

SYMBOLS	ABBREVIATIONS	TABULATIONS	DEFERRED SUBMITTALS																																																																				
<div><div>BUILDING LAYOUT POINT</div><div>DATUM POINT ELEVATION</div><div>MATCH LINE</div><div>PROPERTY LINE</div><div>DIM. @ F.O.S./STRUC.</div><div>DIM. @ CENTER LINE</div><div>DIM. @ F.O.F./CLEAR</div><div>(N) OR REQUIRED ELEVATION POINT</div><div>(E) ELEVATION POINT</div><div>COLUMN GRID</div><div>DETAIL NO.</div><div>SHEET NO.</div><div>WALL SECTION NO.</div><div>SHEET NO.</div><div>BUILDING SECTION</div><div>INTERIOR ELEVATION</div><div>DOOR NO.</div><div>DOOR TYPE</div><div>WINDOW NO.</div><div>REVISION NO.</div><div>ROOM NAME</div><div>ROOM NO.</div><div>EARTH</div><div>POROUS FILL/ GRAVEL/ROCK</div><div>SAND/MORTAR/ CEMENT PLASTER</div><div>CONCRETE</div><div>MASONRY WALL</div><div>BRICK/BRICK VENEER/ PAVER</div><div>QUARRY/ CERAMIC TILE</div><div>PLYWOOD</div><div>ROUGH WOOD</div><div>FINISH WOOD</div><div>METAL</div><div>GYPSUM BOARD</div><div>PROTECTION BOARD</div><div>ACOUSTICAL TILE</div><div>GLASS</div><div>WATERPROOFING/ FLASHING</div><div>BLANKET OR BATT INSULATION</div><div>RIGID INSULATION</div><div>RESILIENT FLOORING</div></div>	<div><div>A.A.C. ACOUS</div><div>AC.T. Acoustical</div><div>AC.P. Acoustical Panel</div><div>A.D. ADJ. Adjustable</div><div>AGGR. Aggregate</div><div>A.F. Above Finished</div><div>AL./ALUM. Aluminum</div><div>& And</div><div>ANG./< Angle</div><div>APPROX. Approximate</div><div>ARCH. Architectural</div><div>ASPH. Asphalt</div><div>⊙ At</div><div>B.BKG. Backing</div><div>BD. Board</div><div>BITUM. Bituminous</div><div>BLDG. Building</div><div>BLKG. Blocking</div><div>BM. Beam</div><div>B.O. Bottom of</div><div>BOT. Bottom</div><div>B.U. Built-up</div><div>C.CAB. Cabinet</div><div>C.BA. Carpet Base</div><div>C.B. Catch Basin</div><div>CEM. Cement</div><div>CER. Ceramic</div><div>C.I. Cast Iron</div><div>C.J. Construction/Control Joint</div><div>CL. Center Line</div><div>CLG. Ceiling</div><div>CLKG. Caulking</div><div>CLO. Closet</div><div>CLR. Clear</div><div>C.O. Clean out</div><div>COL. Column</div><div>CONC. Concrete</div><div>CONN. Connection</div><div>CONSTR. Construction</div><div>CONT. Continuous</div><div>CONTR. Contractor</div><div>CORR. Corridor</div><div>CPT. Carpet</div><div>C.P. Cement Plaster</div><div>C.Q. Carpet Square</div><div>CTSK. Countersink</div><div>C.M.U./CMU Conc. Masonry Unit</div><div>CNTR. Counter</div><div>C.T. Ceramic Tile</div><div>CTR. Center</div><div>C.W. Curtain Wall</div><div>D.DAT. Datum</div><div>DBL. Double</div><div>DEPT. Department</div><div>D.F. Drinking Fountain</div><div>DET. Detail</div><div>DIA. Diameter</div><div>DIM. Dimension</div><div>DISP. Dispenser</div><div>DKG. Decking</div><div>DN. Down</div><div>D.O. Door Opening</div><div>D.P. Dimension Point</div><div>DR. Door</div><div>DWR. Drawer</div><div>DS. Downspout</div><div>D.S.P. Dry Standpipe</div><div>DWG. Drawing</div><div>E.E. East</div><div>(E) Existing</div><div>E.A. Each</div><div>E.J. Expansion Joint</div><div>EL./ELEV. Elevation</div><div>ELEC. Electrical</div><div>ELEV. Elevator</div><div>EMER. Emergency</div><div>ENCL. Enclosure</div><div>E.P. Electrical Panelboard</div><div>EQ. Equipment</div><div>EQUIP. Equipment</div><div>E.W.C. Electrical Water Cooler</div><div>EXPO. Exposed</div><div>EXP. Expansion</div><div>EXT. Exterior</div><div>F.A. Fire Alarm</div><div>F.B.O. Furnished by Owner</div><div>F.D. Floor Drain</div><div>FDN. Foundation</div><div>F.E. Fire Extinguisher</div><div>F.E.C. Fire Extinguisher Cab.</div><div>F.F. Finish Floor</div><div>F.G. Fixed Glass</div><div>F.H.C. Fire Hose Cabinet</div><div>F.HWS. Flat Head Wood Screw</div><div>FIN. Finish</div><div>FL. Floor</div><div>FLASH. Flashing</div><div>FLUOR. Fluorescent</div><div>F.O.C. Face of Concrete</div><div>F.O.F. Face of Finish</div><div>F.O.M. Face of Masonry</div><div>F.O.S. Face of Studs</div><div>FRPF. Fireproof</div><div>FR. Frame</div><div>FRG. Framing</div><div>F.S. Full Size</div><div>F.S.R. Fire Sprinkler Riser</div><div>FT. Footing</div><div>FTG. Furring</div><div>FURR. Future</div><div>FUT./(F) Future</div><div>G.GA. Gauge</div><div>GALV. Galvanized</div><div>G.B. Grab Bar</div><div>G.CONC. Gunite Concrete</div><div>GL. Glass</div><div>GND. Ground</div><div>GR. Grade</div><div>OYP. Gypsum</div><div>H.B. Hose Bibb</div><div>H.C. Hollow Core</div><div>H.D. Hot Dipped</div><div>HDCP. Handicapped</div><div>HDWD. Hardwood</div><div>HDWR. Hardware</div><div>H.M. Hollow Metal</div><div>HORIZ. Horizontal</div><div>HR. Hour</div><div>HGT. Height</div><div>I.I.D. Inside Diameter</div><div>IN. Inch or Inches</div><div>INCL. Include</div><div>INSUL. Insulation</div><div>INT. Interior</div><div>J.JAN. Janitor</div><div>JT. Joint</div><div>K.KIT. Kitchen</div><div>L.LAB. Laboratory</div><div>LAM. Laminate</div><div>LAV. Lavatory</div><div>LB./# L.F. Linear Feet</div><div>L.K. Locker</div><div>LT. Light</div><div>LG. Large</div><div>M.MAT. Material</div><div>M.B. Machine Bolt</div><div>M.C. Medicinal Cabinet</div><div>MD. Medium</div><div>MECH. Mechanical</div><div>MEMB. Membrane</div><div>MET. Metal</div><div>MFR. Manufacturer</div><div>MH. Manhole</div><div>MIN. Minimum</div><div>MIR. Mirror</div><div>MISC. Miscellaneous</div><div>M.O. Masonry Opening</div><div>MT. Mounted</div><div>MUL. Mullion</div><div>N.N. North</div><div>(N) New</div><div>N.I.C. Not In Contract</div><div>NO./# Number</div><div>NOM. Nominal</div><div>N.T.S. Not to Scale</div><div>O.O. Overall</div><div>O.A. On Center</div><div>O.C. Outside Diameter (Dim.)</div><div>O.D. Opposite Hand</div><div>O.H. Overflow Drain</div><div>O.F.D. OBS. Office</div><div>OPNG. Opening</div><div>OPP. Opposite</div><div>P.P.C. Painted Concrete</div><div>P.G.B. Painted Gypsum Board</div><div>PKG. Parking</div><div>PRCST. Pre-Cast</div><div>PL. Plate</div><div>P.LAM. Plastic Laminated</div><div>PLAS. Plaster</div><div>PLYWD. Plywood</div><div>PR. Pair</div><div>PT. Paper Towel Dispenser</div><div>P.T.D./R. Combination Paper Towel Dispenser & Receptacle</div><div>PTN. Partition</div><div>P.T.R. Paper Towel Receptacle</div><div>Q.QTY. Quantity</div><div>Q.T. Quarry Tile</div><div>R.R. Riser</div><div>RAD. Radius</div><div>R.B.-4 4" Rubber Top Set Base</div><div>R.B.-6 6" Rubber Top Set Base</div><div>R.D. Roof Drain</div><div>REF. Reference</div><div>REFR. Refrigerator</div><div>REINF. Reinforced</div><div>REQ. Required</div><div>RESIL. Resilient</div><div>R.F. Resilient Flooring</div><div>RFG. Roofing</div><div>RGTR. Register</div><div>RHWS. Round Head Wood Screw</div><div>RM. Room</div><div>RND. Round</div><div>R.O. Rough Opening</div><div>RWD. Redwood</div><div>R.W.L. Rain Water Leader</div><div>S.S. South</div><div>S.C. Solid Core</div><div>S.C.D. Seat Cover Dispenser</div><div>S.CONC. Sealed Concrete</div><div>SCHED. Schedule</div><div>S.D. Soap Dispenser</div><div>SECT. Section</div><div>SH. Shelf</div><div>SHR. Shower</div><div>SHT. Sheet</div><div>SIM. Similar</div><div>SHT.MET. Sheet Metal</div><div>SM. Small</div><div>S.N.D. Sanitary Napkin Dispenser</div><div>SD.INSUL. Sound Insulation</div><div>SPEC. Specification</div><div>SQ. Square</div><div>S.SK. Service Sink</div><div>S.STL. Stainless Steel</div><div>STA. Station</div><div>STD. Standard</div><div>STL. Steel</div><div>STOR. Storage</div><div>STRUC. Structure/Structural</div><div>SUSP. Suspended</div><div>S.V. Sheet Vinyl</div><div>SYM. Symmetrical</div><div>SYS. System</div><div>T.TRD. Tread</div><div>T.B. Towel Bar</div><div>T.C. Top of Curb</div><div>TEL. Telephone</div><div>TEMP. Temporary</div><div>TER. Terrazzo</div><div>T.&G. Tongue & Groove</div><div>T.G.B. Textured Gypsum Board</div><div>THK. Thick</div><div>T.O. Top of</div><div>T.O.C. Top of Concrete</div><div>T.P.D. Toilet Paper Dispenser</div><div>T.V. Television</div><div>T.O.W. Top of Wall</div><div>TYP. Typical</div><div>UNF. Unfinished</div><div>U.O.N. Unless Otherwise Noted</div><div>UR. Urinal</div><div>V.VCR. Vinyl Carpet Reducer</div><div>VCT. Vinyl Composition Tile</div><div>VERT. Vertical</div><div>VEST. Vestibule</div><div>V.T. Vinyl Tile</div><div>V.W.C. Vinyl Wall Convering</div><div>W.W. West</div><div>W./W.C. With Water Closet</div><div>WD. Wood</div><div>WDW. Window</div><div>W.F. Wall Fabric</div><div>W.H. Water Heater</div><div>W/O. Without</div><div>WP. Waterproof</div><div>W.SCT. Wainscot</div><div>W.S.P. Wet Stand Pipe</div><div>WT. Weight</div><div>Y.YD. Yard</div></div>	<div>APN Numbers: 313-14-049</div> <div>Occupancy: R3/U Single family</div> <div>Zone Designation: R1</div> <div>Construction type: VB</div> <div>Lot size: 11,026.00 s.f.</div> <div>Dedication Line: 305.00 s.f.</div> <div>(N) Lot size: 10,721.00 s.f.</div> <div>PROJECT DATA</div> <table><tr><th>EXISTING</th><th>PROPOSED</th><th>PERMITTED</th><th>COMMENTS</th></tr><tr><td>FIRST FLOOR</td><td>1828.00</td><td>2498.00</td><td></td></tr><tr><td>SECOND FLOOR</td><td>0.00</td><td>699.00</td><td>28.66% RATIO</td></tr><tr><td>GARAGE S.F.</td><td>855</td><td>855</td><td></td></tr><tr><td>PORCH</td><td>190</td><td>80.00</td><td></td></tr><tr><td>GROSS FLOOR AREA</td><td>2863.00</td><td>4132.00</td><td></td></tr><tr><td>LIVING AREA TOTAL</td><td>1828.00</td><td>3197.00</td><td>FIRST AND SECOND FLOOR</td></tr><tr><td>FIRST FLOOR ADDITION</td><td>0</td><td>631.00</td><td></td></tr><tr><td>LOT COVERAGE</td><td>24.98%</td><td>31.56%</td><td>40%</td></tr><tr><td>F.A.R.</td><td>24.98%</td><td>37.96%</td><td>INCLUDING GARAGE</td></tr><tr><td>FRONT SETBACK TO COLUMNS</td><td>10'-10"</td><td>14'-9"</td><td>20'-0"</td></tr><tr><td>FIRST FLOOR REAR SETBACK</td><td>13'-2"</td><td>13'-2"</td><td>20'-0"</td></tr><tr><td>SECOND FLOOR REAR SETBACK</td><td>-</td><td>23'-3"</td><td>20'-0"</td></tr><tr><td>LEFT SETBACK</td><td>10'-0"</td><td>7'-8"</td><td>6'-0"</td></tr><tr><td>BUILDING HEIGHT</td><td>12'-2"</td><td>21'-8"</td><td>35'-0"</td></tr><tr><td>No. STORIES</td><td>1</td><td>2</td><td>2.5</td></tr><tr><td>PARKING SPACES</td><td>3</td><td>3</td><td></td></tr></table> <div>CODE REFERENCE:</div> <div>2016 CALIFORNIA RESIDENTIAL CODE (CRC)</div> <div>2016 CALIFORNIA BUILDING CODE (CBC)</div> <div>2016 CALIFORNIA MECHANICAL CODE (CMC)</div> <div>2016 CALIFORNIA PLUMBING CODE (CPC)</div> <div>2016 CALIFORNIA ELECTRICAL CODE (CEC)</div> <div>2016 CALIFORNIA FIRE CODE (CFC)</div> <div>2016 CALIFORNIA T-24 ENERGY CODE</div> <div>CITY OF SUNNYVALE, CA. MUNICIPAL CODE</div> <div>SCOPE OF WORK:</div> <div>1. COMPLETE INTERIOR REMODEL EXISTING HOUSE</div> <div>2. REMOVE (E) ROOF & CEILING JOIST</div> <div>3. ADD NEW MASTER BATH</div> <div>4. KITCHEN REMODEL</div> <div>5. RELOCATE EXISTING LAUNDRY</div> <div>3. ADD A SECONDARY DWELLING UNIT</div> <div>DRAWING INDEX</div> <div>ARCHITECTURAL</div> <div>A0.0 PROJECT DATA</div> <div>A0.1 SITE PLAN</div> <div>A0.2 GENERAL NOTES</div> <div>A1.0 EXISTING AND DEMOLITION FLOOR PLAN</div> <div>A1.1 PROPOSED NEW FIRST FLOOR</div> <div>A1.2 PROPOSED NEW SECOND FLOOR</div> <div>A1.3 DIMENSIONED FIRST FLOOR PLAN</div> <div>A1.4 DIMENSIONED SECOND FLOOR PLAN</div> <div>A1.5 EXISTING ROOF PLAN</div> <div>A1.6 NEW ROOF PLAN</div> <div>A1.7 SOLAR STUDY</div> <div>A1.8 FLOOR AREA CALCULATION</div> <div>A2.0 EXISTING ELEVATIONS</div> <div>A2.1 PROPOSED ELEVATIONS</div> <div>A2.2 PROPOSED ELEVATIONS</div> <div>A3.0 CROSS SECTIONS</div> <div>A3.1 CROSS SECTIONS</div> <div>CG CAL-GREEN CHECK LIST</div> <div>ENGINEERING</div> <div>T-01 TOPOGRAPHIC SURVEY</div>	EXISTING	PROPOSED	PERMITTED	COMMENTS	FIRST FLOOR	1828.00	2498.00		SECOND FLOOR	0.00	699.00	28.66% RATIO	GARAGE S.F.	855	855		PORCH	190	80.00		GROSS FLOOR AREA	2863.00	4132.00		LIVING AREA TOTAL	1828.00	3197.00	FIRST AND SECOND FLOOR	FIRST FLOOR ADDITION	0	631.00		LOT COVERAGE	24.98%	31.56%	40%	F.A.R.	24.98%	37.96%	INCLUDING GARAGE	FRONT SETBACK TO COLUMNS	10'-10"	14'-9"	20'-0"	FIRST FLOOR REAR SETBACK	13'-2"	13'-2"	20'-0"	SECOND FLOOR REAR SETBACK	-	23'-3"	20'-0"	LEFT SETBACK	10'-0"	7'-8"	6'-0"	BUILDING HEIGHT	12'-2"	21'-8"	35'-0"	No. STORIES	1	2	2.5	PARKING SPACES	3	3		<div>1. FIRE SPRINKLER DEFERRED SUBMITTAL</div> <div>THE APPLICANT SHALL INSTALL AN N.F.P.A 13- FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED DWELLING, COMPLYING WITH LOCAL AMENDMENTS. RESIDENTIAL SPRINKLER HEADS SHALL BE USED IN THE DWELLING/GUEST PORTIONS OF THE BUILDING. THE SPRINKLER SYSTEM SHALL PROVIDE PROTECTION TO AT LEAST ALL OF THE FOLLOWING AREAS: GARAGES, CARPORTS, BATHROOMS, CONCEALED SPACES, WATER HEATER/FURNACE ROOMS, CLOSETS, LAUNDRY ROOMS, ATTIC SPACES, UNDER WALKS, OR OVERHANGS, BALCONIES OR DECK GREATER THAN 4 FEET IN DEPTH, FLOOR LANDINGS IF WHOLLY OR PARTIAL ENCLOSED, COVERED GUEST CARPORTS, TRUSSES OR OTHER AREAS AS REQUIRED. FIRE SPRINKLER TEST WATER MUST DRAIN TO AN APPROPRIATE-SIZED LANDSCAPE AREA. PLANS SHOWING PIPING OF AFES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION</div> <div>THE MINIMUM SIZE WATER METER WHICH CAN BE USE WITH A FIRE SPRINKLER SYSTEM IS 3/4-INCH. LARGER WATER METER MAYBE REQUIRED</div>
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HOUSE ADDITION/REMODEL FOR:
BINO AND JENNIE JACOB
1498 NORMAN DR
SUNNYVALE, CA 95035

