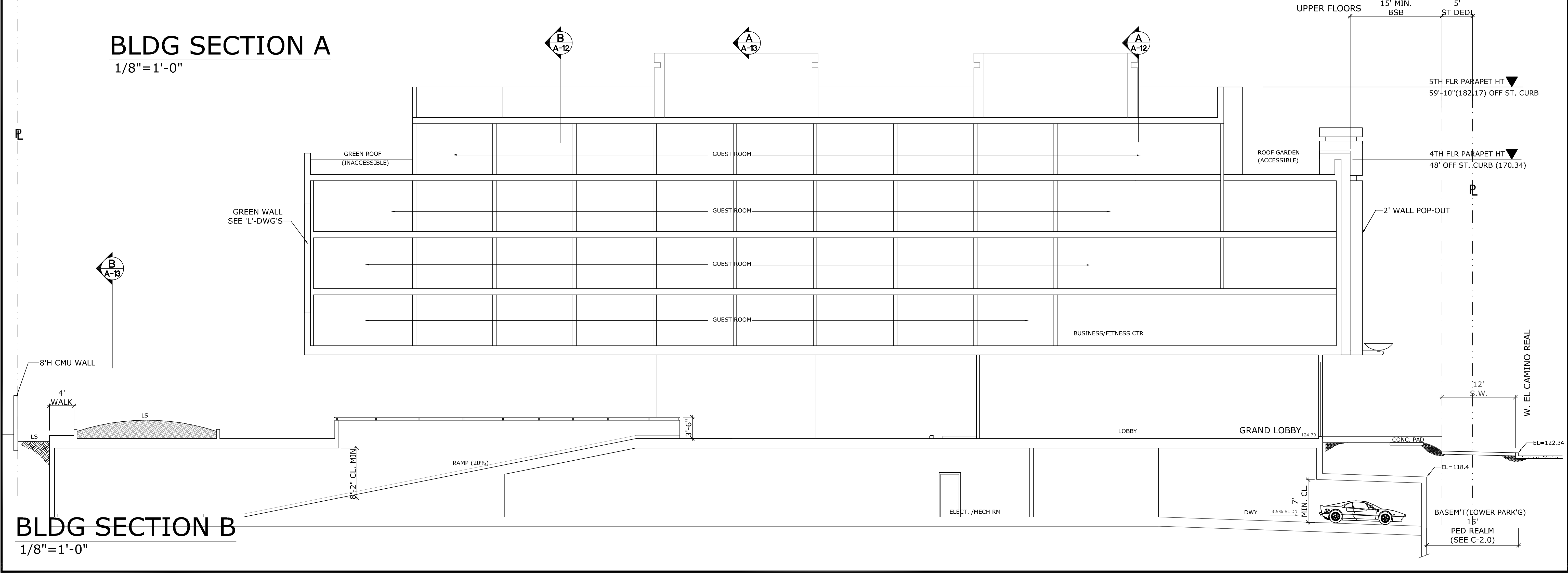
TYP. CURTAIN WALL (B)
N.T.S.



SOUTH ELEVATION
1/8"=1'-0"
VIEWED FROM 3-STORY TOWNHOME



BLDG SECTION A
1/8"=1'-0"



BLDG SECTION B
1/8"=1'-0"

SYA

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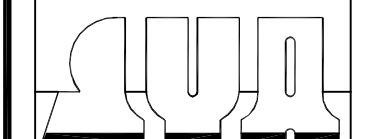
HOTEL LE CIEL
a luxury hotel
590 W. EL CAMINO REAL
SUNNYVALE, CA



Revisions	By
6/6/15	NH
7/20/15	NH
6/24/16	NH
11/15/16	NH

Drawn	NH
Check	SY
Date	
Scale	AS-NOTED
Job No.	14.06

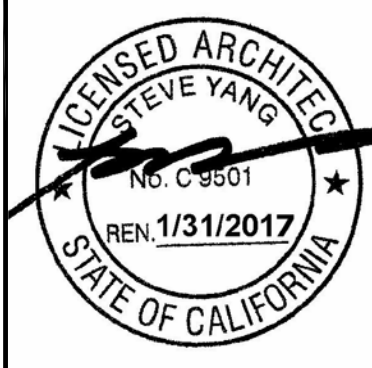
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Of



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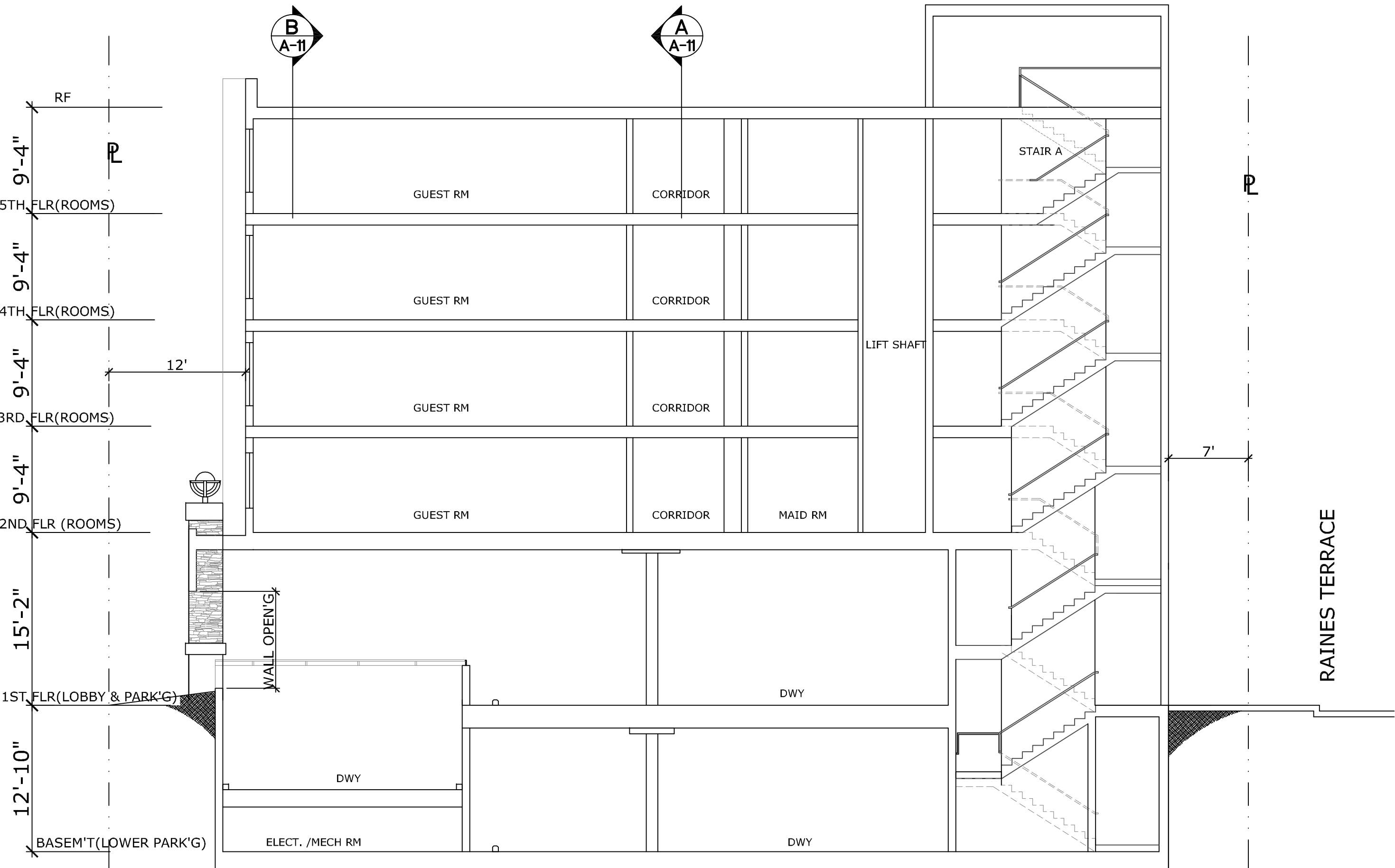
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6/6/15	NH
7/20/15	NH
6/24/16	NH

