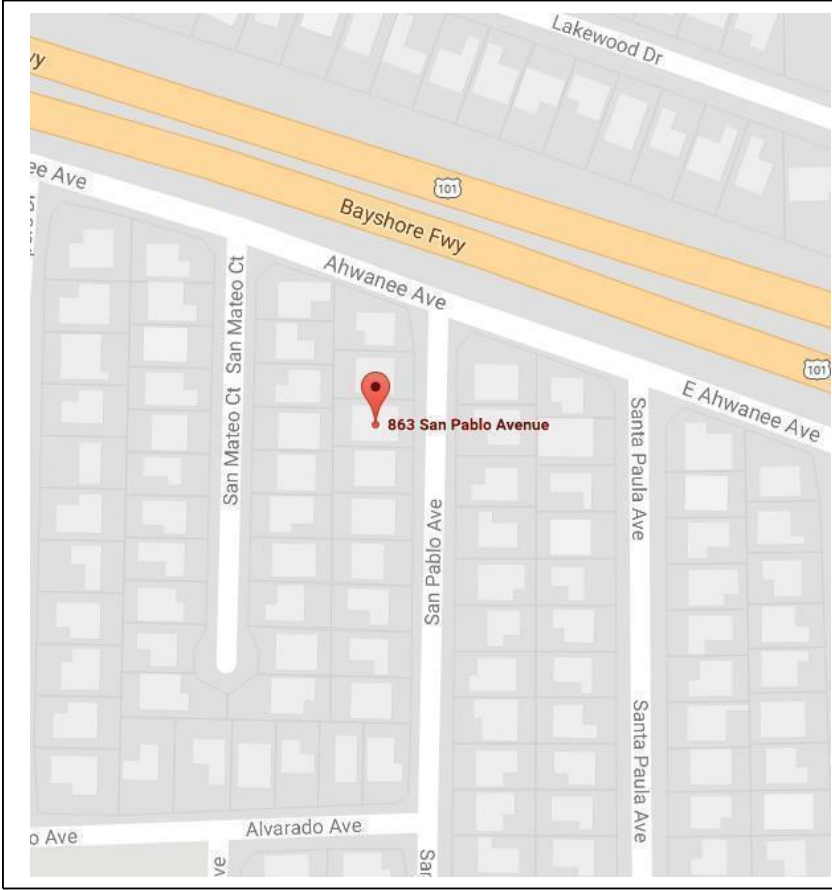


APPLICABLE CODE

ALL CONSTRUCTION SHALL COMPLY WITH:

2016 CALIF. FIRE CODE
2016 CALIF. BLDG CODE
2016 CALIF. RESIDENTIAL CODE
2016 CALIF. MECH. CODE
2016 CALIF. PLUMB'G CODE
2016 CALIF. ELEC. CODE
2016 CALIF. ENERGY CODES
2016 CALIF. GREEN BUILDING CODES
ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.

VICINITY MAP



A REMODEL FOR
JAGAIT RESIDENCE
MEGAN MINER

PERSONAE

OWNER
JAGAIT RESIDENCE
863 SAN PABLO AVE.
SUNNYVALE, CA 94085

STRUCTURAL ENGINEER
MHA CONSULTING ENGINEERS
1629 WRIGHT AVE.
SUNNYVALE, CA. 94087
(408) 735-1524

DESIGNER
MEGAN MINER DESIGN
MEGAN MINER
18488 PROSPECT RD. #15
SARATOGA, CA 95070
(408) 396-0951

TITLE 24
JOSH MINER
2288 INCARUS DR.
HERDFORDSON NV. 89704
(408) 394-6882

GENERAL NOTES

ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF MEGAN MINER DESIGN PRIOR TO COMMENCING.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

SLOPE ALL FINISH GRADES IN: 5% 5'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE & LANDSCAPED AREA & SLOPE GRADE 2% MIN. & PAVED AREAS.

ALL WORK, APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIVELINE OF ANY ORDINANCE PROTECTED TREES ON SITE.

ADDRESS NUMBERS ON BUILDING SHALL BE CLEARLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. MIN. 4" HIGH X 1" WIDE PER CRC R319.

DUCT OPENING COVERED AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION

VOC COMPLIANCE - CAULKS, SEALANTS, ADHESIVES, COMPLIANT WITH MIR LIMITS FOR ROC AND OTHER COMPOUNDS (TABLE 4.504.1)

PAINTS AND COATINGS COMPLIANT WITH VOC LIMITS (TABLE 4.504.3)

AEROSOLS AND COATINGS COMPLIANT WITH MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS

VERIFICATION AND DOCUMENTATION OF VOC LIMITS AND FINISH MATERIALS

VOC COMPLIANCE - CARPET & CARPET SYSTEMS

80% FLOOR AREA RECEIVING RESILIENT FLOORING MEET VOC-EMISSION LIMITS PER CHPS

PARTICLEBOARD, MDF, HARDWOOD, PLYWOOD COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. (TABLE 4.504.5)

MOISTURE CONTENT OF FLOORS AND WALLS CHECKED BEFORE ENCLOSURE

BATHROOM EXHAUST FANS TERMINATE OUTSIDE BUILDING AND CONTROLLED BY HUMIDITY CONTROL

DUCT SYSTEM ARE SIZED AND DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING:
1. ESTABLISHED HEAT LOSS AND GAIN ACCORDING TO ANSI/ACCA MANUAL J
2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ ACCA MANUAL D-2009
3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ ACCA MANUAL S-2004
HVAC INSTALLERS TRAINED AND CERTIFIED

NOTE TO CONTRACTOR

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF MEGAN MINER DESIGN, AND REQUEST ASSISTANCE AS SOON AS POSSIBLE. IF ANY ERROR IS FOUND ON PLAN OF ANY KIND NOTIFY MEGAN MINER DESIGN. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF MEGAN MINER DESIGN. PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK, NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF MEGAN MINER DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF MEGAN MINER DESIGN.

ANALYSIS

ASSESSOR'S PARCEL # 205-040-40
LOT AREA: 5,054 S.F.
ZONING: V-B
TYPE OF CONSTRUCTION: R-3, U
OCCUPANCY RATING: SINGLE FAMILY RES.
EXISTING USE: FLAT LOT
SLOPE OF LOT

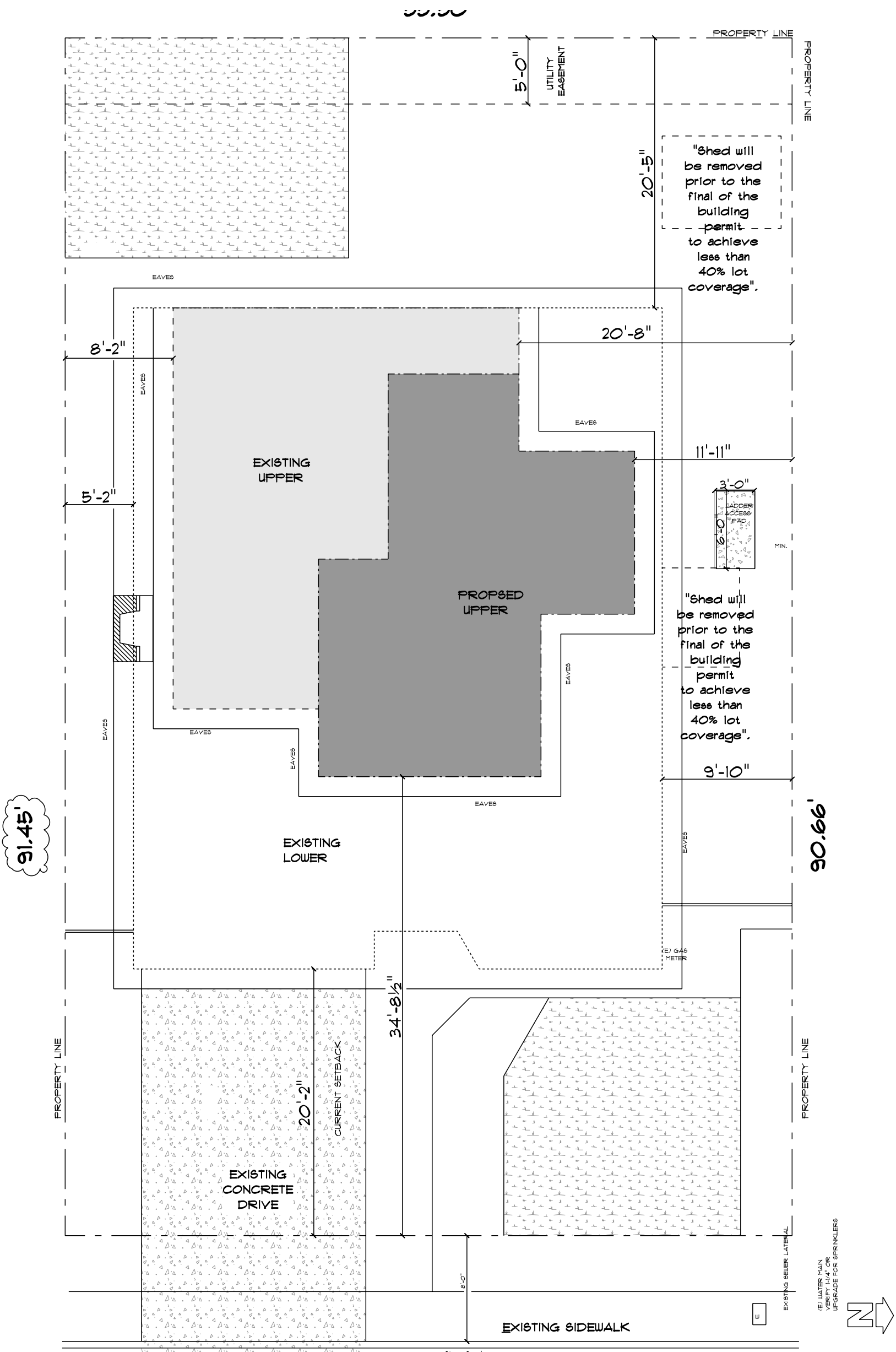
863 San Pablo Ave. - Project Data

Lot	5054
Existing	
Floor Area	
First Floor	1608
Second Floor	497
Garage	360
Side Yard Shed (to be removed)	160
Rear Yard Shed (to be removed)	63
Total Floor Area	2688
Floor Area Ratio	53%
Lot Coverage	
First Floor	1608
Garage	360
Front Porch	20
Side Yard Shed (to be removed)	160
Rear Yard Shed (to be removed)	63
Lot Coverage Area	2211
Lot Coverage Percent	44% (max 40%)

Proposed	
Floor Area	
First Floor	1608
Second Floor	497
Second Floor Addition	498
Garage	360
Side Yard Shed (Removed)	0
Rear Shed (Removed)	0
Total Floor Area	2963
Floor Area Ratio	59%
Lot Coverage	
First Floor	1608
Garage	360
Front Porch	20
Side Yard Shed (Removed)	0
Rear Shed (Removed)	0
Lot Coverage Area	1988
Lot Coverage Percent	39%

INDEX

INDEX - VICINITY MAP - ANALYSIS	1
EXISTING FLOOR PLAN	2
NEW FLOOR PLAN	3
EXISTING ELEVATIONS	4
NEW ELEVATIONS	5
MORNING SOLAR STUDY	6
AFTERNOON SOLAR STUDY	7
STREET SCAPES	8
SECTIONS & ROOF PLAN	9



CONSTRUCTION RELATED MATERIALS, EQUIPMENT, ETC. THAT ARE STORED ON SITE UNLESS PERMITTED IN ADVANCE BY THE PUBLIC WORKS DEPARTMENT. THIS IS TO AVOID: CARS, BARS, AND/OR OPERATIONAL BARRIERS FOR THE PROTECTION OF PEDESTRIANS, CYCLISTS AND VEHICLES TRAVELING.

