

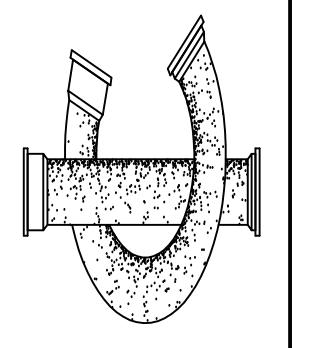
Revisions	By

A SIX UNIT DEVELOPMENT FOR: GEORGE NEJAT



669-673 OLD SAN FRANCISCO ROAD
SUNNYVALE, CA 94086

INNOVATIVE CONCEPTS
PROFESSIONAL BUILDING DESIGN AND PLANNING
3550 Stevens Creek Blvd, Suite 225
San Jose, CA 95117
Phone: (408) 985-1078 Fax: (408) 985-1343
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A Major Use Permit/ Special Development Permit for:
George Nejat
669 & 673 Old San Francisco Road
Sunnyvale, CA 94086

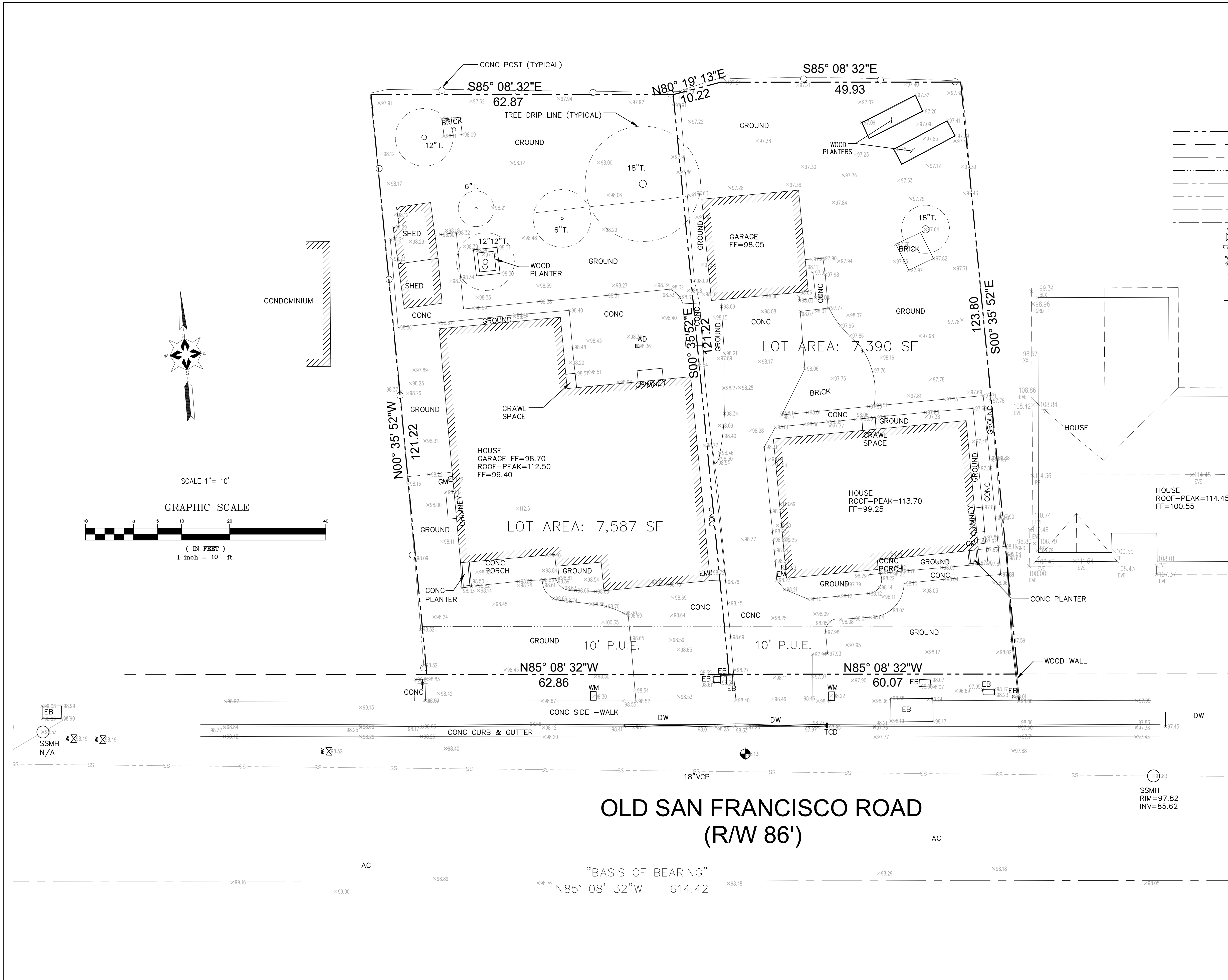
Date	05/08/2016
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A SIX UNIT DEVELOPMENT FOR:
GEORGE NEJAT
 669-673 OLD SAN FRANCISCO ROAD
 SUNNYVALE, CA 94086

COLOR PALETTE



- 1  STANDARD WEIGHT
CONCRETE TILE ROOF
BY BORAL ROOFING
STYLE: SAXONY 900 SLATE
COLOR: CHARCOAL BROWN BLEND
- 2  WOOD CAP RAILING
COLOR: SANTANA SOUL
BY KELLY MOORE
- 3  VINYL WINDOWS
BY MILGARD
STYLE MONTECITO SERIES
COLOR: CLASSIC BROWN
- 4  JELD-WEN ENTRY DOOR
STYLE: CRAFTSMAN 3 - LITE PRE-HUNG
COLOR: MESA RED GLOSS FINISH
- 5  GARAGE DOORS SECTION STEEL
BY CLOPAY
STYLE: NON INSULATED ALMOND GARAGE
DOOR WITH PLAIN WINDOW
COLOR: ALMOND
- 6  GLASS PANEL RAILING BY CRYSTALITE
ALUMINUM WITH BRONZE FINISH
- 7  GALVANIZED STEEL K-STYLE GUTTER
BROWN (AMERIMAX HOME PRODUCT)
BY KELLY MOORE
COLOR: SANTANA SOUL
- 8  STUCCO EXTERIOR
SAND FINISH
COLOR: SWISS COFFEE
BY KELLY MOORE
- 9  SIDING EXTERIOR
SMOOTH FINISH
COLOR: SPANISH SAND
BY KELLY MOORE
- 10  WOOD TRIM EXTERIOR
SMOOTH FINISH
COLOR: SANTANA SOUL
BY KELLY MOORE
- 11  STACKED STONE
BY ELDORADO STONE
STYLE: LIMESTONE
COLOR: SAN MARTIN



LEGEND:

---	PROPERTY LINE
---	EXISTING LOTS
---	CENTERLINE
---	EASEMENT LINE
---	SANITARY SEWER LINE
---	STORM DRAIN LINE
---	OVERHEAD POWER LINE
---	WOOD FENCE
---	WATER VALVE
---	JOINT POLE
---	FIRE HYDRANT
---	SITE BENCHMARK
---	SURVEY MONUMENT
---	STREET LAMP

ABBREVIATIONS:

AC	ASPHALT
AD	AREA DRAIN
ANC	ANCHOR
C&G	CURB AND GUTTER
CB	CATCH BASIN
CO	CLEAN OUT
DW	DRIVEWAY
EB	ELECTRIC BOX
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FH	FIRE HYDRANT
GA	GUY ANCHOR
GM	GAS METER
GV	GAS VALVE
TCD	THRU CURB DRAIN
P.U.E.	PUBLIC UTILITY EASEMENT
PP	POWER POLE
S.D.E.	STORM DRAINAGE EASEMENT
SDMH	STORM DRAINAGE MANHOLE
SSMH	SANITARY SEWER MANHOLE
VG	VALLEY GUTTER
WM	WATER METER

DISCLAIMER:

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NOTE:

THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:

FOUND SURVEY MONUMENTS ALONG THE RIGHT OF WAY OF OLD SAN FRANCISCO ROAD. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK:473 PAGE:18 WHICH IS FILED IN THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

REFERENCED BENCHMARK:

REFERENCED CITY OF SUNNYVALE B.M.# 9, EL: 92.481'; BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE SOUTHWEST CURB RETURN, INTERSECTION OF WOLFE ROAD AND OLD SAN FRANCISCO ROAD. NAVD88

SITE BENCHMARK:

SURVEY CONTROL SET MAG NAIL ELEVATION=98.12

NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. THE SURVEY WAS BASED ON A PRELIMINARY TITLE REPORT OR# 0611015879-SM BY OLD REPUBLIC TITLE CO. DATED SEPTEMBER 4, 2014, RECORDED IN SANTA CLARA COUNTY.
3. ALL EXISTING BUILDINGS ARE WOOD.
4. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
5. THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.

669 & 673 OLD SAN FRANCISCO ROAD.
SUNNYVALE, CA
APN: 209-17-051 & 050

SMP ENGINEERS
CIVIL ENGINEERS—LAND SURVEYORS
1534 Carob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755

Scale: 1" = 10'
Prepared by: J.N.
Checked by: S.R.
Date: 1/16/2015
Project No: 215001

TOPOGRAPHIC SURVEY MAP

Sheet No:

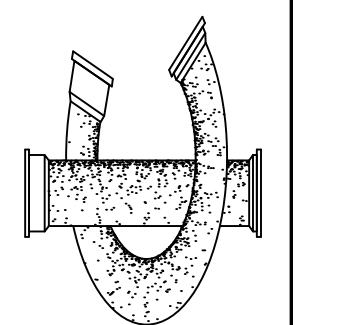
T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF SUNNYVALE

Revisions	By

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A Major Use Permit/ Special Development Permit for:
George Nejat
 669 & 673 Old San Francisco Road
 Sunnyvale, CA. 94086

Date	05/08/2018
Scale	
Drawn	
Job	
Sheet	

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 of Sheets



VICINITY MAP

INDEX OF PAGES

- STREETSCAPE
- MATERIAL BOARD
- TOPOGRAPHIC MAP
- SITE PLAN
- COVER SHEET / NOTES / DETAILS
- GRADING & DRAINAGE PLAN
- UTILITY PLAN
- STORM WATER & MANAGEMENT PLAN / NOTES
- STORM WATER & MANAGEMENT PLAN / DETAILS
- STORM WATER & MANAGEMENT PLAN / IMPERVIOUS SURFACE
- VESTING TENTATIVE MAP
- FIRE ACCESS PLAN
- PROPOSED FLOOR PLANS
- ROOF PLANS
- ELEVATIONS
- ELEVATIONS
- BUILDING SECTIONS
- SOLAR STUDY
- SOLAR STUDY
- LANDSCAPE PLANS

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- SHEET A1
- SHEET A2
- SHEET A3
- SHEET A4
- SHEET A5
- SHEET A6
- SHEET A7
- SHEET A8
- SHEET LI

PROJECT DESCRIPTION:

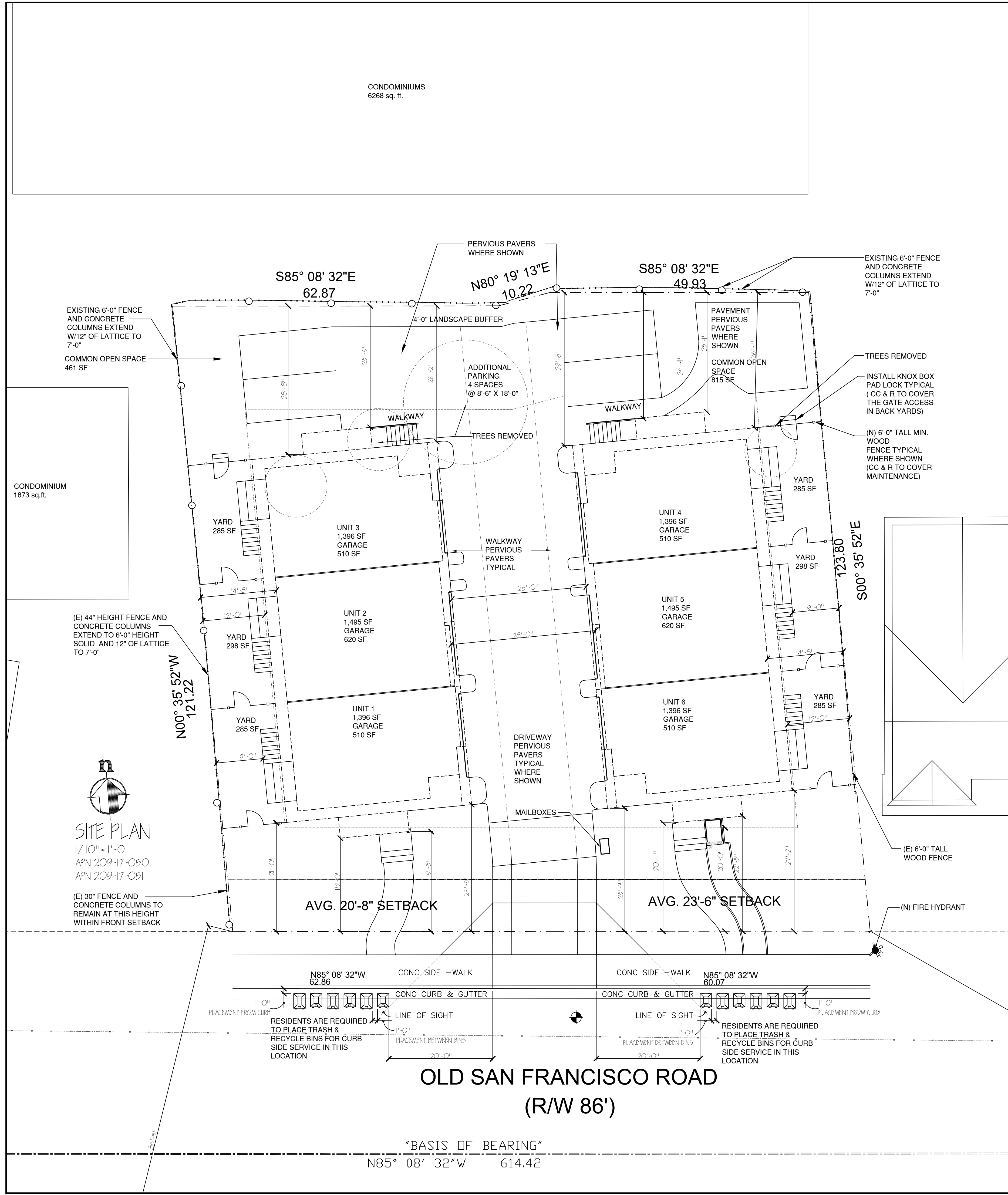
BUILDING OCCUPANCY	: R-3/ U
ZONING	: R0
TYPE OF CONSTRUCTION	: V-B
STORIES	: 3
LOT SIZE	: 14,977 SF
SITE COVERAGE	: 5,254 SF = 35%
FLOOR AREA	: 12,190 SF = 81.3%
PRIVATE OPEN SPACE	: 1,736 SF
COMMON OPEN SPACE	: 1,267 SF
TOTAL	: 3,003 SF
LANDSCAPED AREA	: 3,330 SF

BUILDING DATA:

	FIRST FLOOR	SECOND FLOOR	GARAGE	GARAGE ENTRANCE	FLOOR AREA (TOTAL)
UNIT 1	811 SF	585 SF	541 SF	53 SF	1,990 SF
UNIT 2	791 SF	704 SF	545 SF	75 SF	2,115 SF
UNIT 3	811 SF	585 SF	541 SF	53 SF	1,990 SF
UNIT 4	811 SF	585 SF	541 SF	53 SF	1,990 SF
UNIT 5	791 SF	704 SF	545 SF	75 SF	2,115 SF
UNIT 6	811 SF	585 SF	541 SF	53 SF	1,990 SF
TOTAL:	4,826 SF	3,748 SF	3,254 SF	362 SF	12,190 SF

AVERAGE FRONT SETBACKS:

BUILDING 1	BUILDING 2
1ST FLOOR:	1ST FLOOR:
21.0 ft	23.75 ft
18.0 ft	20.91 ft
19.25 ft	22.25 ft
24.41 ft	27.16 ft
TOTAL: 82.66 ft / 4	TOTAL: 94.07 ft / 4
20.7 ft Average Front 1st Floor Setback	23.5 ft Average Front 1st Floor Setback
2ND FLOOR:	2ND FLOOR:
23.25 ft	35.08 ft
25.66 ft	29.91 ft
30.25 ft	26.5 ft
35.66 ft	26.91 ft
TOTAL: 114.8 ft / 4	TOTAL: 118.4 ft / 4
28.7 ft Average Front 2nd Floor Setback	29.6 ft Average Front 2nd Floor Setback



SITE PLAN
 1/10"=1'-0"
 APN 209-17-050
 APN 209-17-051



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OWNER/APPLICANT:

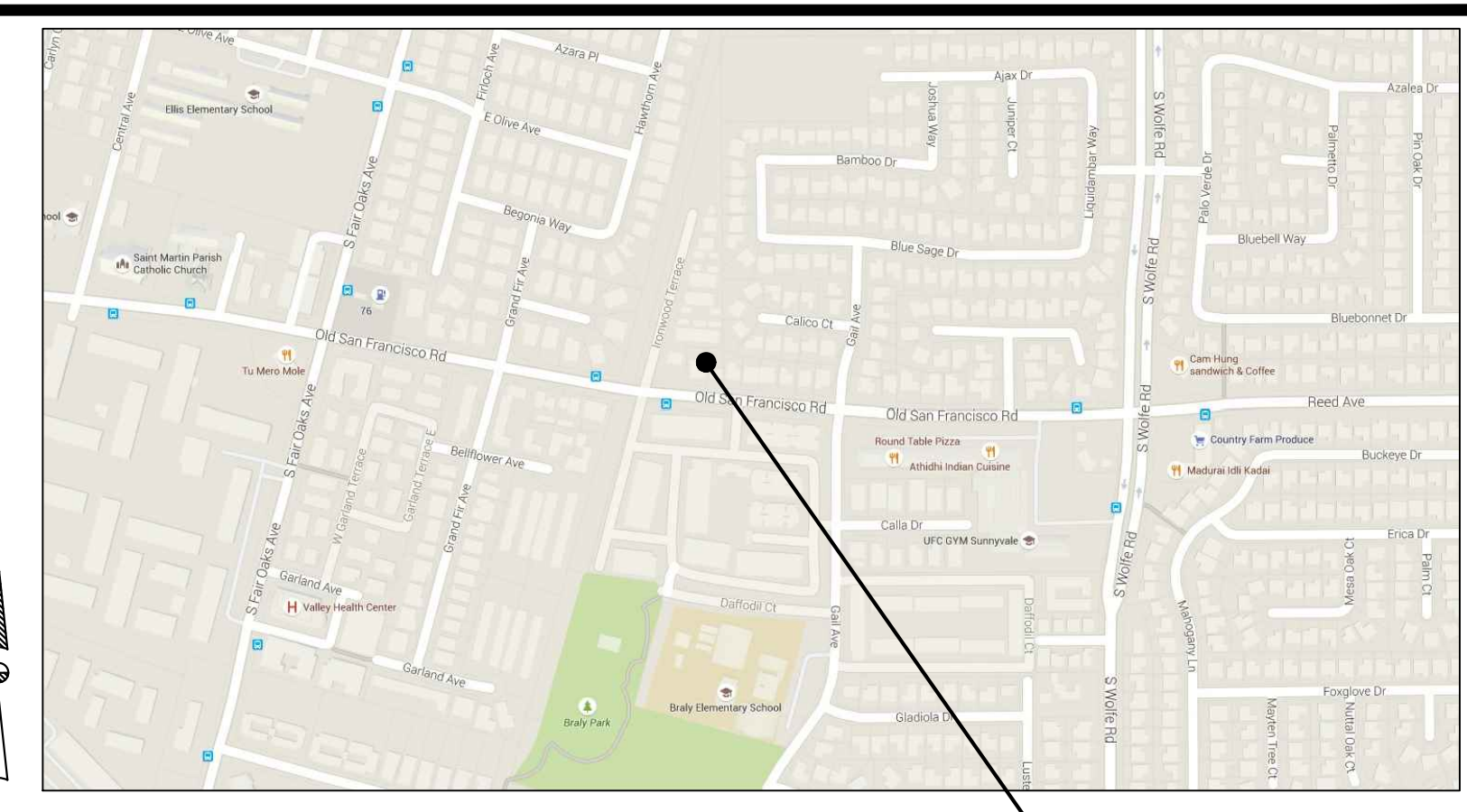
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GRADING AND DRAINAGE PLANS
 SIX (6) NEW TOWN HOUSES SUBDIVISION
 APN: 209-17-051 & 050
 669 AND 673 OLD SAN FRANCISCO ROAD, SUNNYVALE, CA
 COVER SHEET

Revisions:



Date: 7/25/2018
Scale: 1"=10'
Prepared by: S.P.
Checked by: S.R.
Job #: 215001



LOCATION MAP
N.T.S.