Drawn	NH
Check	SY
Date	
Scale	AS-NOTED
Job No.	14.06

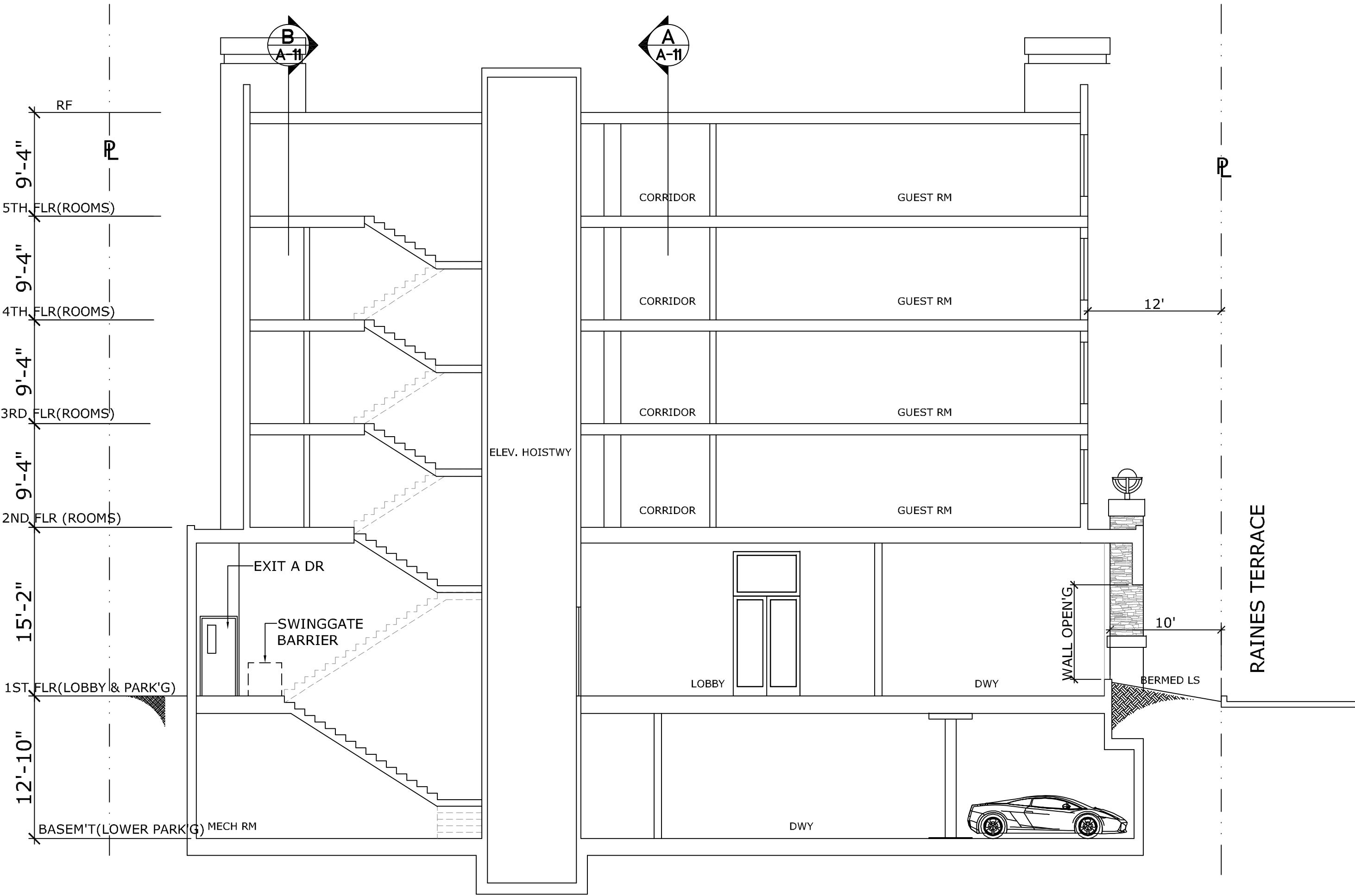
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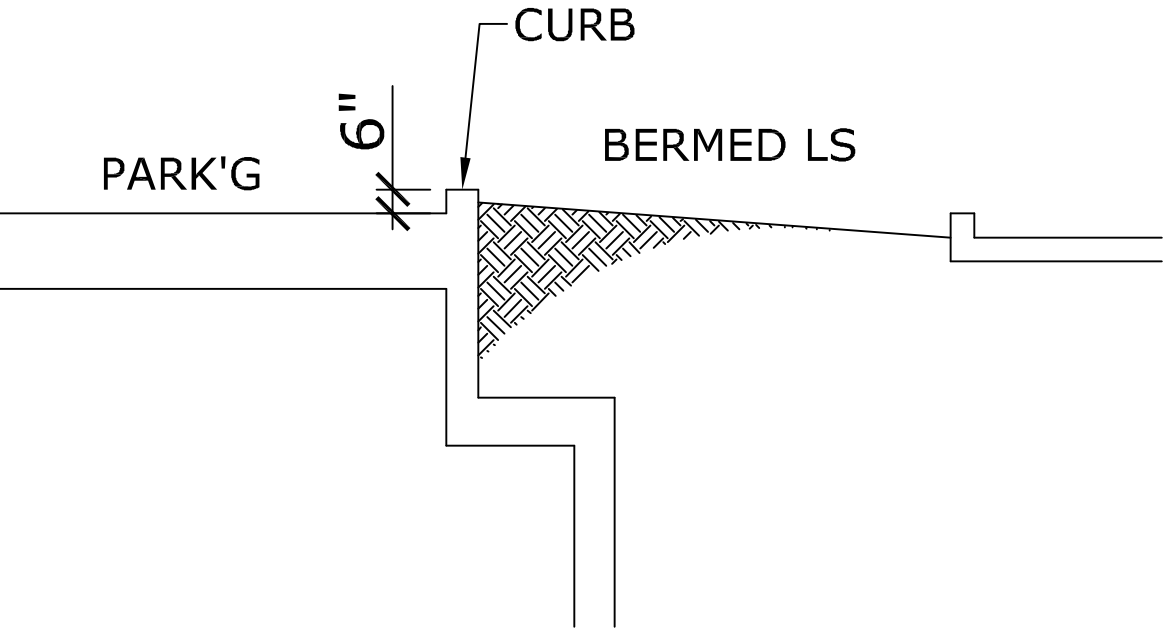
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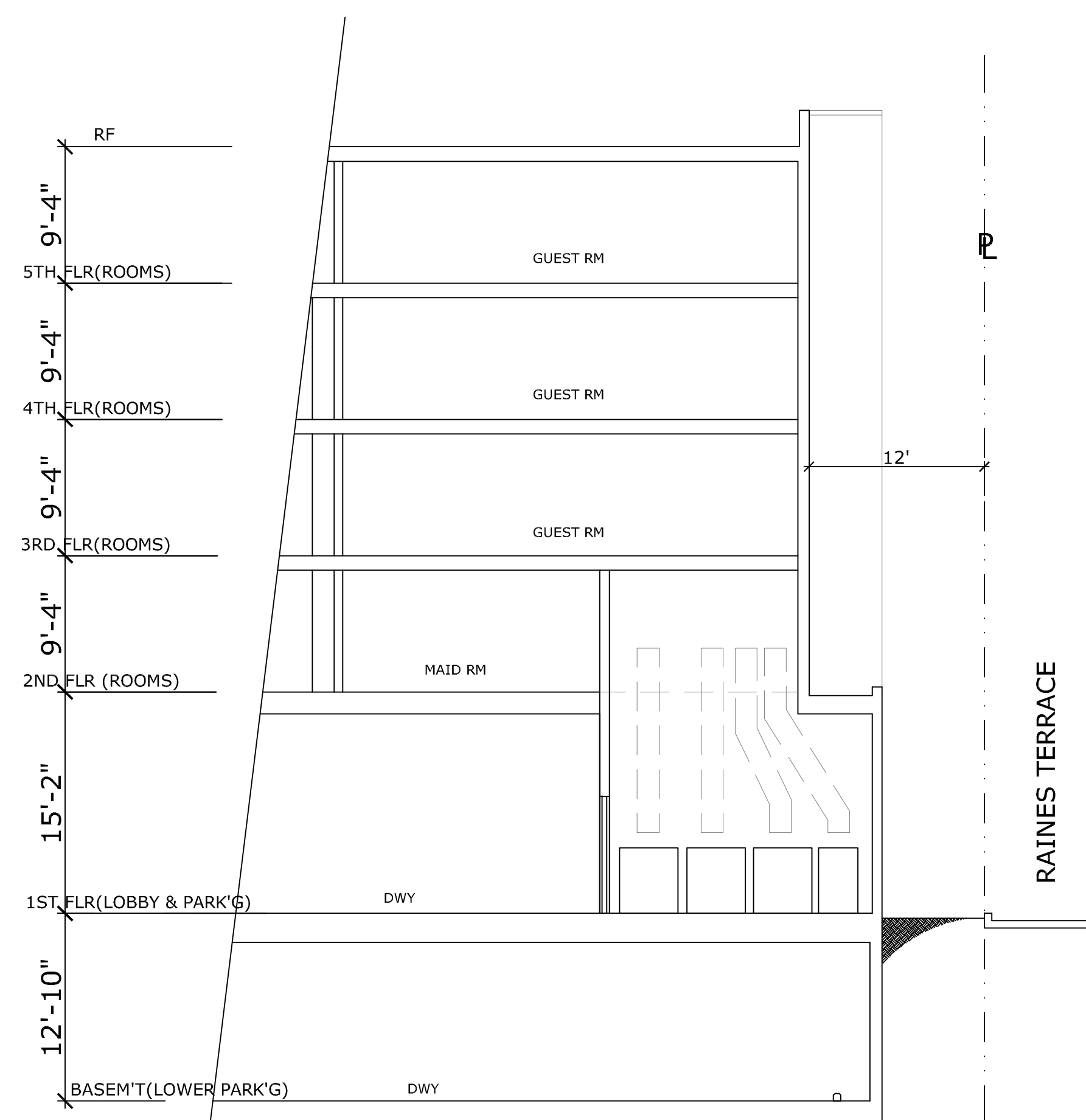
BLDG SECTION B
1/8"=1'-0"