NO DESTRUCTIVE CONCRETE OR PAINTING SHALL BE DONE WITHOUT CITY RIGHT OF WAY.

VERIFY (1) SANITARY SEWER CLEAR, (2) OR (3) CITY RIGHT OF WAY.

VERIFY (1) SANITARY SEWER CLEAR, (2) OR (3) CITY RIGHT OF WAY.

PRIOR TO ANY WORK IN THE PUBLIC RIGHT OF WAY, OBTAIN AN ENCROACHMENT PERMIT WITH ADVANCE REQUIREMENTS FOR ALL PUBLIC IMPROVEMENTS INCLUDING A TRAFFIC CONTROL PLAN PER THE LATEST CALIFORNIA MANUAL TO IMPROVE TRAFFIC CONTROL, DESIGN (THROTTLED) STANDARDS TO BE REVIEWED AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS.

SAN PABLO AVE.

PROPOSED SITEPLAN

SCALE: 1/8" = 1'-0"

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Megan@MeganMiner.com - 408.396.0951

A Project for:
JAGAIT RESIDENCE
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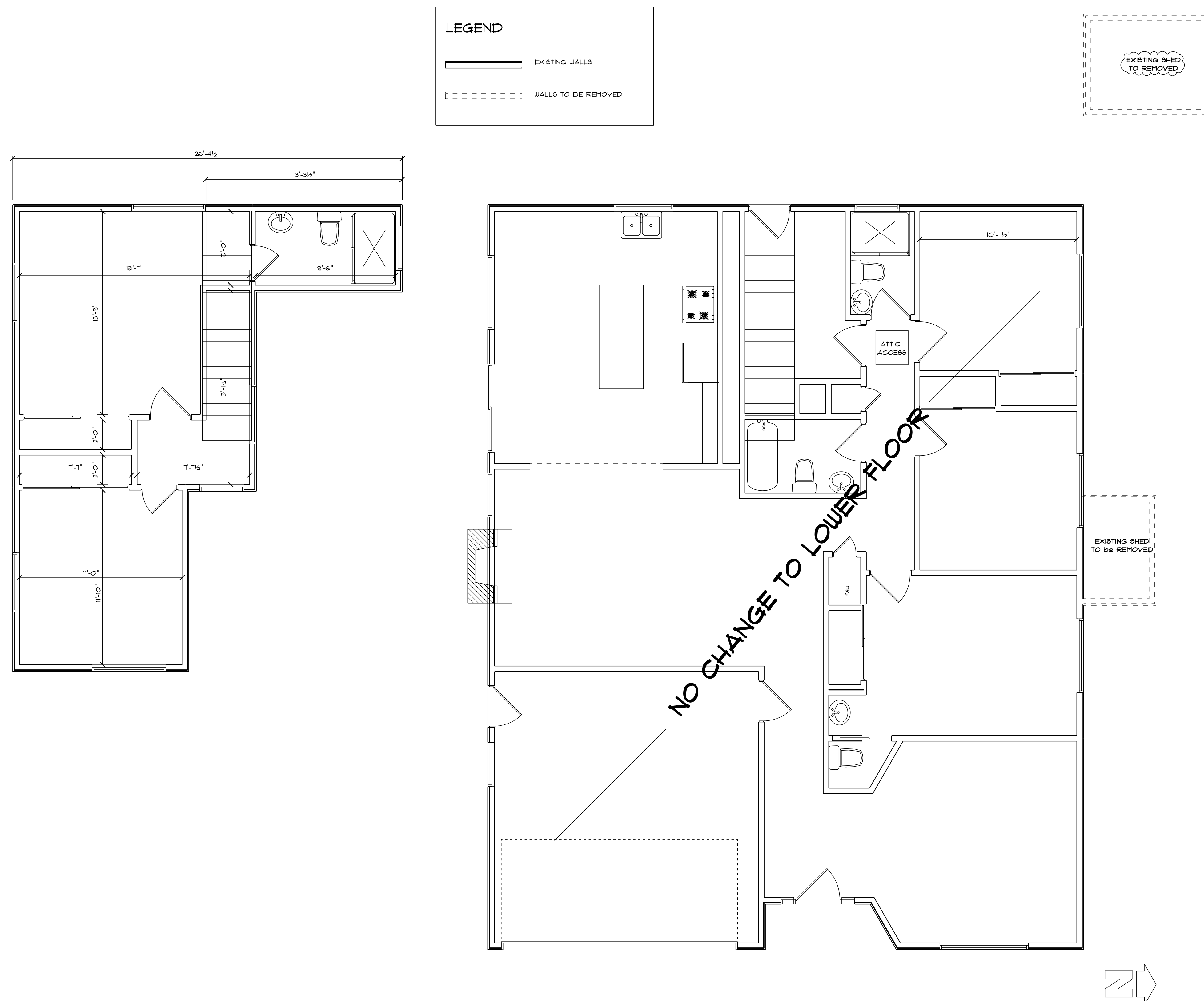


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PAGE:
2 / 9
EXISTING FLOOR PLAN



FLOOR PLAN NOTES

INSTALL 1/2" GYP BRD ON GARAGE SIDE OF WALLS COMMON TO LIVING SPACE AND 5/8" TYPE "X" GYP ONE-HOUR FIRE-RESISTIVE CONSTRUCTION TO BE PROVIDED ON THE GARAGE CEILING WHEN LIVING SPACE IS ABOVE THE GARAGE. APPLY TO WALLS, POST AND BEAMS OF GARAGE ADJACENT TO AND SUPPORTING THE RESIDENCE. APPLIED VERT OR HORIZ. NAIL W/6" COOLER OR WALLBOARD NAILS @ 7" OC W/ END JOINTS O' NAILING MEMBERS. STAGGER JOINTS EA. SIDE.

ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM WALL BOARD EXCEPT OTHERWISE NOTED.

GYPSUM WALL BOARD SHALL BE INSTALLED PER CURRENT U.B.C.

INSTALL 5/8" TYPE "X" GYP. BD. ON WALLS AND CEILING @ USABLE UNDER STAIR CLOSET, WHERE APPLICABLE.

WALL COVERING SHALL BE CEMENT BACKER BOARD, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.

PROVIDE WATER RESISTANT GYP. BD. ON ALL "WET" AREAS.

OPENINGS AROUND GAS VENTS, DUCTS & PIPING @ EACH FLOOR SHALL BE FIRE STOPPED

ALL DUCTS IN GARAGE THAT PASS THRU LIVING/GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER

PROVIDE FIRE STOPS IN OPENINGS @ FLOOR CEILINGS OF ALL FIREPLACES

FIREPLACE INSTALLATION AND USE SHALL BE IN ACCORDANCE WITH THEIR LISTING & LOCAL CODES.

DRAFTSTOPPING SHALL BE INSTALLED IN ALL ATTIC SPACES AND CONCEALED ROOF SPACES SUCH THAT NO HORIZONTAL AREA EXCEEDS 3,000 S.F.

PROVIDE 1 3/8" THICK SOLID CORE DOOR W/ CLOSER FROM GARAGE TO RESIDENCE.

EXTERIOR DOORS SHALL BE 1-3/4" THICK SOLID CORE. EXCEPTIONS: EXTERIOR DOORS 1-3/4" THICK WITH SOLID WOOD PANELS NOT LESS THAN 9/16" THICK ARE A SATISFACTORY ALTERNATIVE TO A SOLID CORE DOORS.

VENTILATING OPENINGS SHALL BE COVERED WITH METAL MESH WITH MAX. 1/4" OPENINGS.

F.A.U. & WATER HEATER INSTALLED ON 18" HIGH WOOD PLATFORM W/ 1 1/8" PLYWOOD TOP SURFACE.

INSTALL SEISMIC STRAP ON ALL WATER HEATERS WATER HEATERS AND FURNACES TO BE CEC CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE STRAPS TO BE INSTALLED AT POINTS WITHIN UPPER 1/3 AND LOWER 1/3 OF IT'S VERTICAL DIMENSIONS. AT LOWER POINT, A 4" CLEARANCE SHALL BE MAINTAINED ABOVE CONTROLS, WHEN LOCATED IN GARAGE. SEE DETAIL SHEET EM

WINDOWS MARKED AS "EGRESS" MUST MEET U.B.C. MINIMUM REQUIREMENTS OF MAX 44" HIGH SILL & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 SQ. FEET

CRAWL SPACE ACCESS TO BE 18" X 24" MIN.

ATTIC ACCESS TO BE 30" X 22" MIN.

INTERIOR HANDRAILS & GUARDRAILS TO BE WOOD. EXTERIOR HANDRAILS & GUARDRAILS TO BE W.I. UNLESS OTHERWISE NOTED.

ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOOR, GLASS SUBJECT TO HUMAN IMPACT, ETC SHALL BE SAFETY TEMPERED

PROVIDE 2 X SOLID BACKING FOR RAILINGS, CABINETS, SHELVING, ACCESSORIES, ETC. AS NEEDED.