△ REVISION

DATE

△ 1

△ 2

△ 3

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DATE: September 25, 2018

PROJECT No. 37-090215

PROJECT DATA

REF. NORTH

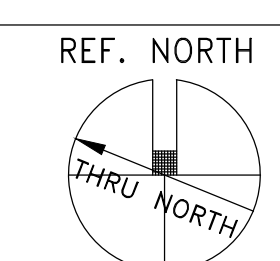
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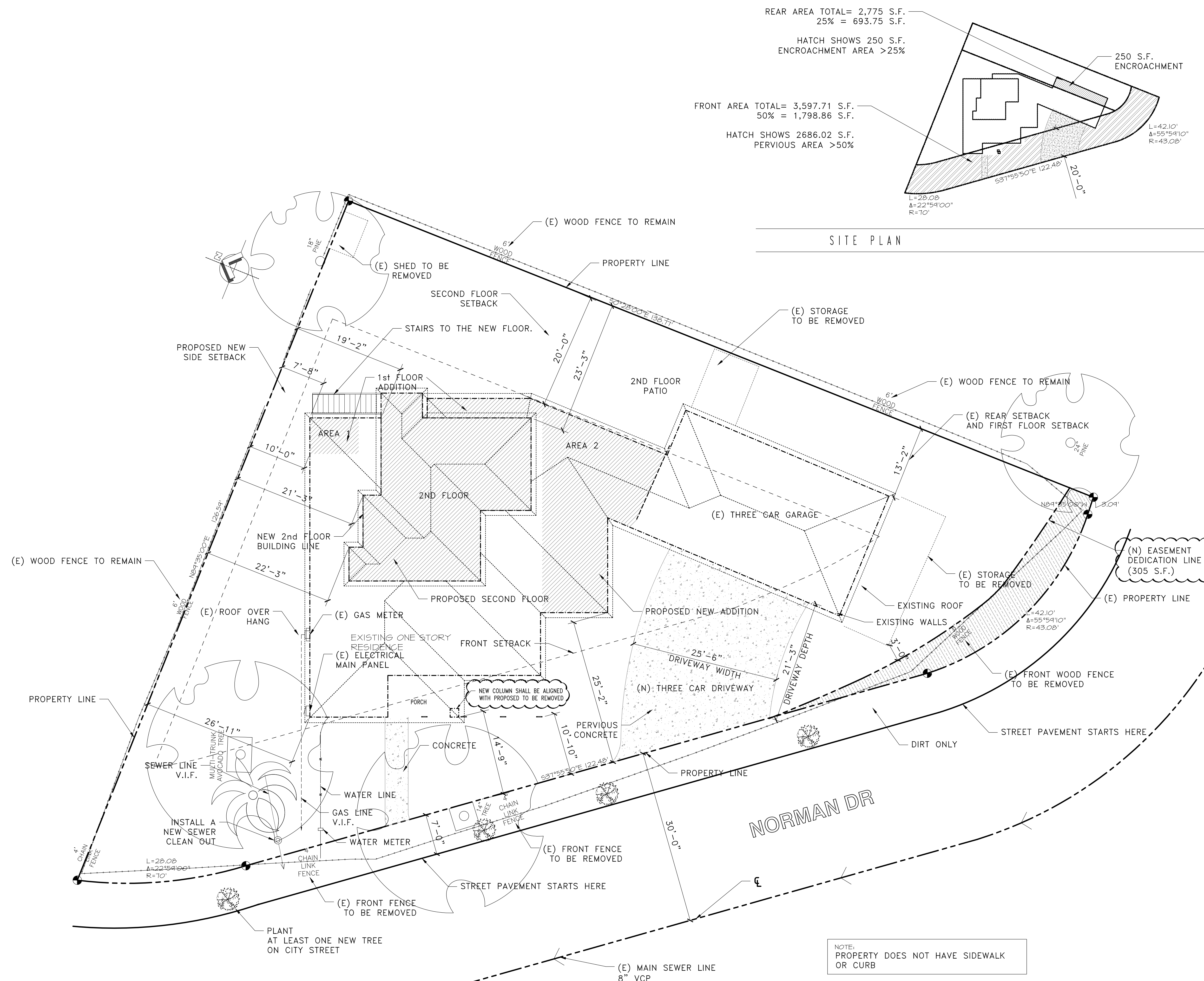
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SITE PLAN



A0.1

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1/8"	1
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DEMOLITION NOTES:			GENERAL NOTES:		
1	DOORS	REMOVE AND SALVAGE PER OWNER	I	PLUMBING	CAP OFF EXISTING AND RELOCATE AFFECTED WATER SUPPLY, DRAIN, VENTS AND WASTE LINES AS REQUIRED
2	WINDOWS & SKYLIGHTS	REMOVED AND DISCARD PER OWNER	II	ELECTRICAL	REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGE OR REMOVED DURING CONSTRUCTION
3	CABINETRY	REMOVE AND DISCARD PER OWNER	III	DUCTWORK	REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGE OR REMOVED DURING CONSTRUCTION
4	FLOOR COVERINGS	PROTECT EXISTING WHERE POSSIBLE	IV	BRACING	CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALL ARE REMOVED AND WHERE IMPORTANT SUPPORT IS REQUIRED
5	LIGHT FIXTURES	REMOVE AND DISCARD PER OWNER	V	DISPOSAL	ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
6	APPLIANCES	REMOVE/DISCARD/SALVAGE PER OWNER	VI	HAZARDOUS MATERIALS	IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE STOP WORK IMMEDIATELY AND CONTACT OWNER/D-CUBE STUDIO FOR INSTRUCTIONS
7	LANDSCAPE	PROTECT EXISTING WHERE POSSIBLE			
8	FLATWORK	PROTECT EXISTING WHERE POSSIBLE			
9	VENEER	N/A			
10	ELECTRICAL METER	EXISTING TO REMAIN			
11	GAS METER	EXISTING TO REMAIN			
12	FURNACE	EXISTING TO BE REPLACE (N) CENTRAL			
13	WATER HEATER	EXISTING TO REMAIN			

LEGEND:

EXISTING WALLS

WALLS TO BE DEMO

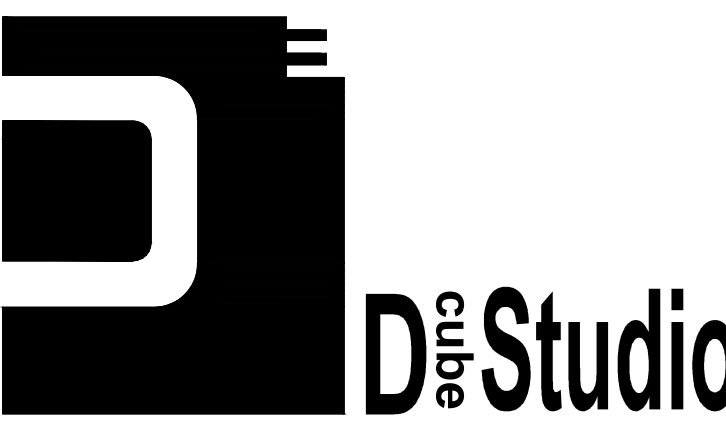
WALL TO BE INFILL

NEW WALLS

DOOR TO BE REMOVE

WINDOW TO BE REMOVE

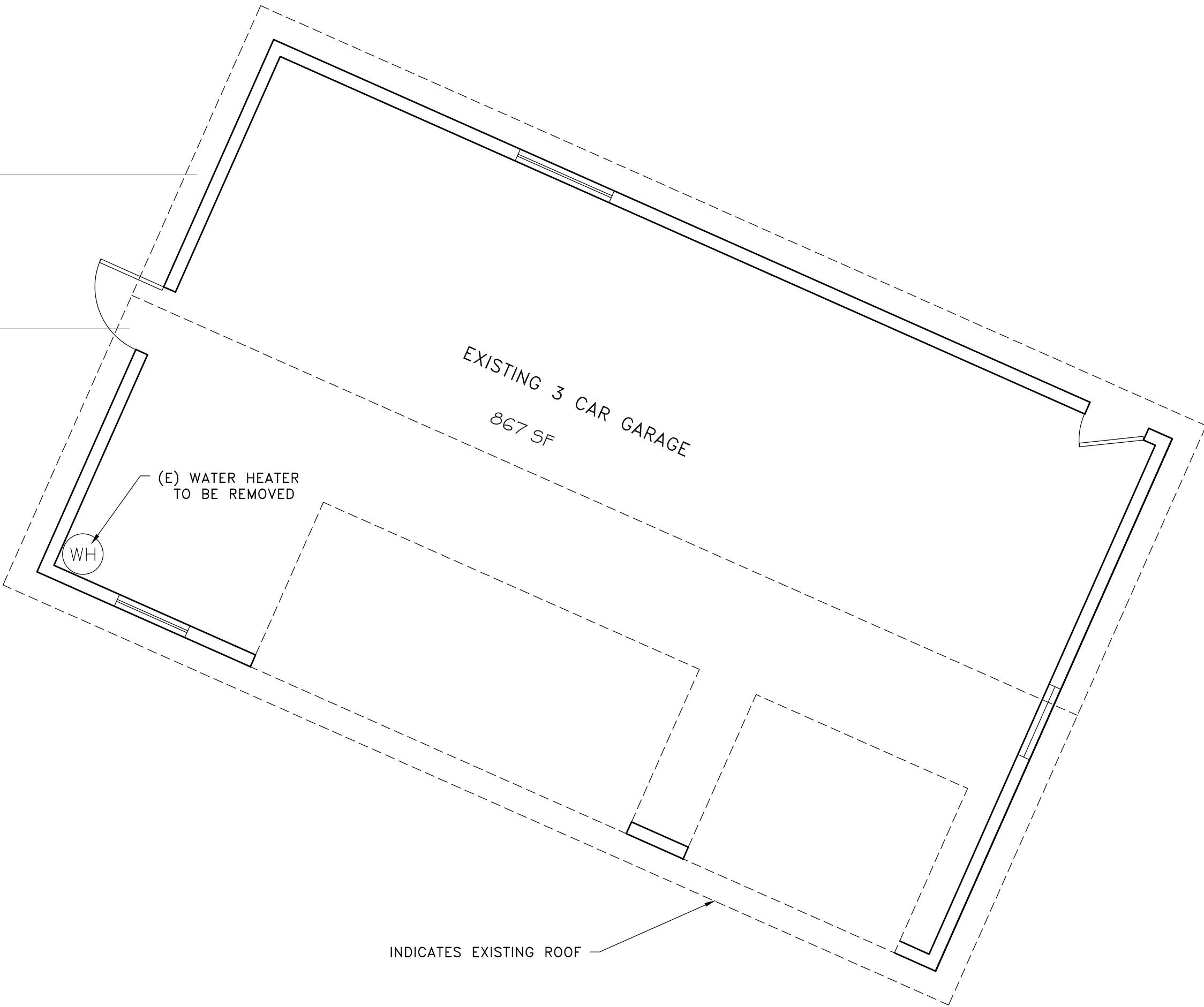
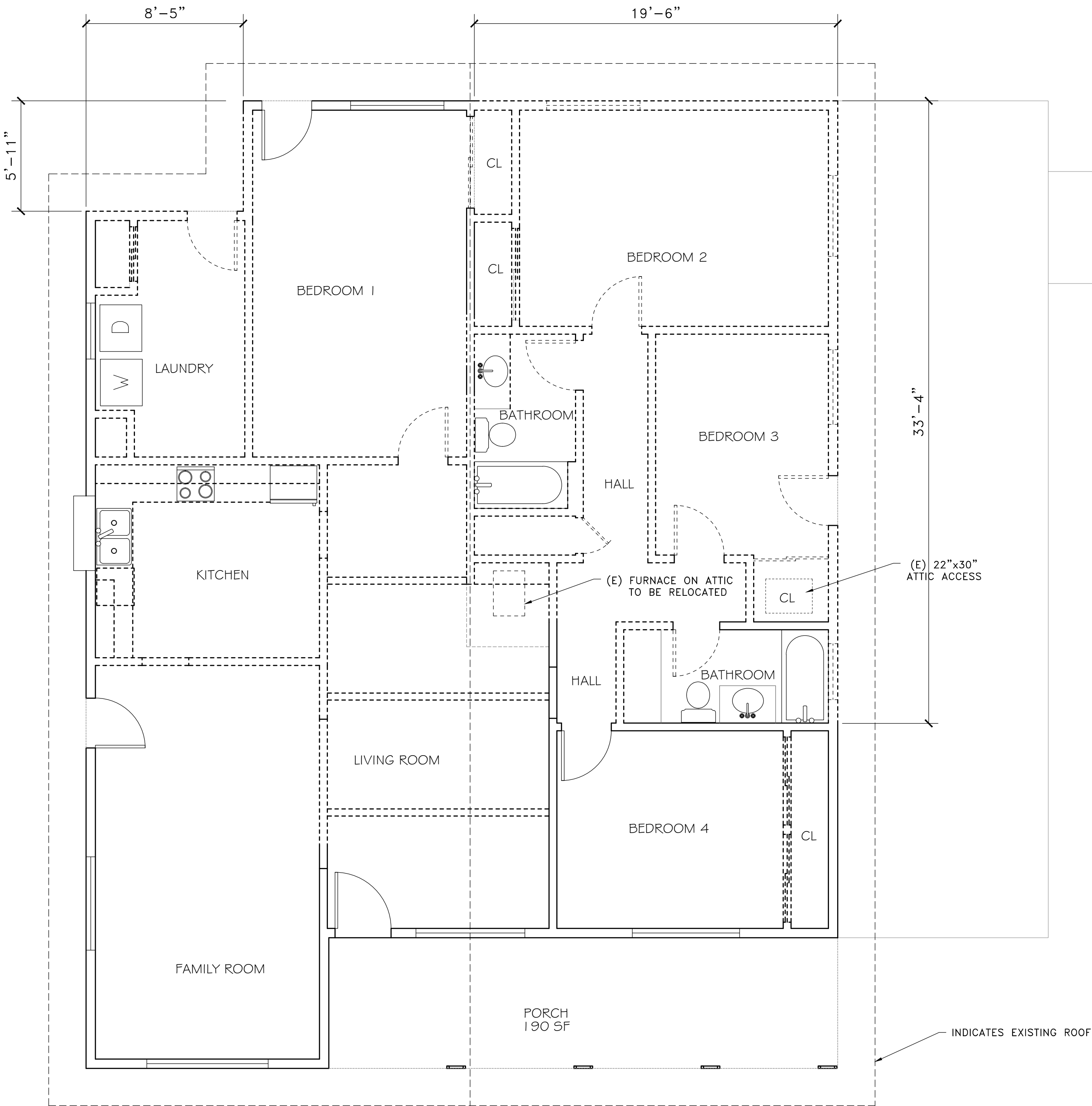
TEMPERED GLASS



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TOTAL EXISTING EXTERIOR WALLS INCLUDING GARAGE 400'-8"
WALL TO BE DEMOLISHED 67'-2" = 16.76%

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SUNNYVALE, CA 95035

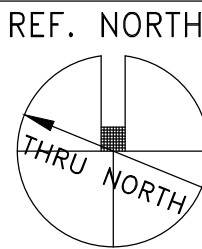
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J.C. NAVARRO/DESIGNER

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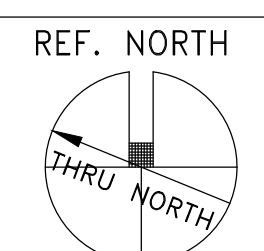
EXISTING AND DEMOLITION
FLOOR PLAN










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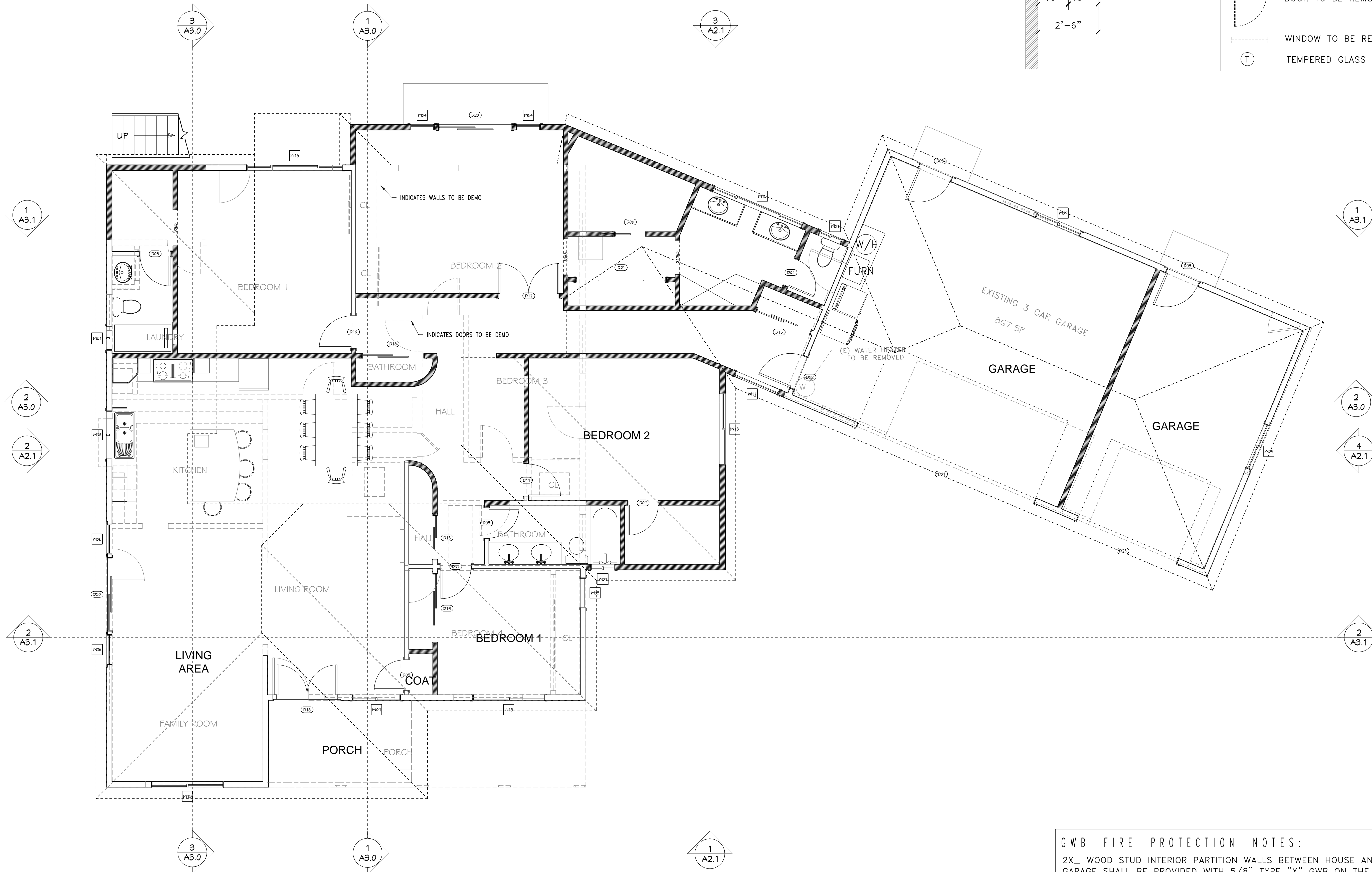
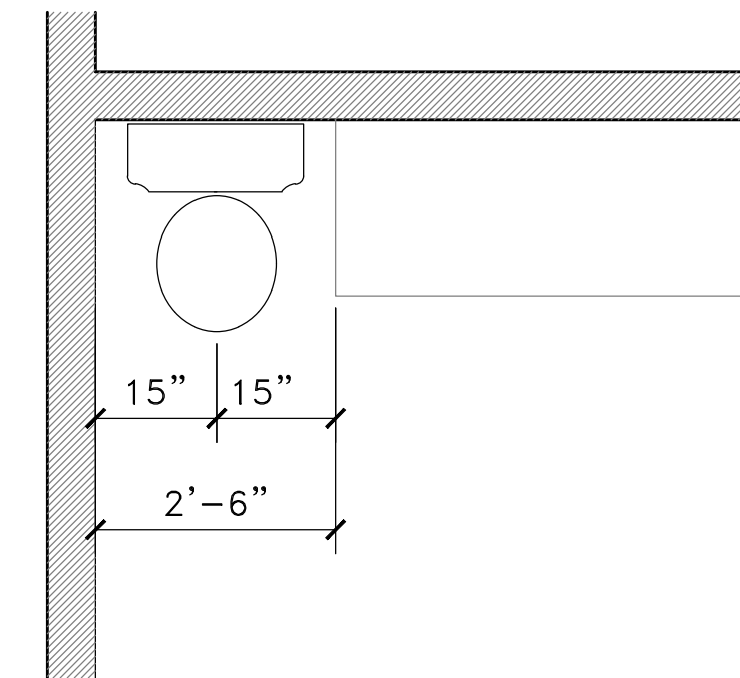
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PROPOSED 1ST FLOOR PLAN



A1.1

	EXISTING WALLS
	WALLS TO BE DEMO
	WALL TO BE INFILL
	NEW WALLS
	DOOR TO BE REMOVE
	WINDOW TO BE REMOVE
	TEMPERED GLASS



2X_ WOOD STUD INTERIOR PARTITION WALLS BETWEEN HOUSE AND GARAGE SHALL BE PROVIDED WITH 5/8" TYPE "X" GWB ON THE GARAGE SIDE AND 1/2" GWB ON THE HOUSE SIDE.



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HOUSE ADDITION/REMODEL FOR:
BINO AND JENNIE JACOB
1498 NORMAN DR
SUNNYVALE, CA 95035

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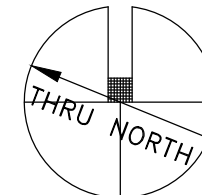


J.C. NAVARRO/DESIGNER

DATE: September 25, 2018
PROJECT No. 37-090215

SECOND FLOOR PLAN AND
WINDOW AND DOOR SCHEDULE

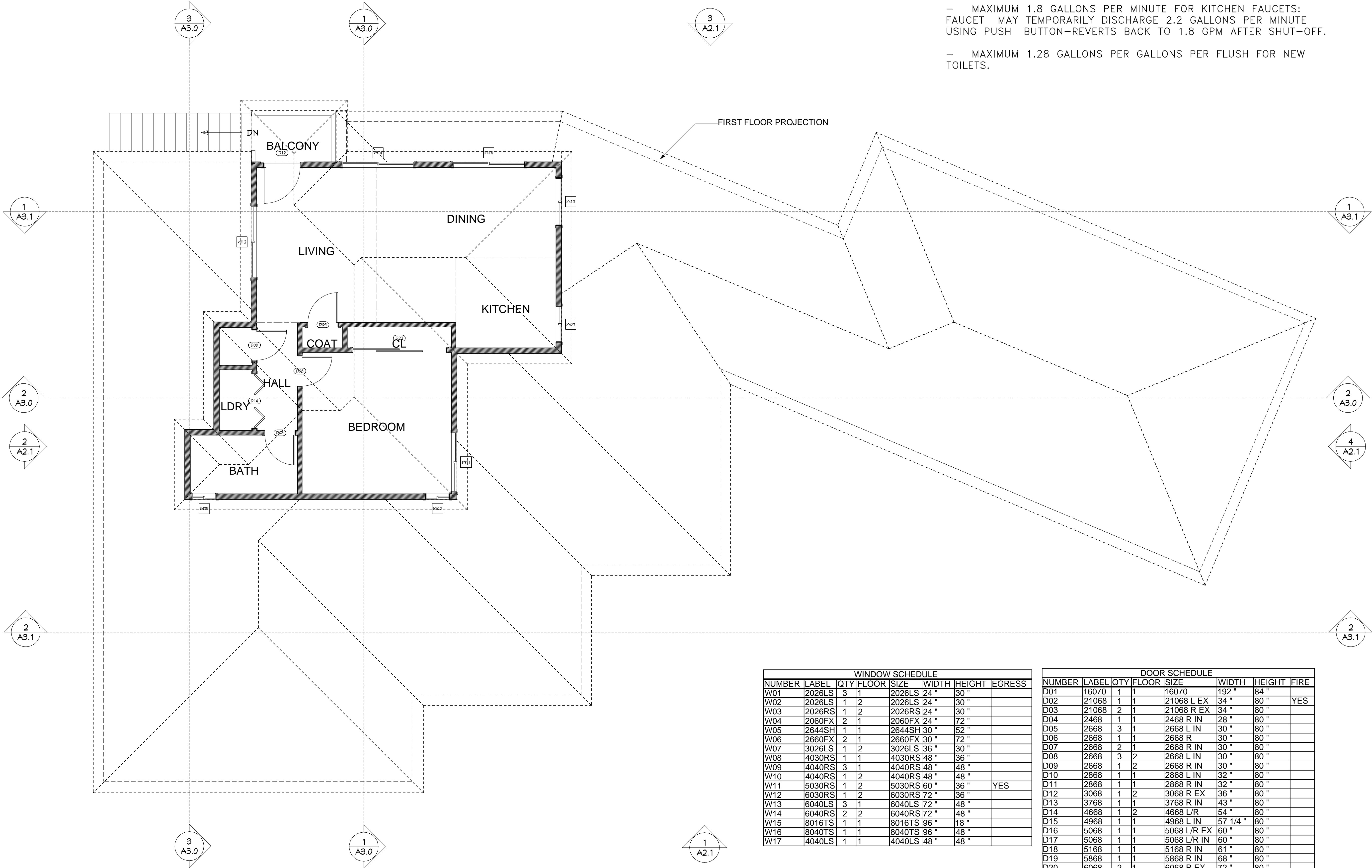
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A1.2