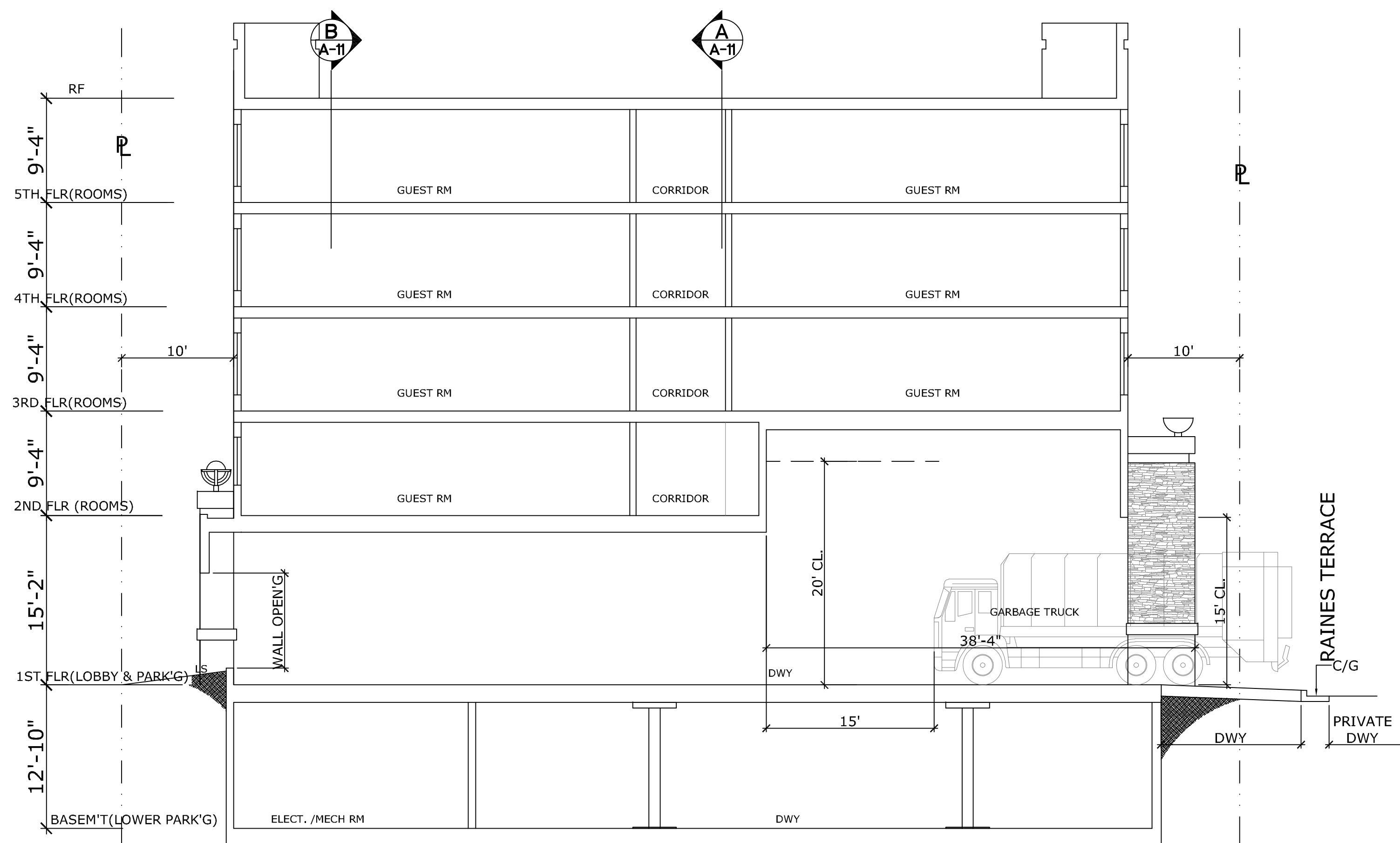
BLDG SECTION A
1/8"=1'-0"



PARTIAL SECTION C
1/4"=1'-0"

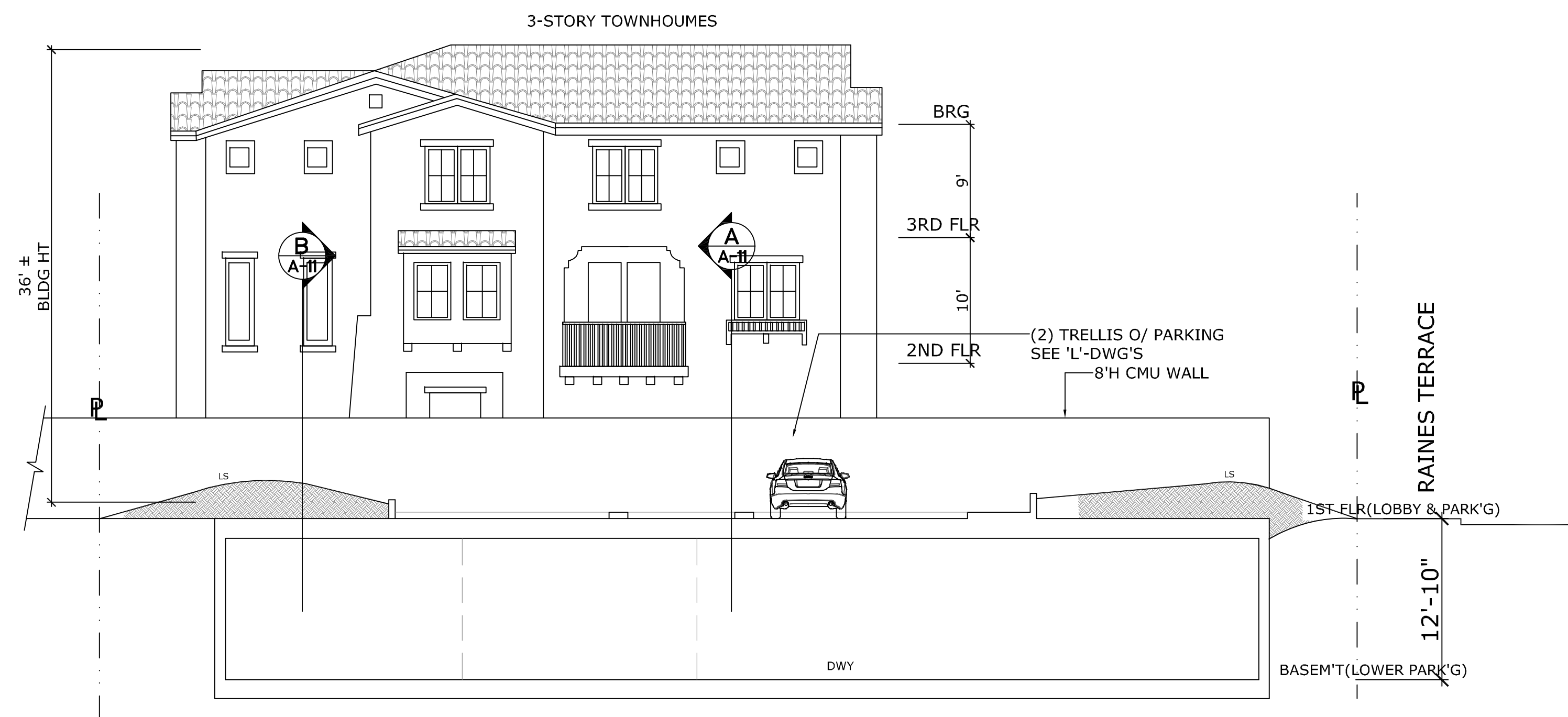


PARTIAL SECITON C



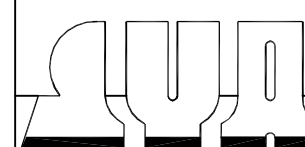
BLDG SECTION A

1/8"=1'-0"



BLDG SECTION B

1/8"=1'-0"



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Revisions	By
6/6/15	NH
7/20/15	NH
6/24/16	NH

Drawn	NH
Check	SY
Date	
Scale	AS-NOTED
Job No.	14.06

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of

PALMS TREES AND FOLIAGE TREES



TRISTANIA CONFERTA



CYCAS REVOLUTA

FOUNDATION SHRUBS



ESCALLONIA FRADESII



PHORMIUM 'BRONZE BABY'



ALPINIA 'VARIEGATA'