EXTERIOR STUDIWALLS TO BE 2 X 4 STUDS 16" O.C. W/ BATT INSULATION. (UNLESS OTHER WISE NOTED - CHECK FLOORPLANS.)

WINDOWS AND DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIERS AND OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (J.N.O.)

INSTALL ALL WINDOWS AND DOOR AS PER MANUF. SPECIFICATIONS ATTICS WITH A VERTICAL HEIGHT OF 30" OR MORE REQUIRES ACCESS.

ALL ATTICS ACCESS ARE A 1/2" PLYWOOD PANEL FINISHED WITH A GRADE SIDE TO THE OCCUPIED SPACE. PAINT TO MATCH THE CEILING TO THE PLY WOOD PANEL.

ATTIC FURNACE: MINIMUM OF 5' IN HEIGHT OF CLEAR SPACE. A CONTINUOUS ACCESSIBLE OPENING AND PASSAGEWAY WITH A MIN. OF 22" X 30" IN SIZE OR AS LARGER AS THE SMALLEST PIECE OF EQUIPMENT. MAX. 20 FEET TRAVEL PATH AND 24" WIDE W/ SOLID FLOOR PASSAGEWAY. MIN. 30" X 30" WORKING PLATFORM IN FRONT OF THE ENTIRE FIREBOX. A PERMANENT ELECTRICAL OUTLET AND LIGHTING FIXTURE. SEE DETAIL SHEET EM

ACCESSIBLE UNDER-FLOOR AREA SHALL BE PROVIDED WITH A MIN. 18" X 24" OPENING. UNDER-FLOOR AREA SHALL BE VENTILATED BY OPENINGS OF A NET AREA OF NOT LESS THAN 1/150 OF UNDER-FLOOR AREA. VENTILATED OPENINGS SHALL BE PROTECTED BY METAL MESH WITH A 1/4" MAX. OPENING.

CONTRACTOR SHALL PROVIDE GALVANIZED SHEET METAL PAN UNDER ALL CLOTHES WASHER. WHEN LOCATED ON AN UPPER FLOOR.

ALL DIMENSIONS ARE TO THE FACE OF STUDS.

FLASH ALL EXTERIOR OPENINGS WITH SHEET METAL TO EXTEND 6" UNDER BUILDING PAPER BEHIND WALL OPENING.

CABINET MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR CONTRACTOR, OWNER, OR HIS AGENT'S APPROVAL FOR ALL CABINET SIZES AND FINISHES, MATERIAL ETC.. SHOP DRAWING SUPERCEDE ALL INTERIOR ELEVATIONS.

MINIMUM 26 GAGE IN THICKNESS FOR ALL AIRDUCTS PASSING THRU THE WALL TO THE GARAGE.

LANDINGS SHALL HAVE A WIDTH NOT LESS THAN A WIDTH OF THE DOOR OR A STAIRWAY.

STAIRWAYS: 36" MINIMUM WIDTH, 7 3/4" MAX. RISE, 10" MIN. RUN AND 6'-8" MIN. HEAD ROOM

TOILETS TO HAVE MIN. 30" WIDE X 24" DEEP CLEARANCE.

PROVIDE WALL CLEAN-OUT FOR ALL SINKS

CEILING HEIGHT OF ALL ROOMS TO INCLUDE FLOOR FINISH.

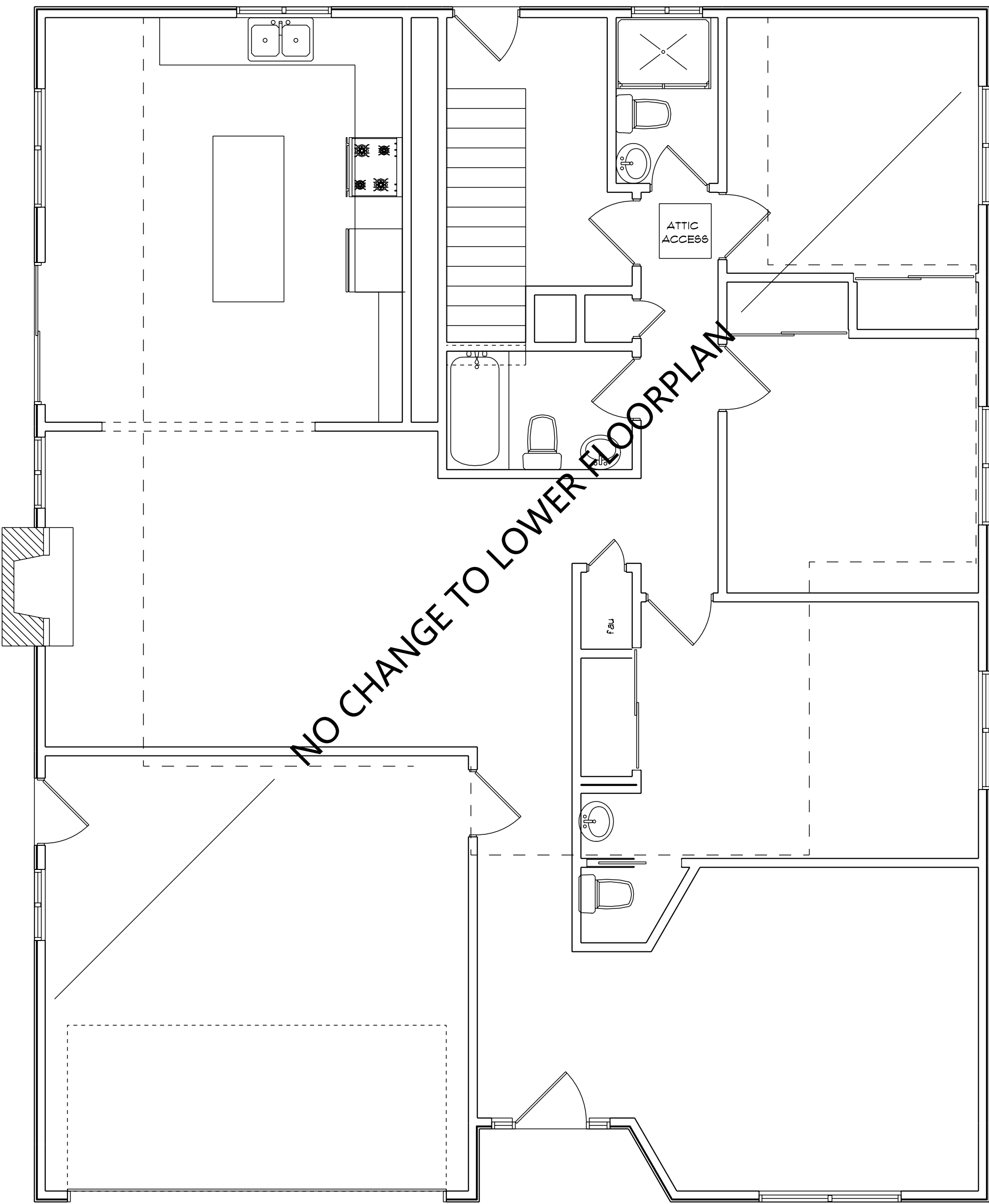
PROVIDE COMBUSTION AIR FOR SOLID FUEL BURNING APPLIANCES

REQUIRED EGRESS DOOR THRESHOLDS MAY BE 1.5" IN HEIGHT
MAX; OTHER DOORS MAY HAVE A THRESHOLD OF 1.75"
REGARDLESS OF DOOR SWING. C.R.C. R311.31

1. Comply with all applicable requirements of the Sunnyvale Municipal Code (SMC), California Fire Code (CFC), Title 19 California Code of Regulations, and Sunnyvale Fire Prevention procedures/requirements.
2. Basements and sleeping rooms below the fourth story above grade plane shall have at least one exterior emergency escape and rescue opening (escape window) in accordance with CFC Section 1029. (CFC 1029)
3. Landscaping and location of sleeping rooms relative to property lines shall be located so as to provide approved ladder access to each sleeping room.
4. Approved ladder access consists of a maximum 70 degree climbing angle, at least 3 feet of clear space behind the base of the ladder to allow access and approved concrete or gravel ladder pads having a minimum dimension of 3' x 6' and positioned so that the 6' length is perpendicular to the structure.