PLUMBING FIXTURES WATER USAGE:

- MAXIMUM 2.0 GALLONS PER MINUTE FOR A SHOWERHEAD CONTROLLED BY A SINGLE VALVE. IF A SINGLE VALVE CONTROLS MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS CONTROLLED BY THE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE.
- MAXIMUM 1.5 GALLONS PER MINUTE FOR BATHROOM FAUCETS (LAVATORIES).
- MAXIMUM 1.8 GALLONS PER MINUTE FOR KITCHEN FAUCETS: FAUCET MAY TEMPORARILY DISCHARGE 2.2 GALLONS PER MINUTE USING PUSH BUTTON-REVERTS BACK TO 1.8 GPM AFTER SHUT-OFF.
- MAXIMUM 1.28 GALLONS PER GALLONS PER FLUSH FOR NEW TOILETS.



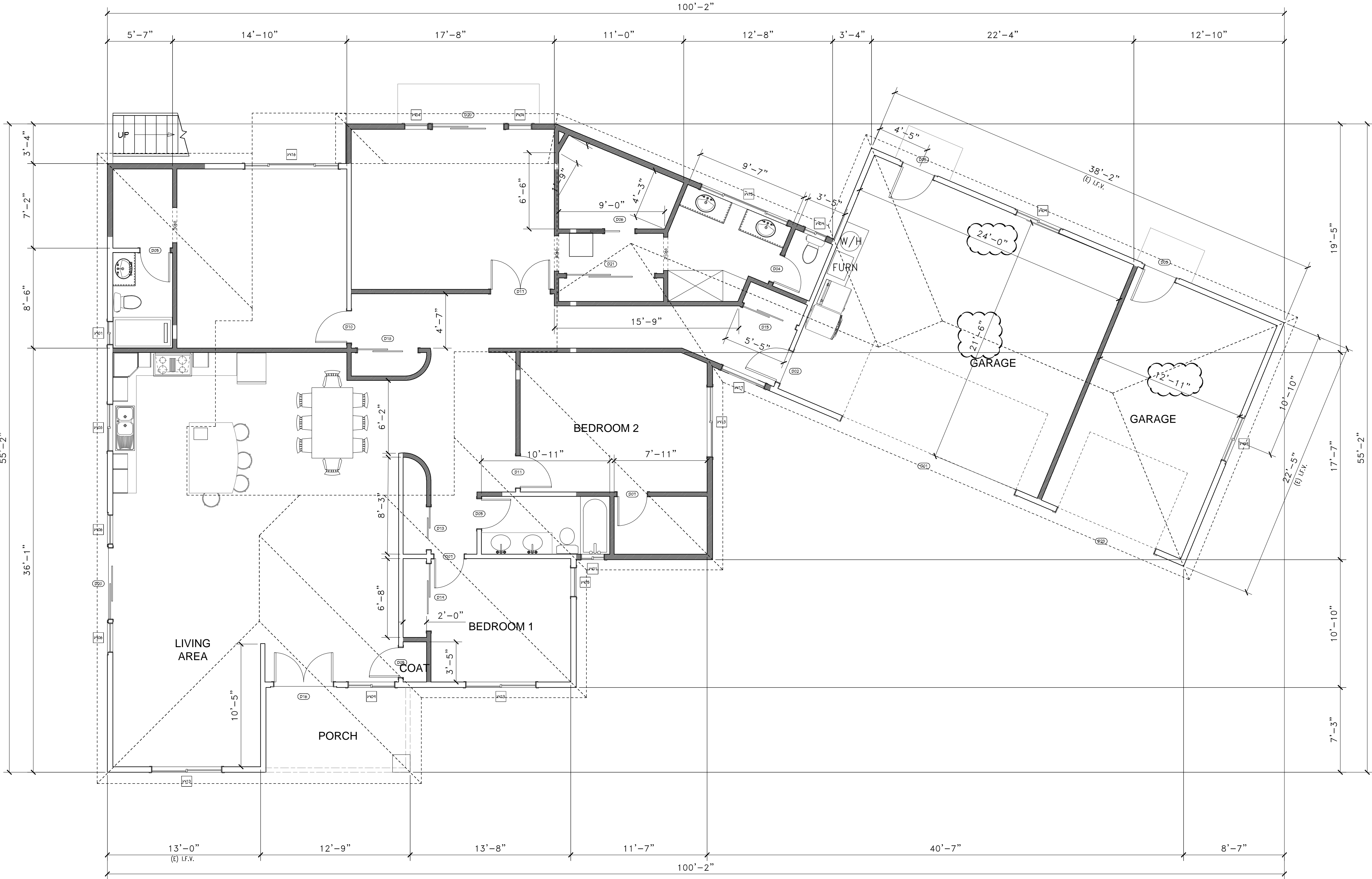


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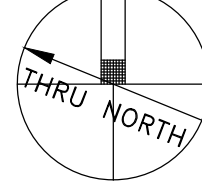


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**DIMENSIONED FIRST FLOOR
PLANS**

REF. NORTH



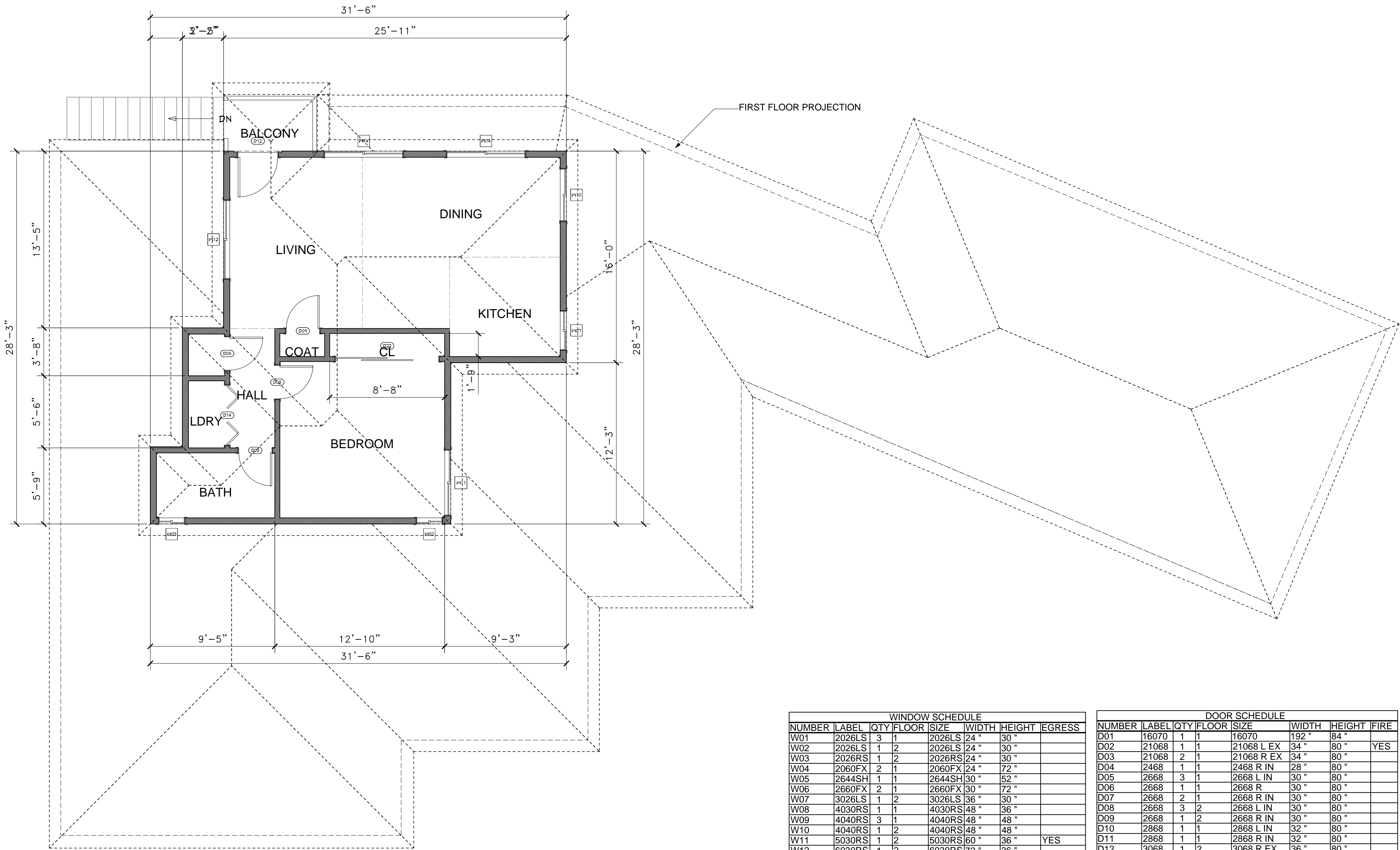
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WINDOW SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT
W01	2026LS	3	1	2026LS	24 "	30 "
W02	2026LS	1	2	2026LS	24 "	30 "
W03	2026RS	1	2	2026RS	24 "	30 "
W04	2060FX	2	1	2060FX	24 "	72 "
W05	2644SH	1	1	2644SH	30 "	52 "
W06	2660FX	2	1	2660FX	30 "	72 "
W07	3026LS	1	2	3026LS	36 "	30 "
W08	4030RS	1	1	4030RS	48 "	36 "
W09	4040RS	3	1	4040RS	48 "	48 "
W10	4040RS	1	2	4040RS	48 "	48 "
W11	5030RS	1	2	5030RS	60 "	36 "
W12	6030RS	1	2	6030RS	72 "	36 "
W13	6040LS	3	1	6040LS	72 "	48 "
W14	6040RS	2	2	6040RS	72 "	48 "
W15	8016TS	1	1	8016TS	96 "	18 "
W16	8040TS	1	1	8040TS	96 "	48 "
W17	4040LS	1	1	4040LS	48 "	48 "

DOOR SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT
D01	16070	1	1	16070	192 "	84 "
D02	21068	1	1	21068 L EX	34 "	80 "
D03	21068	2	1	21068 R EX	34 "	80 "
D04	2468	1	1	2468 R IN	28 "	80 "
D05	2668	3	1	2668 L IN	30 "	80 "
D06	2668	1	1	2668 R	30 "	80 "
D07	2668	2	1	2668 R IN	30 "	80 "
D08	2668	3	2	2668 L IN	30 "	80 "
D09	2668	1	2	2668 R IN	30 "	80 "
D10	2868	1	1	2868 L IN	32 "	80 "
D11	2868	1	1	2868 R IN	32 "	80 "
D12	3068	1	2	3068 R EX	36 "	80 "
D13	3768	1	1	3768 R IN	43 "	80 "
D14	4668	1	2	4668 L/R	54 "	80 "
D15	4968	1	1	4968 L IN	57 1/4 "	80 "
D16	5068	1	1	5068 L/R EX	60 "	80 "
D17	5068	1	1	5068 L/R IN	60 "	80 "
D18	5168	1	1	5168 R IN	61 "	80 "
D19	5868	1	1	5868 R IN	68 "	80 "
D20	6068	2	1	6068 R EX	72 "	80 "
D21	7568	1	1	7568 R IN	89 "	80 "
D22	7968	1	2	7968 R IN	93 5/16 "	80 "
D23	9070	1	1	9070	108 "	84 "
D24	2868	1	1	2868 R EX	32 "	80 "

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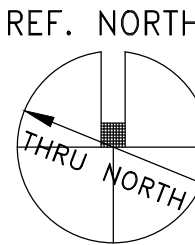
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J.C. NAVARRO/DESIGNER

DATE: September 25, 2018
PROJECT No. 37-090215

**DIMENSIONED SECOND
FLOOR PLAN**



A1.4



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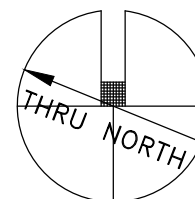