SALVIA LEUCANTHA

PERENNIALS / GROUND COVERS



PENSTEMON



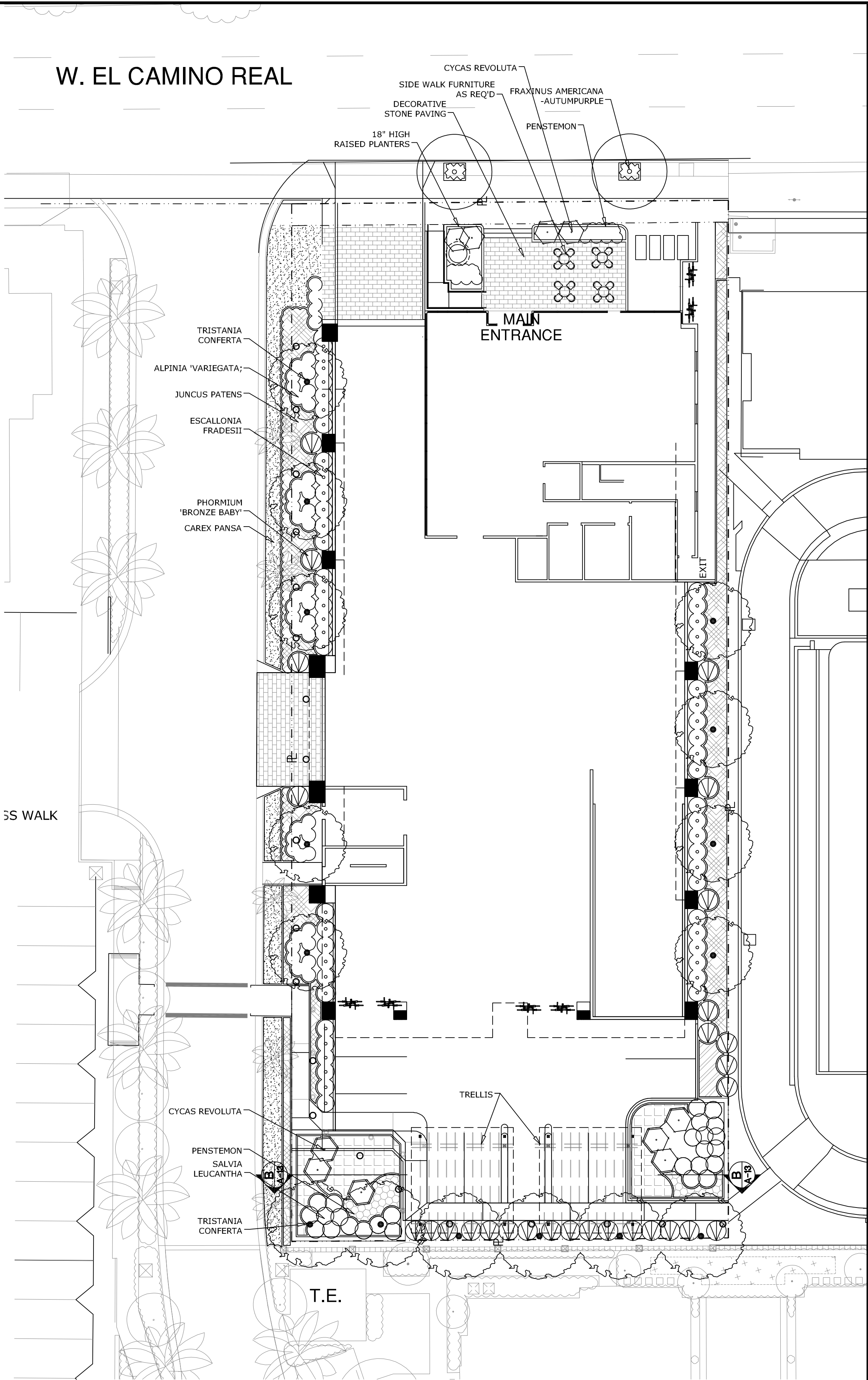
ANIGOZANTHUS



CAREX PANSA



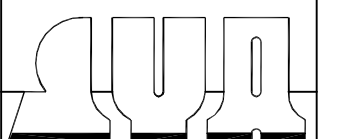
JUNCUS PATENS



LANDSCAPE PLAN (GROUND LEVEL)

1/16"=1'-0"





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Revisions	By
9/1/16	NH
11/15/16	NH

Drawn	NH
Check	SY
Date	6/24/16
Scale	AS-NOTED
Job No.	14.06

Sheet
L-1
Of

FOUNDATION SHRUBS



SALVIA CLEVELANDII



PHORMIUM 'BRONZE BABY'

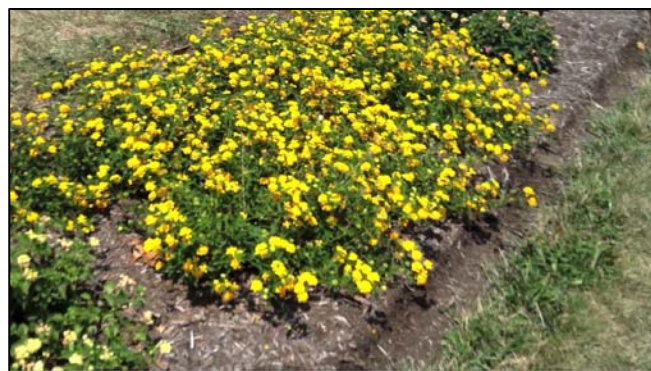


MISCANTHUS GRASS

PERENNIALS / GROUND COVERS



PENSTEMON

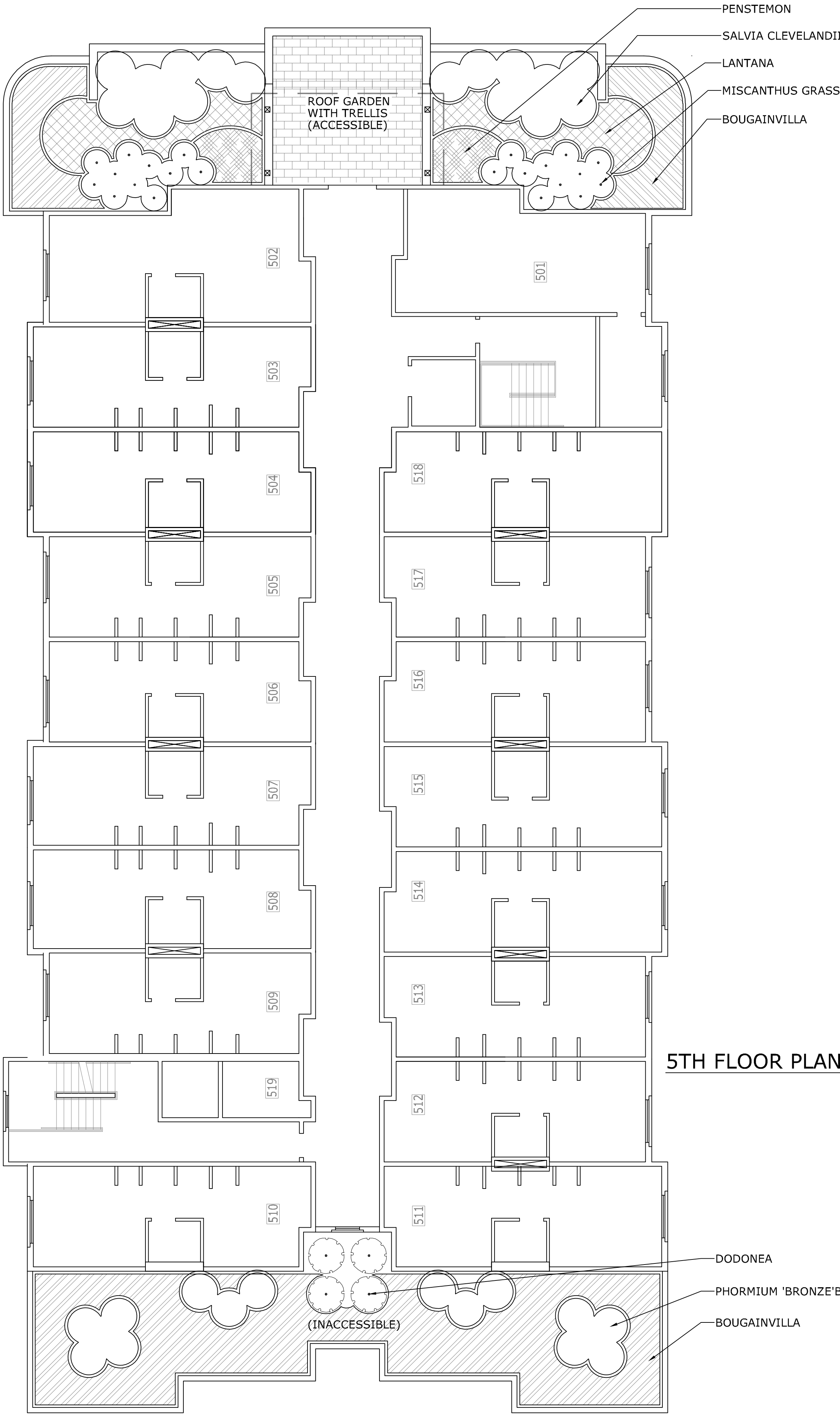


LANTANA



BOUGAINVILLEA 'SAN DIEGO RED'

PLANT SUGGESTIONS



5TH FLOOR PLAN

LANDSCAPE PLAN (ROOF LEVEL)