SHEET INDEX:

- C-1 COVER SHEET/ NOTES/ DETAILS
- C-2 GRADING AND DRAINAGE PLAN
- C-3 UTILITY PLAN

REFERENCED BENCHMARK:

REFERENCED CITY OF SUNNYVALE B.M# 9, EL: 92.481'.
BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE SOUTHWEST CURB RETURN,
INTERSECTION OF WOLFE ROAD AND OLD SAN FRANCISCO ROAD. NAVD88

BASIS OF BEARINGS:

THE BEARING N 74°13'40" W BETWEEN FOUND MONUMENTS ON CALIFORNIA AVE.,
AS SHOWN ON THAT CERTAIN PARCEL MAP, RECORDED IN BOOK 350 OF MAPS
AT PAGE 48, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS
OF BEARINGS SHOWN ON THIS MAP

DRAINAGE NOTES

1. Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
2. All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
3. On site storm drain lines shall consist of solid PVC-SCH 40 minimum or better. Use PVC SCH80 for pipes running under driveway.
4. Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

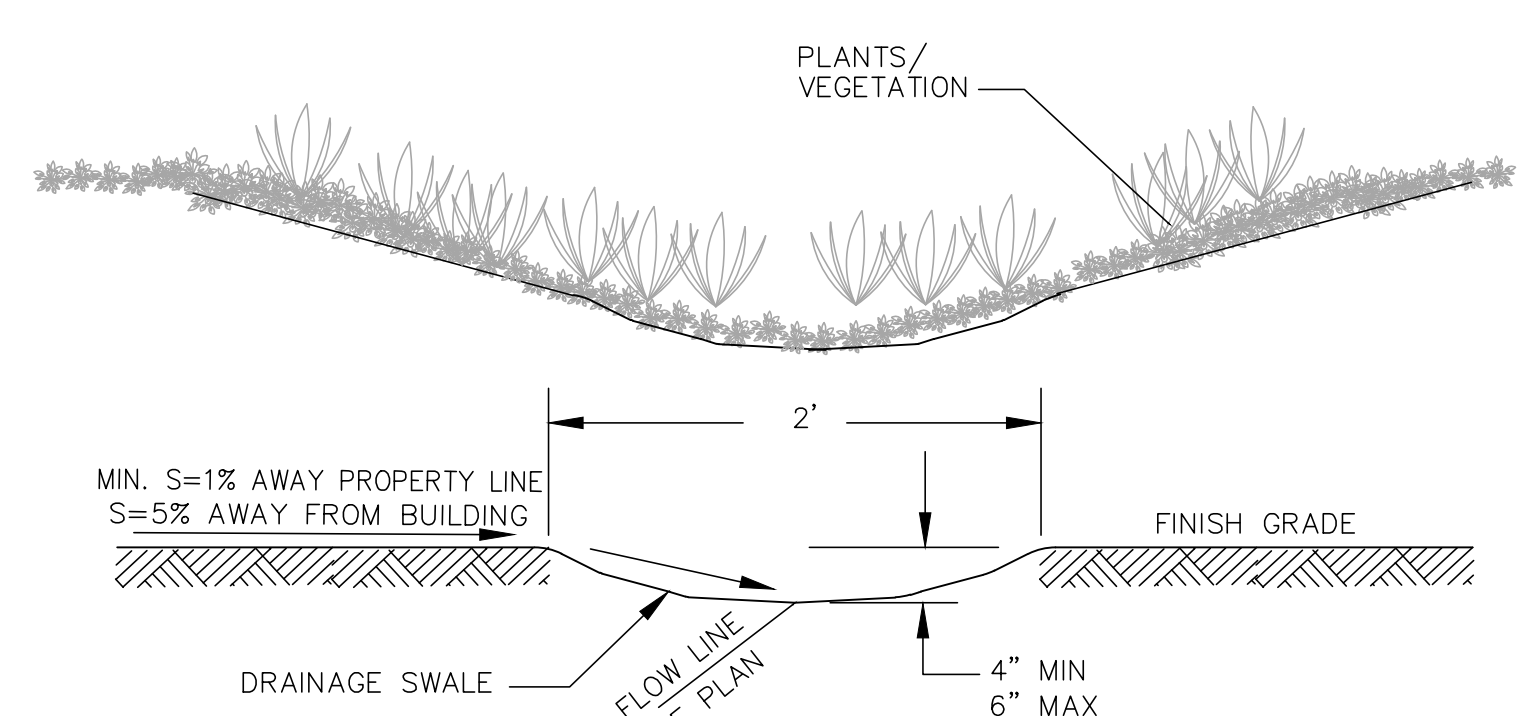
GRADING AND DRAINAGE PLANS

SIX (6) NEW TOWN HOUSES SUBDIVISION
669 AND 673 OLD SAN FRANCISCO ROAD, SUNNYVALE, CA

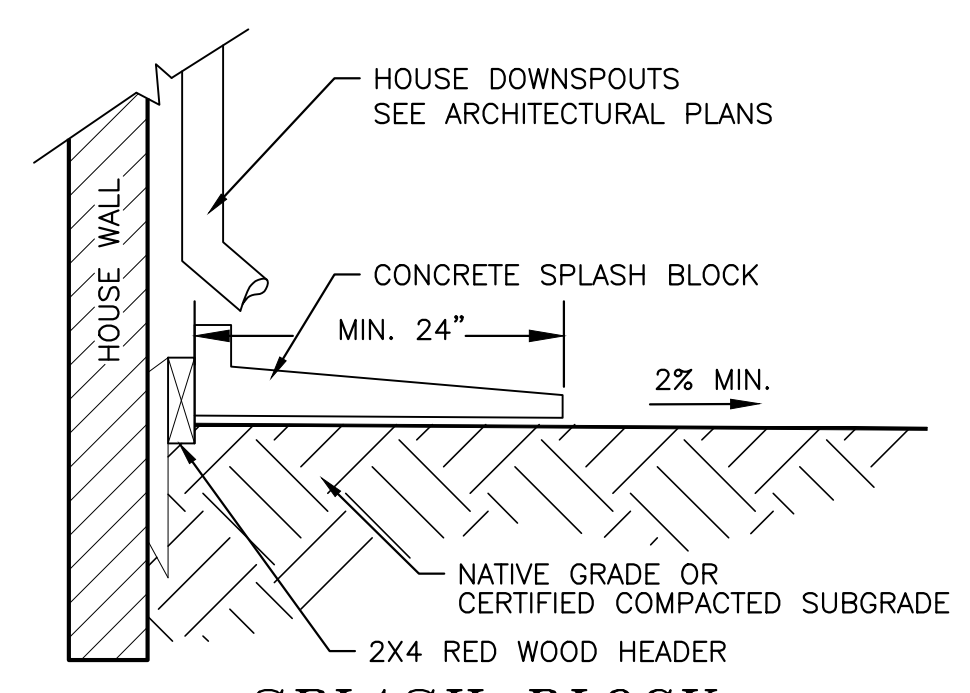
ABBREVIATIONS			
DESCRIPTION	DESCRIPTION	DESCRIPTION	
AB	AGGREGATE BASE	LIP	LIP OF GUTTER
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	MON	MONUMENT
BC	BACK OF CURB	(N)	NEW
BFL	BACKFLOW PREVENTOR	OG	ORIGINAL GROUND
BW	BOTTOM OF WALL	FB	FULL BOX
C&G	CURBS AND GUTTER	PG&V	PG&E VAULT
E.C./L	CENTERLINE	R.P./L	PROPERTY LINE
CLSW	CENTERLINE SWALE	PP	POWER POLE
CO	CLEANOUT	PPP	PLASTIC PERFORATED PIPE
CP	CONTROL POINT	PSE	PUBLIC SERVICE EASEMENT
DWY	DRIVEWAY	PVC	POLYVINYL CHLORIDE
DI	DROP INLET	R/W	RIGHT OF WAY
DTL	DETAIL	RCP	REINFORCED CONCRETE PIPE
ELCT	ELECTRIC	SD	STORM DRAIN
EP	EDGE OF PAVEMENT ELEVATION	SDMH	STORM DRAIN MANHOLE
EUC	EUCALYPTUS TREE	STD	STANDARD
(E),EX	EXISTING	SS	SANITARY SEWER
FF	FINISH FLOOR	SSMH	SANITARY SEWER MANHOLE
FG	FINISH GRADE	SW	SIDEWALK
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOWLINE	TF	TOP OF FOUNDATION
FNC	FENCE	TG	TOP OF GRATE
FOC	FACE OF CURB	TOS	TOP OF SLAB
GB	GRADE BREAK	TP	TOP OF PAVEMENT
GUY	GUY WIRE	TW	TOP OF WALL
HP	HIGH POINT	(TYP)	TYPICAL
DIP	DUCTILE IRON PIPE	VCP	VITRIFIED CLAY PIPE
INV	INVERT	WL	WHITE LINE STRIPE
JP	JOINT POLE	WLK	WALKWAY
JB	JUNCTION BOX (UTILITY)	WM	WATER METER
		WV	WATER VALVE

LEGEND

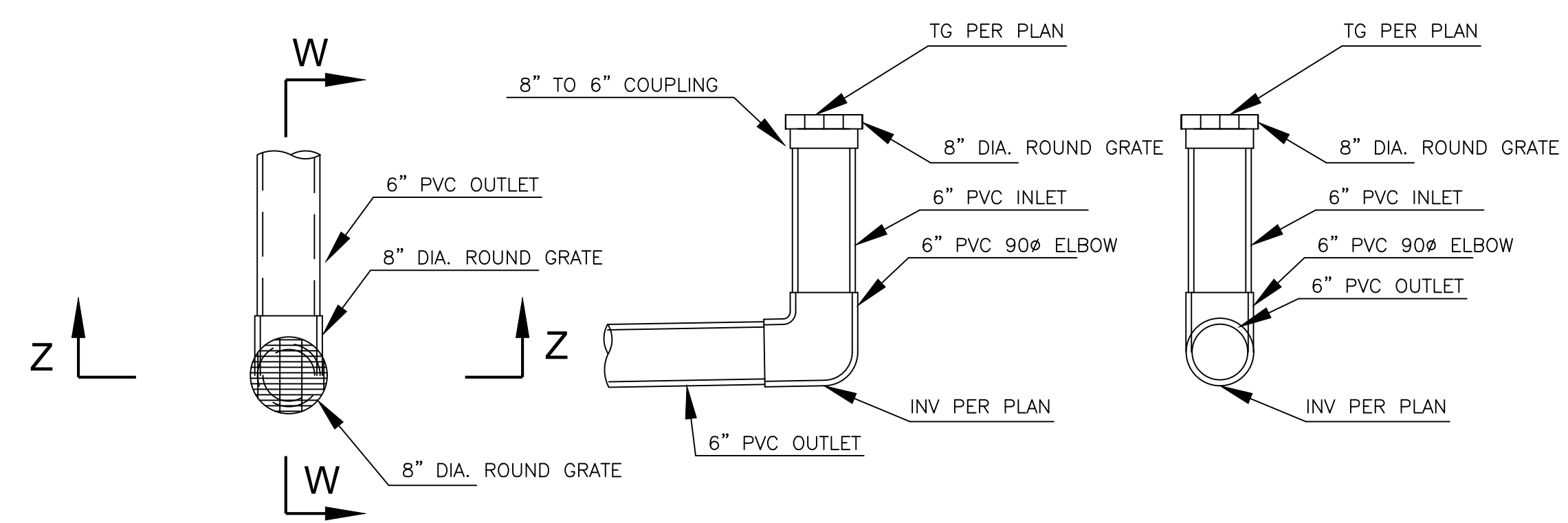
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
-F-	-F-	FILL AREA LIMIT
-C-	-C-	CUT AREA LIMIT
102	102	CONTOUR
-W-	-W-	WATER LINE
-SD-	-SD-	STORM DRAIN PIPE (SOLID)
-SS-	-SS-	SANITARY SEWER PIPE
-SDP-	-SDP-	SUBDRAIN PIPE (PERFORATED)
OH e,T,V	OH e,T,V	OVERHEAD UTILITIES WITH POLE
-G-	-G-	GAS LINE
-E-	-E-	ELECTRIC LINE (UNDERGROUND)
-JT-	-JT-	JOINT TRENCH (UNDERGROUND)
SLV	SLV	STREET LIGHT VAULT
SSCO	SSCO	SANITARY SEWER CLEANOUT
SMH	SMH	SANITARY SEWER MANHOLE
SDMH	SDMH	STORM DRAIN MANHOLE
SM	SM	SURVEY CITY MONUMENT
EL	EL	ELECTROLIER
WM	WM	WATER METER
T	T	TREE WITH TRUNK
X	X	6' WOODEN FENCE
102.23	102.23	SPOT ELEVATION
T.P.F.	T.P.F.	TREE PROTECTION FENCE 5' TALL CHAIN LINK
ES	ES	EARTH SWALE
CS	CS	CONCRETE SWALE
AD	AD	AREA DRAIN/ INLET
ORP	ORP	OVERLAND RELEASE PATH
GD	GD	GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE
1%P	1%P	1% MIN. FROM PROPERTY LINE TO SWALE
(E)T	(E)T	(E) TREE TO BE REMOVE
DS	DS	DOWN-SPOUT
PE	PE	POP-UP EMITTER
RDS	RDS	ROOF DOWN-SPOUT, CONNECTED TO STORM DRAIN SYSTEM



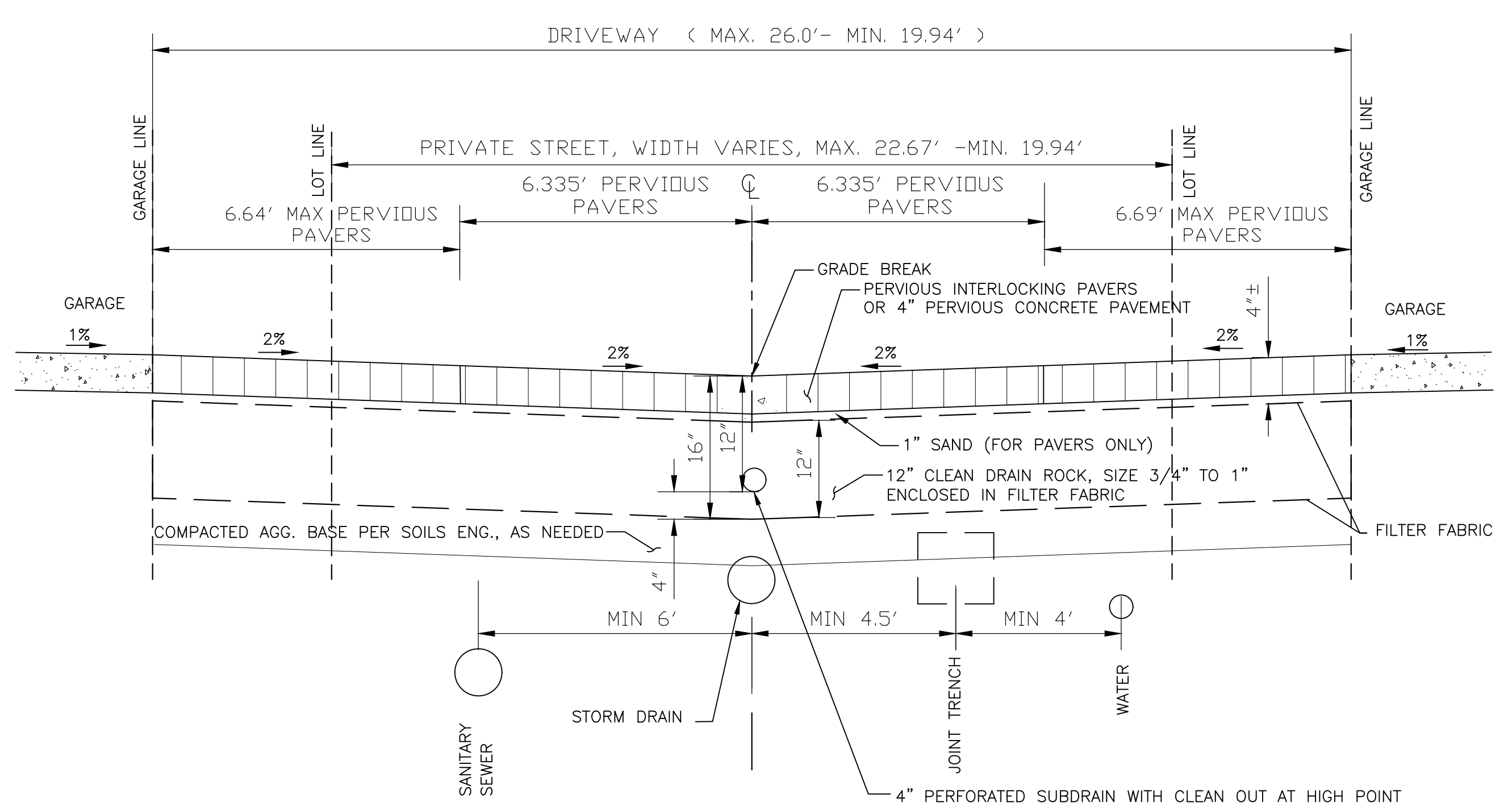
GRASSY SWALE DETAIL
NTS



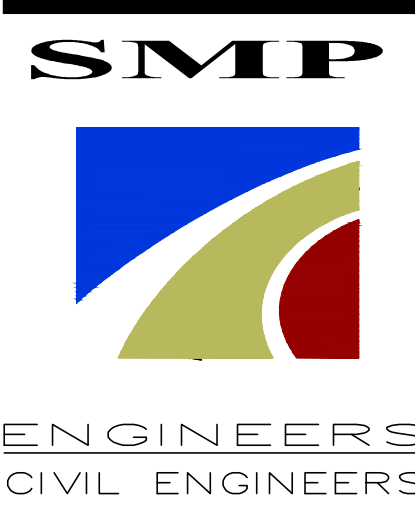
SPLASH BLOCK
NTS



STORM DRAIN AREA DRAIN
NTS



TYPICAL PRIVATE STREET SECTION
NTS



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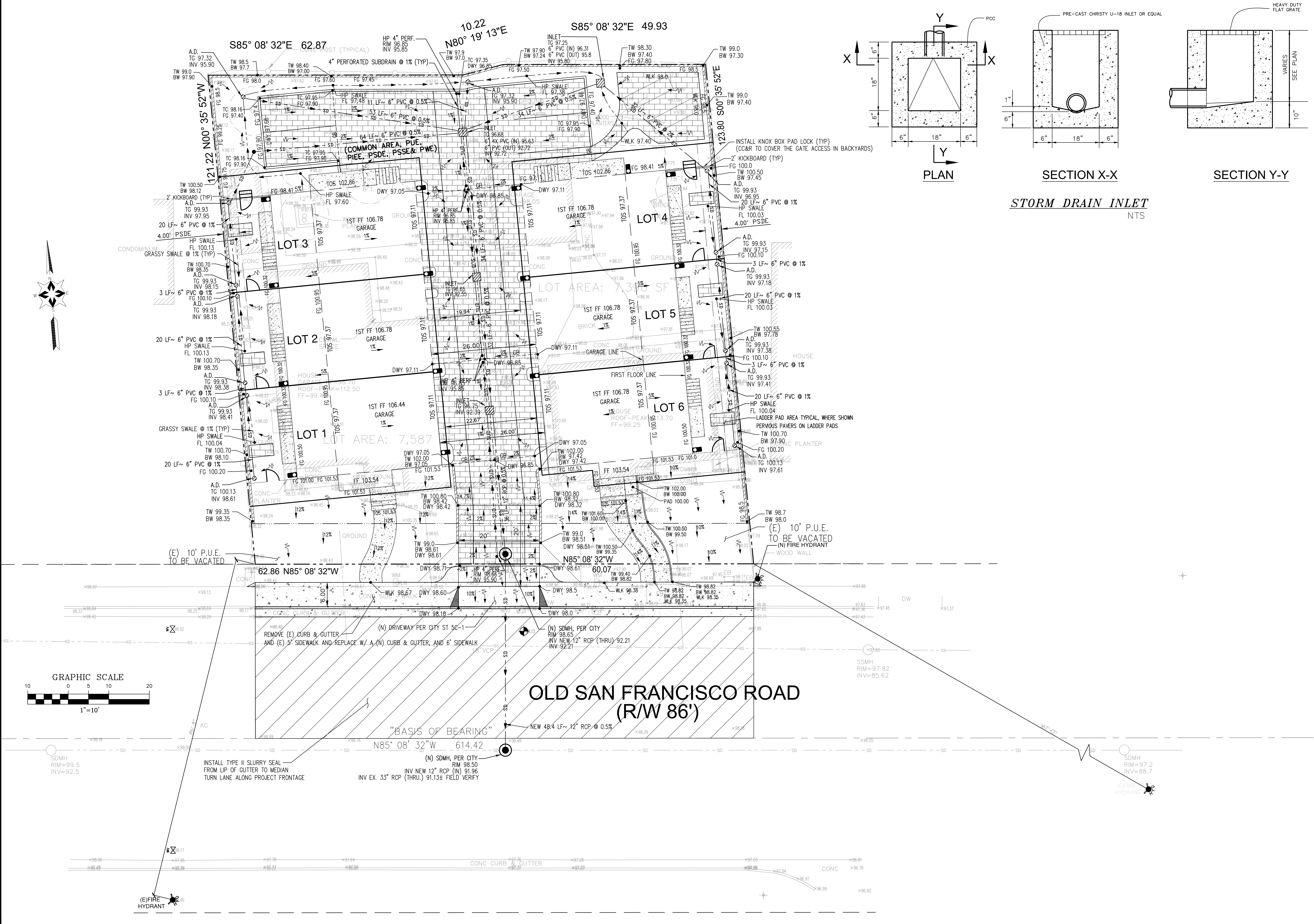
GRADING AND DRAINAGE PLANS
SIX (6) NEW TOWN HOUSES SUBDIVISION
APN: 209-17-051 & 050
669 AND 673 OLD SAN FRANCISCO ROAD, SUNNYVALE, CA
GRADING AND DRAINAGE PLAN