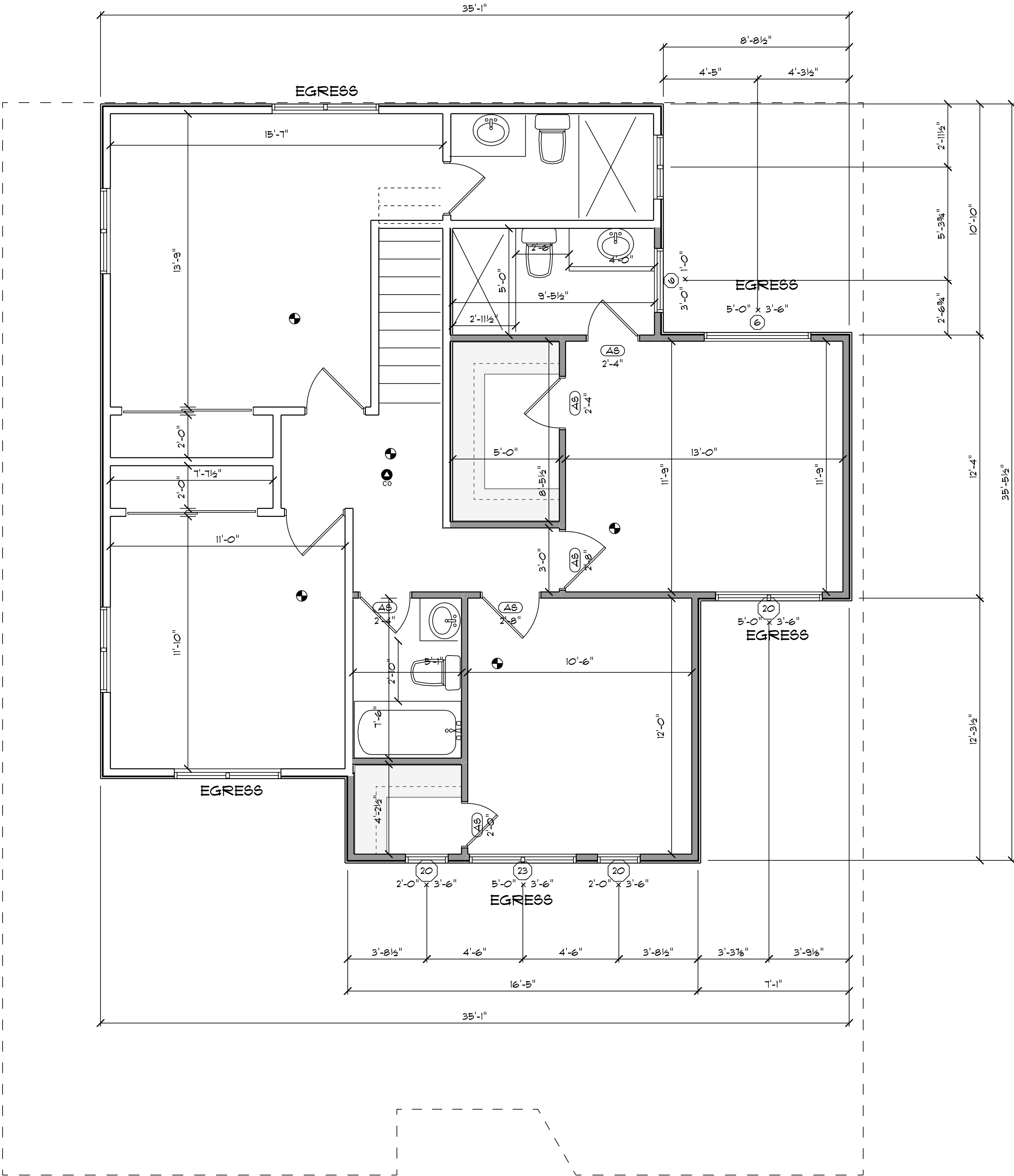
LEGEND

EXISTING WALLS
NEW WALLS



NEW LOWER

SCALE: 1/4" = 1'-0"



NEW UPPER

SCALE: 1/4" = 1'-0"

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Megan Miner

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A Project for:
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3 / 9
NEW FLOOR PLAN

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EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



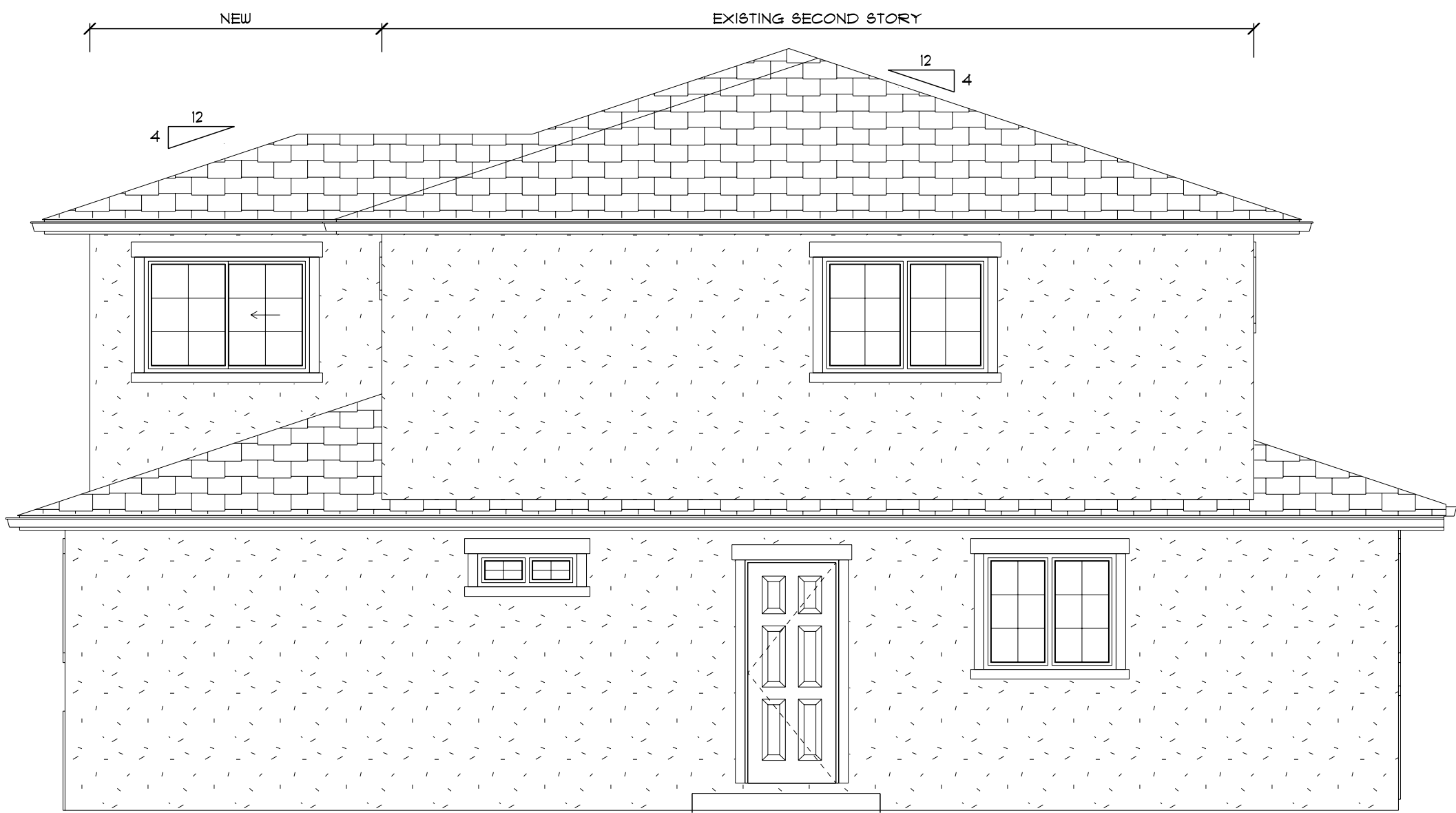
EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