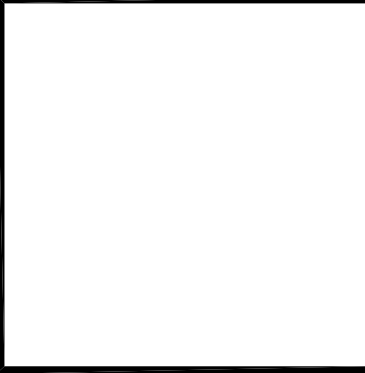
1/16"=1'-0"



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Revisions	By

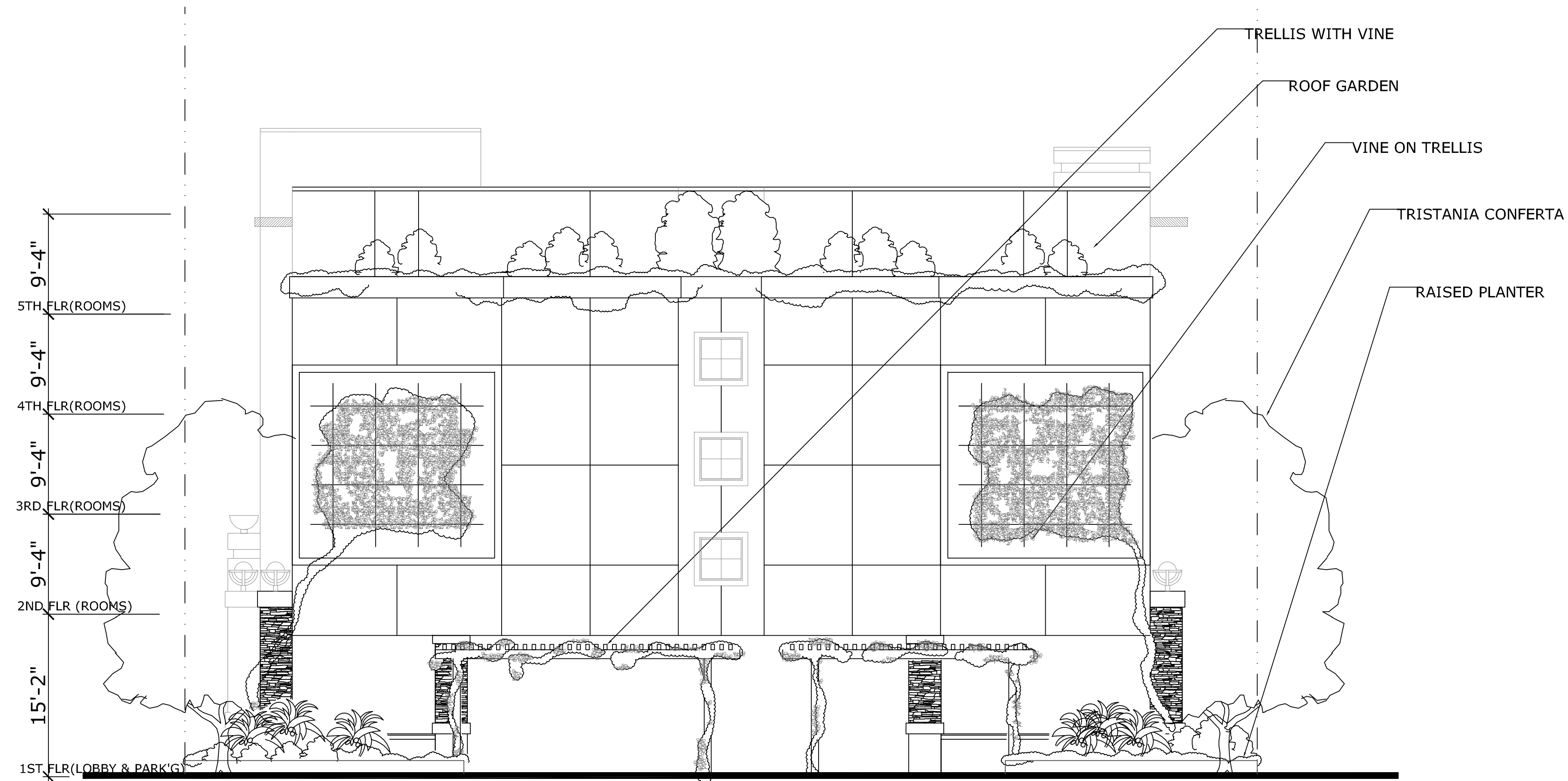
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Date	6/24/16
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Job No.	14.06

Sheet

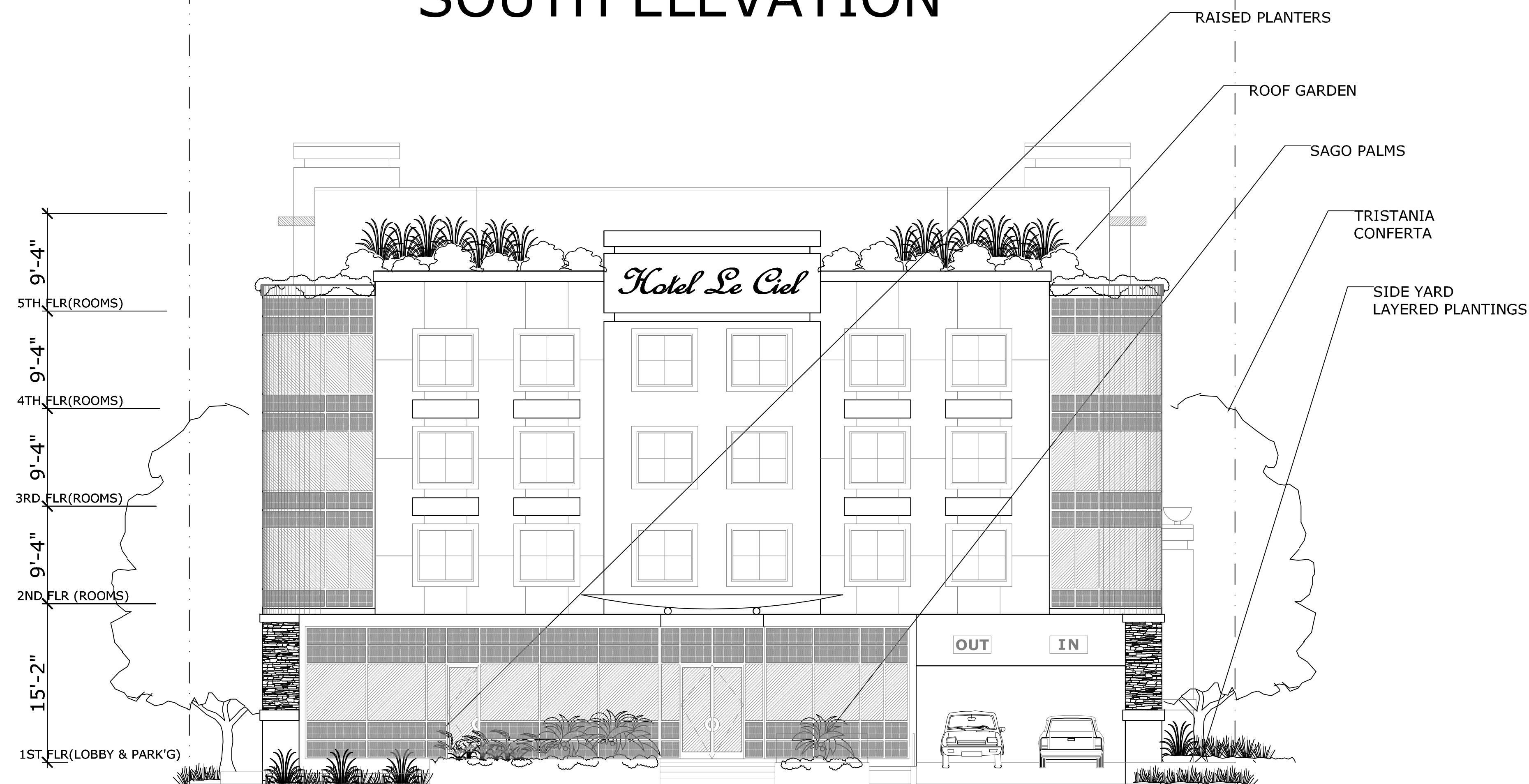
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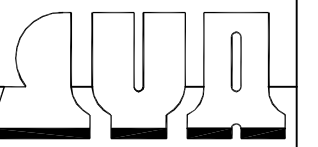




SOUTH ELEVATION



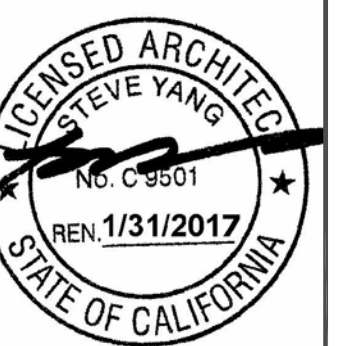
NORTH ELEVATION



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Revisions	By

Drawn	TK
Check	SY
Date	
Scale	N.T.S.
Job No.	14.06

Sheet
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of

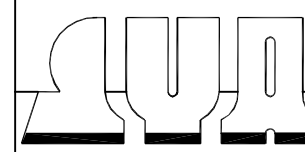


WEST ELEVATION



EAST ELEVATION

LANDSCAPED BUILDING SIDE ELEVATIONS
(EAST & WEST)