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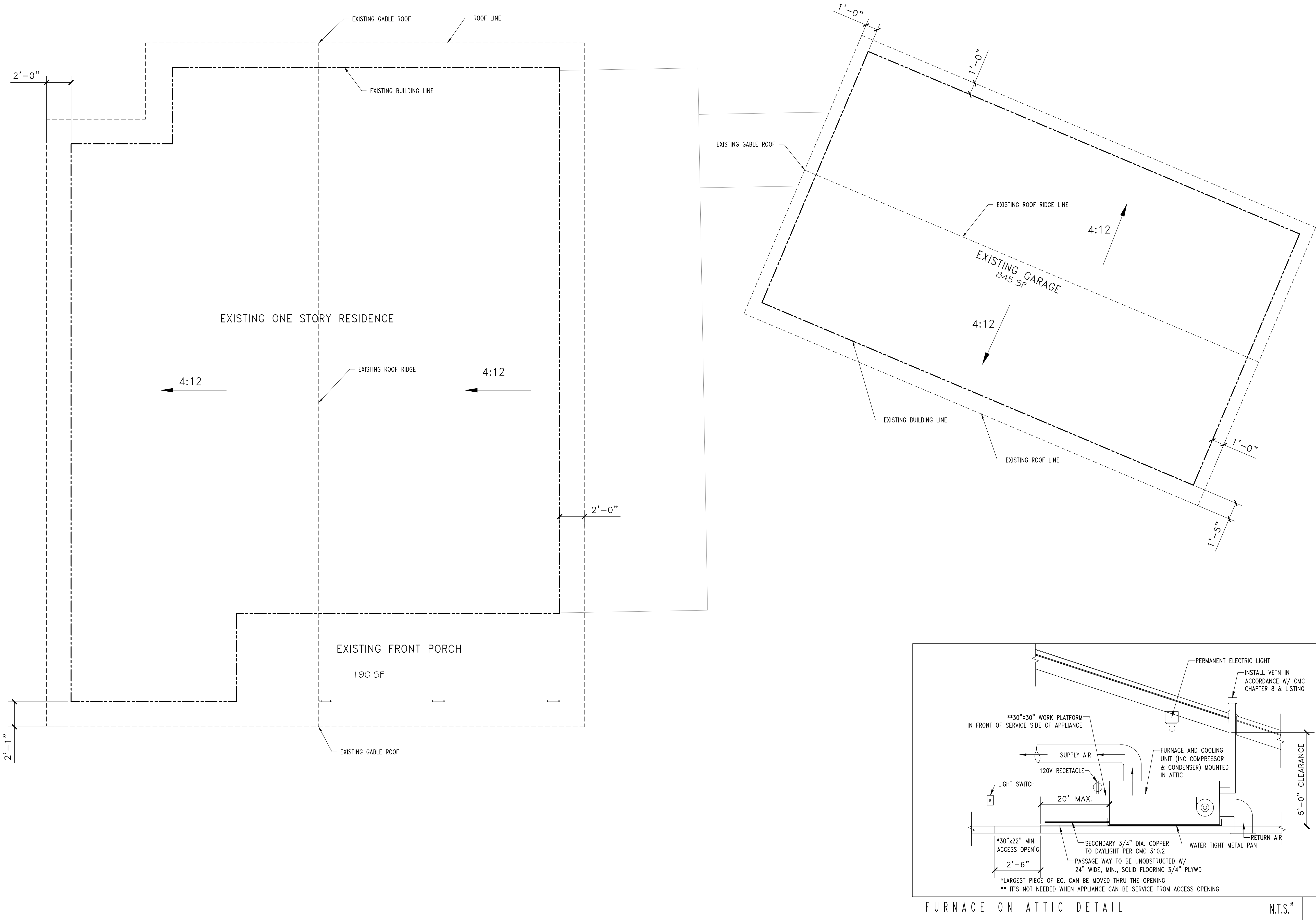
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EXISTING ROOF PLAN

REF. NORTH



A1.5



ROOF PLAN NOTES:

MATERIALS: SEE EXTERIOR ELEVATIONS SHEET, ROOF MATERIAL INSTALLED PER MFG. SPECS.
ROOF SLOPE: SEE ROOF PLAN. PROVIDE BUILDING DEPARTMENT WITH ROOFING FELT APPLICATIONS SPECIFICATIONS AND COPY OF ICC COMPLIANCE REPORT FOR ROOFING MATERIAL PRIOR TO INSTALLATION.
ROOF OVERHANG SEE ROOF PLAN, U.O.N. ASPHALT SHINGLES MATERIALS INSTALLED ON ROOF WITH 2:12 TO 4:12 ROOF SLOPES ARE REQUIRED TO HAVE DOUBLE UNDERLAY MENT APPLICATION PER CRC.

1. LP TECHSHIELD RADIANT BARRIER SHEATHING OR SIMILAR INSTALLED PER MFG SPECS–TYPICAL. INSTALLED AT ALL NEW ROOFS.
2. PLUMBING VENTS SHALL TERMINATE AT LEAST 10–FT HORIZONTALLY FROM AND AT LEAST 3–FT ABOVE ANY OPERABLE WINDOW OR OPERABLE SKYLIGHTS. CPC, UMC.
3. CHIMNEY SHALL EXTEND 2–FT MINIMUM ABOVE ANY PART OF THE BUILDING WITHIN 10–FT OR PER ICC APPROVED METAL FIREPLACE. PROVIDE APPROVED SPARK ARRESTOR AT ALL FIREPLACE LOCATIONS.
4. PROVIDE 1–INCH AIR SPACE FOR VENTING AT ALL VAULT CEILINGS. IF 2”X8” OR SMALLER RAFTERS ARE USE AND R–30 OR GREATER INSULATION IS REQUIRED, USE RIGID INSULATIONS, LEAVING 1–INCH MIN. AIR SPACE. U.O.N.
5. ALL ATTIC AREAS MUST BE ACCESSIBLE BY A MINIMUM 22”X30” ATTIC ACCESS. PROVIDE 30”X30” ACCESS WHERE FAU WILL BE LOCATED IF APPLICABLE.

ATTIC VENTILATION:

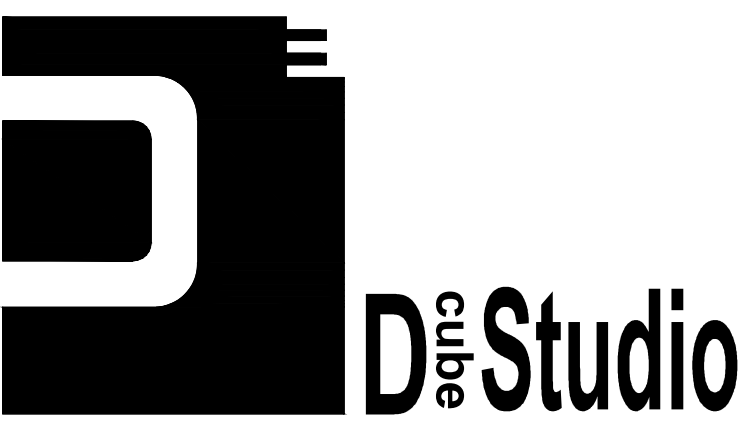
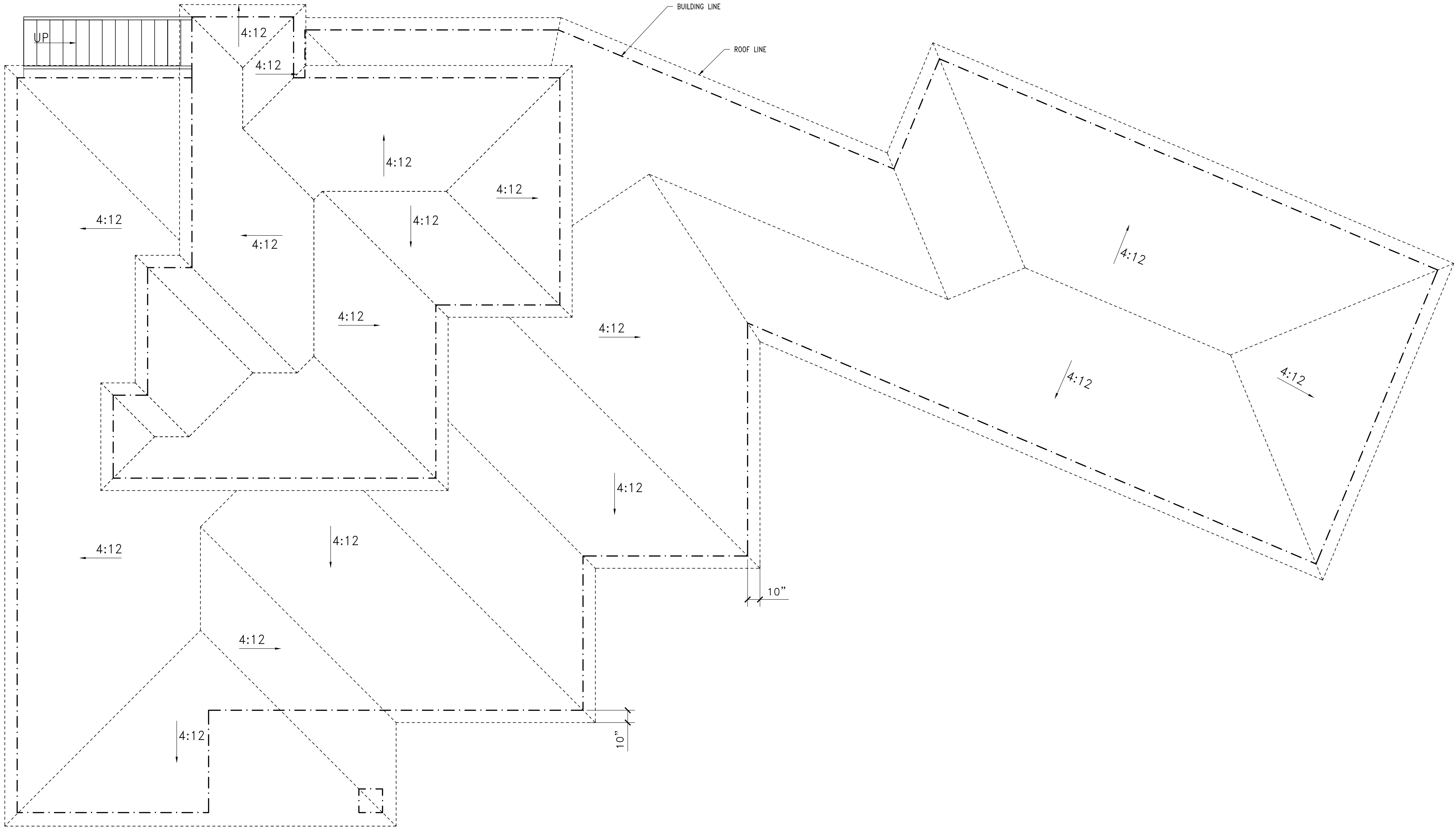
VENTILATING AREA SHALL NOT BE LESS THAN 1/150 IF THE AREA OF THE SPACE VENTILATED IS AT LEAST 50% OF THE REQUIRED VENTILATION IS PROVIDED IN THE UPPER PORTION OF THE SPACE, THEN VENTILATION AREA MAY BE $\frac{1}{300}$ OF THE ATTIC SPACE PER UBC SECTION 3205(C)

1. AT EAVES 2X BLOCKING SHALL NOT BE PERFORATED TO INSTALL SCREEN VENTS.
2. NEAR OR AT THE RIDGE, ATTIC SHALL BE VENTILATED EITHER WITH A CONTINUOUS RIDGE VENT OR WITH O’HAGGINS LOW PROFILE VENTS.
3. GENERAL CONTRACTOR SHALL USE O’HAGGINS LOW PROFILE VENTS ONLY

ATTIC VENTILATION CALCULATION:

O’HAGGINS VENT 72 SQ–IN NFVA

NEW ROOFSPACE VENTILATING AREA=2543.51/300=8.48 x 144 = 1,221.12 S.I.
VENTILATION REQUIRED = 1,221.12/72=16.96
PROVIDE AT LEAST 9 VENTS NEAR THE RIDGE AND 8 VENTS WITHIN THE FIRTH 3–FEET OF THE ROOF
17 O’HAGGINS LOS PROFILE ROOF VENTS X 72 SI = 1,224 S.I.. OK



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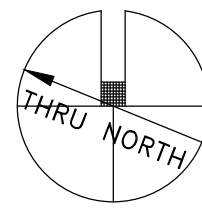


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NEW ROOF PLAN

REF. NORTH



A1.6

HVAC NOTES :	2016 RESIDENTIAL LIGHTING STANDARDS			
<div>1. ALL WORK SHALL CONFORM WITH THE 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA ENERGY CODE, ASHRAE STANDARD AND THE ARCHITECTURAL SHEET METAL MANUAL (SMACANA)</div> <div>2. THE CONTRACTOR SHALL FURNISH TO THE BUILDING DEPARTMENT, DATA, CALCULATIONS, DRAWINGS AND INFORMATION REQUIRED RELATING TO THE HVAC PORTION OF THE BUILDING PERMIT.</div> <div>3. THE CONTRACTOR SHALL FURNISH TO THE OWNER BROCHURES AND OTHER INFORMATION RELATING THE SYSTEM EQUIPMENT SIZE AND TYPE FOR APPROVAL.</div> <div>4. EXHAUST AIR VENT FOR THE CLOTHES DRYER IN LAUNDRY ROOM SHALL TERMINATE OUTSIDE THE BUILDING A MINIMUM 3 FEET FROM THE OPENING AND SHALL BE EQUIPPED WITH A BACK DRAFT DAMPER. EXHAUST AIR DUCTING TO BE RIGID WITH SMOOTH INTERIOR SURFACES A MAXIMUM 14 FEET IN LENGTH PER CMC 504.3</div>	KITCHEN	ELECTRCIAL BALLAST FOR ALL LAMPS RATED 13 WATTS OR GRATER	ALL HARDWIRED LIGHTING MUST BE HIGH EFFICACY	ALTERNATE OPTION: UP TO 50% OF RELAMPING RATE WATTAGE CAN BE OTHER THAN HIGH EFFICACY
	BATHROOM GARAGE LAUNDRY ROOM UTILITY ROOM	RECESSED LUMINARES IN ALL INSULATED CEILINGS APPROVED FOR FOR ZERO-CLEARANCE INSULATION COVER (IC) AND CERTIFIED AIRTIGHT		ALTERNATE OPTION: MANUAL-ON OCCUPANT SENSOR
	ALL OTHER INTERIOR ROOMS (i.e. HALLWAY, DINING ROOM, BEDROOM)			ALTERNATE OPTION: MANUAL-ON OCCUPANT SENSOR, OR DIMMER
	OUTDOOR LIGHTNING ATTCH TO BUILDING	SWITCH ALL HIGH EFFICACY LIGHTING SEPARATE FROM LOW EFFICACY LIGHTING		ALTERNATE OPTION: MOTION SENSOR PLUS PHOTO CONTROL
	COMMON AREAS FOR LOW RISE RESIDENTIAL BULDINGS WITH 4 OR MORE DWELLING UNITS			ALTERNATE OPTION: OCCUPANT SENSOR
	RESIDENTIAL PARKING LOTS AND AGARGES FOR 8 OR MORE VEHICLES	MUST MEET 2016 NONRESIDENTIAL BUILDING STANDARDS		