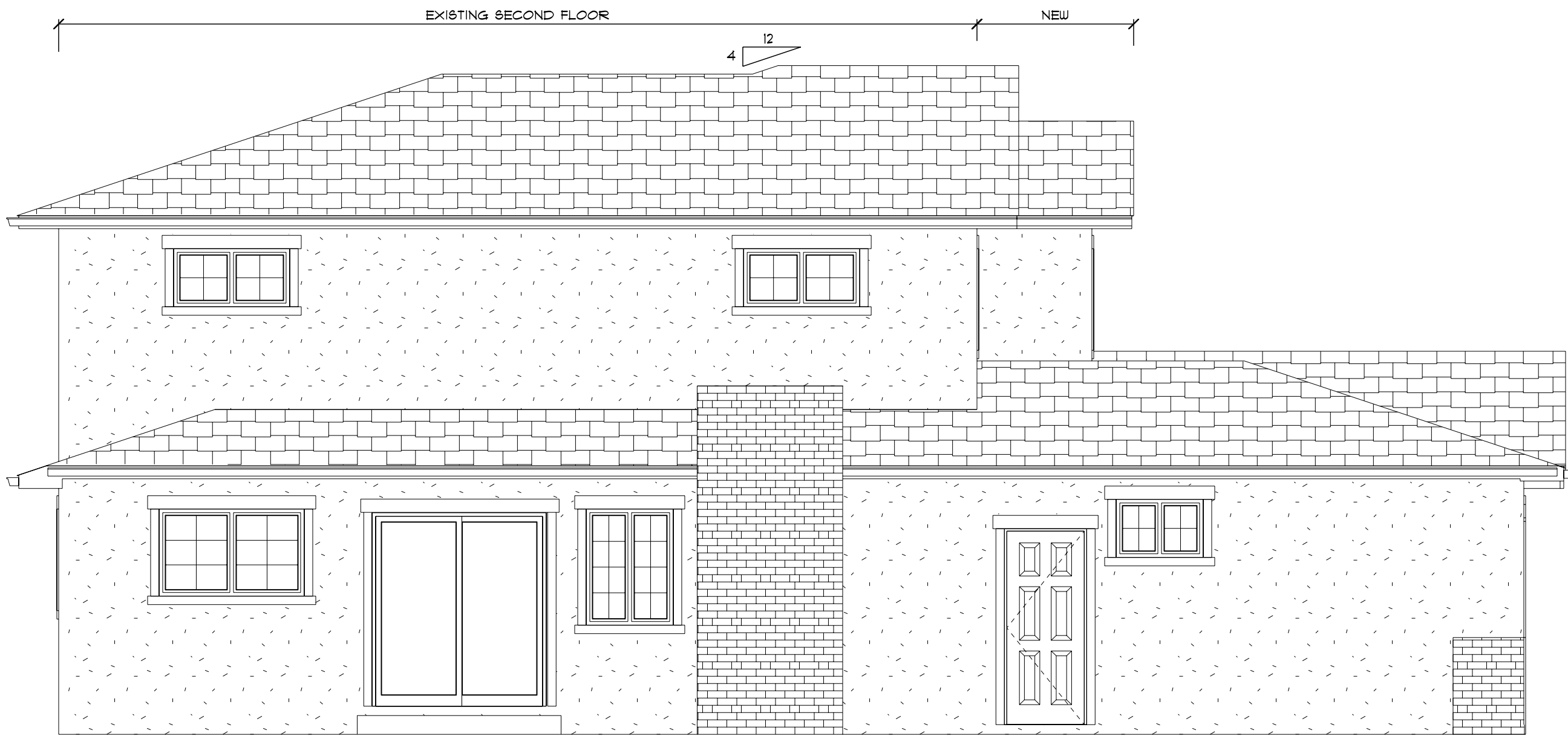


EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



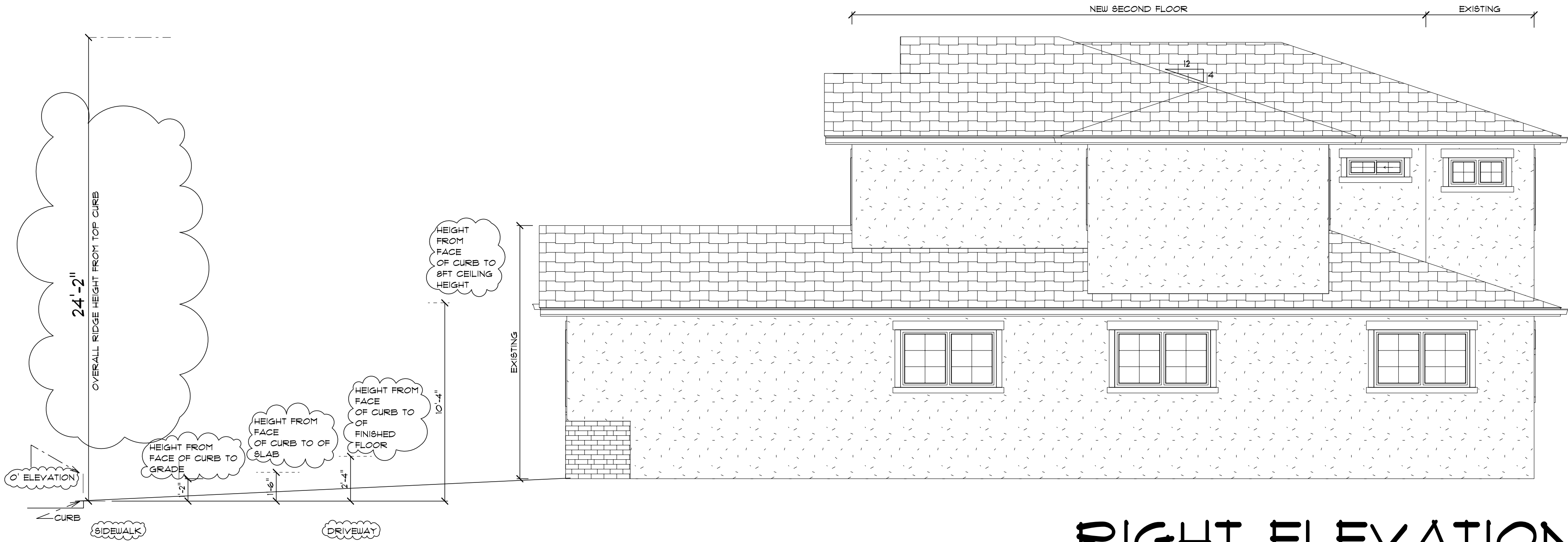
REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

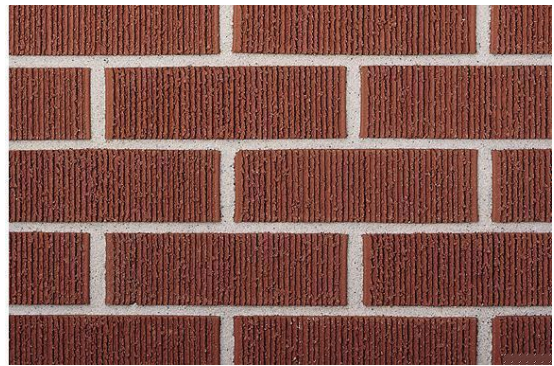
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- Stucco shall be 7/8" thick and three coat applied over approved wire lath and two layers of grade D building paper. Provide weep screed (CBC 2510.6/CRC R703.6)
- Siding shall be applied over one layer grade D building paper. (CBC 1404.2/CRC R703.2)
- Provide a spark arrestor for any new or existing chimney. (CBC 2113.9.1/CRC 1003.9.1)
- Roof Slopes > 2:12 and < 4:12 with asphalt shingles shall have two layers of 15 lbs. felt applied shingle style. (CRC 1507.2.2/CRC 905.2.2)
- Provide all under-floor areas with cross ventilation at 1/150 for the entire area with one vent within 3' of each corner. Screens over the openings shall have 1/8" to 1/4" openings. (CBC 123/CRC R408)
- Attic areas shall have cross ventilation at 1/150 for the entire area with 50% of the required vent area to be ventilators located a minimum of 3' above eave or cornice vents. Screens over the openings shall have 1/8" to 1/4" openings. (CBC 1203/ CRC R806)
- Provide attic access (20"x30") and under-floor access (18"x24") for new areas. (CBC 1209/ CRC R408.4)
- Provide under floor clearance of 18" from joists to earth and 12" clearance from girders to earth. (CBC 2304.11.2.1/ CRC R317.1)



GRAND SEQUOIA SHINGLES - CEDAR



BELDEN - RED BRICK 141-145



BENJAMIN MOORE - CONCORD IVORY



BENJAMIN MOORE - SIMPLY WHITE



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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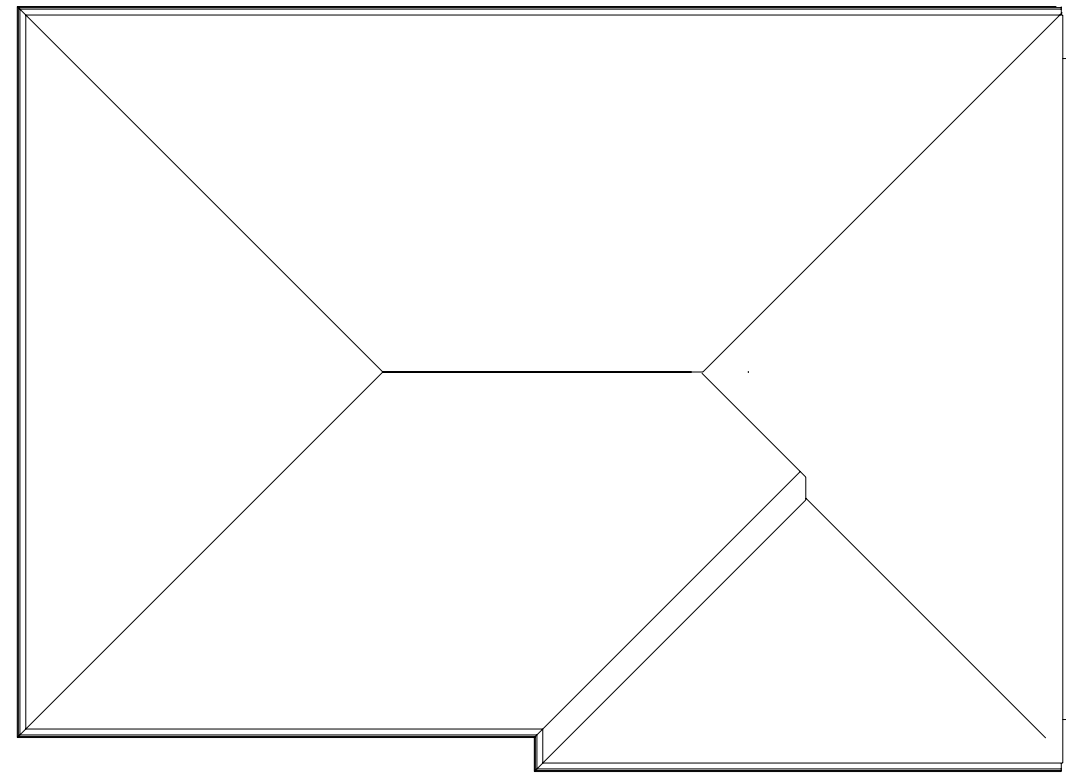
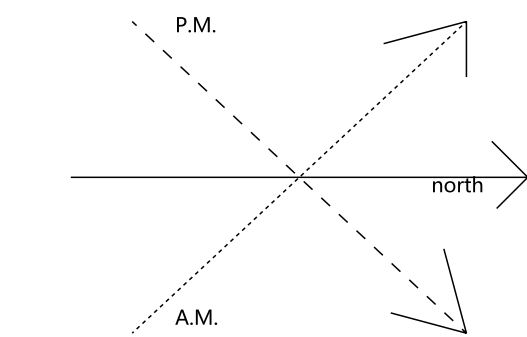
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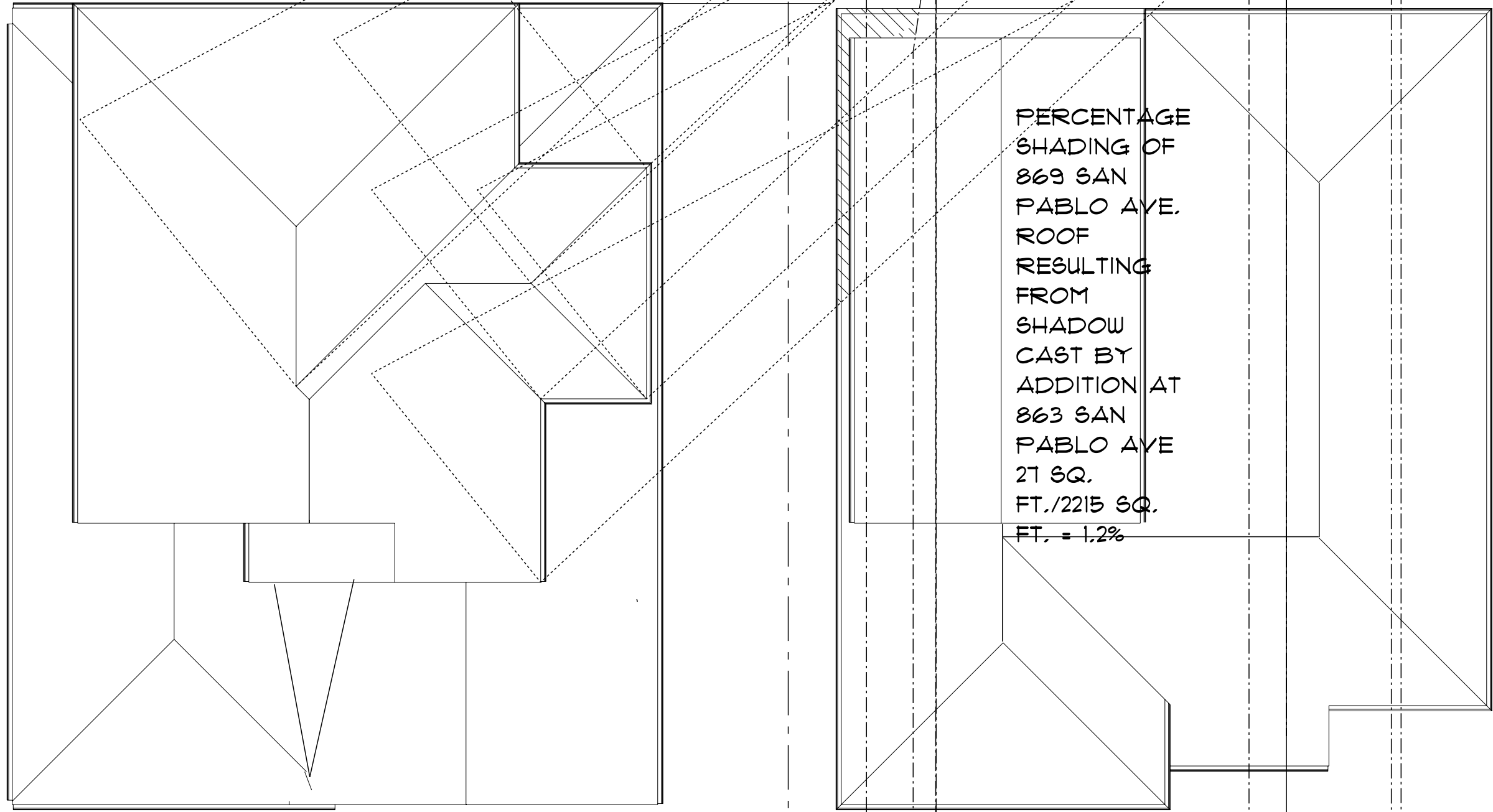
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6 / 9

