



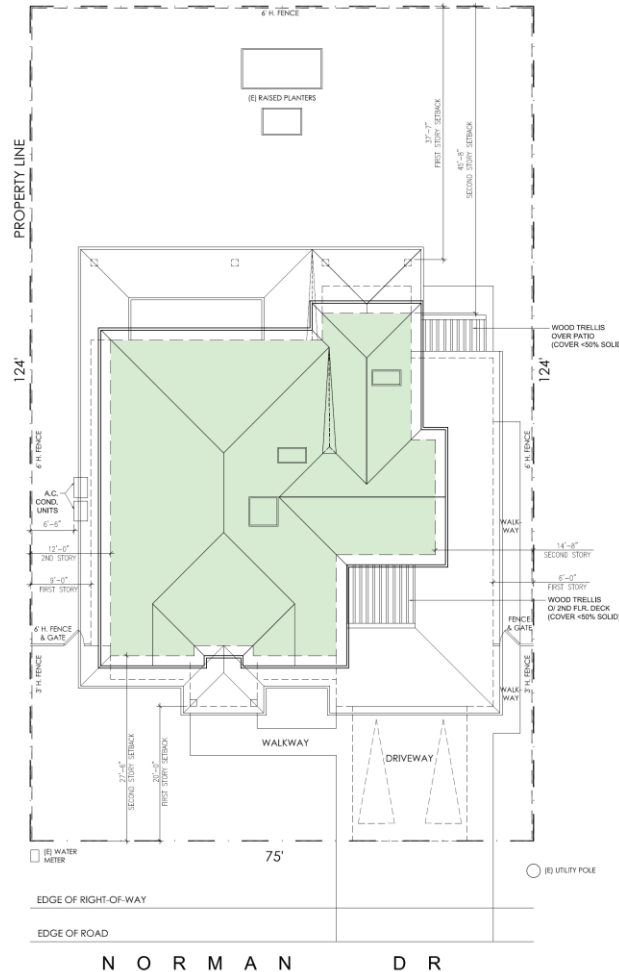
Sunnyvale

1441 Norman Drive
2018-7190

Project Planner: Teresa Zarrin
Planning Commission, July 23, 2018

Background

Lot Conditions and Project Proposal



- Zoning: R-1
- Lot Area: 9,300 s. f.
- Gross Floor: 5,480 s. f.
- FAR: 59% with ADU, 51% without ADU
- Lot Coverage: 39.6%
- Height: 2-stories
Approx. 28'