SANITATION:
1. SHOWER WALLS AND FLOORS SHALL HAVE A SMOOTH, HARD NON ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER APPROVED MATERIAL TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN. MATERIALS OTHER THAN STRUCTURAL ELEMENTS USE IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE

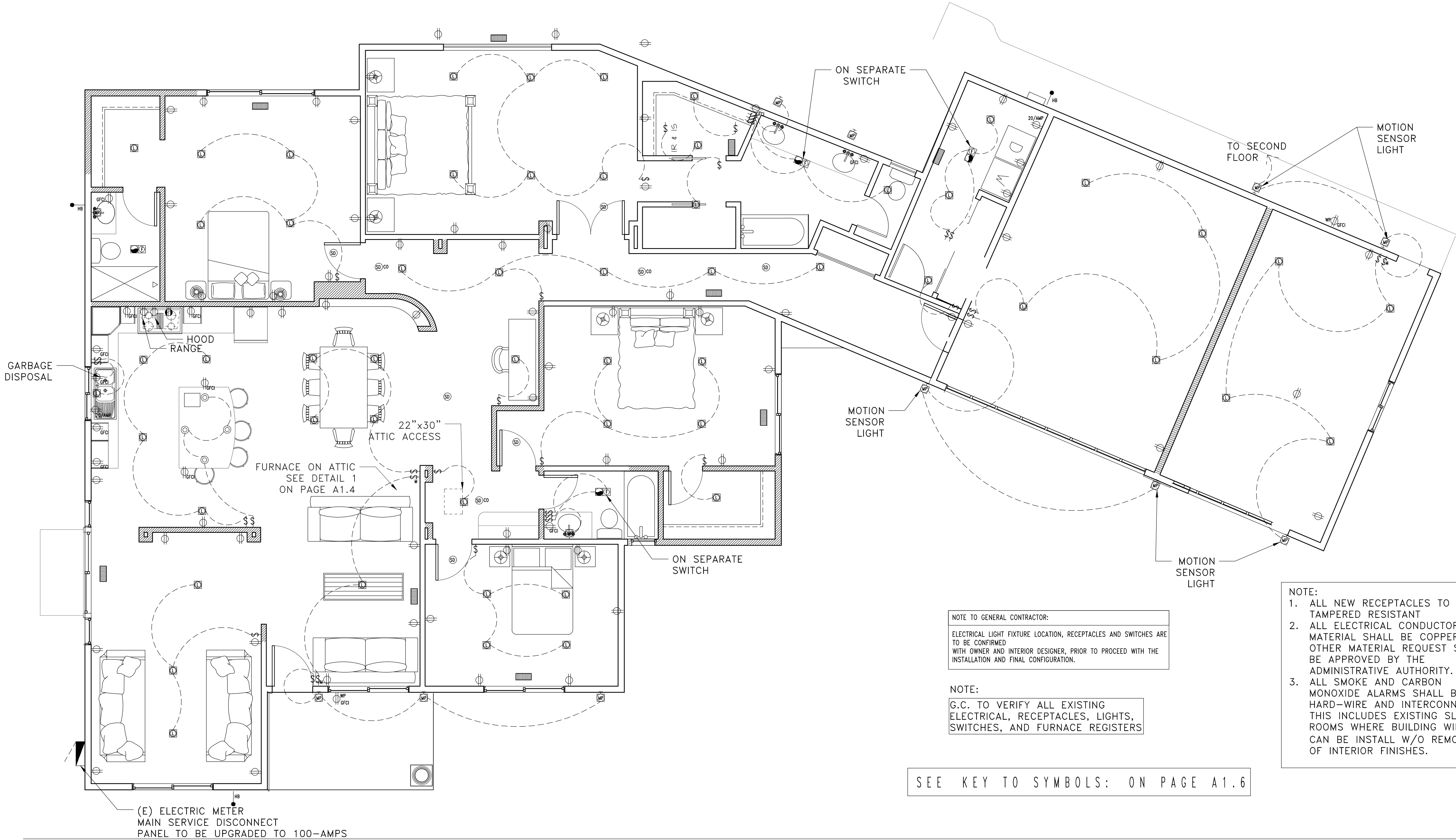
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NOTE TO GENERAL CONTRACTOR:
ELECTRICAL LIGHT FIXTURE LOCATION, RECEPTACLES AND SWITCHES ARE TO BE CONFIRMED WITH OWNER AND INTERIOR DESIGNER, PRIOR TO PROCEED WITH THE INSTALLATION AND FINAL CONFIGURATION.

NOTE:
G.C. TO VERIFY ALL EXISTING ELECTRICAL, RECEPTACLES, LIGHTS, SWITCHES, AND FURNACE REGISTERS

NOTE:
1. ALL NEW RECEPTACLES TO BE TAMPERED RESISTANT
2. ALL ELECTRICAL CONDUCTORS MATERIAL SHALL BE COPPER. ALL OTHER MATERIAL REQUEST SHALL BE APPROVED BY THE ADMINISTRATIVE AUTHORITY.
3. ALL SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARD-WIRE AND INTERCONNECTED. THIS INCLUDES EXISTING SLEEPING ROOMS WHERE BUILDING WIRING CAN BE INSTALL W/O REMOVED OF INTERIOR FINISHES.

SEE KEY TO SYMBOLS: ON PAGE A1.6

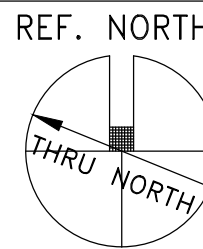
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3	
4	



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ELECTRICAL FIRST FLOOR PLAN



A1.7

KEY TO SYMBOLS	
	120 VOLT WALL DUPLEX RECEPTACLE
	GFCI PROTECTED DUPLEX RECEPTACLE
	WEATHER PROTECTED GFCI PROTECTED RECEPTACLE
	DOUBLE DUPLEX RECEPTACLE
	DEDICATED APPLIANCE CIRCUIT
	1/2 SWITCHED DUPLEX RECEPTACLE
	240 RECEPTACLE
	SINGLE POLE SWITCH
	SINGLE POLE WALL SWITCHED WITH DIMMER
	WALL SWITCHED MULTIPLE LOCATION
	WALL SWITCHED MULTIPLE LOCATION WITH DIMMER
	WALLS SWITCH WITH LIGHT IN SWITCH
	CEILING SURFACE MOUNTED LIGHT FIXTURE
	WALL SURFACE MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	EXHAUST FAN
	EXHAUST FAN WITH LIGHT COMBINATION
	AC/POWER SMOKE DETECTOR
	AC/POWER CARBON MONOXIDE SMOKE DETECTOR
	TELEVISION WALL BOX
	PHONE WALL BOX
	PENDANT LIGHT DECOR
	FURNACE REGISTER
	HOSE BIB

1. IF AN F IS ASSIGNED PROVIDE EFFICACY LUMINARY

2. IF AN MP IS ASSIGNED PROVIDE A LUMINAIRE WITH MOTION SENSOR AND INTEGRAL PHOTO CONTROL

3. IF AN L IS ASSIGNED PROVIDE LED LIGHT

4. RECESSED COMPACT FLUORESCENT LIGHT TO BE 18 WATT U.N.O.

ELECTRICAL REQUIREMENTS FOR KITCHEN REMODEL
CBC 2016

1. A DEDICATED CIRCUIT FOR A DISHWASHER IS REQUIRED.

2. A DEDICATED CIRCUIT FOR A DISPOSAL IS REQUIRED.

3. A DEDICATED CIRCUIT FOR A MICROWAVE, IF BUILT-IN, IS REQUIRED.

4. AT LEAST TWO 20 AMP DEDICATED SMALL APPLIANCE CIRCUITS FOR THE OUTLETS SERVING THE COUNTERTOP SURFACES ARE REQUIRED.

5. ALL OUTLETS SERVING COUNTERTOP SURFACES ARE TO BE GFIC PROTECTED. REQUIRED OUTLETS SERVING WET BAR SINKS ARE TO BE GFIC PROTECTED WITHIN 6 FEET OF THE OUTER EDGE OF THE SINK.

6. AT LEAST 50% OF A KITCHEN'S PERMANENT LIGHTING WATTAGE SHALL COME FROM HIGH EFFICACY LIGHT FIXTURES (E.G. FLUORESCENT). ALL NON-HIGH EFFICACY LIGHT FIXTURES ARE TO BE SWITCHED SEPARATELY FROM INCANDESCENT LIGHT FIXTURES. PERMANENT FLUORESCENT LIGHTING AT ALL INDOOR ROOMS SHALL BE BY 4-PIN FLUORESCENT FIXTURES. ALL LIGHT FIXTURES THAT ARE TO BE RECESSED INTO INSULATED CEILINGS (CAN LIGHTS) SHALL BE INSULATED CONTACT (I.C.) RATED SO THAT INSULATION CAN BE PLACED OVER THEM. THE LIGHT FIXTURE HOUSING SHALL BE AIRTIGHT TO PREVENT CONDITIONED AIR ESCAPING INTO THE ATTIC OR CEILING CAVITY AND UNCONDITIONED AIR INFILTRATING FROM THE ATTIC OR CEILING CAVITY INTO THE CONDITIONED SPACE.

7. OUTLETS ARE REQUIRED AT ALL COUNTERTOPS 12" OR WIDER AND ARE TO BE PLACED SUCH THAT NO POINT ALONG THE WALL IS MORE THAN 24" AWAY FROM AN OUTLET.

8. AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES OR GREATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. A PENINSULAR COUNTERTOP IS MEASURED FROM THE CONNECTING EDGE.

9. COUNTERTOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES IN APPLYING THE REQUIREMENTS OF NUMBER 7 AND 8 ABOVE. WHERE SPACE BEHIND ISLAND SINK OR RANGE TOP IS LESS THAN 12 INCHES A RECEPTACLE IS REQUIRED FOR THE COUNTER SPACES ON EACH SIDE.

10. RECEPTACLE OUTLETS SHALL BE LOCATED NOT MORE THAN 20 INCHES ABOVE THE COUNTERTOP. RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OR COUNTERTOPS. RECEPTACLE OUTLETS RENDERED NOT READILY ACCESSIBLE BY APPLIANCES FASTENED IN PLACE OR APPLIANCES OCCUPYING DEDICATED SPACE SHALL NOT BE CONSIDERED AS THESE REQUIRED OUTLETS. REQUIRED OUTLETS SHALL NOT BE INSTALLED MORE THAN 12 INCHES BELOW COUNTERTOP OR WHERE COUNTERTOP OVERHANGS MORE THAN 6 INCHES.

11. SMOKE DETECTORS ARE REQUIRED IN ALL BEDROOMS, CENTRALLY LOCATED IN AREAS LEADING TO BEDROOMS, ONE AT EACH STORY, AND ONE IN THE BASEMENT. INSTALL SMOKE DETECTORS WITHIN 12 INCHES OF THE HIGHEST POINT OF CEILING.

12. CARBON MONOXIDE ALARMS ARE REQUIRED IN ALL AREAS LEADING TO BEDROOMS AND AT EACH FLOOR LEVEL.

13. ALL KNOB AND TUBE WIRING THAT IS EXPOSED WHEN WALLS ARE OPENED MUST BE REMOVED BACK TO THE ATTIC OR UNDER FLOOR ACCESSIBLE SPACES AND SPLICED IN A JUNCTION BOX WITH ROMEX, OR OTHER APPROVED WIRING METHOD, TO BE RUN BACK TO THE ORIGINAL LOCATION. KNOB AND TUBE BOXES MUST BE REPLACED TO ACCOMMODATE NEW WIRING TYPE. IF REMOVAL OF WIRING WOULD NECESSITATE OPENING OF ADDITIONAL WALLS NOT IN THE SCOPE OF THE WORK, AND THE WIRING IS IN SOUND CONDITION, THEN IT MAY REMAIN.

14. ALL 15 AND 20 AMPERE RECEPTACLES SHALL BE TAMPER RESISTANT.

FANS SHALL BE ENERGY STAR COMPLIANT

CONTROLLED BY AN ACCESSIBLE HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE BETWEEN 50 AND 80%.

NOTE TO GENERAL CONTRACTOR:

ELECTRICAL LIGHT FIXTURE LOCATION, RECEPTACLES AND SWITCHES ARE TO BE CONFIRMED WITH OWNER AND INTERIOR DESIGNER, PRIOR TO PROCEED WITH THE INSTALLATION AND FINAL CONFIGURATION.

NOTE:

G.C. TO VERIFY ALL EXISTING ELECTRICAL, RECEPTACLES, LIGHTS, SWITCHES, AND FURNACE REGISTERS

NOTE:

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2. ALL ELECTRICAL CONDUCTORS MATERIAL SHALL BE COPPER. ALL OTHER MATERIAL REQUEST SHALL BE APPROVED BY THE ADMINISTRATIVE AUTHORITY.

3. ALL SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARD-WIRE AND INTERCONNECTED. THIS INCLUDES EXISTING SLEEPING ROOMS WHERE BUILDING WIRING CAN BE INSTALL W/O REMOVED OF INTERIOR FINISHES.