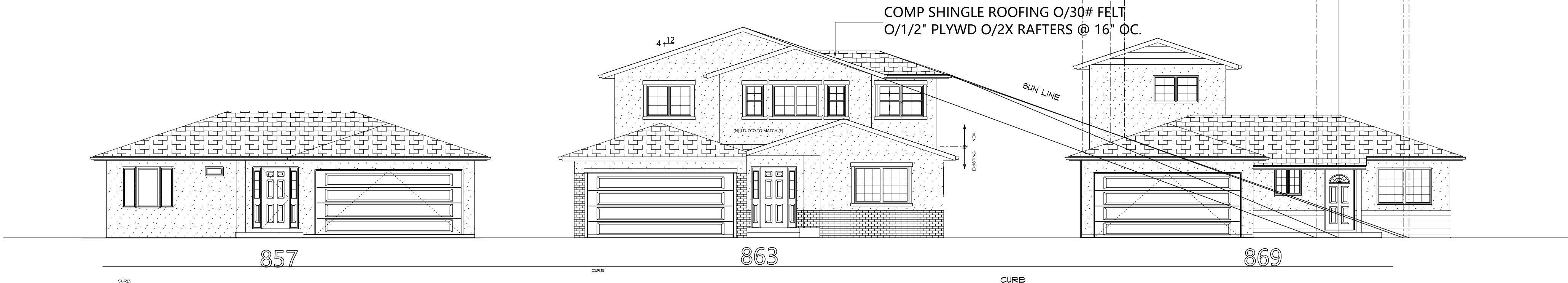


1/8" ROOF PLAN - 863 SAN PABLO AVE



1/8" ROOF PLAN - 869 SAN PABLO AVE

PERCENTAGE
SHADING OF
869 SAN
PABLO AVE.
ROOF
RESULTING
FROM
SHADOW
CAST BY
ADDITION AT
863 SAN
PABLO AVE
2T SQ.
FT. / 2215 SQ.
FT. = 1.2%



SAN PABLO AVE.

MORNING SOLAR STUDY

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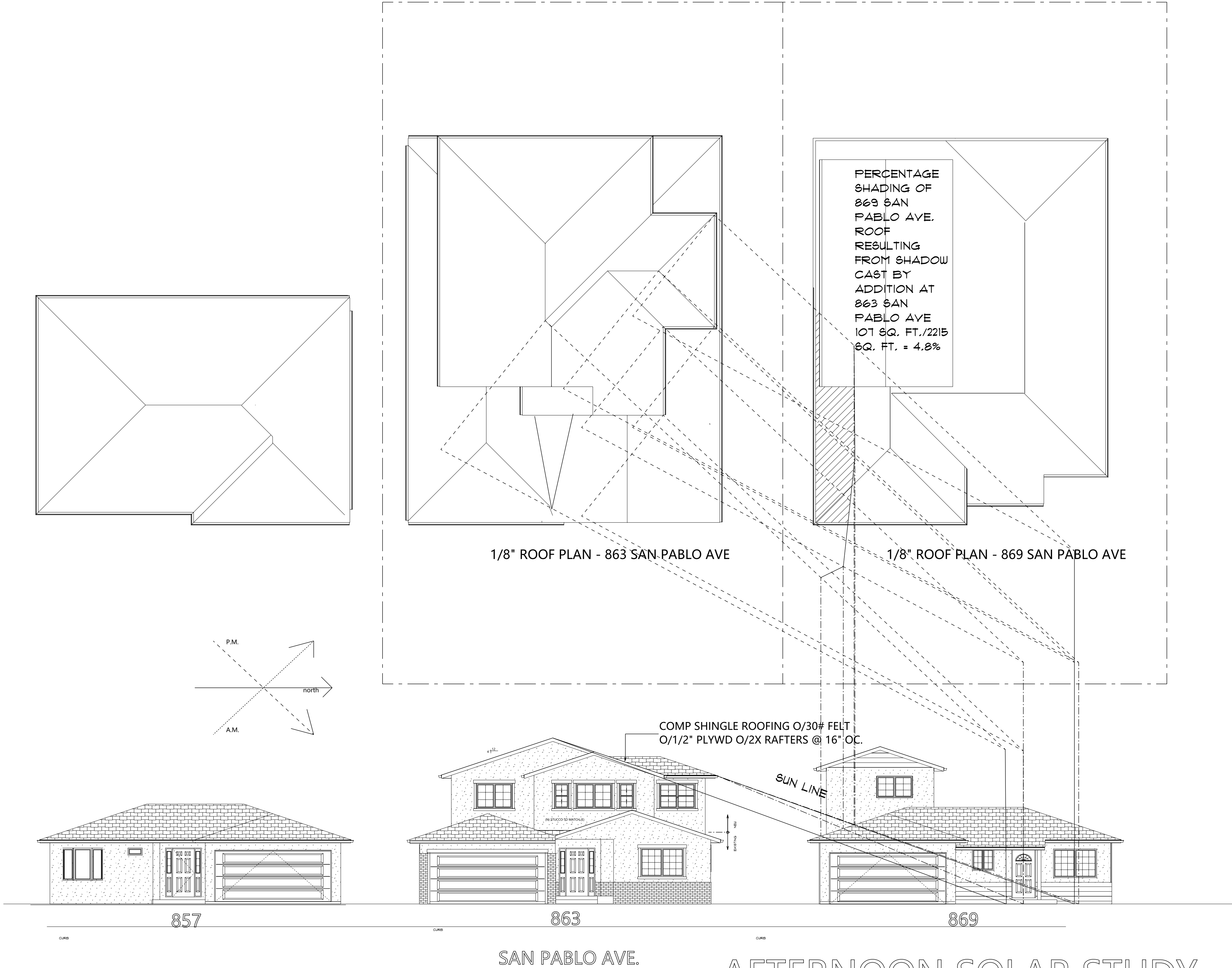
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AFTERNOON SOLAR STUDY



SAN PABLO AVE.

STREET SCAPE

SCALE: 3/16" = 1'-0"