Revisions:



Date: 7/25/2018
Scale: 1"=10'
Prepared by: S.P.
Checked by: S.R.
Job #: 215001

Sheet: 2 OF 3
C-2





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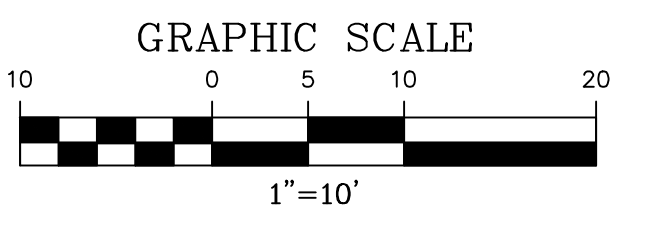
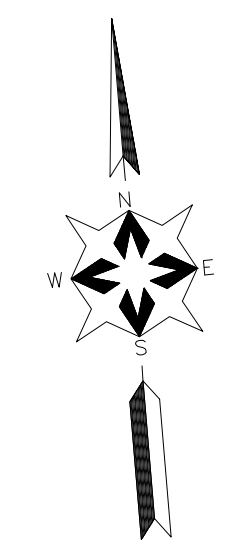
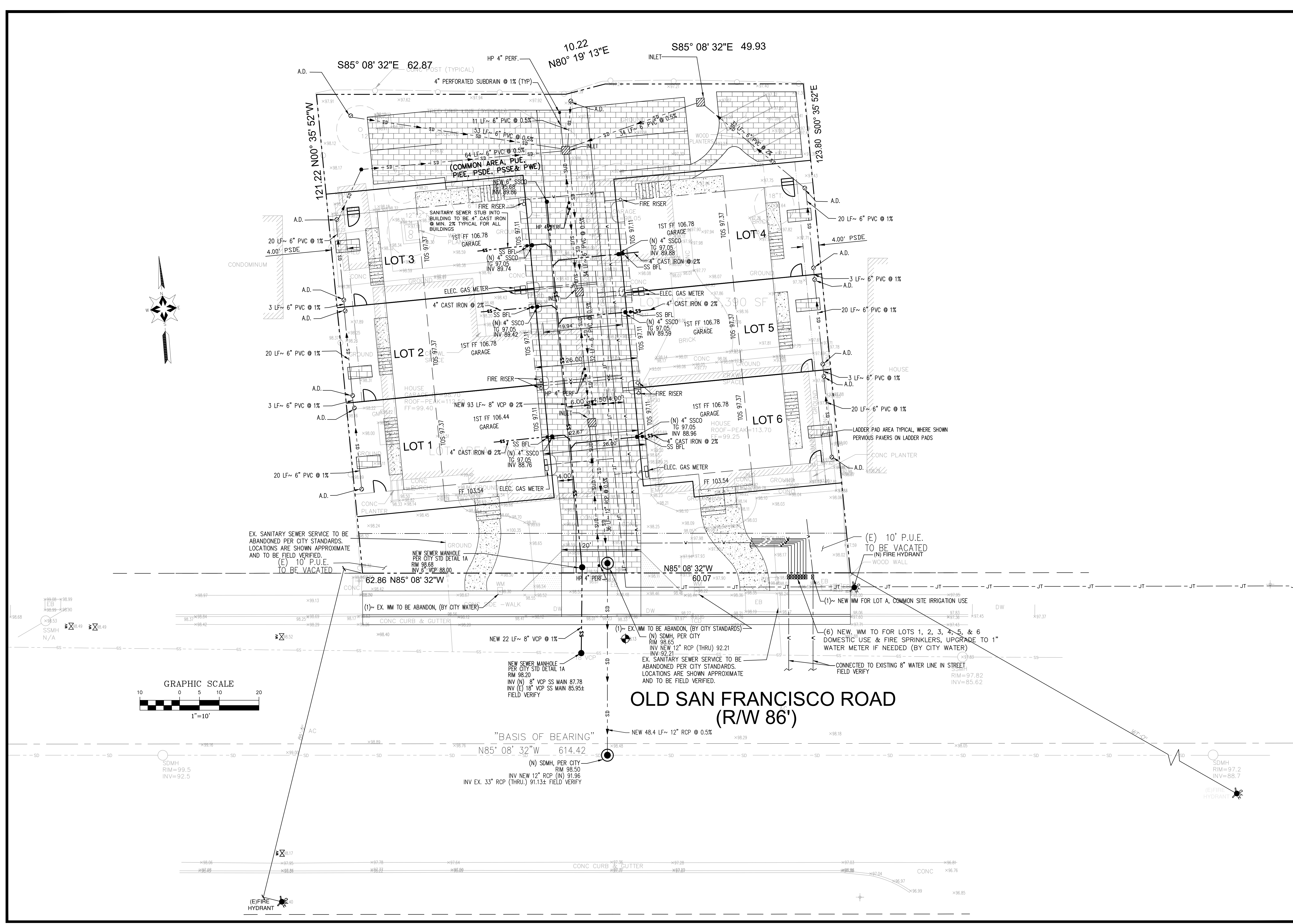
GRADING AND DRAINAGE PLANS
SIX (6) NEW TOWN HOUSES SUBDIVISION
APN: 209-17-051 & 050
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UTILITY PLAN

Revisions:



Date: 7/25/2018
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Prepared by: S.P.
Checked by: S.R.
Job #: 215001

Sheet: 3 OF 3
C-3





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STORMWATER MANAGEMENT PLANS
SIX (6) NEW TOWN HOUSES SUBDIVISION
APN: 209-17-051 & 050
669 AND 673 OLD SAN FRANCISCO ROAD, SUNNYVALE, CA
STORMWATER MANAGEMENT NOTES MEASURES

Revisions:



Saeed Rajavi

Date: 7/25/2018
Scale: NTS
Prepared by: S.P.
Checked by: S.R.
Job #: 215001

Sheet: 1 OF 3
STRM-1

STORMWATER MANAGEMENT PLANS

SIX (6) NEW TOWN HOUSES SUBDIVISION

669 AND 673 OLD SAN FRANCISCO ROAD, SUNNYVALE, CA

Compliance with NPDES Permit Provision C.3:

The San Francisco Bay Regional Water Quality Control Board (SFRWQCB) incorporated updated requirements into Santa Clara County's National Pollution Discharge Elimination System (NPDES) Permit in August 06. These updated stormwater quality control requirements are predominantly in the category of new development discharge controls. The Permit requires that permanent, post-construction stormwater quality control measures be implemented as part of development projects.

Updated stormwater quality control measures include:
 - Source Control Measures
 - Site Design Measures
 - Treatment Control Measures

Beginning August 15, 2006, all projects creating or replacing 10,000 sq. ft. or more of impervious surface area must design and install a permanent post-construction stormwater treatment facility on the site. The system must be design and installed according to numeric sizing criteria.

All projects, regardless of size that create or replace impervious surface may be required to install stormwater quality controls to the maximum extent practicable.

Source Control Measures

STREET MAINTENANCE, BENEFICIAL LANDSCAPING.

Site Design Measures

DISCONNECTED DOWNSPOUTS, PERVIOUS DRIVEWAY DESIGN, MINIMIZE IMPERVIOUS SURFACE.

Storm water Treatment Measures:

PERVIOUS PAVEMENT DRIVEWAY WITH UNDERGROUND PERVIOUS DRAIN ROCK, TO TREAT RUN-OFF PRIOR TO ENTERING TO CITY STORM DRAINAGE SYSTEM, REDUCED RUN-OFF AND PEAK FLOW COMPARED TO PRE-CONSTRUCTION CONDITION.

Vegetated Swale Maintenance

(per California BMP Handbook—New and Redevelopment):

Maintenance activities should include periodic mowing (with grass never cut shorter than the design flow depth), weed control, watering during drought conditions, reseeding of bare areas, and clearing of debris and blockages. Cutting should be removed from the channel and disposed in a local composting facility. Accumulated sediment should also be removed manually to avoid concentrated flows in the swale. The application of fertilizers and pesticides should be minimal.

If channels develop ruts or holes, they should be repaired utilizing a suitable soil that is properly tamped and seeded. The grass cover should be thick; if it is not, reseed as necessary. Any standing water removed during the maintenance operation must be disposed to a sanitary sewer at an approved discharge location. Residuals (e.g. silt, grass cuttings) must be disposed in accordance with local or State requirements. Maintenance of grassed swales mostly involves maintenance of the grass or wetland plant cover. Typical maintenance activities are summarized below:

- Inspect swales at least twice annually for erosion, damage to vegetation, and sediment and debris accumulation preferably at the end of the wet season to schedule summer maintenance and before major fall runoff to be sure the swale is ready for winter. However, additional inspection after periods of heavy runoff is desirable. The swale should be checked for debris and litter, and areas of sediment accumulation.
- Grass height and mowing frequency may not have a large impact on pollutant removal. Consequently, mowing may only be necessary once or twice per year for safety or aesthetics or to suppress weeds and woody vegetation.
- Trash tends to accumulate in swale areas. The need for litter removal is determined through periodic inspection, but litter should be removed prior to mowing.
- Sediment accumulating near Inlets and Area Drains should be removed when it builds up to 75 mm (3 in.) at any spot, or covers vegetation.
- Regularly inspect swales for pools of standing water. Swales can become nuisance due to mosquito breeding in standing water if obstructions develop (e.g. debris accumulation, invasion vegetation) and/or if proper drainage slopes are not implemented and maintained.

Pervious Walkways and Driveway Maintenance:

The maintenance activity schedule presented below is based on recommendations provided in the California Stormwater BMP Handbook—New and Redevelopment, and the Interlocking Concrete Pavement Institute Manual (Second Edition).

The following maintenance activities should be performed on an ongoing basis:

- Keep landscaped areas well maintained;
- Prevent soil being washed onto pavement;

The following maintenance activities should be performed 2–3 times per year:

- Vacuum clean surface using commercially available sweeping machines at the following times:
 - End of Winter (April)
 - Mid-Summer (July/August)
 - After Autumn-leaf fall(November)

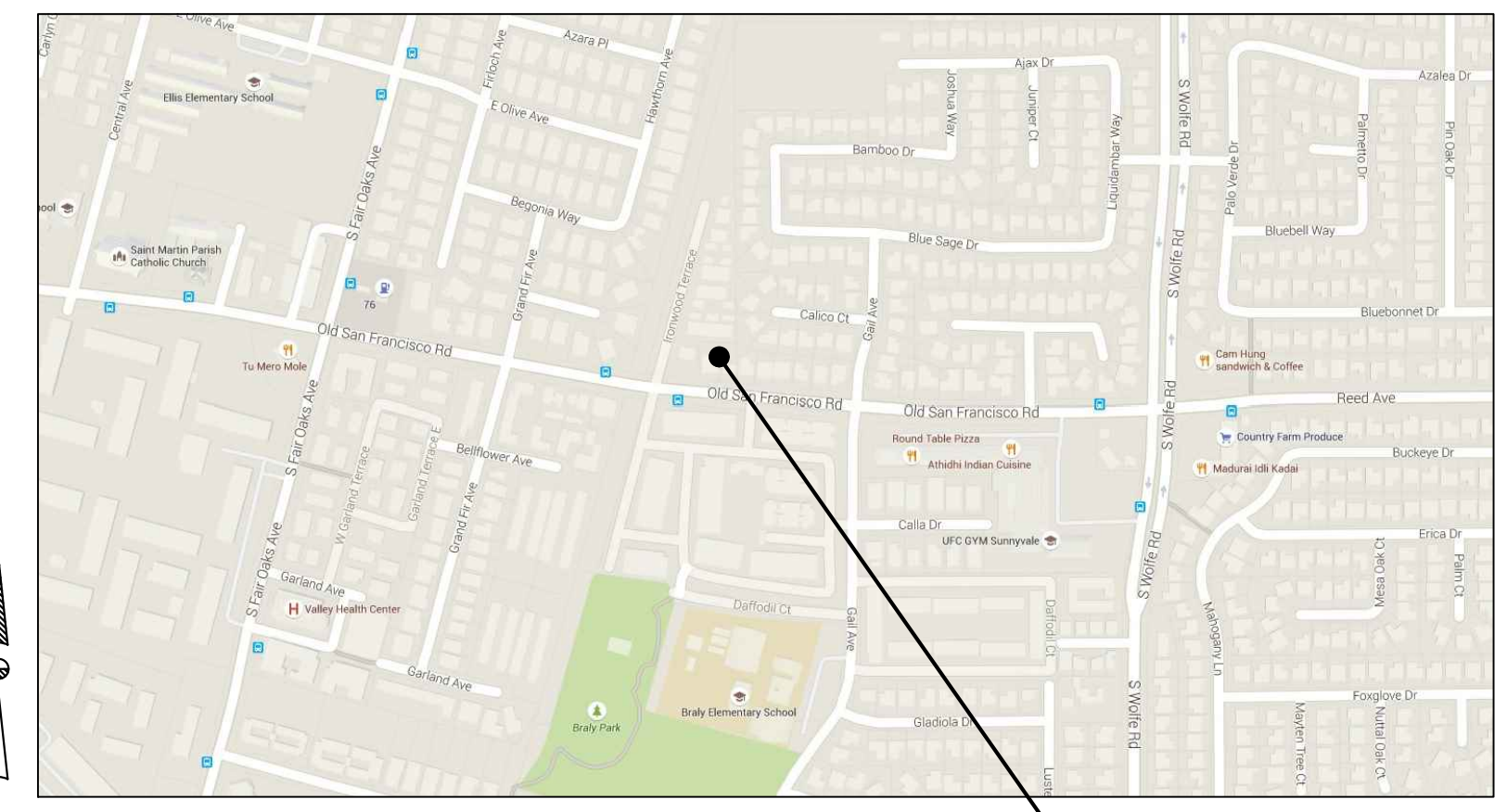
The following maintenance activities should be performed on as-needed (infrequent) basis, maximum 15–20 years:

- If routine cleaning does not restore infiltration rates, then reconstruction of part of the whole of a pervious surface may be required;
- The surface area affected by any observed hydraulic failure should be lifted for inspection of the internal materials to identify the location and the extent of the blockage;
- Surface materials should be lifted and replaced after brush cleaning. Geotextiles may need complete replacement;
- Subsurface layers may need cleaning and replacing;
- Removed silts may need to be disposed of as controlled weeds;
- Repair ruts or deformations in pavement exceeding ½-inch or 13 mm;
- Replace broken paver units that impair the structural integrity of the surface;
- Replenish aggregate surface joint materials.

ABBREVIATIONS		
	DESCRIPTION	DESCRIPTION
AB	AGGREGATE BASE	LIP LIP OF GUTTER
AC	ASPHALT CONCRETE	LP LOW POINT
AD	AREA DRAIN	MON MONUMENT
BC	BACK OF CURB	(N) NEW
BFL	BACKFLOW PREVENTOR	OG ORIGINAL GROUND
BW	BOTTOM OF WALL	FB FULL BOX
C&G	CURB AND GUTTER	PG&E PG&E VAULT
E.C./L	CENTERLINE	P.P./L PROPERTY LINE
CLSW	CENTERLINE SWALE	PP POWER POLE
CO	CLEANOUT	PPP PLASTIC PERFORATED PIPE
CP	CONTROL POINT	PSE PUBLIC SERVICE EASEMENT
DWY	DRIVEWAY	PVC POLYVINYL CHLORIDE
DI	DROP INLET	R/W RIGHT OF WAY
DTL	DETAIL	RCP REINFORCED CONCRETE PIPE
ELCT	ELECTRIC	SD STORM DRAIN
EP	EDGE OF PAVEMENT ELEVATION	SDM STORM DRAIN MANHOLE
EUC	EUCALYPTUS TREE	STD STANDARD
(E),EX	EXISTING	SS SANITARY SEWER
FF	FINISH FLOOR	SSMH SANITARY SEWER MANHOLE
FG	FINISH GRADE	SW SIDEWALK
FH	FIRE HYDRANT	TC TOP OF CURB
FL	FLOWLINE	TF TOP OF FOUNDATION
FNC	FENCE	TG TOP OF GRATE
FOC	FACE OF CURB	TOS TOP OF SLAB
GB	GRADE BREAK	TP TOP OF PAVEMENT
GUY	GUY WIRE	TW TOP OF WALL
HP	HIGH POINT	(TYP) TYPICAL
DIP	DUCTILE IRON PIPE	VCP VITRIFIED CLAY PIPE
INV	INVERT	WL WHITE LINE STRIPE
JP	JOINT POLE	WLK WALKWAY
JB	JUNCTION BOX (UTILITY)	WM WATER METER
		WV WATER VALVE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
—F—	—F—	FILL AREA LIMIT
—C—	—C—	CUT AREA LIMIT
~102~	~102~	CONTOUR
—W—	—W—	WATER LINE
—SD—	—SD—	STORM DRAIN PIPE (SOLID)
—SS—	—SS—	SANITARY SEWER PIPE
—>—	—>—	SUBDRAIN PIPE (PERFORATED)
—OH— e,T,IV	—OH— e,T,IV	OVERHEAD UTILITIES WITH POLE
—G—	—G—	GAS LINE
—E—	—E—	ELECTRIC LINE (UNDERGROUND)
—JT—	—JT—	JOINT TRENCH (UNDERGROUND)
⊠ SLV	⊠ SLV	STREET LIGHT VAULT
○ SSCO	● SSCO	SANITARY SEWER CLEANOUT
○	●	SANITARY SEWER MANHOLE
⊙	⊙	STORM DRAIN MANHOLE
⊠	⊠	SURVEY CITY MONUMENT
⊗	⊗	ELECTROLIER
⊠ WM	⊠ WM	WATER METER
○	●	TREE WITH TRUNK
—x—x—	—x—x—	6' WOODEN FENCE
x102.23	102.23	SPOT ELEVATION
---	---	TREE PROTECTION FENCE
---	---	5' TALL CHAIN LINK
---	---	EARTH SWALE
→	→	CONCRETE SWALE
⊠	⊠	AREA DRAIN/ INLET
→	→	OVERLAND RELEASE PATH
~	~	GRADE TO DRAIN, 2% MIN. AWAY FROM HOUSE
~	~	1% MIN. FROM PROPERTY LINE TO SWALE
⊗	⊗	(E) TREE TO BE REMOVE
⊠	⊠	DOWN-SPOUT
○	○	POP-UP EMITTER
⊠ -SD-	⊠ -SD-	ROOF DOWN-SPOUT, CONNECTED TO STORM DRAIN SYSTEM



LOCATION MAP
N.T.S.