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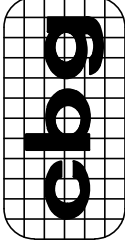
Revisions	By

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Check	SY
Date	6/24/16
Scale	N.T.S.
Job No.	14.06

Sheet
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of

HOTEL LE CIEL

590 W. El Camino Real, Sunnyvale, CA 94087



Carlson, Barbee & Gibson, Inc.
CIVIL ENGINEERS • SURVEYORS • PLANNERS
2535 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583
(925) 866-0322
FAX (925) 866-8575

C-2.0

SITE PLAN

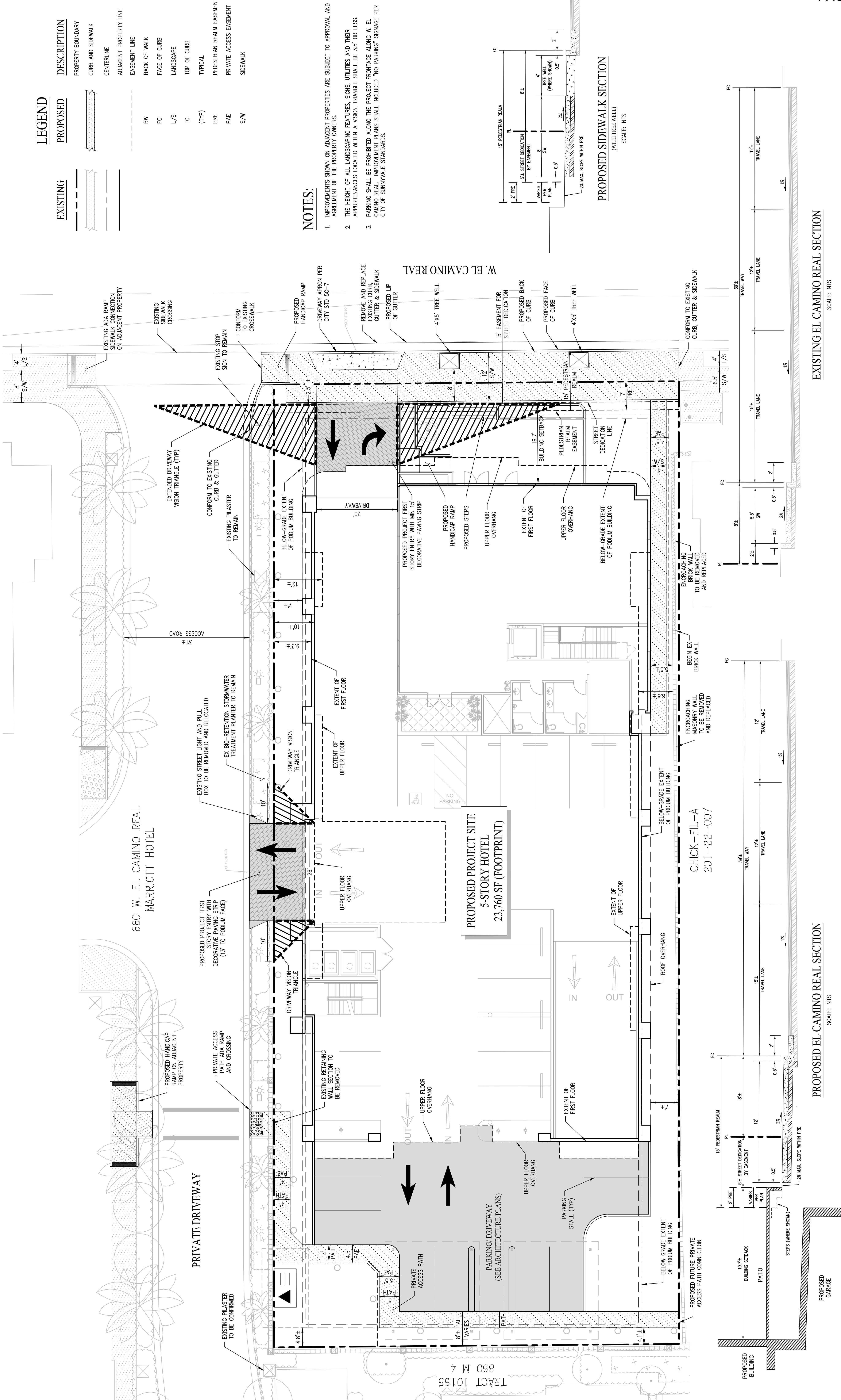
05'10'20'

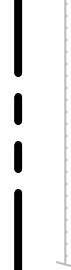
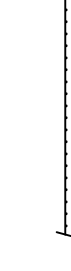
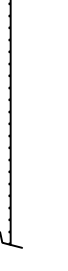
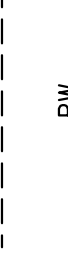
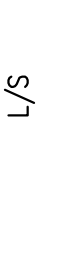
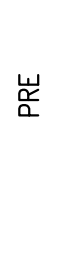
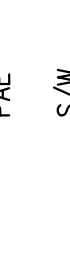
0 5' 10' 20'

SCALE: 1" = 10'



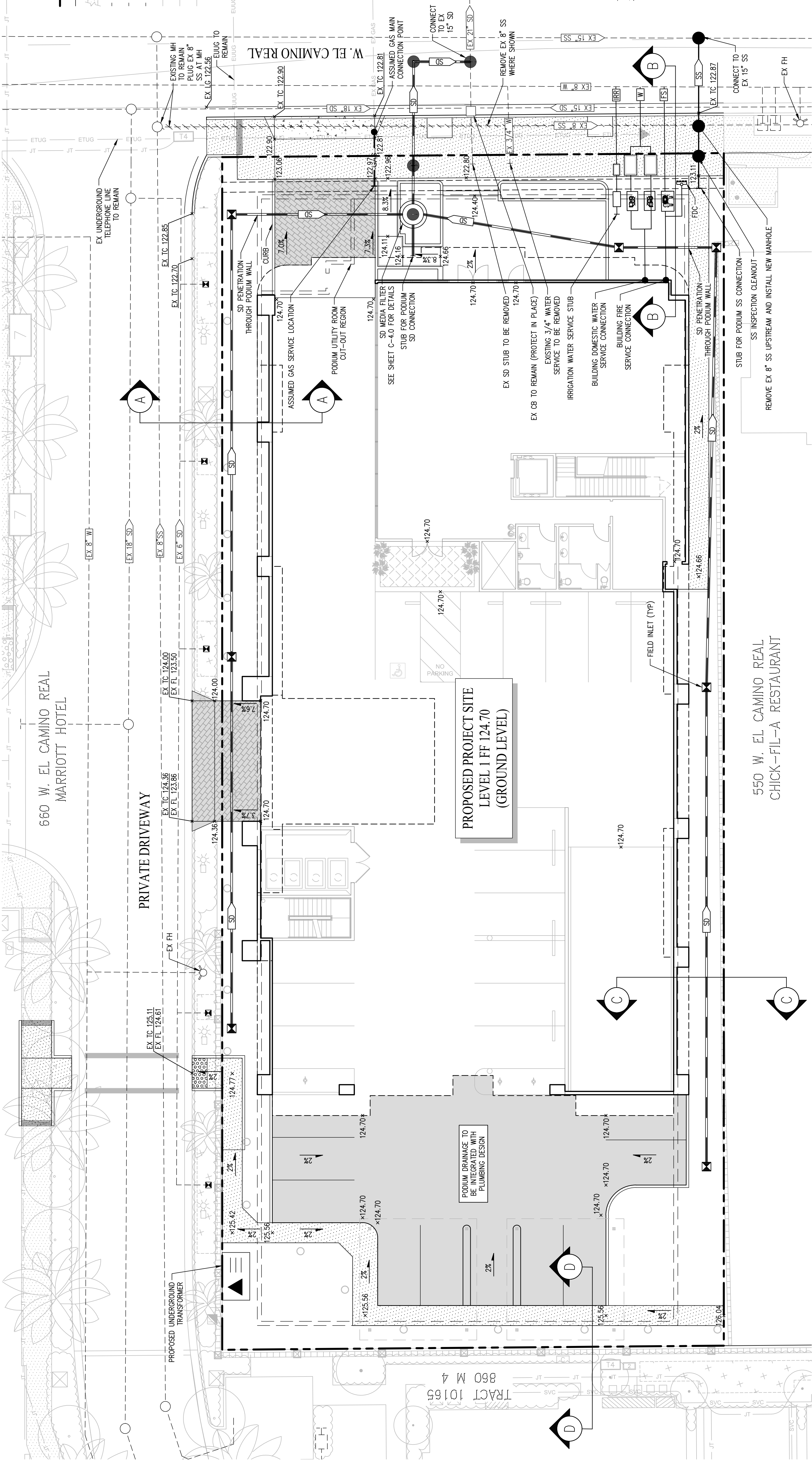
11.14.2016



EXISTING	PROPOSED	DESCRIPTION
		PROPERTY BOUNDARY
		CURB AND SIDEWALK
		CENTERLINE
		ADJACENT PROPERTY LINE EASEMENT LINE
		BACK OF WALK
		FACE OF CURB
		LANDSCAPE
		TOP OF CURB
		TYPICAL
		PEDESTRIAN REALM EASEMENT
		PRIVATE ACCESS EASEMENT
		S/W

NOTES:

- IMPROVEMENTS SHOWN ON ADJACENT PROPERTIES ARE SUBJECT TO APPROVAL AND AGREEMENT OF THE PROPERTY OWNERS.
- THE HEIGHT OF ALL LANDSCAPING FEATURES, SIGNS, UTILITIES AND THEIR APPURTENANCES LOCATED WITHIN A VISION TRIANGLE SHALL BE 3.5' OR LESS.
- PARKING SHALL BE PROHIBITED ALONG THE PROJECT FRONTAGE ALONG W. EL CAMINO REAL. IMPROVEMENT PLANS SHALL INCLUDED "NO PARKING" SIGNAGE PER CITY OF SUNNYVALE STANDARDS.