Architectural Rendering



1441 NORMAN DRIVE - SUNNYVALE

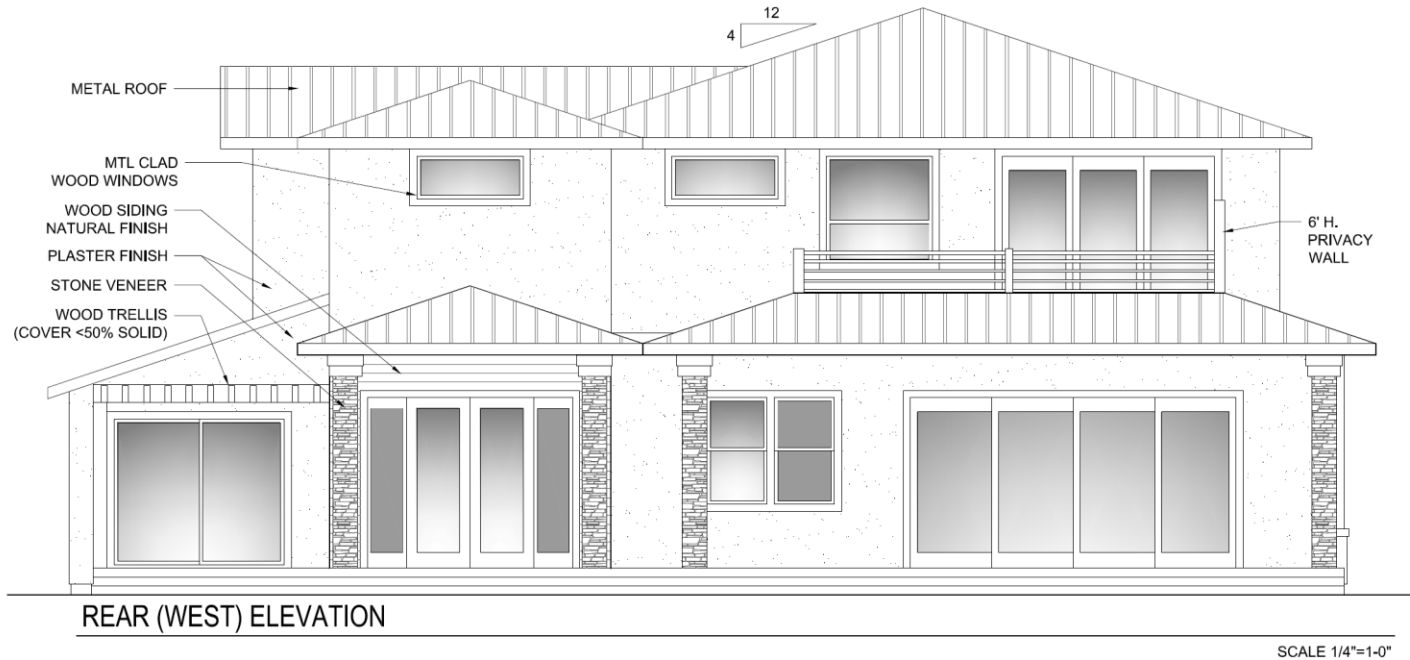
Streetscape Elevation



Generous combined side yard setbacks of almost 27 ft. when 21 ft. is required help protect the neighbors' privacy.

The proposed architectural style, a well-articulated building façade, and a variety of high quality materials will enhance the streetscape and help in minimizing the visual impact of the proposed project.

Rear Elevation



The rear windows are setback:

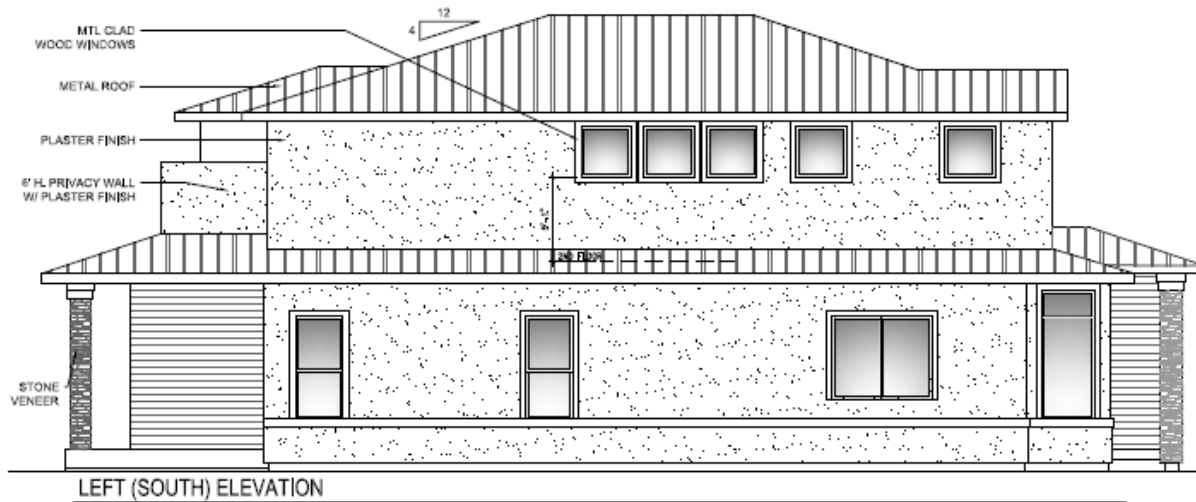
- 46' from the rear property line, and
- 72' from the rear yard neighbor

Balcony is 43' from the rear property line

Side Elevations



High-sill windows on all side yard windows



6 ft. privacy screen on left side of rear balcony

Recommendation

Alternatives

1. Approve the Design Review with the Conditions of Approval in Attachment 7.
2. Approve the Design Review with modified conditions.
3. Deny the Design Review and provide direction to staff and the applicant where changes should be made.

Staff Recommendation

Alternative 1: Approve the Design Review with the Conditions of Approval in Attachment 7.