PROJECT SITE

SHEET INDEX:

- STRM-1 COVER SHEET/ NOTES/ MEASURES
- STRM-2 GRADING AND DRAINAGE PLAN, CALCULATIONS, DETAILS
- STRM-3 IMPERVIOUS SURFACE

GRADING AND DRAINAGE NOTES:

- Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
- All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
- On site storm drain lines shall consist of solid PVC—SCH 40 minimum or better. Use PVC SCH80 for pipes running under driveway.
- Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.



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CIVIL ENGINEERS

1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER/APPLICANT:

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STORMWATER MANAGEMENT PLANS
SIX (6) NEW TOWN HOUSES SUBDIVISION
APN: 209-17-051 & 050
669 AND 673 OLD SAN FRANCISCO ROAD, SUNNYVALE, CA
STORMWATER MANAGEMENT PLAN/ DETAILS

Revisions:



Date: 7/25/2018
Scale: 1"=10'
Prepared by: S.P.
Checked by: S.R.
Job #: 215001

Sheet: 2 OF 3
STRM-2

PRE-DEVELOPMENT STORM RUN-OFF WATERSHED:

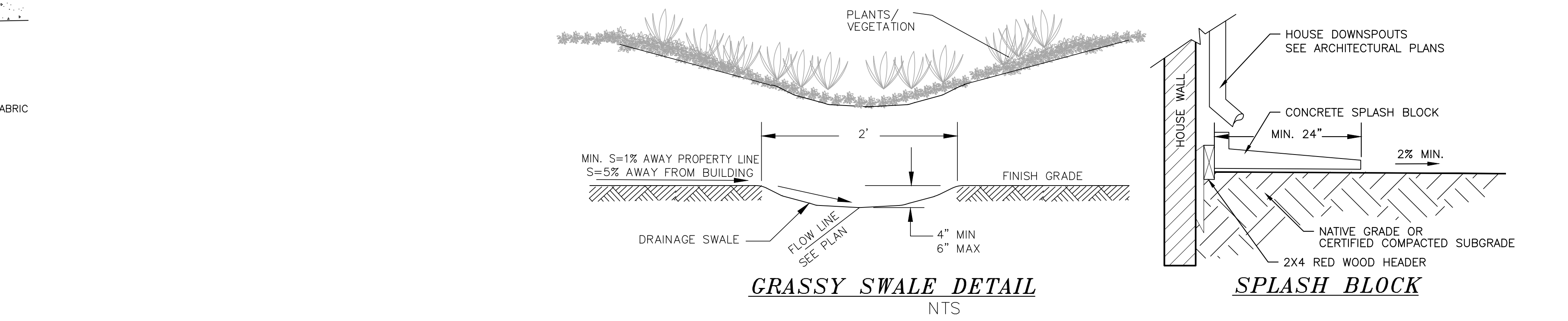
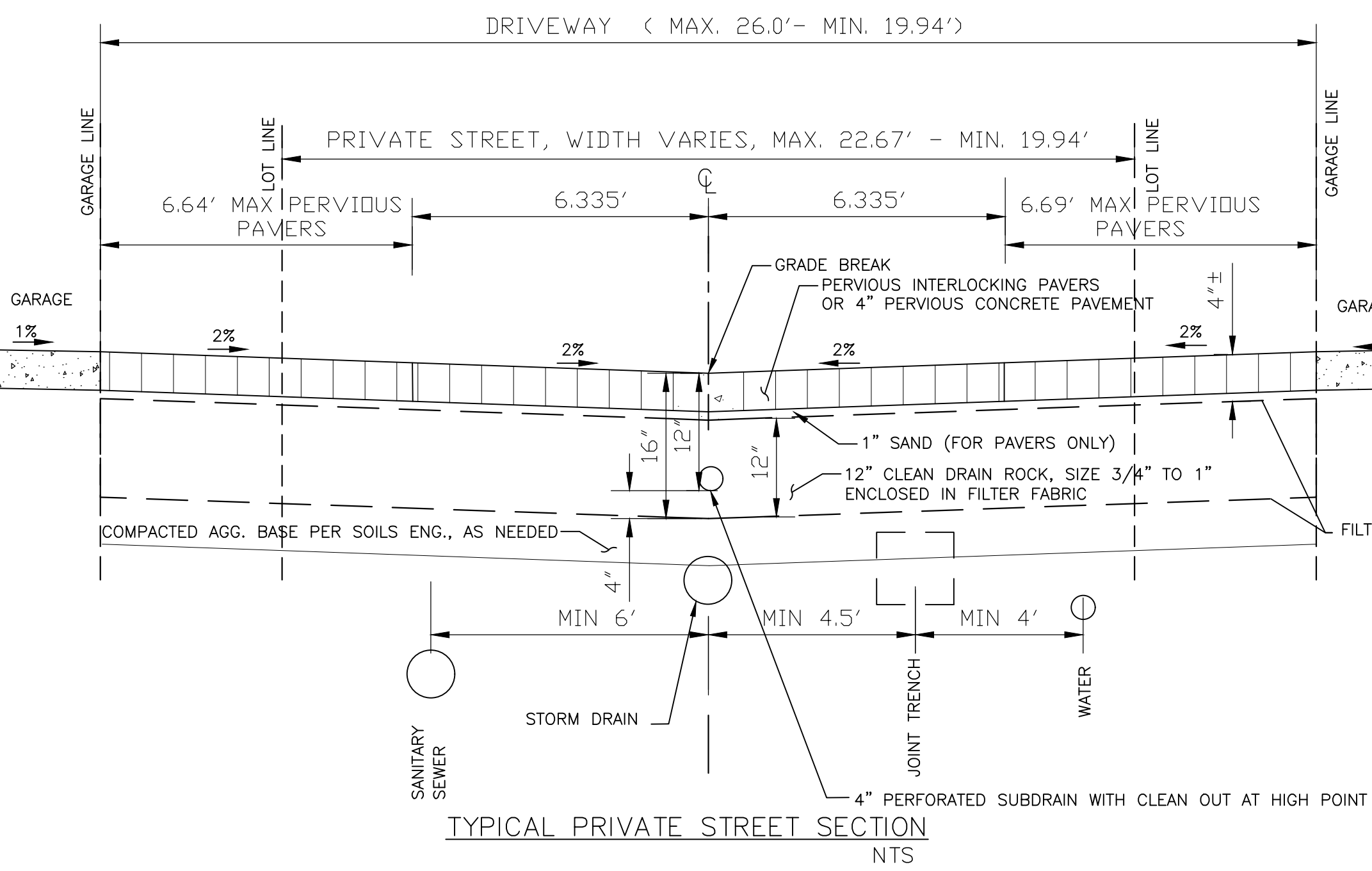
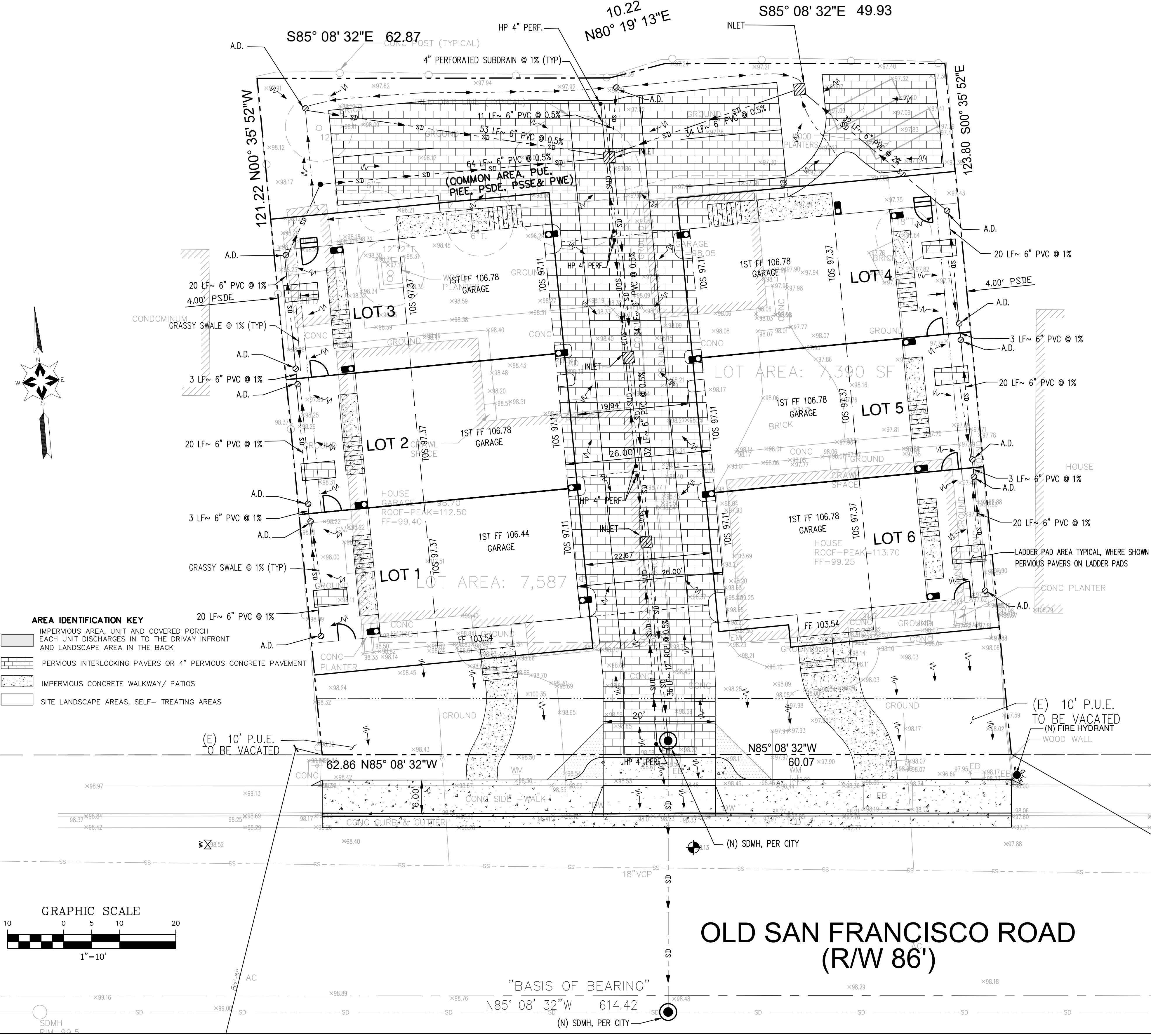
DESCRIPTION	AREA (SQFT)	AREA (ACRES)	MATERIAL
EX. HOUSES, SHEDS AND GARAGES	4,068	0.093	ROOF
EX DRIVEWAY, WALKWAY & PATIOS	3,117	0.072	AC, CONC.
TOTAL IMPERVIOUS	7,185	0.165	IMPERVIOUS
EX GROUND/ LANDSCAPE	7,791	0.179	GROUND
TOTAL PERVIOUS	7,791	0.179	PERVIOUS
TOTAL SITE	14,976	0.344	-

POST DEVELOPMENT STORM RUN-OFF WATERSHED:

DESCRIPTION	AREA (SQFT)	AREA (ACRES)	MATERIAL
BUILDINGS	5,124	0.118	ROOF
IMPERVIOUS PORCH & WALKWAY	781	0.018	CONC.
TOTAL IMPERVIOUS	5,905	0.136	IMPERVIOUS
PERVIOUS DRIVEWAY/ PARKING	4,230	0.097	PERVIOUS PAVERS
LADDER PERVIOUS PAD	108	0.002	PERVIOUS PAVERS
GROUND/ LANDSCAPE/ PLANTERS	4,733	0.109	GROUND
TOTAL PERVIOUS	9,071	0.208	PERVIOUS
TOTAL SITE	14,976	0.344	GROUND

U Project Impact on Impervious Surface:

Description	Existing sq. ft.	Proposed sq. ft.
a Impervious surface area (includes land covered by buildings, sheds, patios/covers, parking lots, streets, sidewalks, paved walkways and driveways)	7,185 sq. ft.	5,905 sq. ft.
b Pervious Area (includes landscaping, pervious pavement, and natural buffer areas)	7,791 sq. ft.	9,071 sq. ft.
c Total Project Area (a + b)	14,976 sq. ft.	14,976 sq. ft.
d Percent Impervious (a ÷ c)x100	48 %	39 %
e Percent Pervious (b ÷ c) x 100	52 %	61 %
f Impervious created or added		1,965 sq. ft.
g Impervious area replaced		3,940 sq. ft.
h Percent replacement of existing impervious surface (g ÷ a[existing]) x 100 Note: if this value exceeds 50%, c.3 requirements apply to the entire site.		55 %
i Estimated area of land disturbed during construction (includes clearing, grading or excavating)		14,976 sq. ft.





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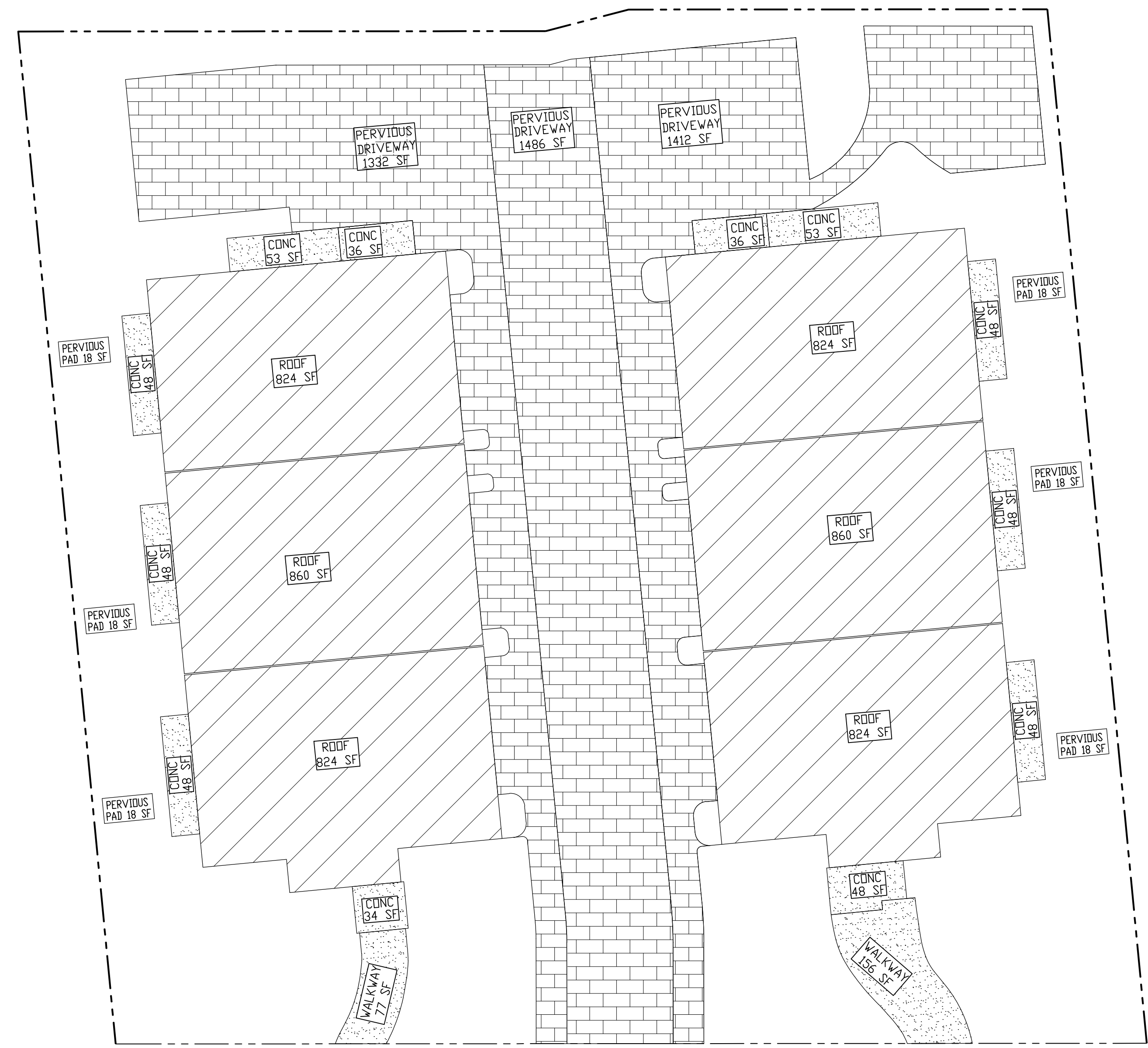
STORMWATER MANAGEMENT PLANS
SIX (6) NEW TOWN HOUSES SUBDIVISION
APN: 209-17-051 & 050
669 AND 673 OLD SAN FRANCISCO ROAD, SUNNYVALE, CA
IMPERVIOUS SURFACE

Revisions:

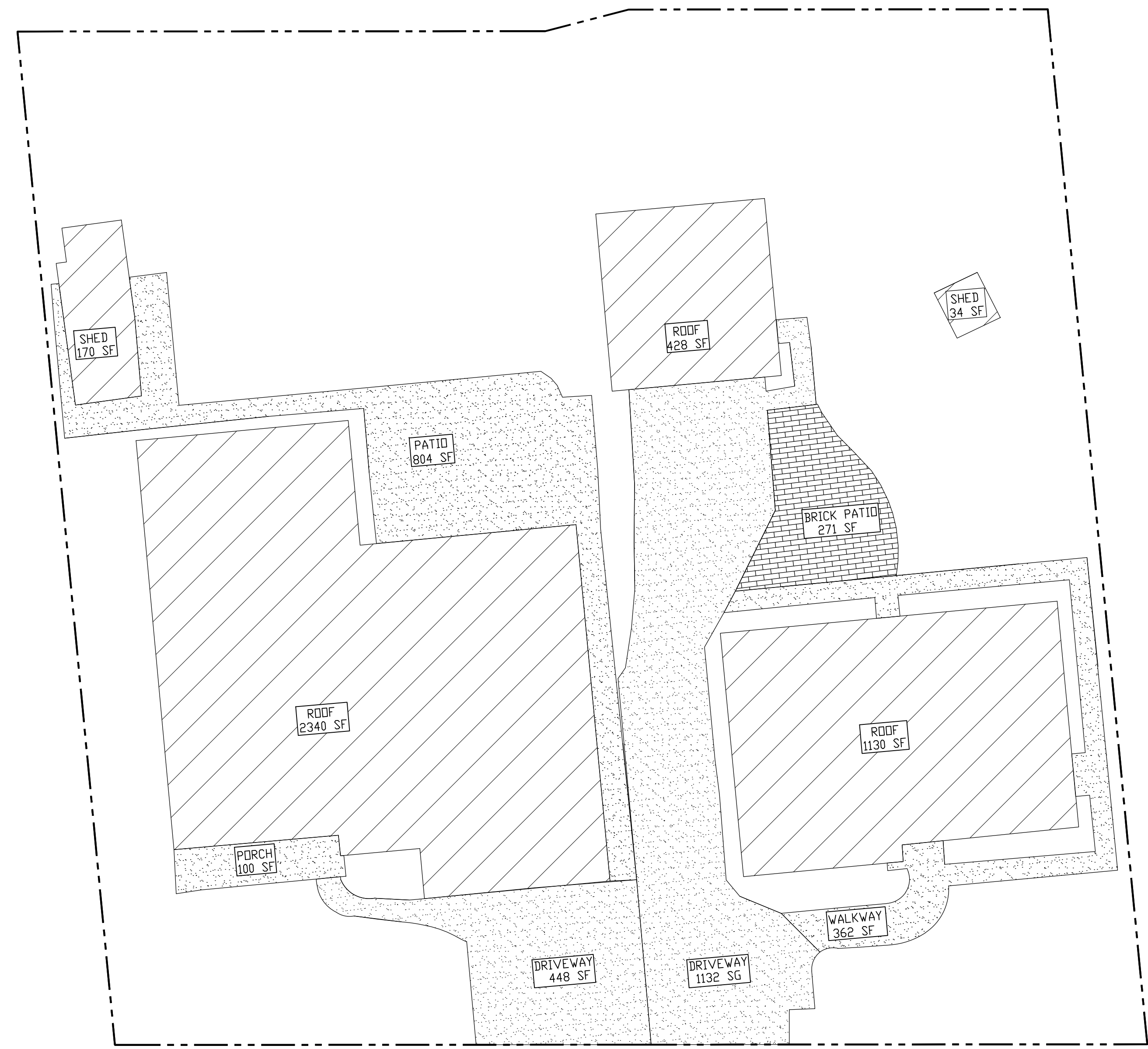


Sakto Rajani

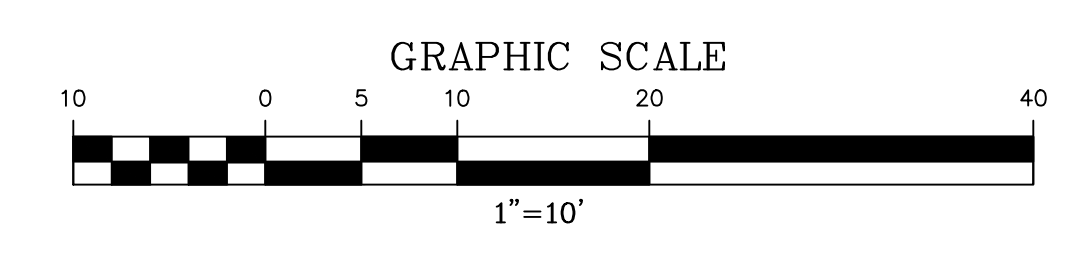
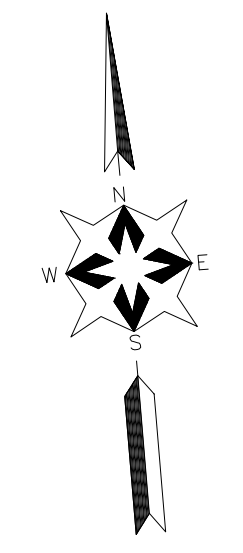
Date: 7/25/2018
Scale: 1"=10'
Prepared by: S.P.
Checked by: S.R.
Job #: 215001



NEW PERVIOUS AND IMPERVIOUS AREA



EXISTING PERVIOUS AND IMPERVIOUS AREA





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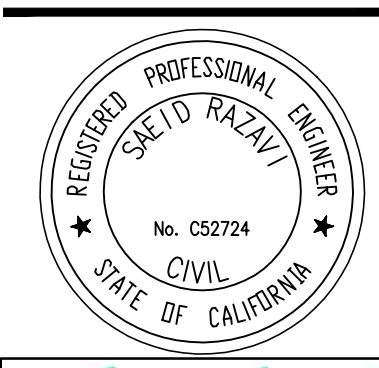
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SIX (6) NEW TOWN HOUSES SUBDIVISION
APN: 209-17-051 & 050
669 AND 673 OLD SAN FRANCISCO ROAD, SUNNYVALE, CA
VESTING TENTATIVE MAP

Revisions:



Date: 7/25/2018
Scale: 1"=10'
Prepared by: S.P.
Checked by: S.R.
Job #: 215001
Sheet: 1 OF 1
TM-1

VESTING TENTATIVE MAP

SIX (6) NEW TOWN HOUSE DEVELOPMENT
CONSISTING OF ONE (1) SHEET
669 & 673 OLD SAN FRANCISCO RD.
SUNNYVALE, CALIFORNIA 94087
APN: 209-17-050 & 209-17-051

LOT 1 & 2, AS SHOWN IN THAT CERTAIN TRACT ENTITLED, ORCHARD GREEN TRACT 6830
FILED FOR RECORD ON OCTOBER 15, 1980, IN BOOK 473 OF MAPS, PAGES 16,17,18,19
AND 20, SANTA CLARA COUNTY RECORDS.

LYING ENTIRELY WITHIN THE
CITY OF SUNNYVALE, COUNTY OF SANTA CLARA, CALIFORNIA

JULY 2018

SMP ENGINEERS

1534 CAROB LANE
LOS ALTOS, CA 94024

LEGEND AND ABBREVIATIONS

- C --- STREET CENTER LINE
- D --- DISTINCTIVE BORDER LINE
- P --- PROPOSED LOT LINE
- E --- EASEMENT LINE
- F --- CONCEPTUAL PROPOSED BUILDING FOOTPRINT
- G --- OTHER PROPERTY LINES
- PIEE PRIVATE INGRESS EGRESS EASEMENT
- PSDE PRIVATE STORM DRAINAGE EASEMENT
- PSSE PRIVATE SANITARY SEWER EASEMENT
- PWE PRIVATE WATER EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- PFSE PRIVATE FIRE SERVICE EASEMENT

GENERAL NOTES & STATEMENTS

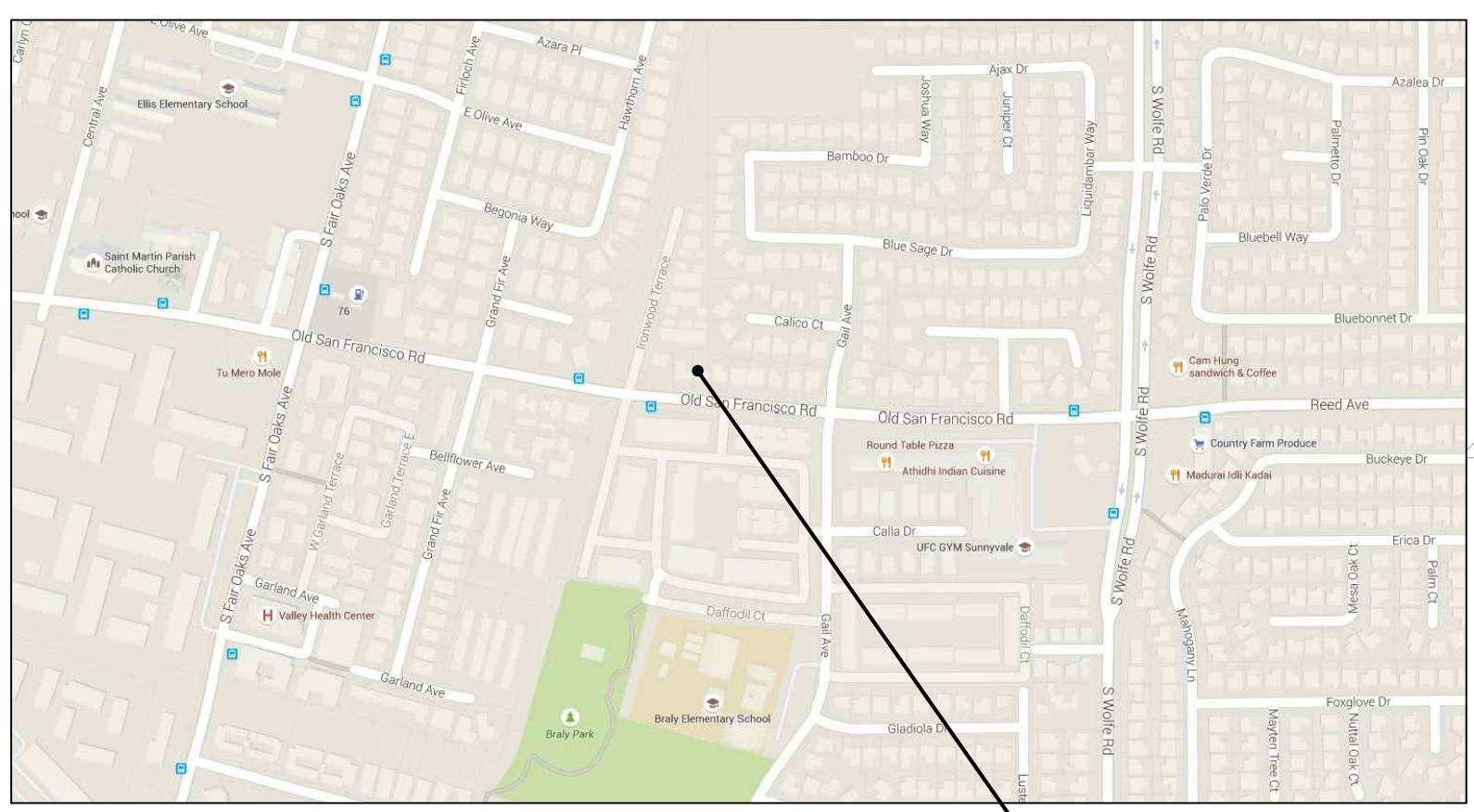
1. OWNERS AND DEVELOPERS:
GEORGE NEJAT
669 & 673 OLD SAN FRANCISCO RD.
SUNNYVALE CA 94086
2. APPLICANT: SAME AS ABOVE.
3. EXISTING ZONING: R3PD
4. EXISTING APN: 209-17-050 & 209-17-051
5. EXISTING USE: SINGLE FAMILY RESIDENTIAL
6. PROPOSED USE: SINGLE FAMILY RESIDENTIAL
7. EXISTING WELLS: UNKNOWN
8. FLOOD ZONE: AO
9. STREETS: ALL PROPOSED STREET MODIFICATIONS WILL BE DONE TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS
10. EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL
11. WATER: CITY OF SUNNYVALE
12. FIRE PROTECTION: CITY OF SUNNYVALE
13. STORM/SANITARY SEWER: CITY OF SUNNYVALE
14. POWER AND GAS: PACIFIC GAS AND ELECTRIC
15. TELEPHONE/CABLE: AT&T/COMCAST
16. STREET TREES: STREET TREE(S) TO BE PLANTED PER CITY OF SUNNYVALE DIRECTION.
17. BUILDING FOOTPRINTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL CONSTRUCTION PLANS.

REFERENCED BENCHMARK:

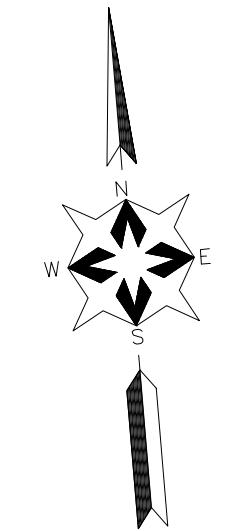
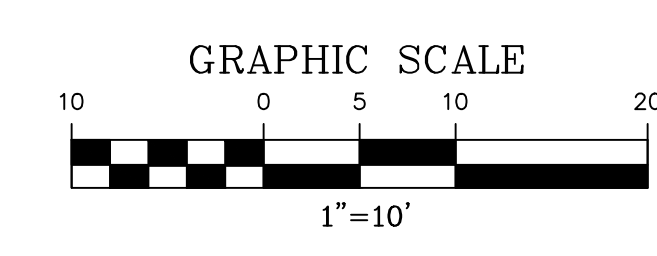
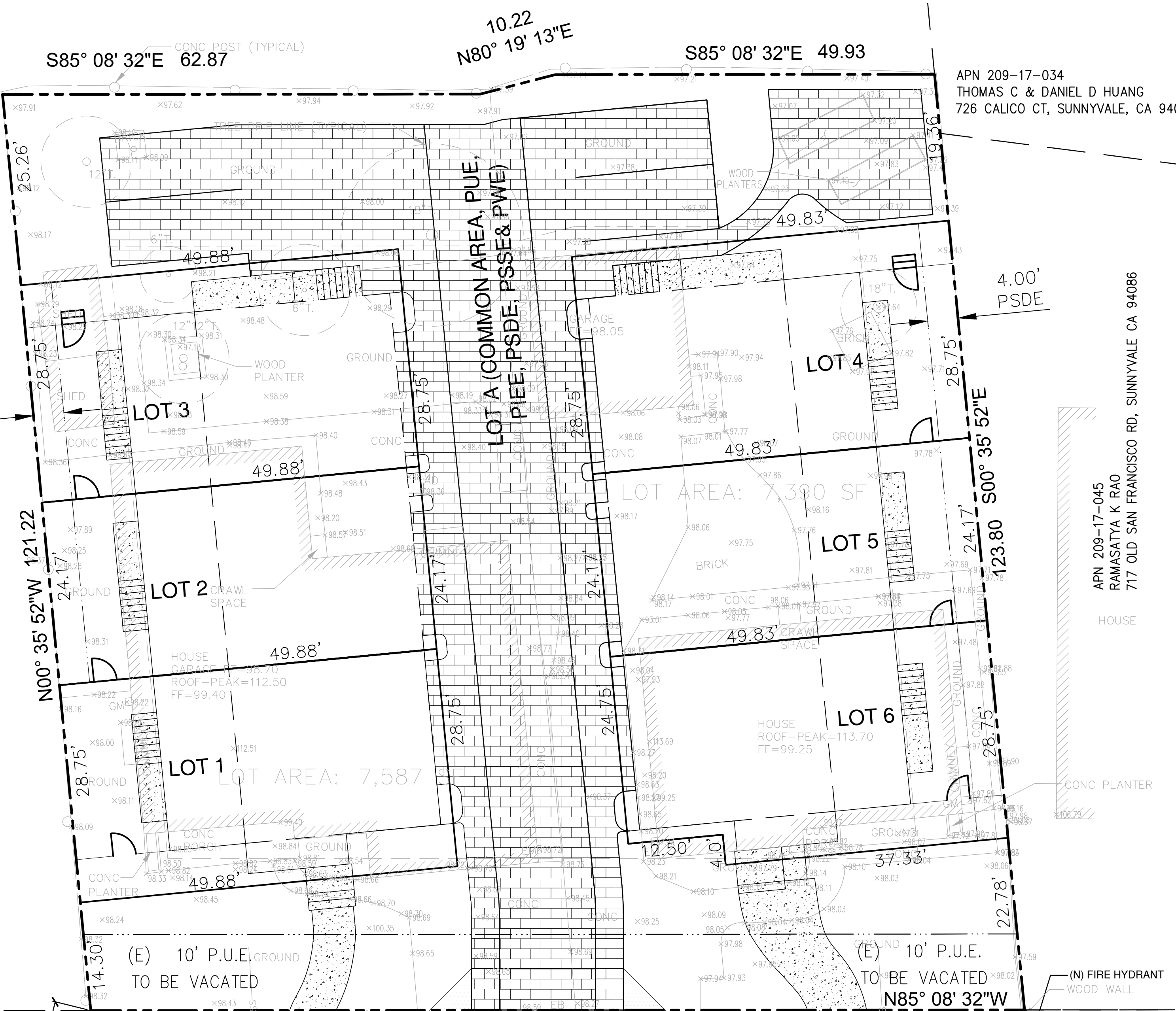
REFERENCED CITY OF SUNNYVALE B.M.# 9, EL: 92.481';
BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE SOUTHWEST CURB RETURN,
INTERSECTION OF WOLFE ROAD AND OLD SAN FRANCISCO ROAD. NAVD88

BASIS OF BEARINGS:

THE BEARING N 74°13'40" W BETWEEN FOUND MONUMENTS ON CALIFORNIA AVE.,
AS SHOWN ON THAT CERTAIN PARCEL MAP, RECORDED IN BOOK 350 OF MAPS
AT PAGE 48, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS
OF BEARINGS SHOWN ON THIS MAP



TRACT #7462
PEBBLE CREEK CONDOMINIUMS APARTMENTS



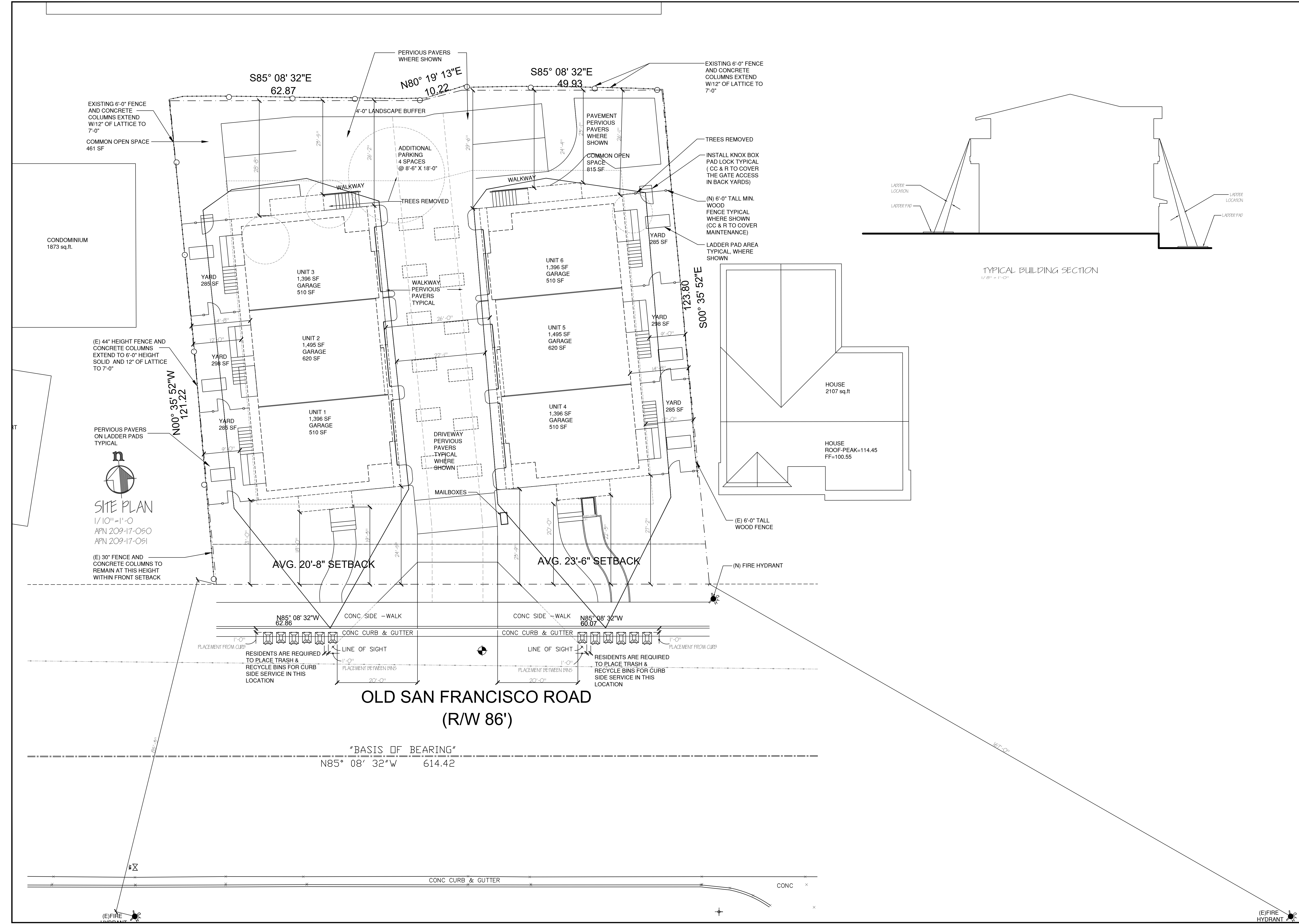
LOT AREA TABLE	GROSS AREA	
	AREA (SQFT.)	AREA (ACRES)
LOT 1	1,434	0.03
LOT 2	1,205	0.03
LOT 3	1,434	0.03
LOT 4	1,433	0.03
LOT 5	1,204	0.03
LOT 6	1,383	0.03
LOT A	6,883	0.16
TOTAL (BOUNDARY)	14,976	0.34