LEGEND

EXISTING

PROPOSED

DESCRIPTION

- PROPERTY BOUNDARY
- ADJACENT PROPERTY LINE
- CURB AND SIDEWALK
- WATER (W)
- SANITARY SEWER (SS)
- STORM DRAIN (SD)
- GAS MAIN (GRAPHICAL)
- UNDERGROUND ELECTRICAL (GRAPHICAL)
- UNDERGROUND TELEPHONE (GRAPHICAL)
- MANHOLE
- CATCH BASIN/FIELD INLET
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION (4-WAY)
- RP ASSEMBLY (DOMESTIC BFP ASSEMBLY)
- RPDA (FIRE SERVICE BFP ASSEMBLY)
- IRRIGATION BACKFLOW PREVENTER
- IRRIGATION WATER METER
- DOMESTIC WATER METER VAULT
- CATCH BASIN
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- FIRE SERVICE
- ELEVATION
- EXISTING ELECTRICAL UNDERGROUND
- EXISTING TELEPHONE UNDERGROUND
- MANHOLE
- REDUCED PRESSURE ASSEMBLY
- REDUCED PRESSURE DETECTOR ASSEMBLY
- BACKFLOW PREVENTER
- TYPICAL
- EXISTING
- FINISH FLOOR
- PROPERTY LINE
- LANDSCAPE

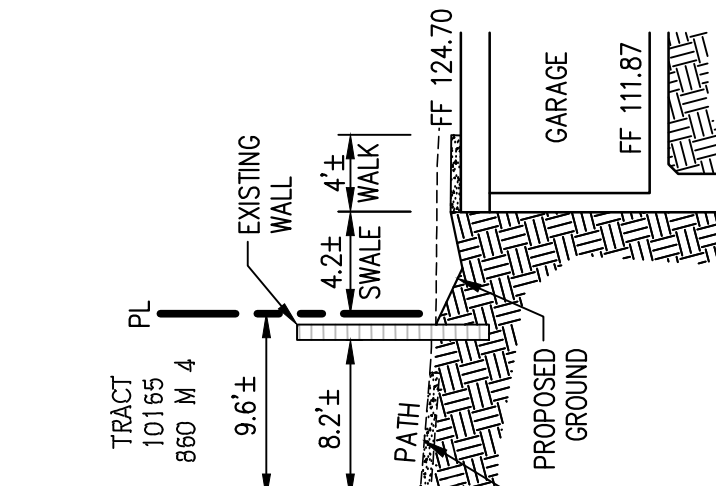
NOTES:

- PROPOSED DOMESTIC AND FIRE SERVICE SIZES AND DETAILS SUBJECT TO FINAL DESIGN. BUILDING CONNECTION LOCATIONS AND SIZES (MINIMUM 1/2" AND 1/4" COORDINATED WITH FIRE AND PLUMBING CONSULTANTS). ALL FIRE DEPARTMENT CONNECTIONS ARE TO BE 4-WAY.
- FIRE DEPARTMENT CONNECTIONS ARE SHOWN FOR REFERENCE ONLY AND WILL BE DETAILED ON THE PROJECT'S PRIVATE IMPROVEMENT PLANS. ALL FIRE DEPARTMENT CONNECTIONS ARE TO BE 4-WAY WITH SIZING SUBJECT TO FIRE DEPARTMENT REQUIREMENTS. POST INDICATOR VALVES HAVE NOT BEEN SHOWN AND MAY BE REQUIRED BY FIRE CONSULTANT.
- PROPOSED BUILDING STORM DRAIN CONNECTIONS SUBJECT TO FINAL PLUMBING DESIGN.
- SURFACE PARKING LOT IS PART OF PODIUM STRUCTURE.
- GRADING SECTIONS SHOWN ARE SUBJECT TO STRUCTURAL PLANS.
- STREET LIGHTING ALONG EL CAMINO REAL SUBJECT TO FINAL DESIGN.
- ALL WATER METERS ARE TO BE RADIO READ.
- ALL JOINT TRENCH FACILITIES SHOWN ARE GRAPHICAL AND FOR REFERENCE ONLY. PROPOSED GAS SERVICE LOCATION AND CONNECTION POINT SHOWN IS ASSUMED. EXACT LOCATIONS OF EXISTING JOINT TRENCH FACILITIES SUBJECT TO JOINT TRENCH PLANS. ELECTRICAL AND GAS UTILITIES SUBJECT TO FINAL JOINT TRENCH DESIGN.
- ALL ELEVATIONS ARE BASED ON NGVD 29 BENCHMARK AND DO NOT REFLECT THE LATEST CITY BENCHMARKS BASED ON THE NAVD 88 SYSTEM. THE FOLLOWING FORMULA MAY BE USED TO CONVERT NGVD 29 SURVEY DATA ON THIS MAP TO NAVD 88 ELEVATIONS:
NAVD 88 ELEV = MAP ELEV (NGVD 29 ELEV) + 2.498'

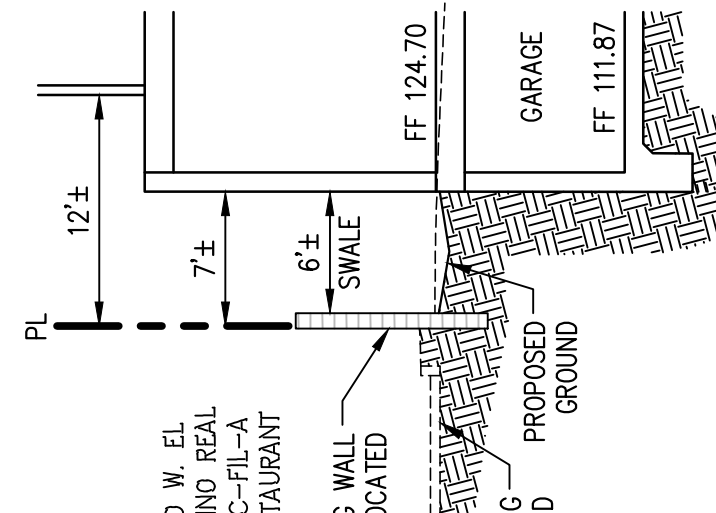
WATER UTILITY SPECIFICATIONS

STRUCTURE	DESCRIPTION	STANDARD DETAIL
FH	FIRE HYDRANT	2B & 2B-2
FDC (4-WAY)	FIRE DEPARTMENT CONNECTION	—
RP (DOMESTIC)	DOMESTIC SERVICE – REDUCED PRESSURE ASSEMBLY	20B & 22B
RPDA (FIRE)	FIRE SERVICE – REDUCED PRESSURE DETECTOR ASSEMBLY	21B & 22B
BFP (IRRIGATION)	BACKFLOW PREVENTION DEVICE	18B & 19B
WATER METER	DOMESTIC/FIRE/IRRIGATION METERS	4B, 4B-1 & 12B