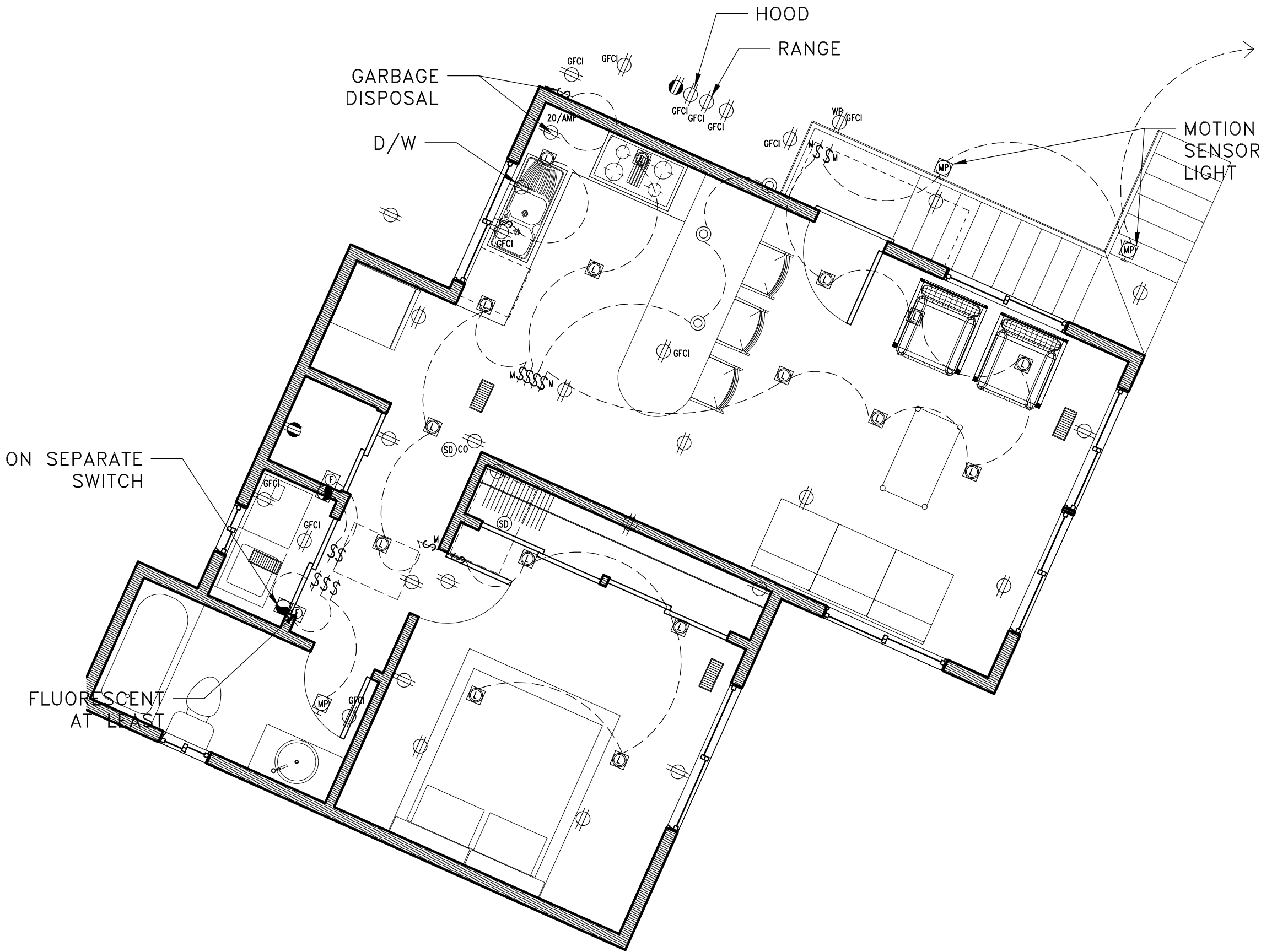
- SANITATION:
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2. WHEN GWB IS USE AS BASE FOR TILE OR WALLS PANEL FOR TUB OR SHOWER WALLS, WATER RESISTANT GYPSUM BACKING BOARD SHALL BE USED
- HVAC NOTES:
1. ALL WORK SHALL CONFORM WITH THE 2016 CALIFORNIA MECHANICAL CODE, 2013 CALIFORNIA ENERGY CODE, ASHRAE STANDARD AND THE ARCHITECTURAL SHEET METAL MANUAL (SMACANA)

2. THE CONTRACTOR SHALL FURNISH TO THE BUILDING DEPARTMENT, DATA, CALCULATIONS, DRAWINGS AND INFORMATION REQUIRED RELATING TO THE HVAC PORTION OF THE BUILDING PERMIT.

3. THE CONTRACTOR SHALL FURNISH TO THE OWNER BROCHURES AND OTHER INFORMATION RELATING THE SYSTEM EQUIPMENT SIZE AND TYPE FOR APPROVAL.

4. EXHAUST AIR VENT FOR THE CLOTHES DRYER IN LAUNDRY ROOM SHALL TERMINATE OUTSIDE THE BUILDING A MINIMUM 3 FEET FROM THE OPENING AND SHALL BE EQUIPPED WITH A BACK DRAFT DAMPER. EXHAUST AIR DUCTING TO BE RIGID WITH SMOOTH INTERIOR SURFACES A MAXIMUM 14 FEET IN LENGTH PER CMC 504.3



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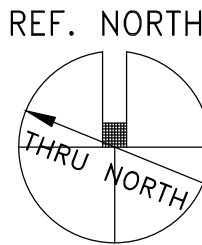
HOUSE ADDITION/REMODEL FOR:
BINO AND JENNIE JACOB
1498 NORMAN DR
SUNNYVALE, CA 95035

REVISION	DATE
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ELECTRICAL SECOND FLOOR PLAN



A1.8



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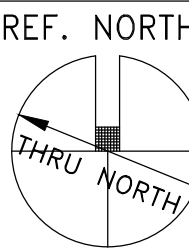


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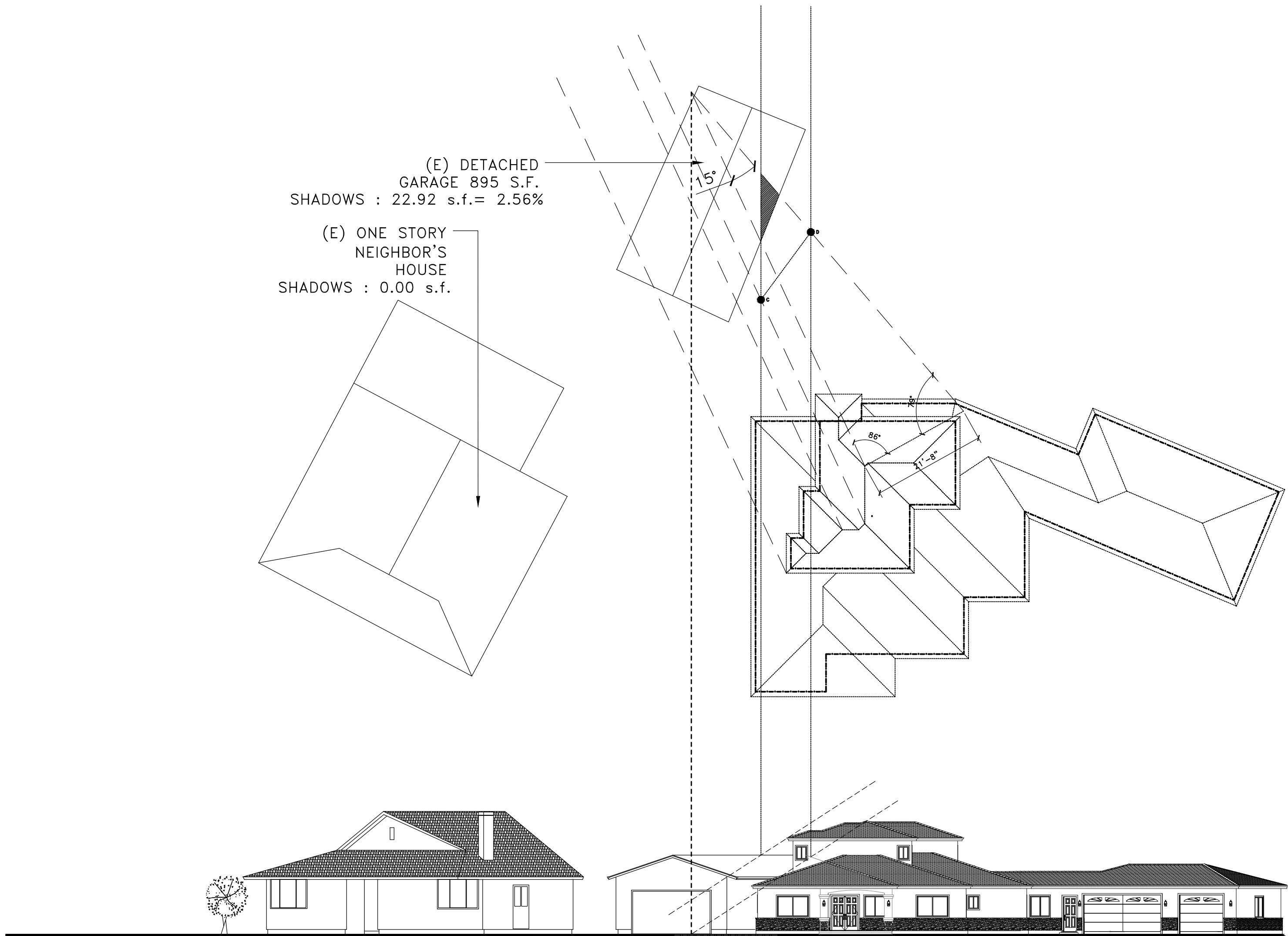
SOLAR STUDY



A1.9

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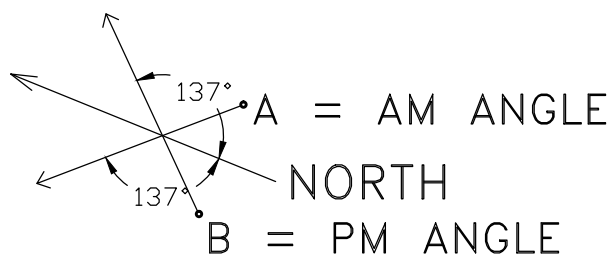
D-Cube Studio



(E) DETACHED GARAGE 895 S.F.
SHADOWS : 22.92 s.f.= 2.56%

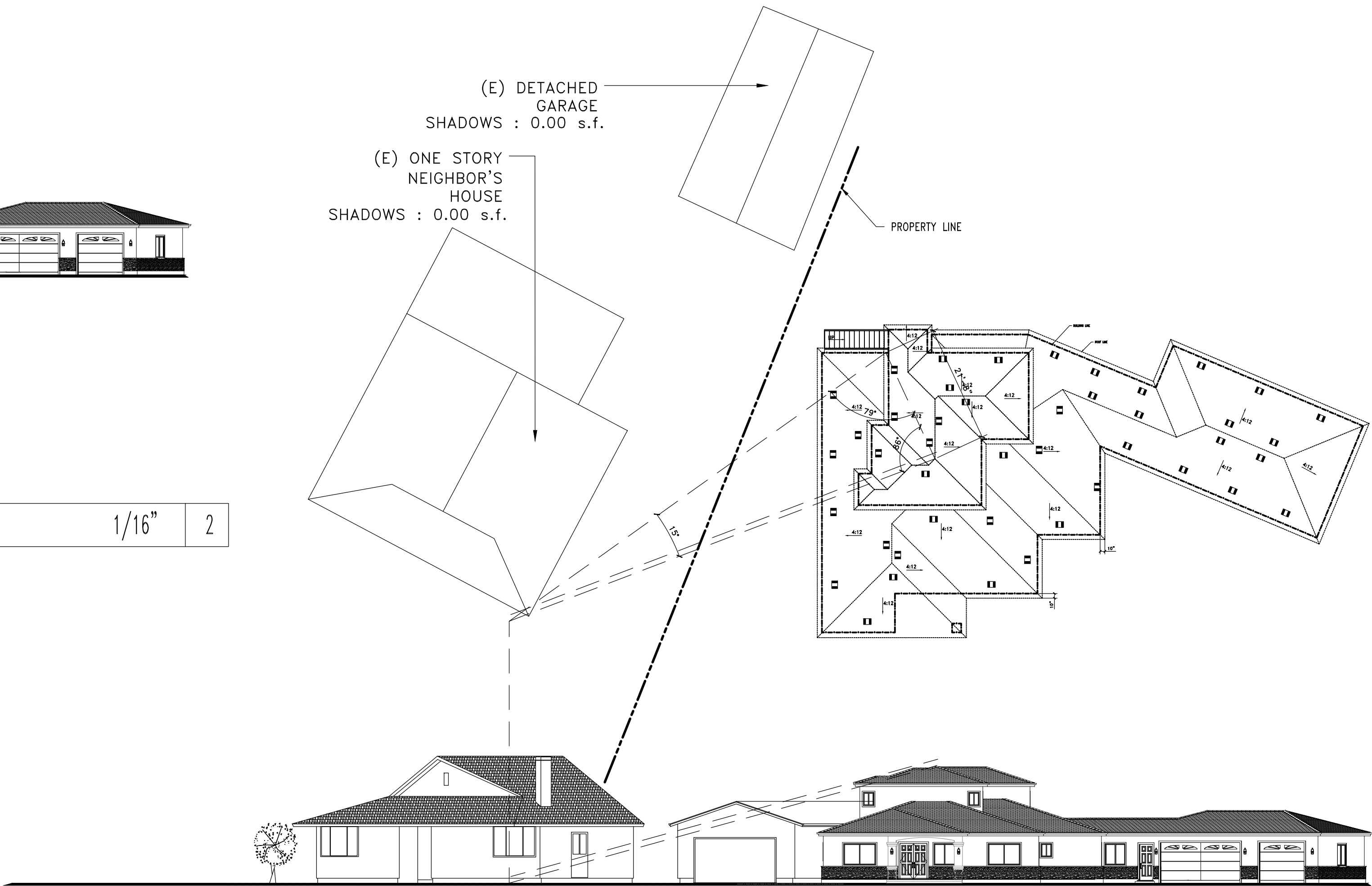
(E) ONE STORY NEIGHBOR'S HOUSE
SHADOWS : 0.00 s.f.

AREA TOTAL APROX.	SHADOWS:
(E) HOUSE: 2,447.00 S.F.	0.00 S.F.
(E) DETACHED GARAGE: 895.00 S.F.	22.92 S.F.
3,342.00 S.F.	22.92 S.F. = 0.68%



DECEMBER 3 PM

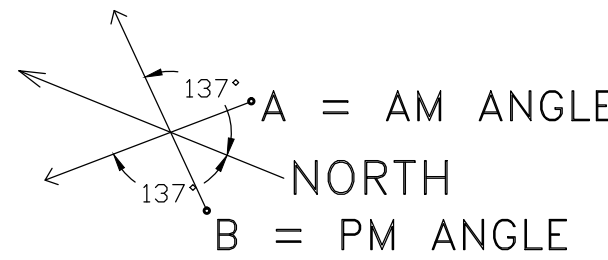
1/16" 2



(E) DETACHED GARAGE
SHADOWS : 0.00 s.f.

(E) ONE STORY NEIGHBOR'S HOUSE
SHADOWS : 0.00 s.f.