OLD SAN FRANCISCO ROAD (R/W 86')

"BASIS OF BEARING"
N85° 08' 32" W 614.42



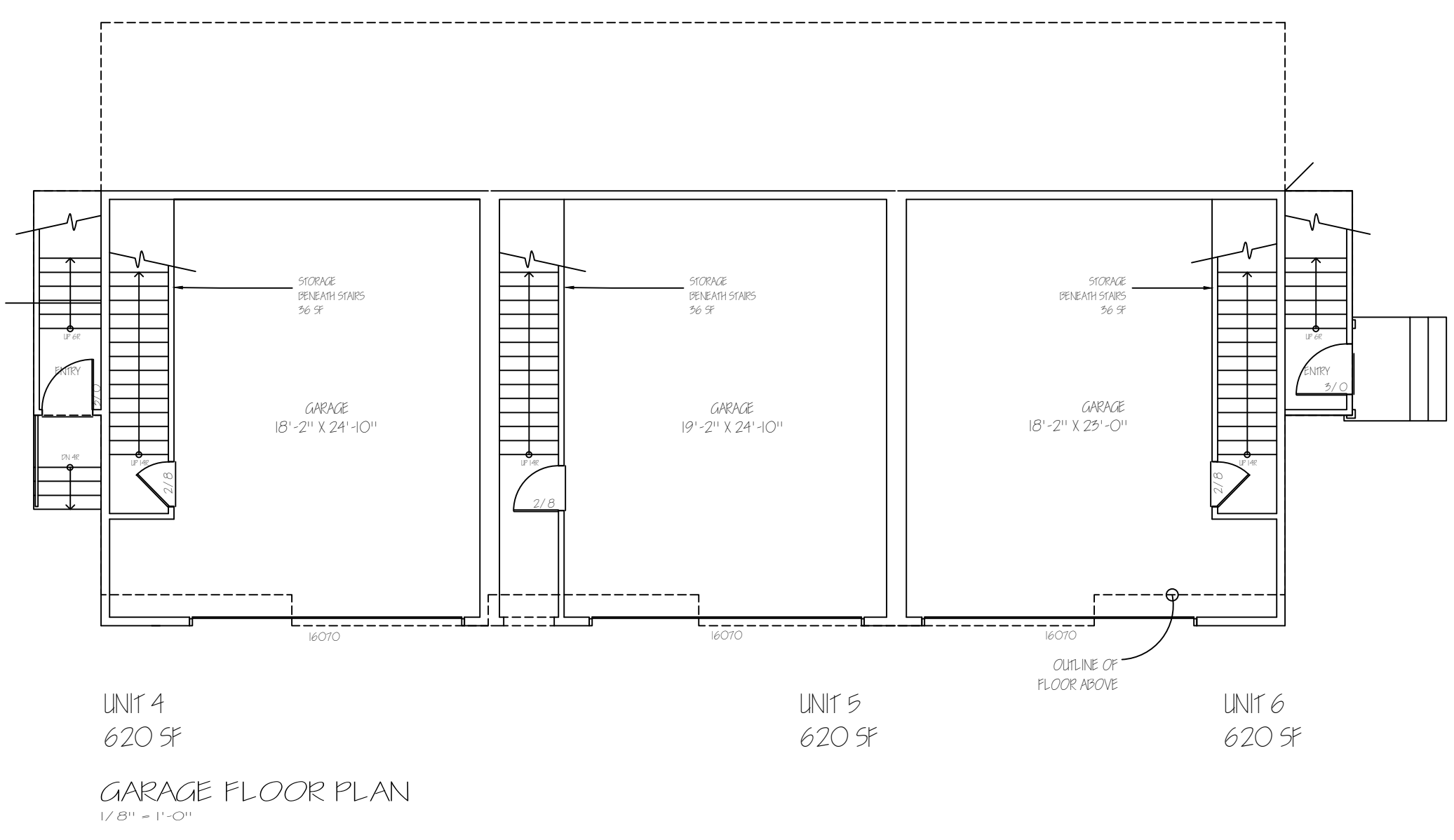
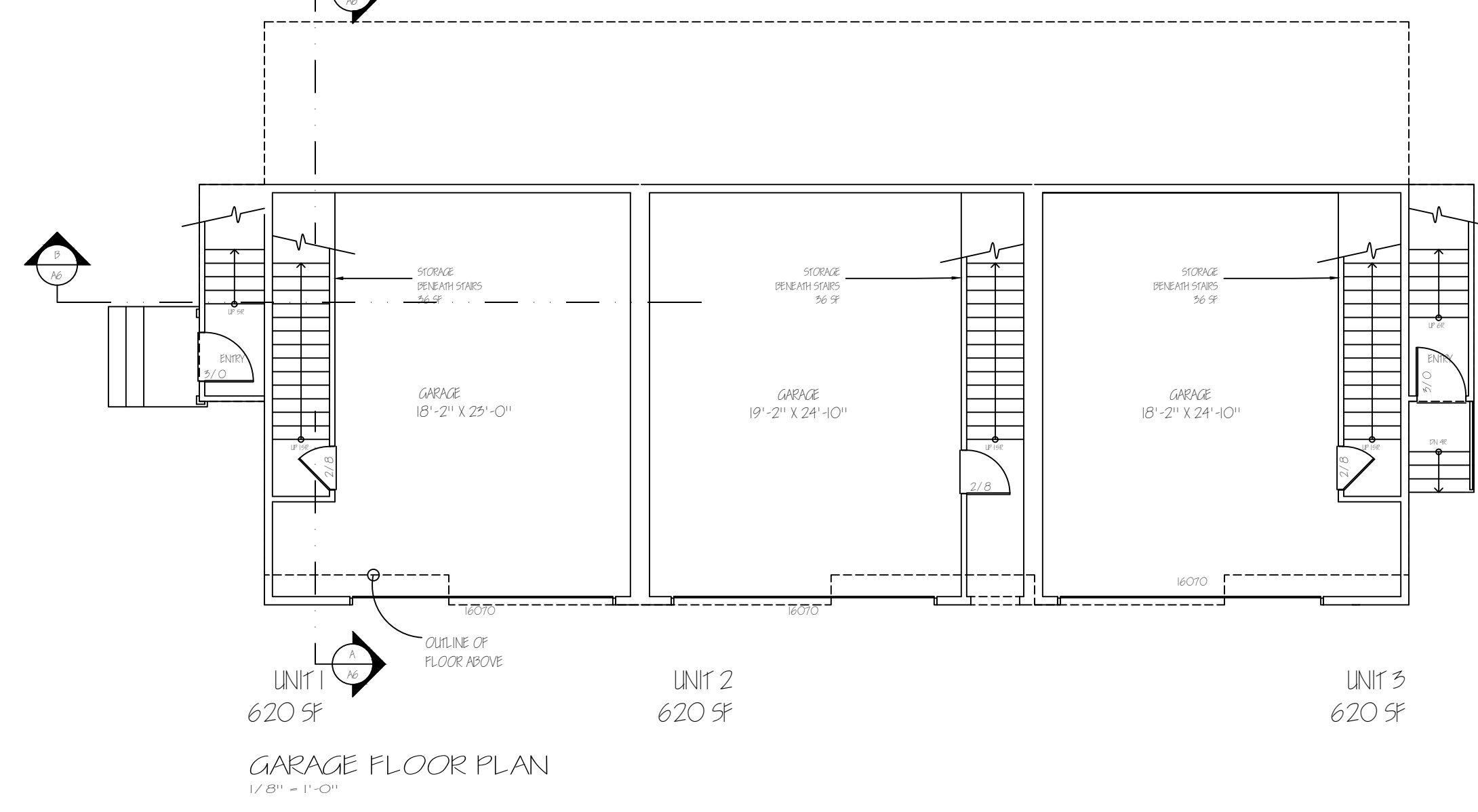
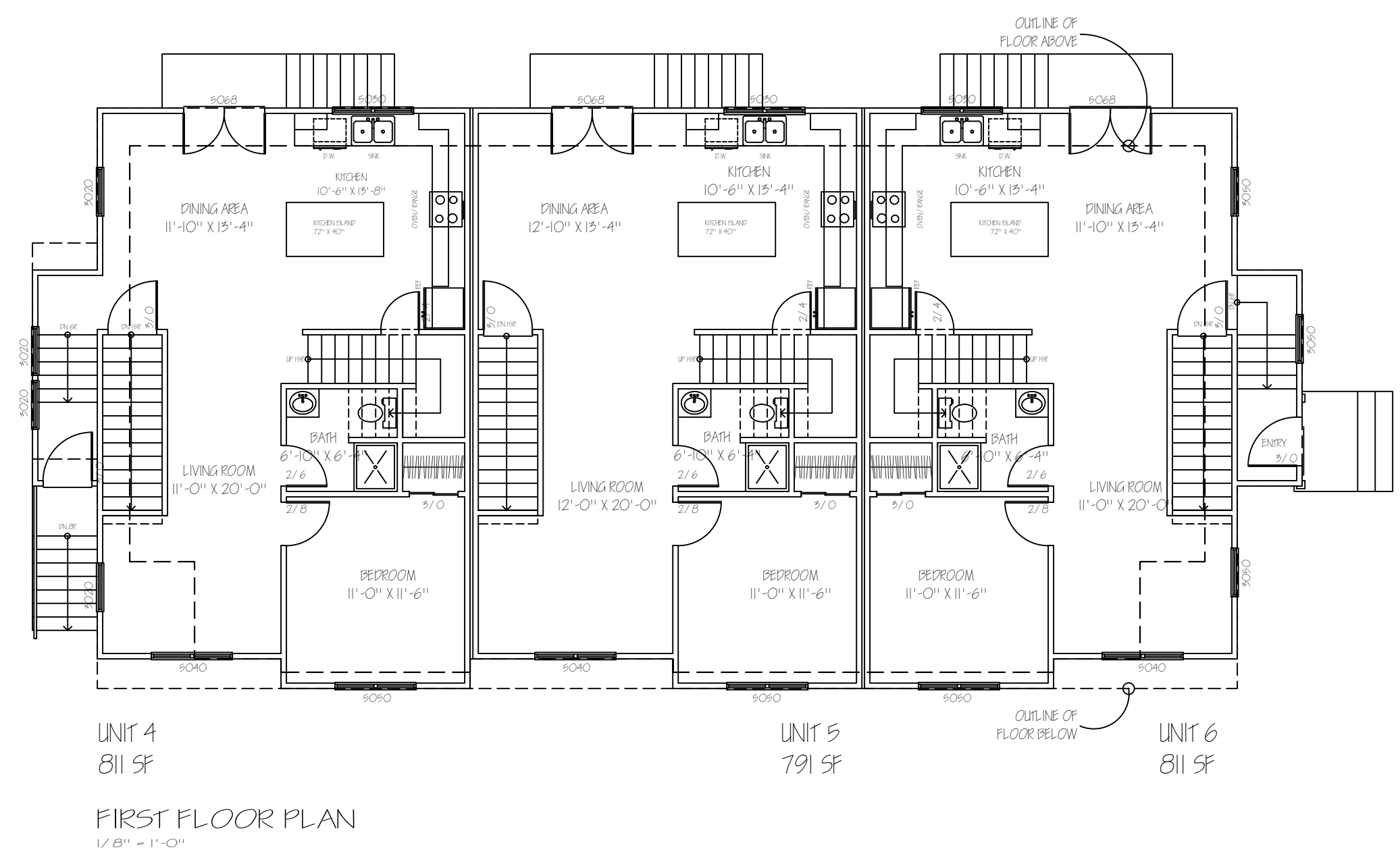
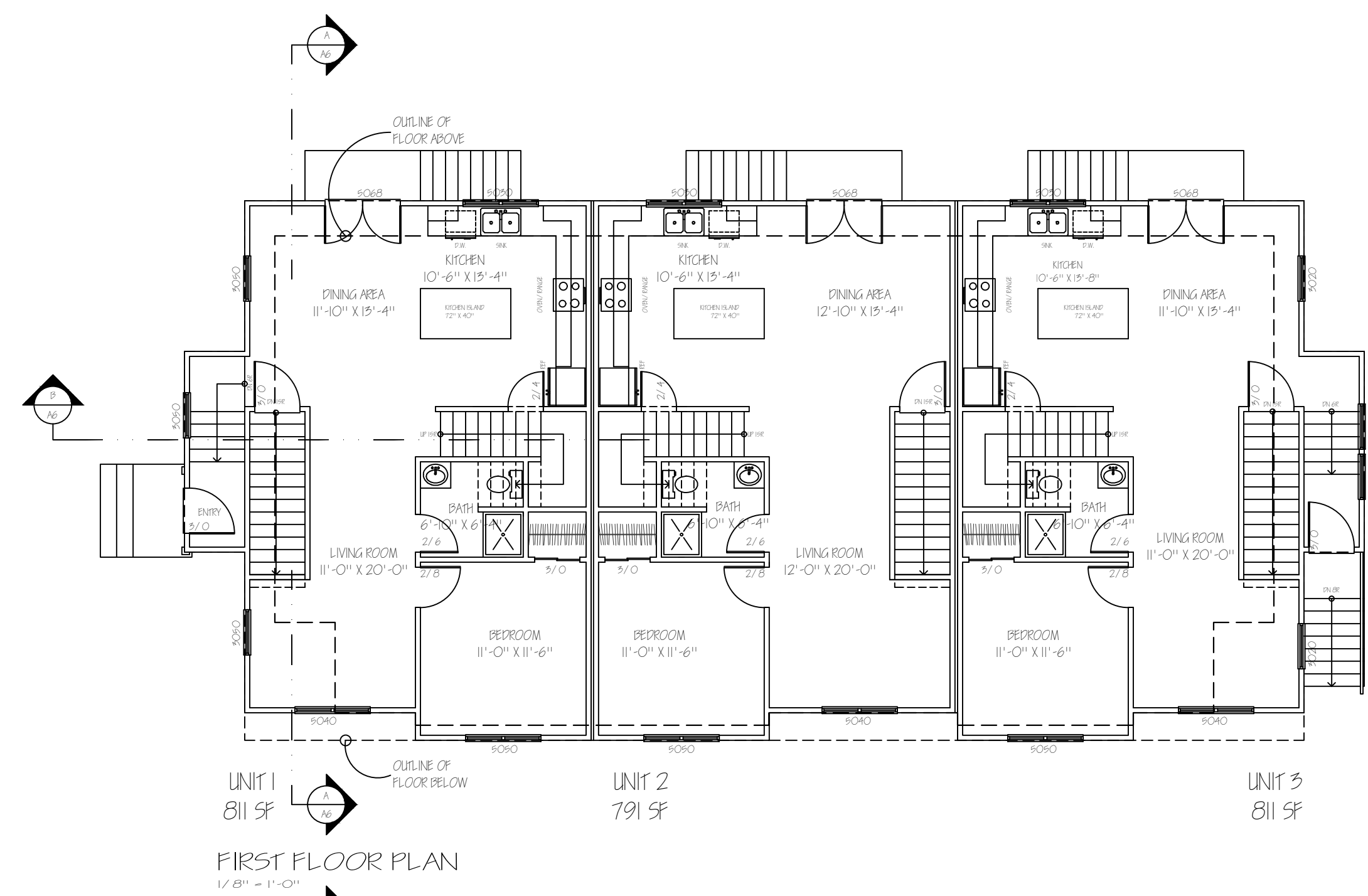
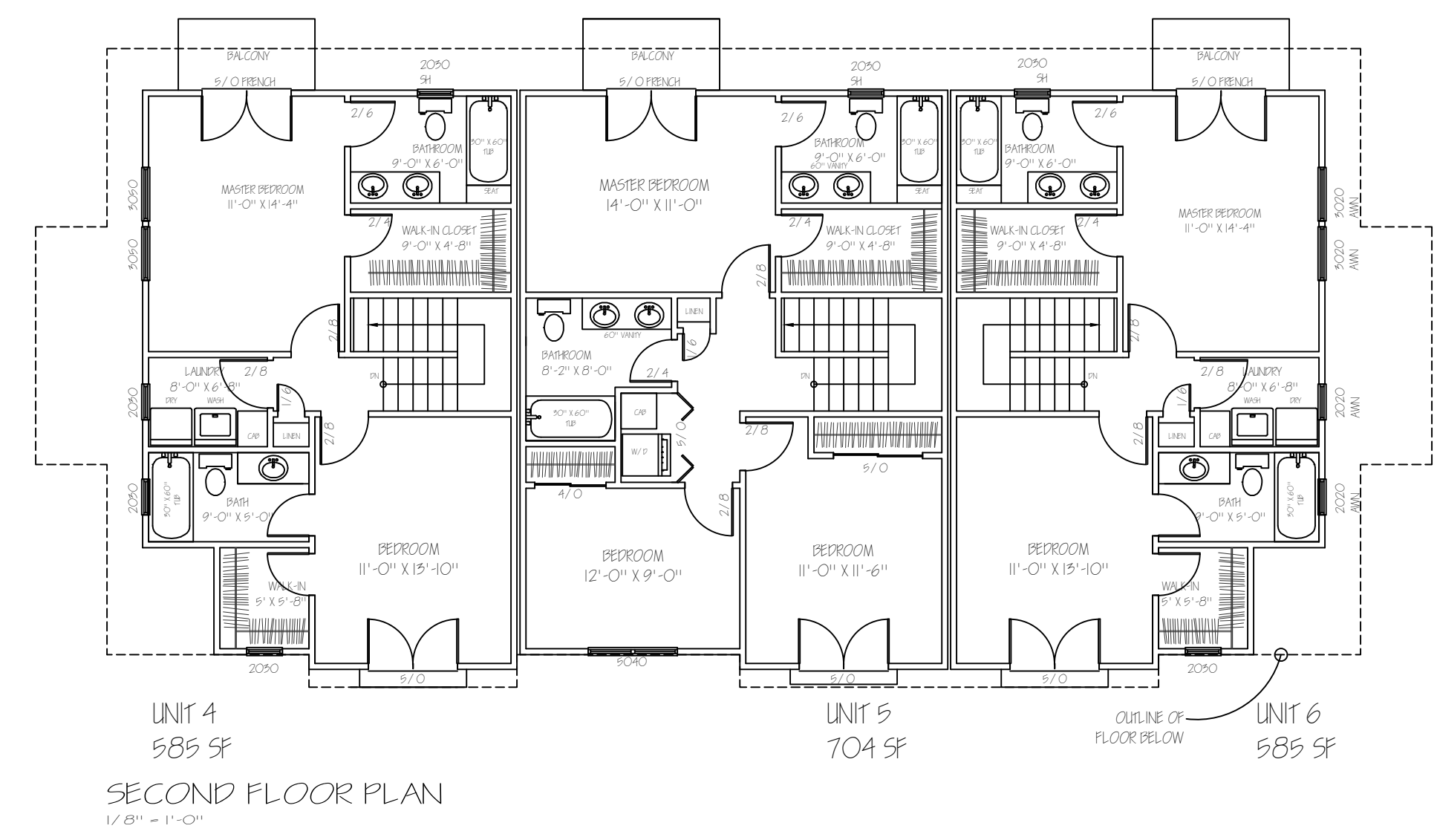
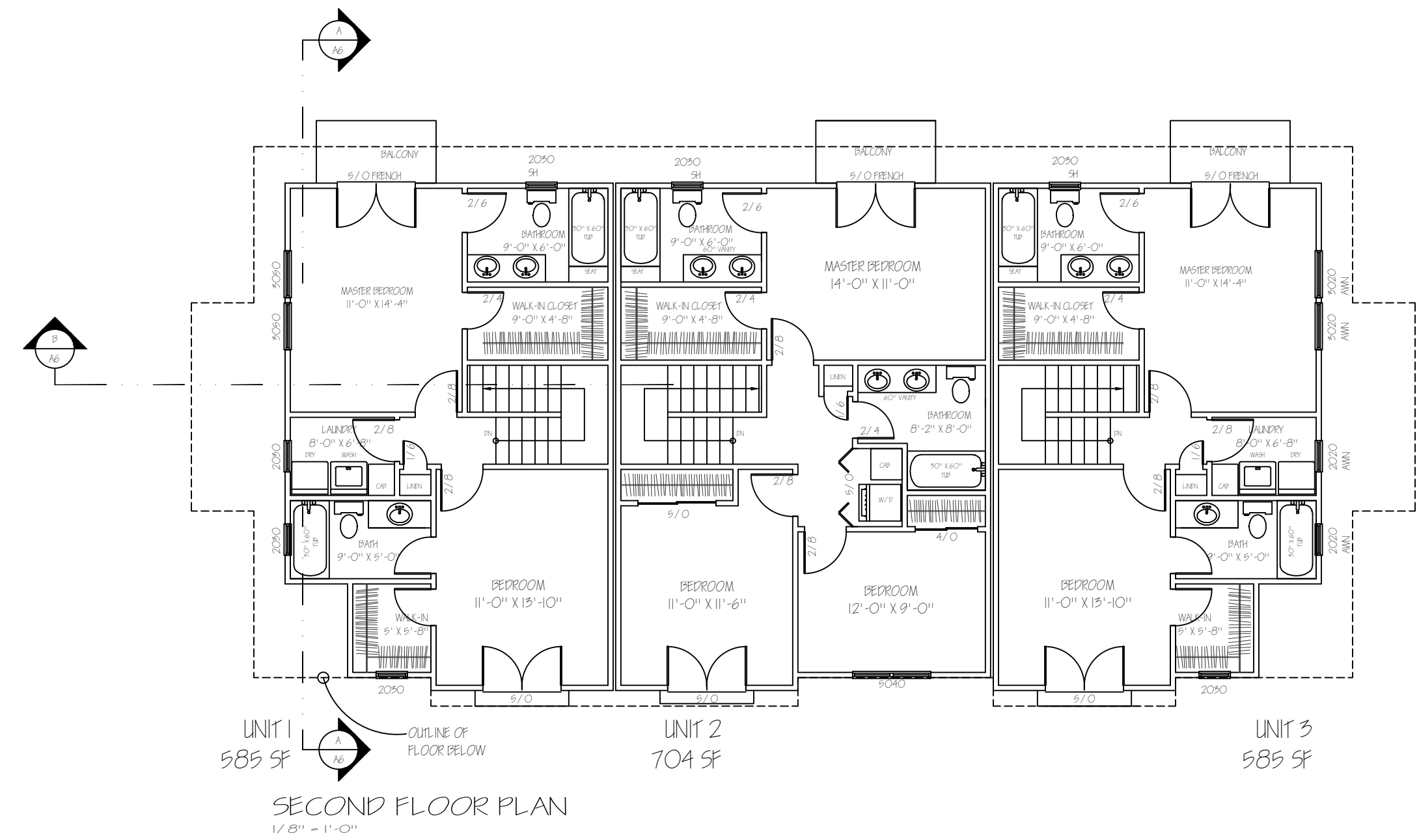
Revisions	By