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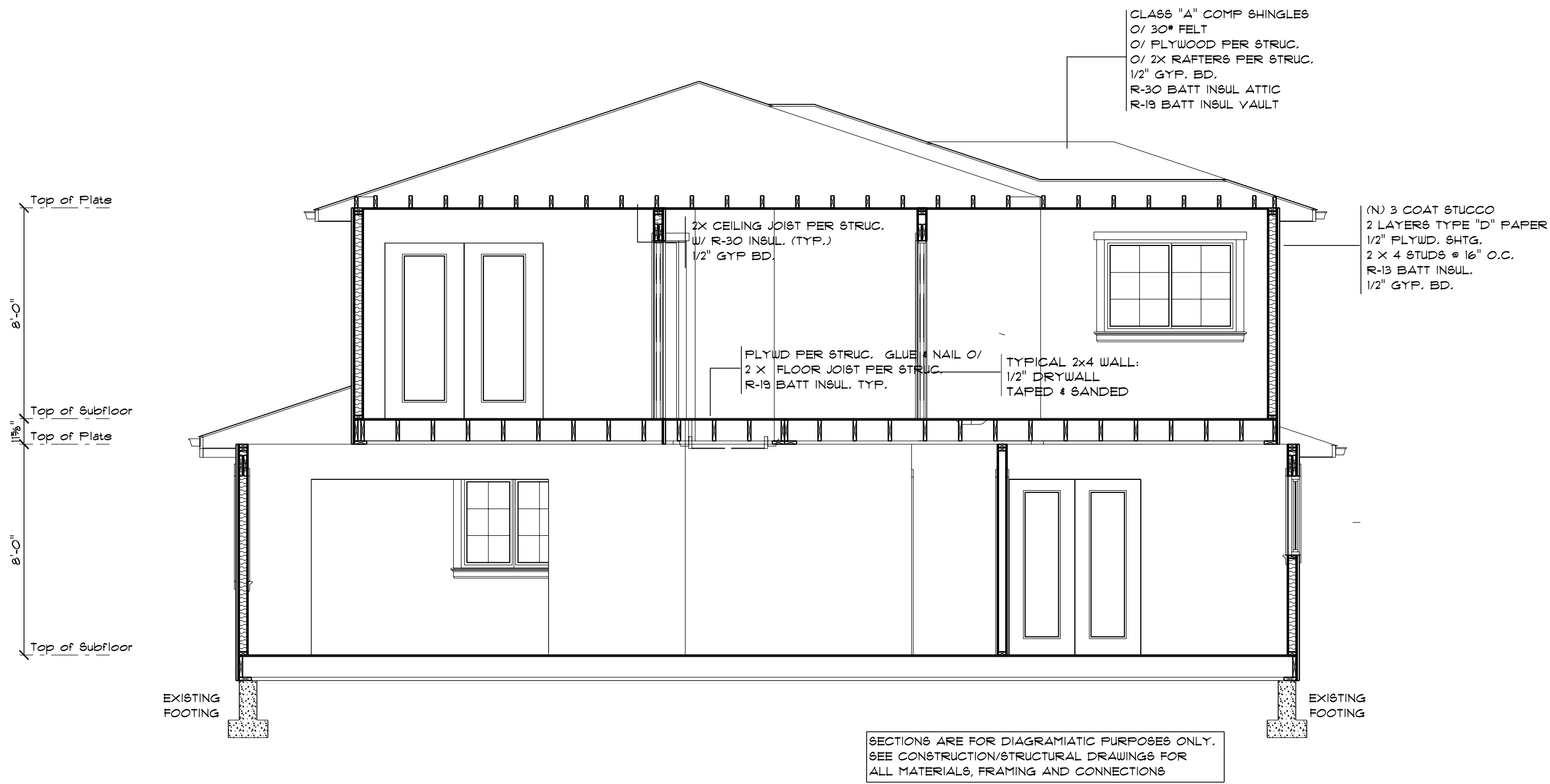
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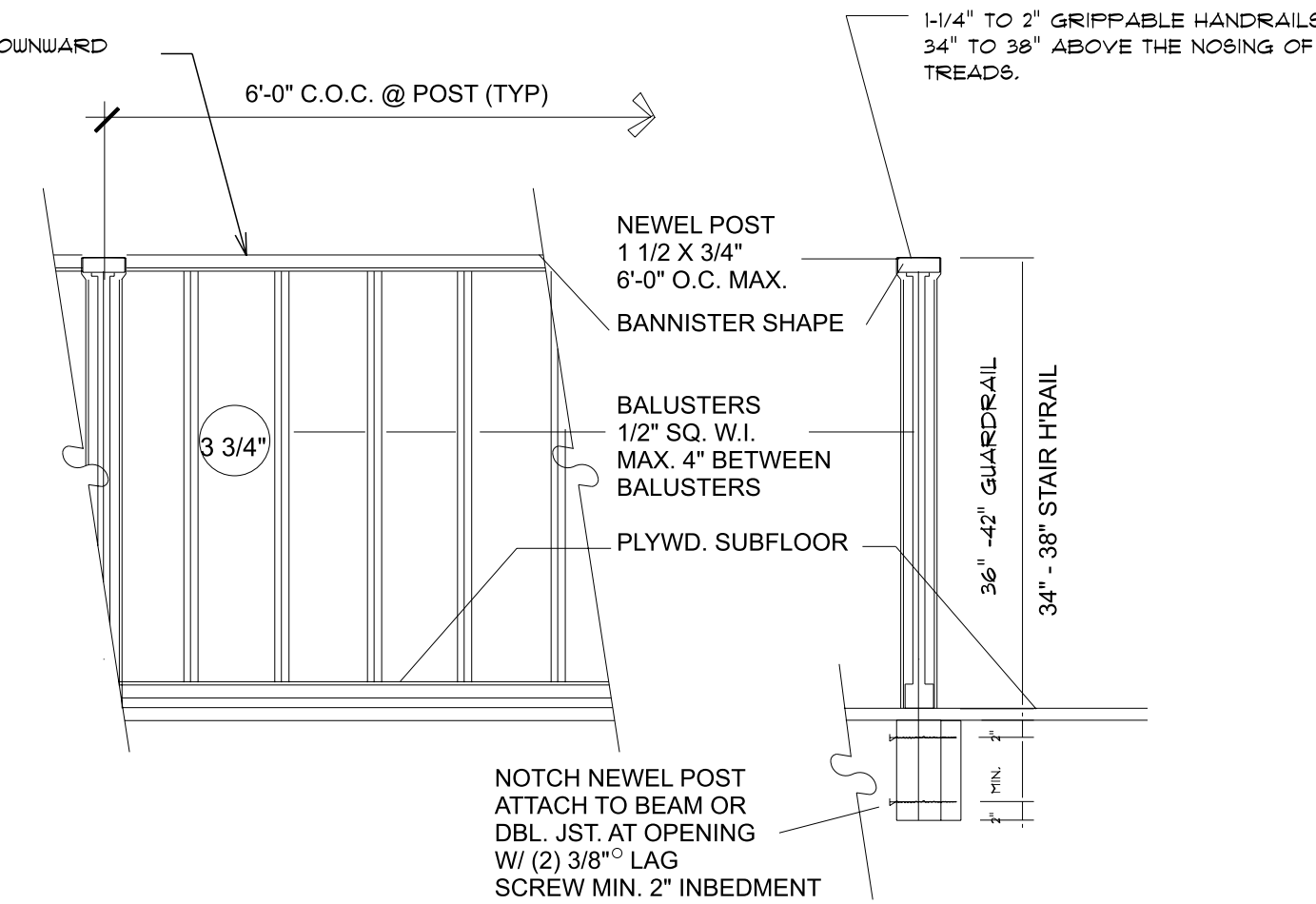
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Monday, June 25, 2018
SCALE
AS SHOWN
JOB NO.



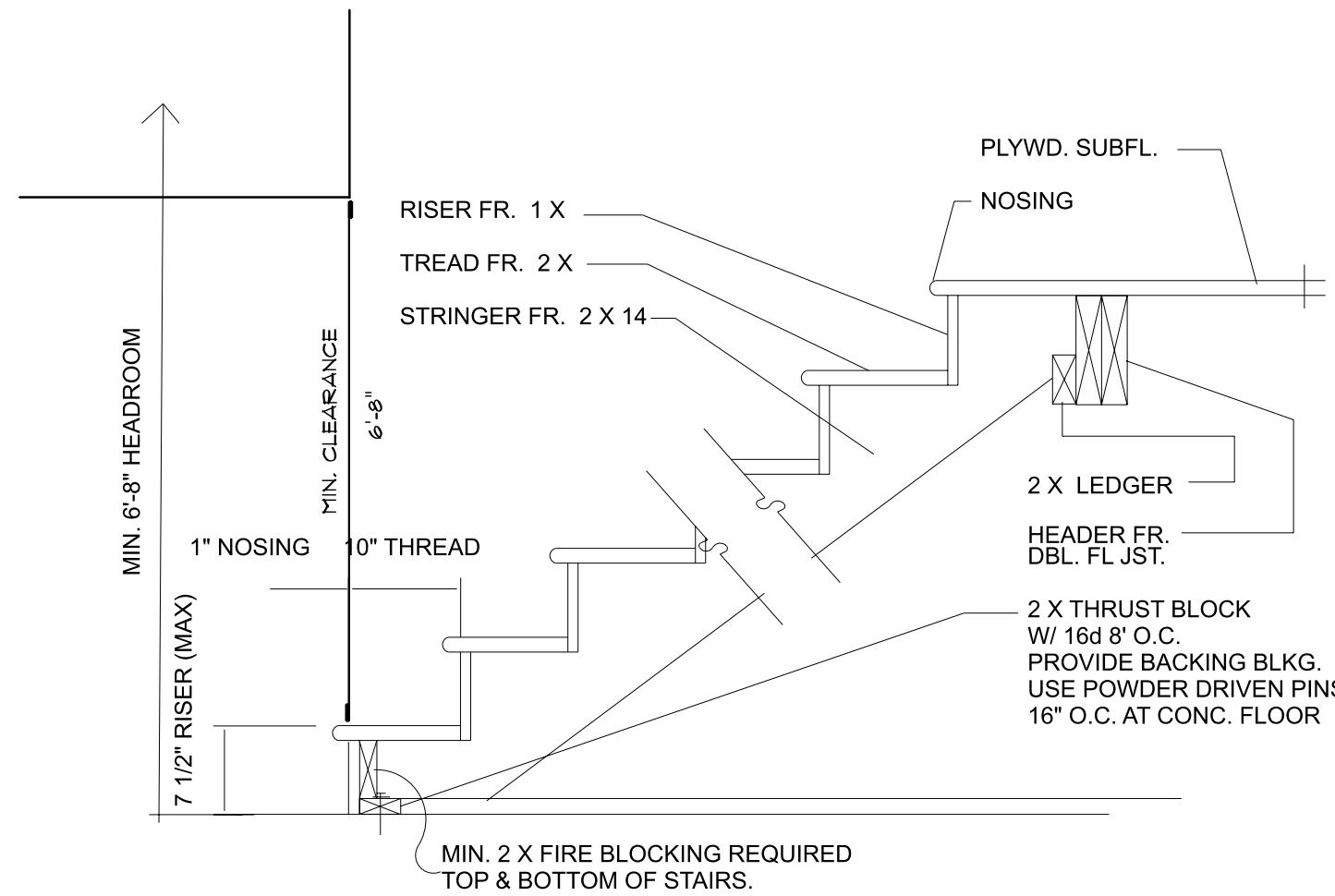
CROSS SECTION A

SCALE: 1/4" = 1'-0"

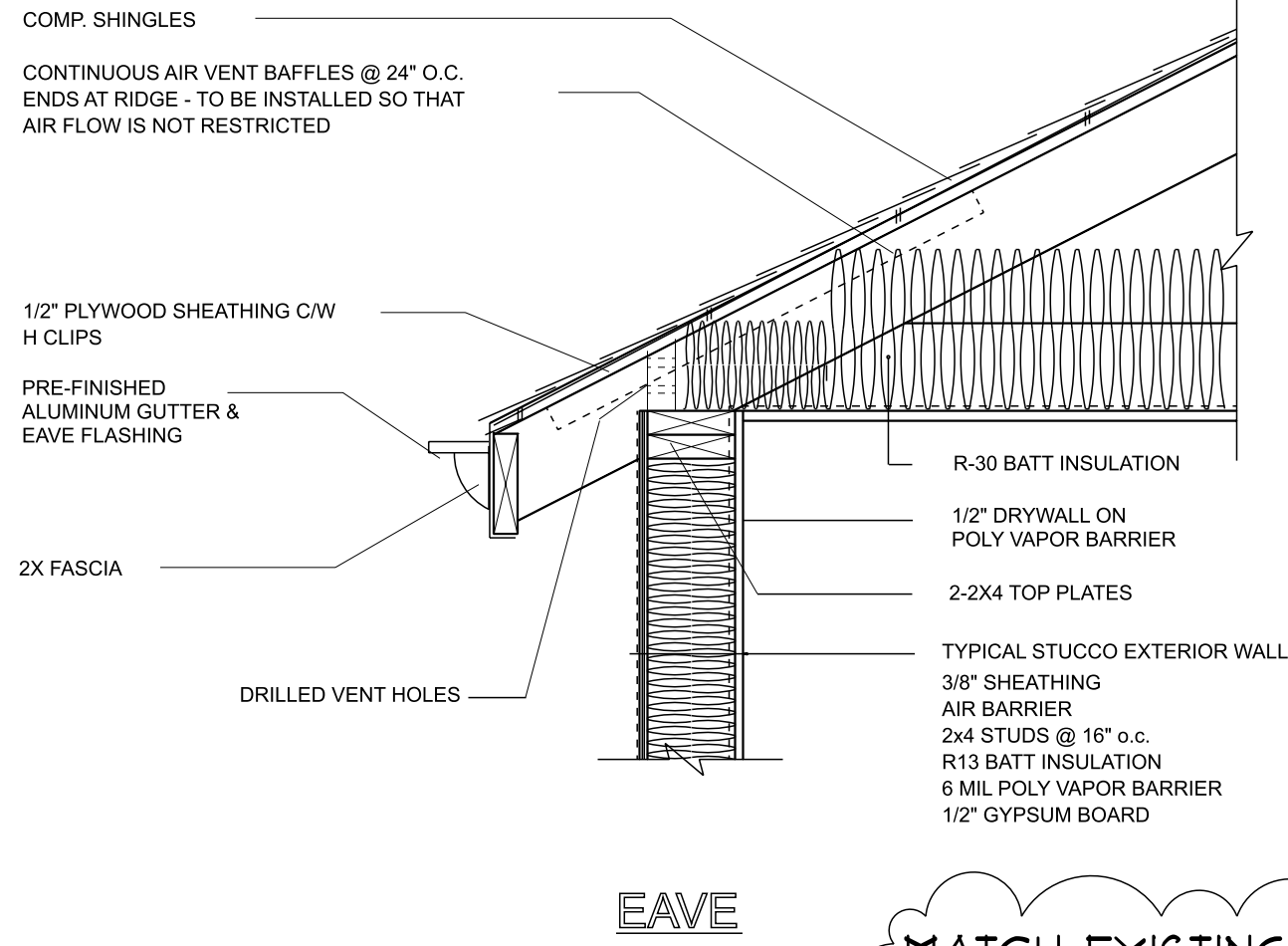
HANDRAIL & GUARDRAIL
TO BE DESIGNED FOR A
LIVE LOAD OF 30 POUNDS/
LINEAR FOOT APPLIED
EITHER HORIZ. OR VERT. DOWNWARD
AT TOP RAIL