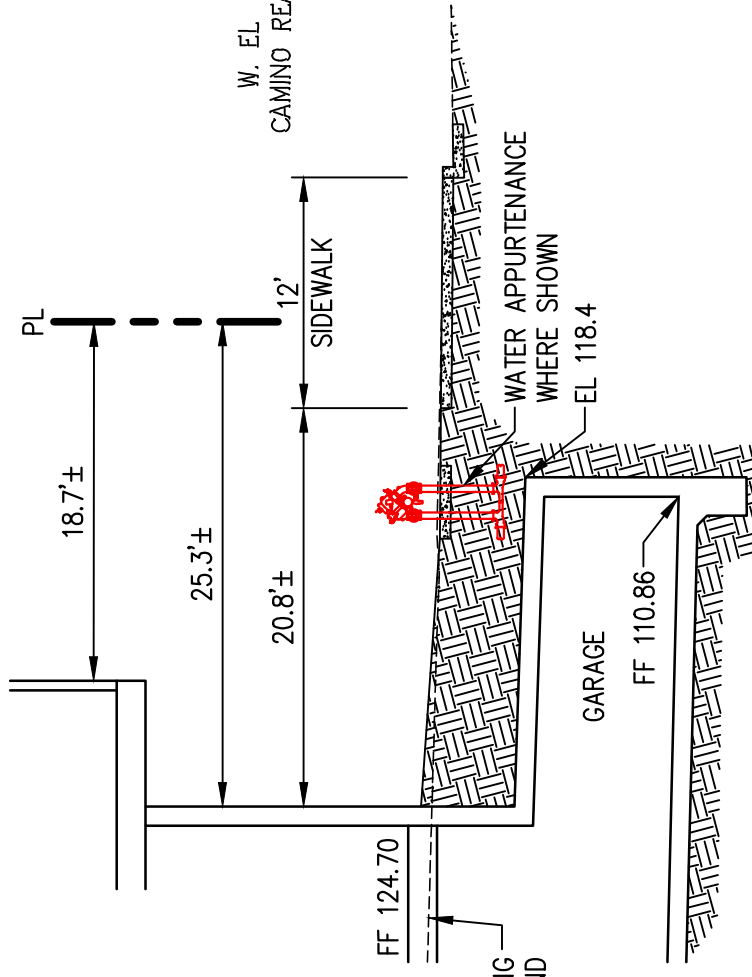
SECTION D-D
NOT TO SCALE



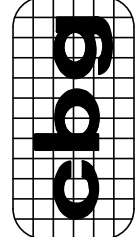
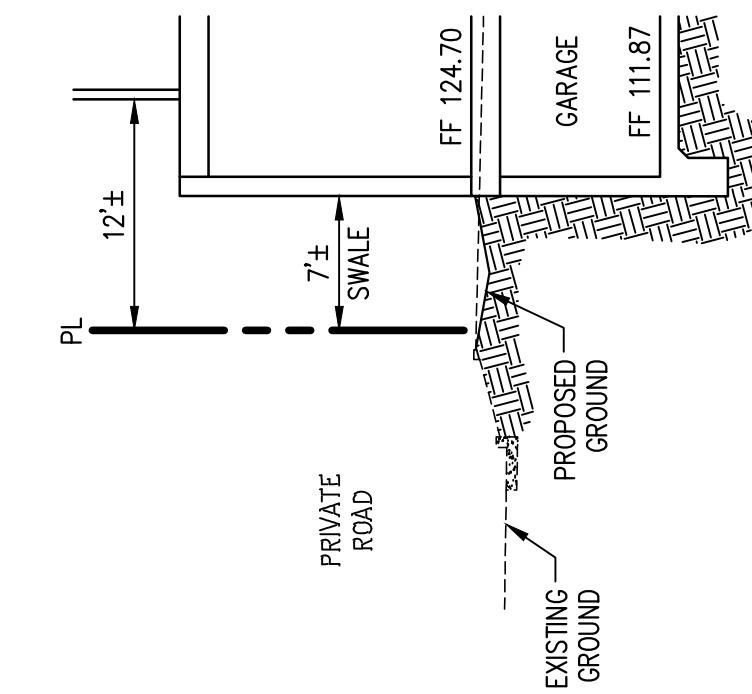
SECTION C-C
NOT TO SCALE



SECTION B-B
NOT TO SCALE



SECTION A-A
NOT TO SCALE



Carlson, Barbee
& Gibson, Inc.

CIVIL ENGINEERS • SURVEYORS • PLANNERS

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590 W. El Camino Real, Sunnyvale, CA 94087

C-3.0

PRELIMINARY GRADING & UTILITY PLAN 29

SCALE: 1" = 10'



11.14.2016

LEGEND

EXISTING

PROPOSED

PROPERTY BOUNDARY

ADJACENT PROPERTY LINE

CENTER LINE

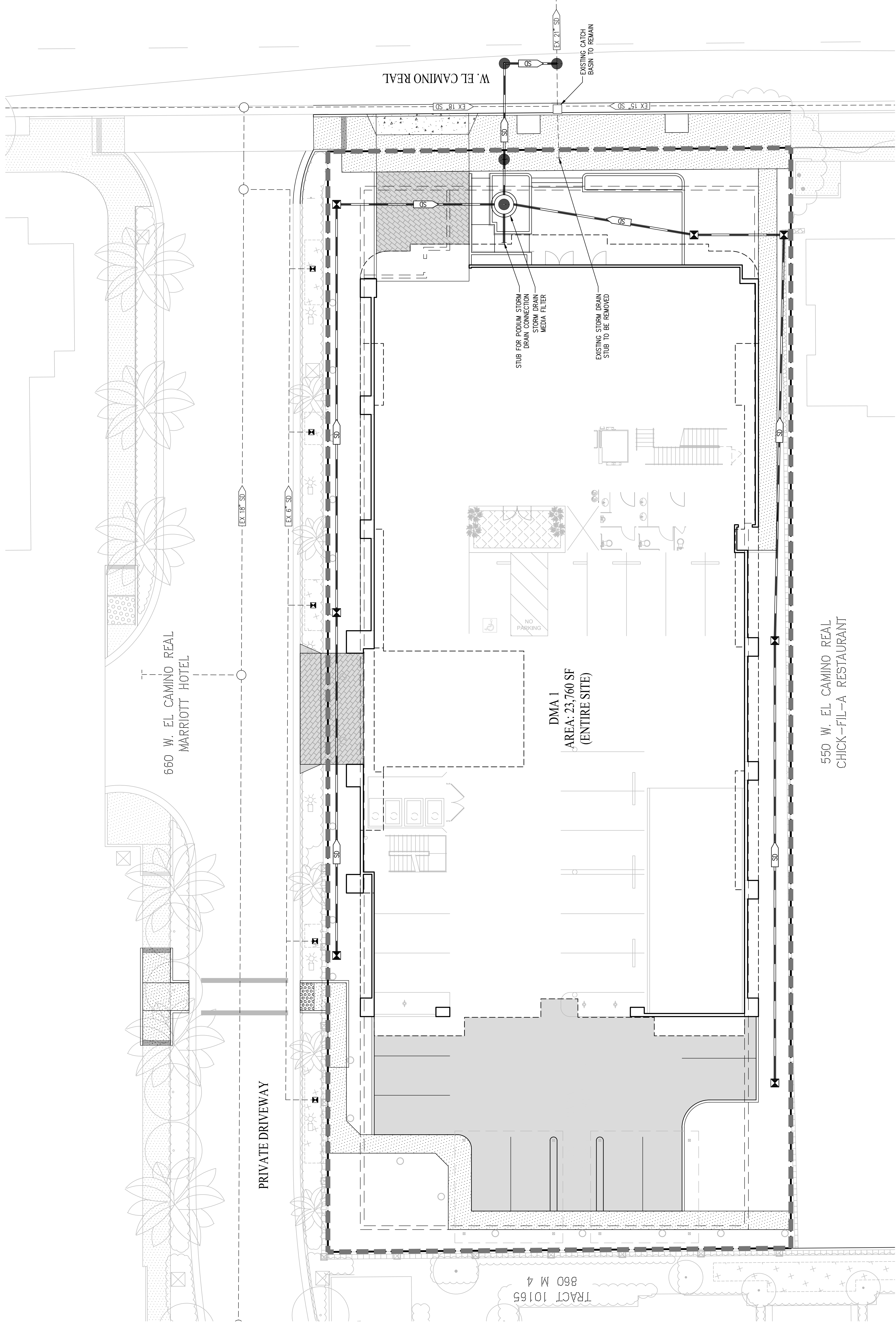
STORM DRAIN MAIN

MANHOLE

CATCH BASIN/FIELD INLET

DRAINAGE AREA BOUNDARY

DMA



PRELIMINARY STORM WATER
BEST MANAGEMENT PRACTICES

SPECIAL PROJECT NON-LID TREATMENT REDUCTION CREDITS
CATEGORY A- SMALL INFILL PROJECTS

LID TREATMENT REDUCTION CREDIT	100%
NOTES:	
SITE IMPERVIOUS AREA TO BE TREATED:	21,324 SF (0.49 AC)
100% BY NON-LID TREATMENT:	21,324 SF (0.49 AC)
0% BY LID TREATMENT:	0 SF

*PER APPENDIX J.2 OF THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM C.3 STORMWATER HANDBOOK, APRIL 2012 EDITION.

STORMWATER BMPs				
DMA	TREATMENT TYPE	SITE AREA TREATED	REQUIRED FLOWRATE	PROVIDED TREATMENT FLOW
1	KRISTAR UP-FLO CF-48UF-2 MEDIA FILTER (OR APPROVED EQUAL)	23,760 SF	0.089 CFS	0.110 CFS
				0.055 CFS

NOTES:

- PROPOSED BUILDING STORM DRAIN CONNECTIONS SUBJECT TO PLUMBING DESIGN.
- LANDSCAPE WALKWAYS AND BUILDING ENTRY LOCATIONS SUBJECT TO LANDSCAPE DESIGN.
- REFER TO STORMWATER MANAGEMENT PLAN FOR MEDIA FILTER DETAILS.