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San Jose, CA 95117
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E-Mail: innpcp@abglobal.net

A Major Use Permit/ Special Development Permit for:
George Nejat
669 & 673 Old San Francisco Road
Sunnyvale, CA. 94086

Date 05/08/2018
Scale
Drawn
Job
Sheet
A1
of Sheets



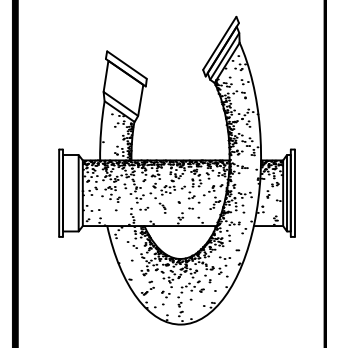
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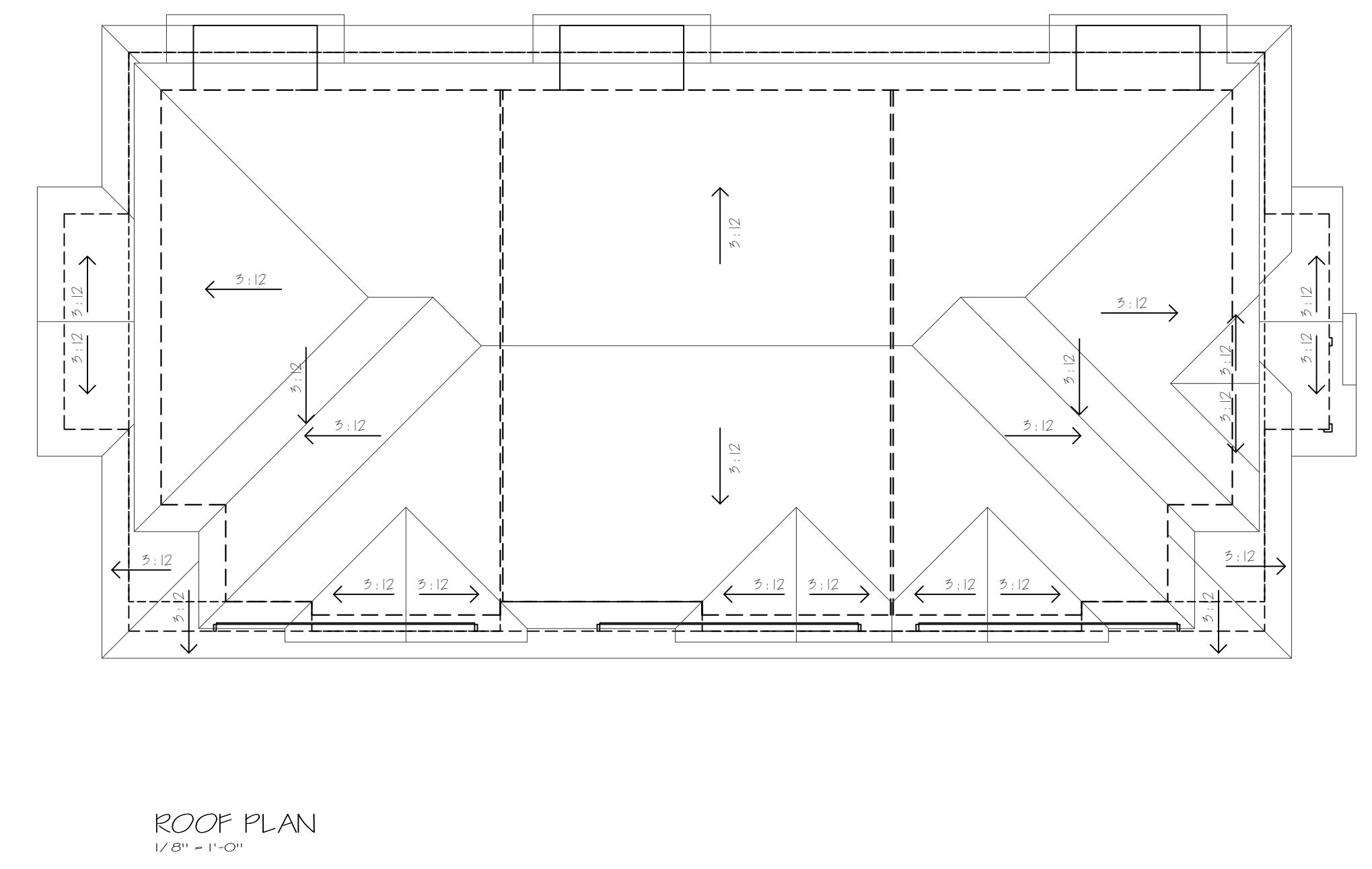
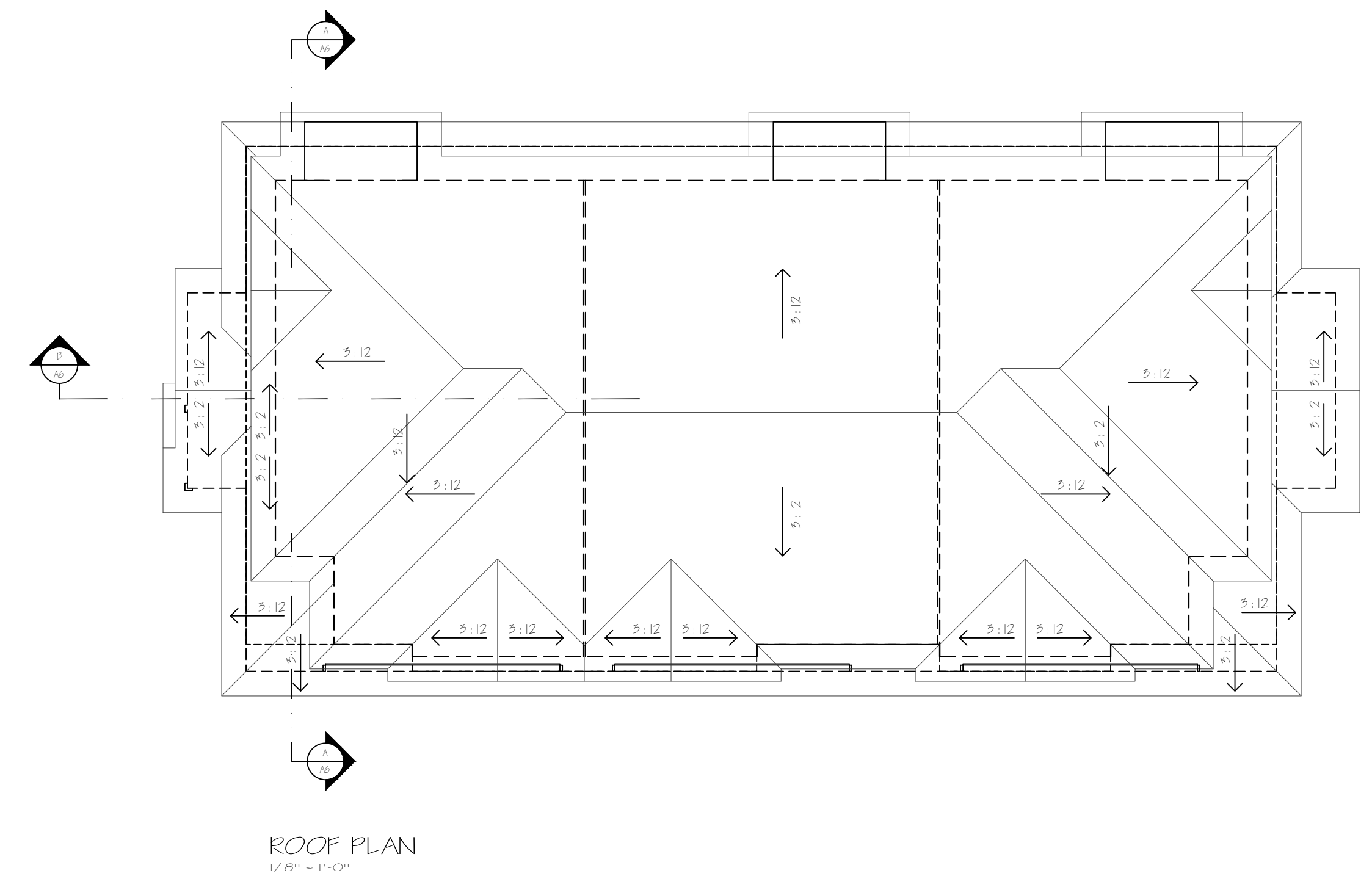
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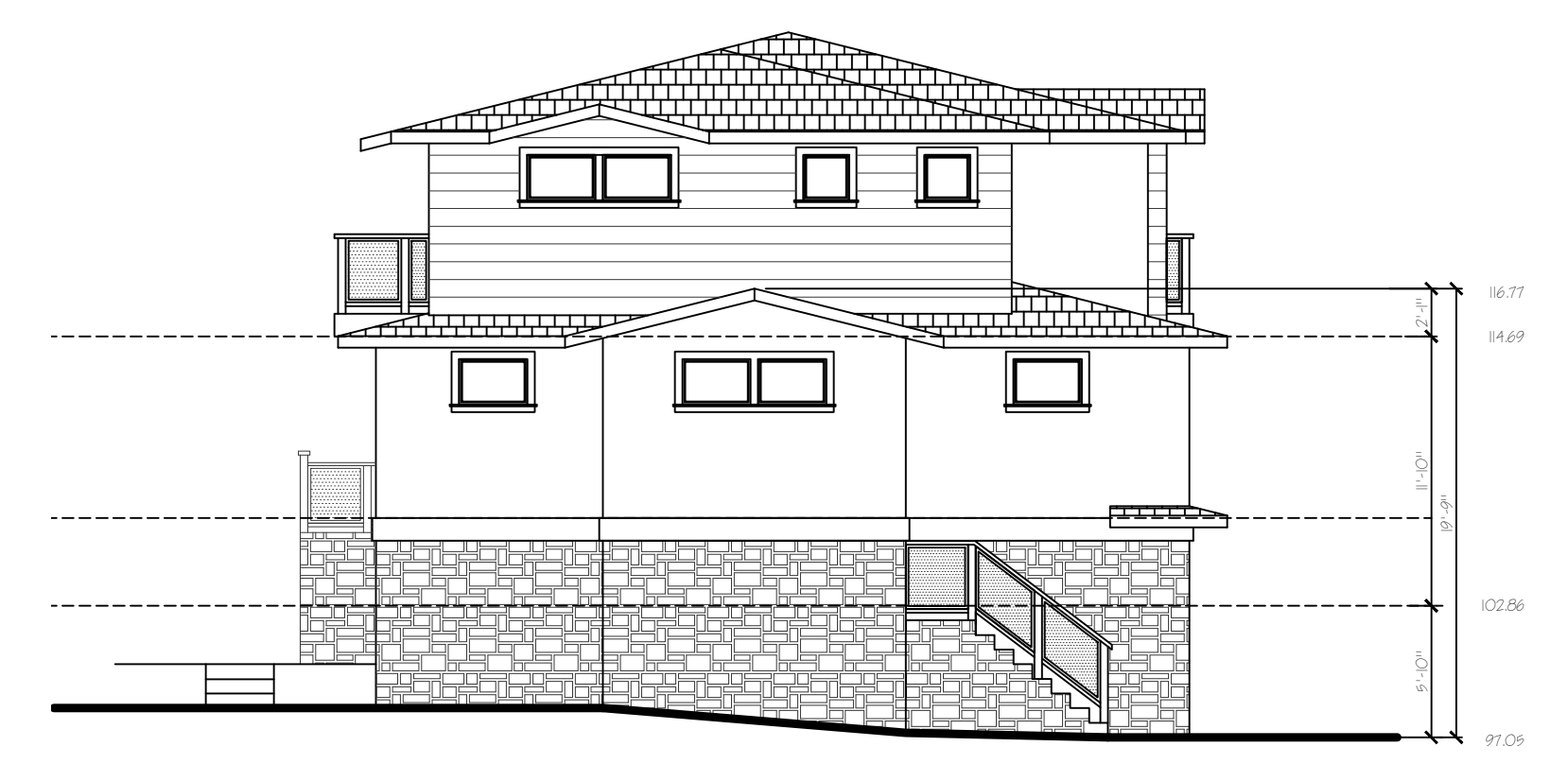
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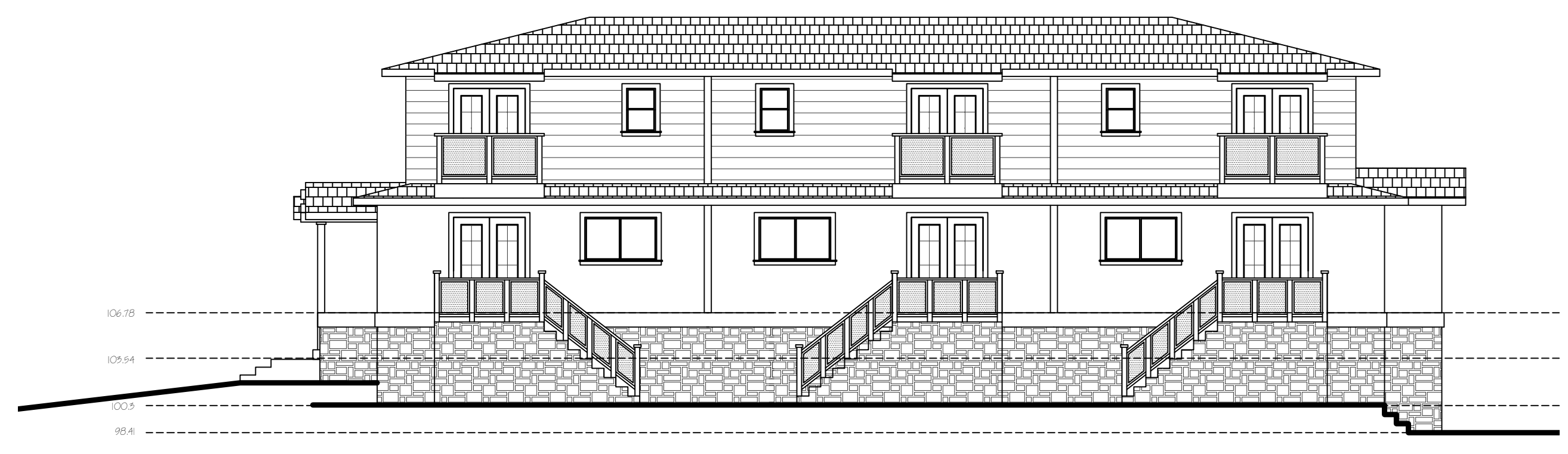
BUILDING 2
SOUTH ELEVATION
1/8" = 1'-0"



BUILDING 2
NORTH ELEVATION
1/8" = 1'-0"

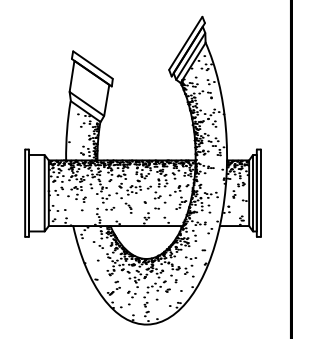


BUILDING 2
WEST ELEVATION
1/8" = 1'-0"



BUILDING 2
WEST ELEVATION
1/8" = 1'-0"