GUARDRAIL BALUSTRADE



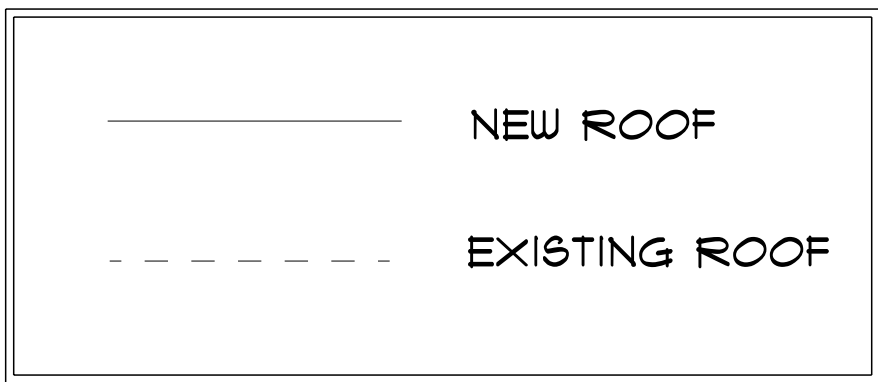
STAIR DETAIL



MATCH EXISTING COMP. SHINGLES - CLASS A
MATCH IN COLOR AND STYLE

BUILT-UP ROOF, CLASS "A"

- 1) 28 LB BASE PLY, ATTACHED MECHANICALLY 9" OC EDGES, AND 18" OC FIELD.
 - 2) INNER PLIES, 11 LB. FELT W/ MIN. 25 LB. MOPPING, 18 LB. MINERAL SURFACE CAP SHEET.
- MIN. SLOPE AT BUILT-UP ROOF: 1/2" PER FOOT.
(WATER TO DRAIN ONTO SLOPED ROOF.)



ROOF PLAN NOTES

ROOFING:
CLASS "A" COMPOSITION SHINGLES,
COLOR TO BE SELECTED BY OWNER.
OVER 30 LB. ROOFING
FELT. INSTALL PER MANUF.
SPECS.

BUILT-UP ROOF, CLASS "A"

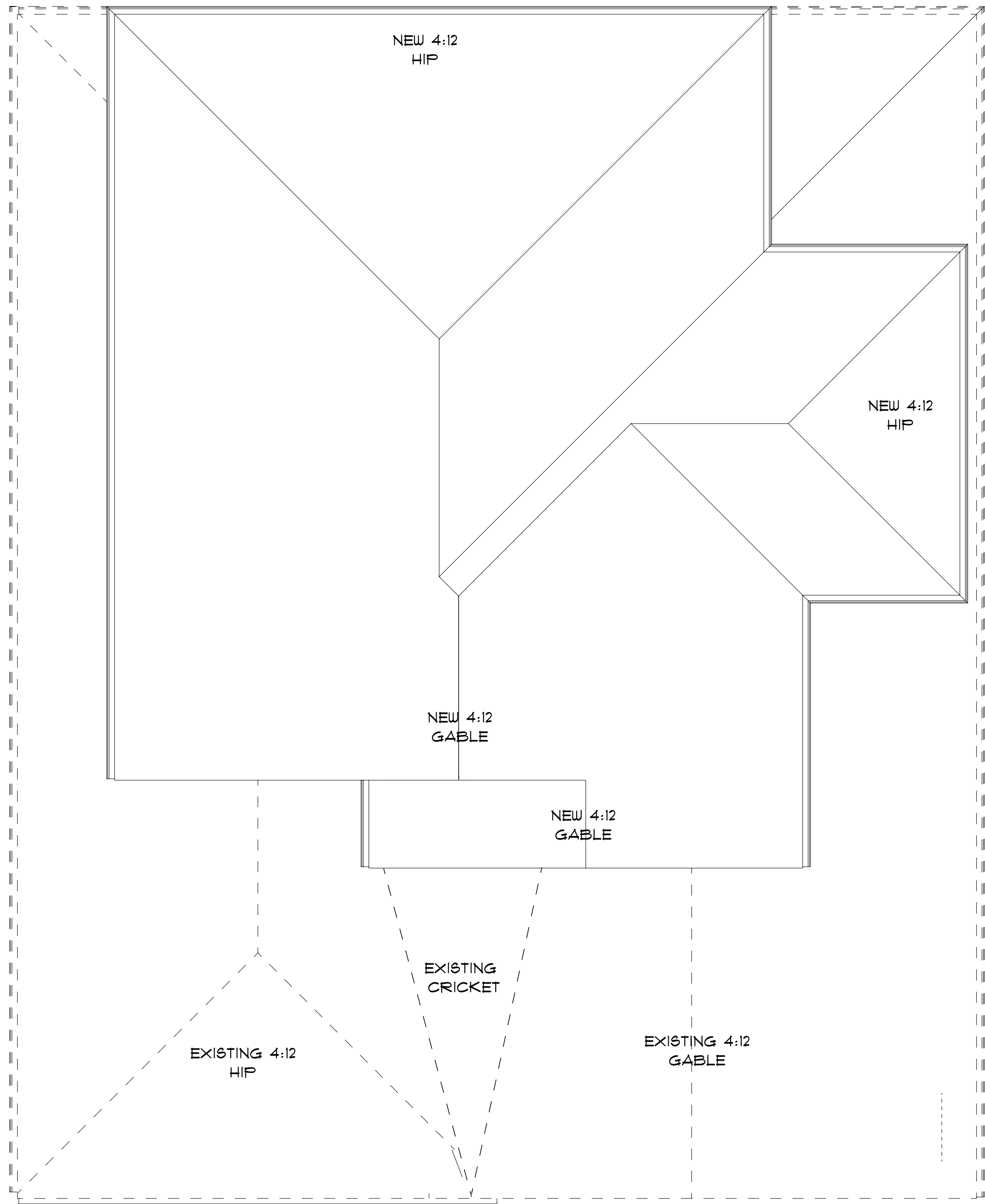
28 LB BASE PLY, ATTACHED
MECHANICALLY 9" OC EDGES,
AND 18" OC FIELD. INNER PLIES,
11 LB. FELT W/ MIN. 25 LB. MOPPING.
18 LB. MINERAL SURFACE CAP SHEET.

FLASHING & COUNTERFLASHING:
26 GAUGE STEEL, U.O.N., AS
REQUIRED AT JUNCTURE OF
ROOF AND VERTICAL SURFACES.
SEE SHEET METAL NOTES ON
SHEET 8P.

VALLEY FLASHING:
26 GAUGE GALV. STEEL OVER
18 LB. FELT. CRICKETS SIMILAR.

DOWNSPOUTS:
2 1/4" DIA ROUND GALV.
STEEL DOWN SPOUTS. PROVIDE
BASKET STRAINER ADN SPLASH-
BLOCK AT EACH DOWNSPOUT.

GUTTERS:
5" GALV. STEEL GUTTER



ROOF PLAN

SCALE: 1/4" = 1'-0"

REVISIONS	BY
Monday, June 25, 2018	

THE PLANS, IDEAS AND DESIGNS SHOWN
ON THESE DRAWINGS ARE THE PROPERTY
OF THE DESIGNER. DESIGNED SOLEY FOR
THIS PROJECT. PLANS SHALL NOT BE
USED, WHOLE OR IN PART, FOR ANY
OTHER PURPOSE WITHOUT THE WRITTEN
PERMISSION MEGAN MINER DESIGN.

Megan Miner

Megan Miner Design
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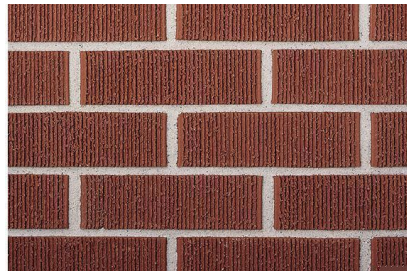
A Project for:
JAGAIT RESIDENCE
863 SAN PABLO AVE. SUNNYVALE, CA 94085

DRAWN	MM
CHECKED	MM
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PAGE:
9/9
SECTIONS & ROOF PLAN



GRAND
SEQUOIA
SHINGLES -
CEDAR



BELDEN -
RED
BRICK
141-145



BENJAMIN
MOORE -
CONCORD
IVORY



BENJAMIN
MOORE -
SIMPLY
WHITE

863 SAN PABLO AVE.