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Date 05/08/2018

Scale

Drawn

Job

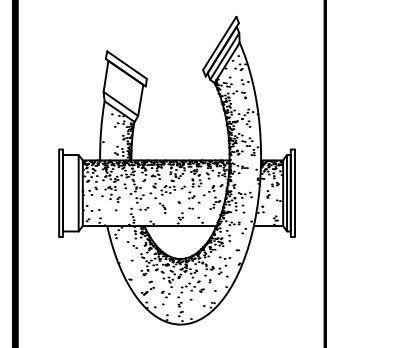
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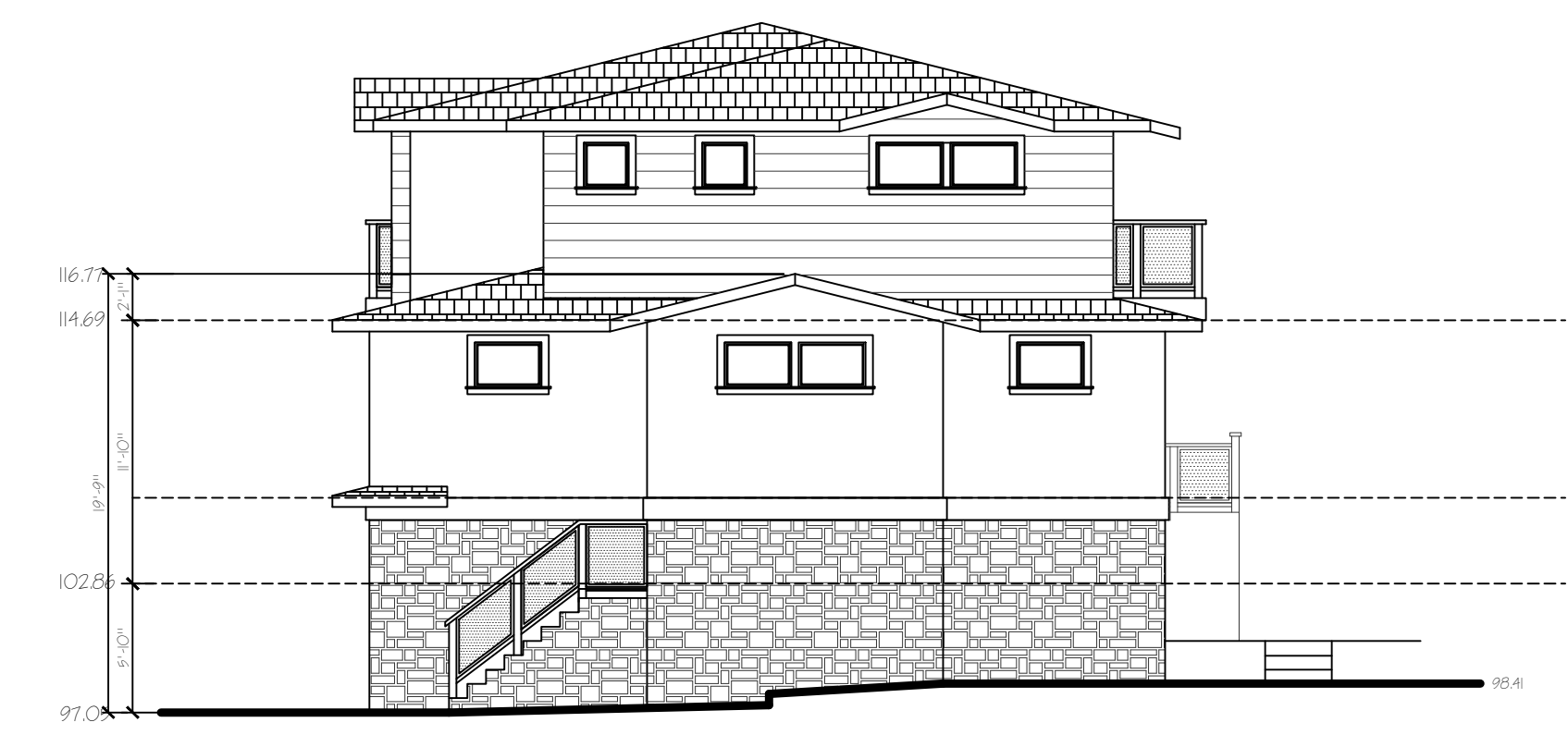
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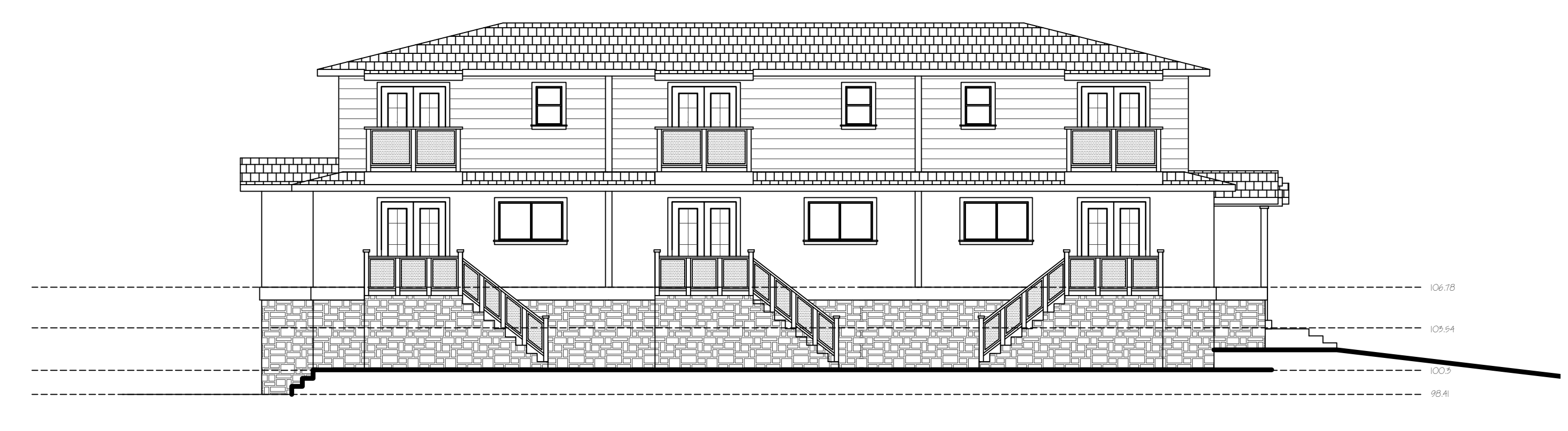
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SOUTH ELEVATION
1/8" = 1'-0"



BUILDING 1
EAST ELEVATION
1/8" = 1'-0"



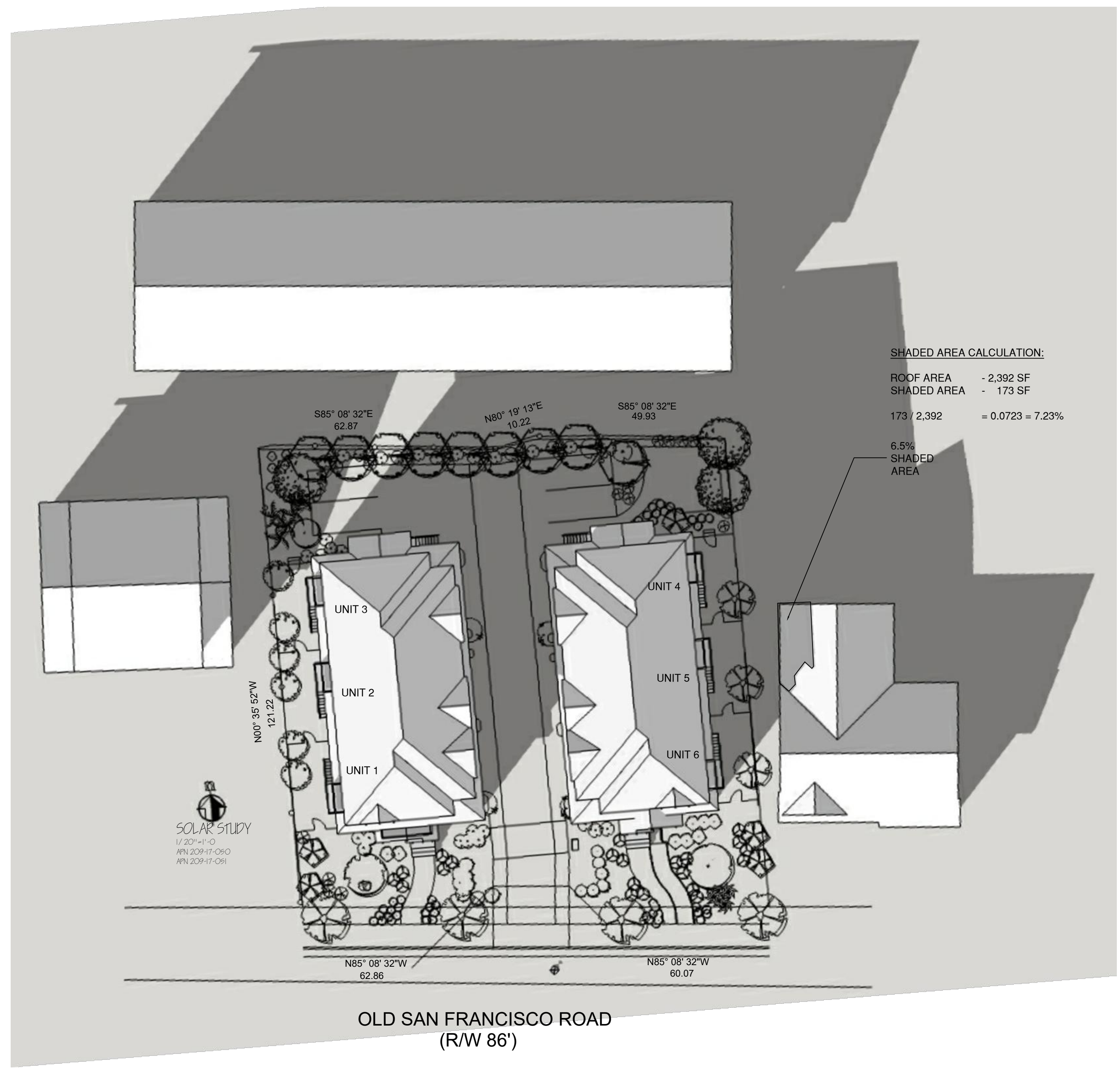
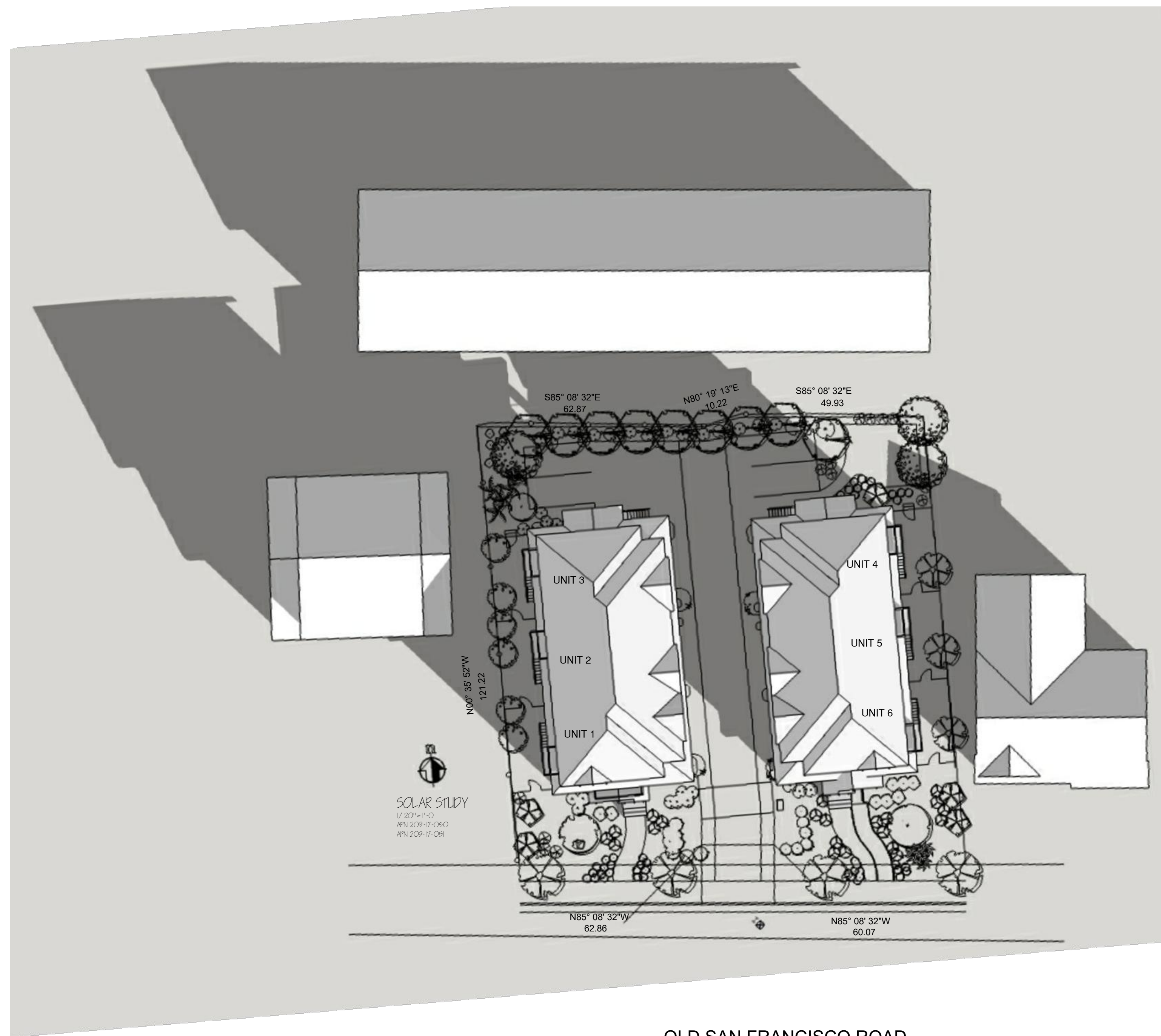
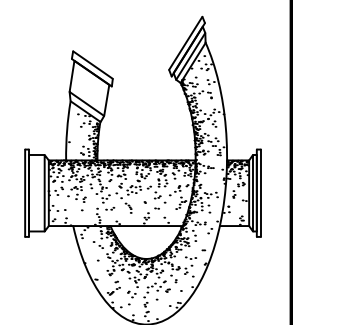
BUILDING 1
NORTH ELEVATION
1/8" = 1'-0"



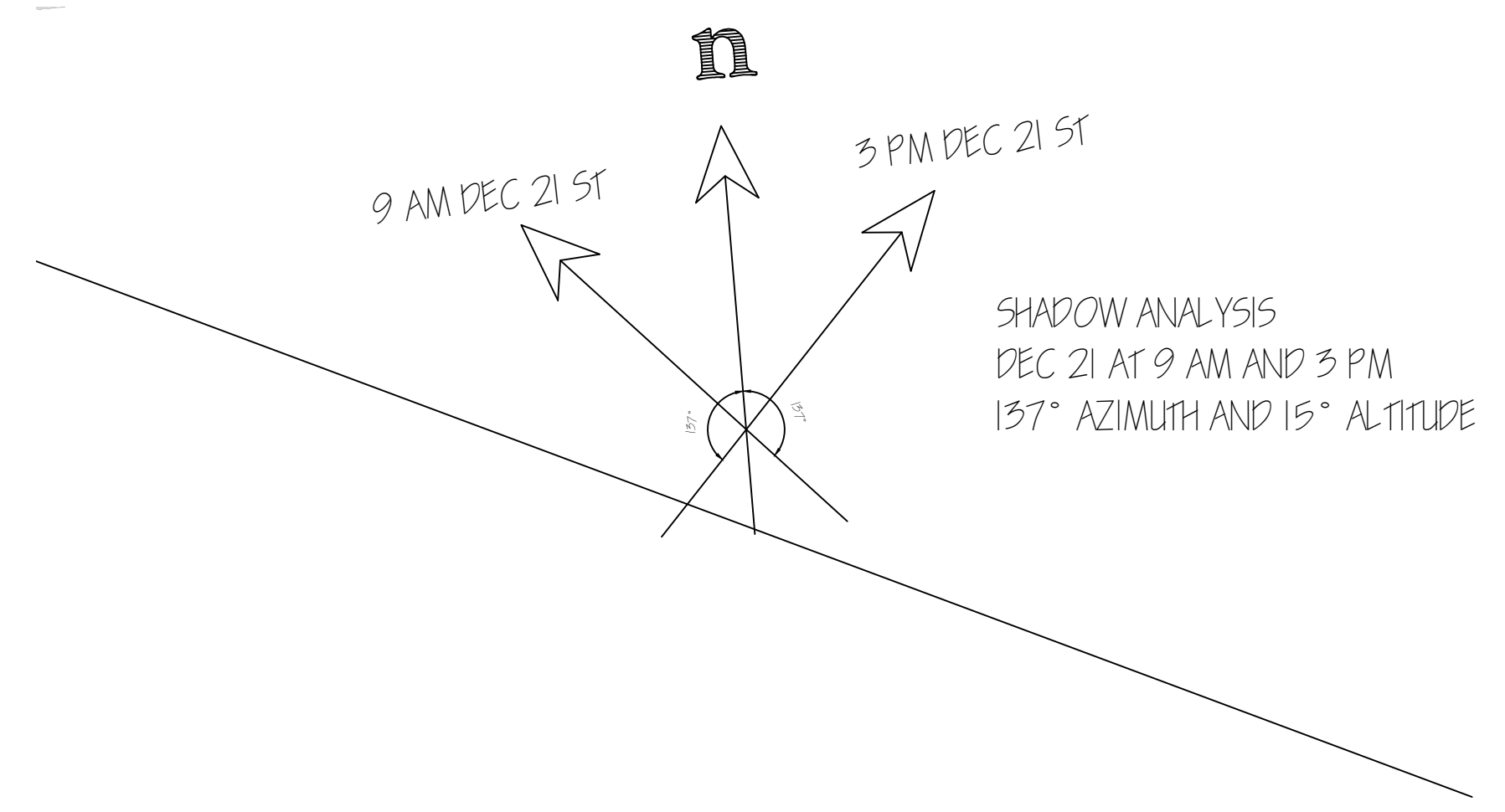
BUILDING 1
WEST ELEVATION
1/8" = 1'-0"

Revisions	By

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 San Jose, CA 95128
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 E-Mail: inncept@abcglobal.net



SHADED AREA CALCULATION:
 ROOF AREA - 2,392 SF
 SHADED AREA - 173 SF
 173 / 2,392 = 0.0723 = 7.23%
 6.5%
 SHADED AREA



A Major Use Permit/ Special Development Permit for:

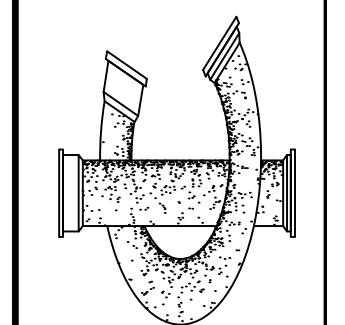
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Date	05/08/2018
Scale	
Drawn	
Job	
Sheet	

A8
 of Sheets

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George Nejat
 669 & 673 Old San Francisco Road
 Sunnyvale, CA. 94086

Date	05/08/2018
Scale	
Drawn	
Job	
Sheet	L1



PLANT LIST

CODE	QTY	SIZE	NAME
AGA ATT	3	5 GAL	AGAVE ATTENUATA 'NOVA'
ARC DOC	2	15 GAL	ARCTOSTAPHYLOS MANZANITA 'DOCTOR HURD'
ARC PAJ	10	5 GAL	ARCTOSTAPHYLOS PAJAROENSIS 'LESTER ROUNTREE'
ASP MEY	5	5 GAL	ASPARAGUS DENSIFLORUS 'MEYERSII'
CEA RAY	5	5 GAL	CEANOTHS 'RAY HARTMAN'
CHI TAS	3	24" BOX	CHITALPA TASHKENTENSIS 'MORNING CLOUD'
COR PUL	18	5 GAL	CEANOTHS RAY HARTMAN'
COT COG	1	15 GAL	CONTINUS COGGYGRIA 'GRACE'
LAG IND	9	24" BOX	LAGERSTOEMIA INDICA 'NATCHEZ'
LAG MUS	4	15 GAL	LAGERSTOEMIA 'MUSKOGEE'
LAV ANG	15	1 GAL	LAVANDULA ANGUSTIFOLIA
LIB PER	33	1 GAL	LIBERTIA PEREGRINANS
LOM BRE	15	1 GAL	LOMANDRA LONGIFOLIA 'BREEZE'
PHL FRU	8	5 GAL	PHLOMIS FRUTESCENS
QUE AGR	4	36" BOX	QUERCUS AGRIFOLIA
QUE SHU	3	24" BOX	QUERCUS SHUMARDII
SAL CEL	8	5 GAL	SALVIA 'CELESTIAL BLUE'
VIT AGN	1	15 GAL	VITEX AGNUS-CASTUS
WES BLU	29	5 GAL	WESTRINGIA FRUTICOSA 'BLUE GEM'
WOO FIM	5	5 GAL	WOODWARDIA FIMBRIATA

INFILL ALL PLANTING AREAS WITH 2" PREMIUM ARBOR MULCH