AREA TOTAL APROX.	SHADOWS:
(E) HOUSE: 2,447.00 S.F.	0.00 S.F.
(E) DETACHED GARAGE: 895.00 S.F.	0.00 S.F.
3,342.00 S.F.	0.00 S.F. = 0.0%



DECEMBER 9 AM

1/16" 1



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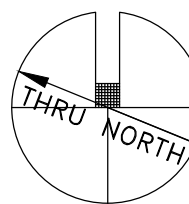
J.C. NAVARRO/DESIGNER

DATE: September 25, 2018

PROJECT No. 37-090215

AREA
CALCULATIONS

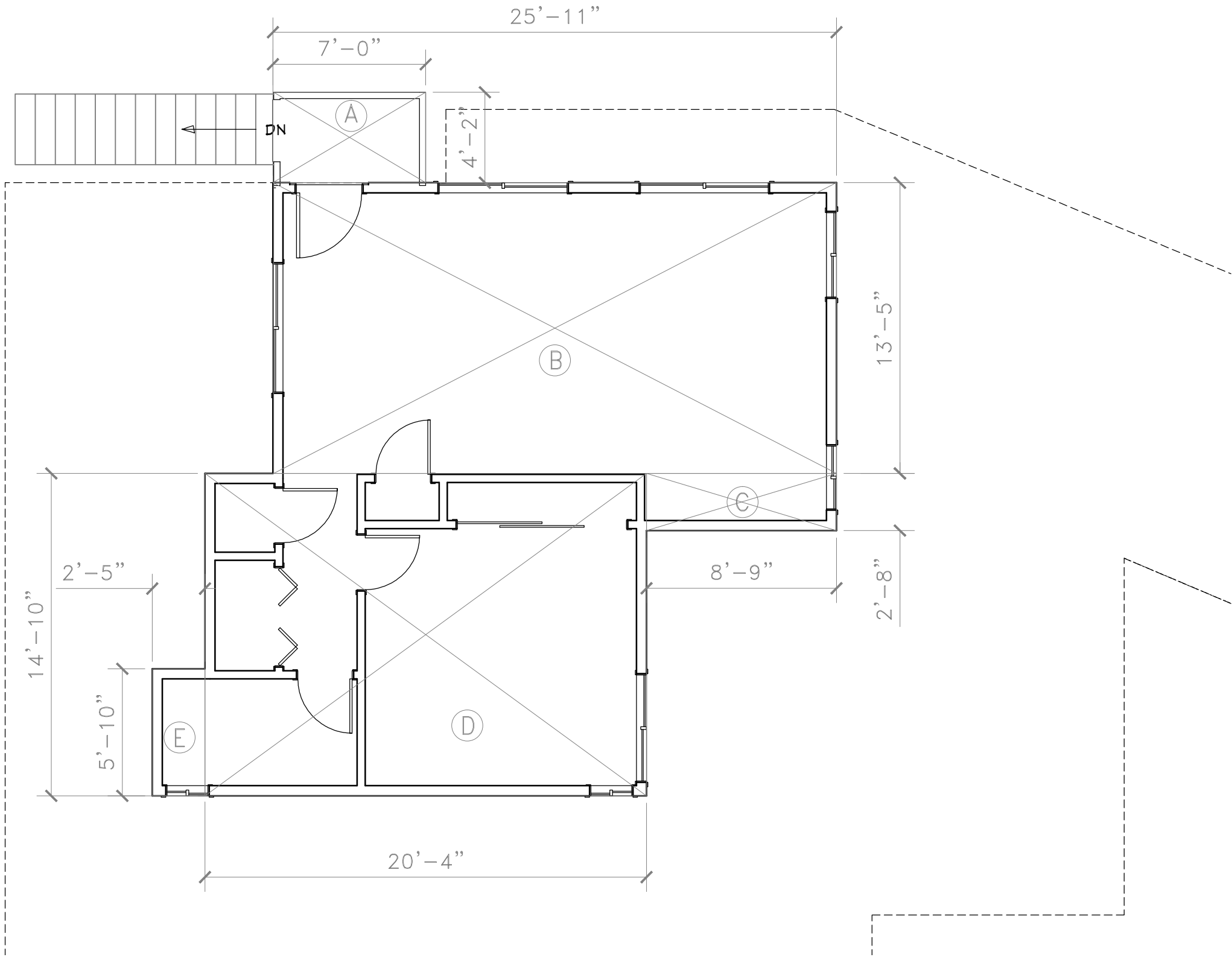
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SECOND FLOOR
INCLUDING PORCH
715.88 S.F.

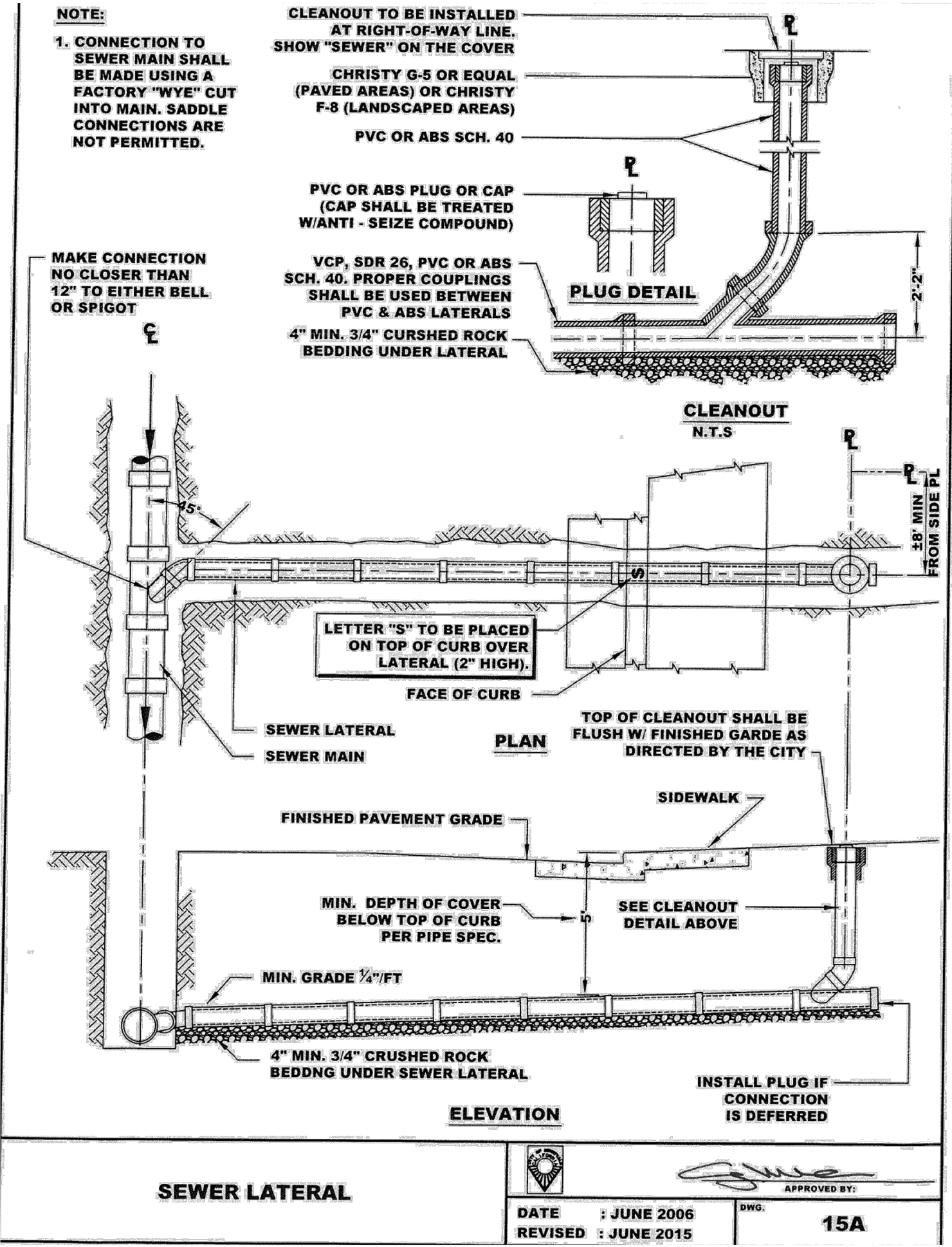
FIRST FLOOR AREA
INCLUDING GARAGE
AND PORCH
3,389.52

1ST FLOOR AREA CALCULATIONS TABLE			
A	4'-2"	7'-0"	29.16
B	13'-5"	25'-11"	347.71
C	8'-9"	2'-8"	23.33
D	20'-4"	14'-10"	301.61
E	5'-10"	2'-5"	14.07
F	19'-7"	3'-4"	63.96
G	15'-8"	39'-11"	625.36
H	39'-11"	28'-10"	1150.39
I	25'-9"	7'-3"	186.68
J	11'-7"	31'-7"	365.84
K	4'-10"	11'-7"	27.99
L	14'-0"	5'-2"	72.33
M	38'-2"	22'-5"	855.56
N	5'-11"	14'-0"	41.41
BUILDING TOTAL:			4,105.4

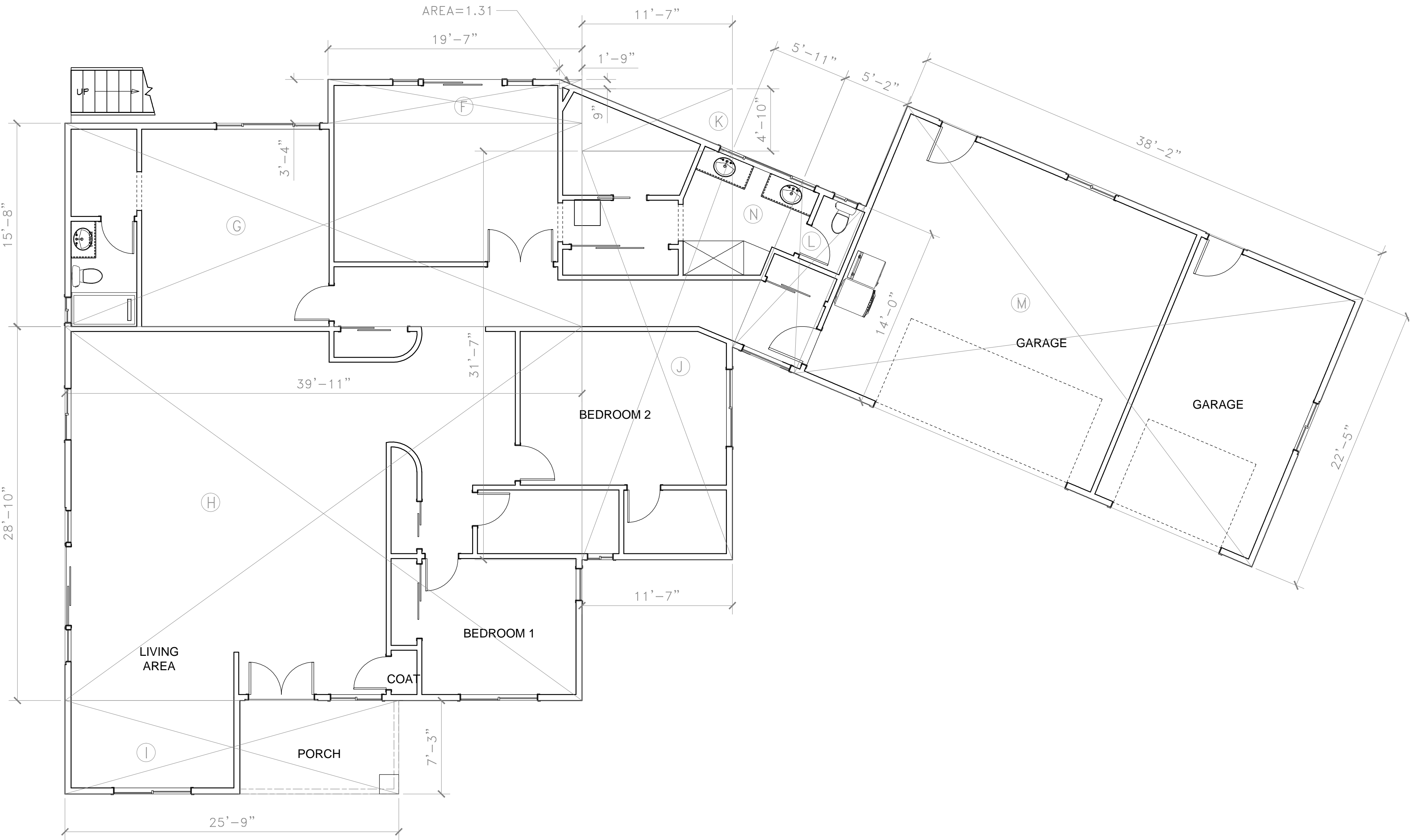
2ND FLOOR AREA CALCULATION

3/16"

2



CITY DETAIL 15A



1ST FLOOR AREA CALCULATION

3/16"

1



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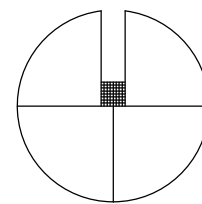


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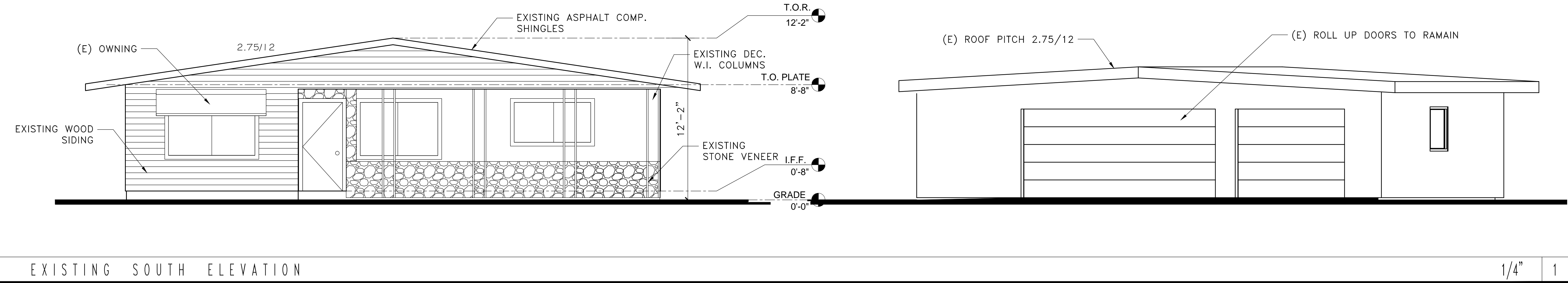
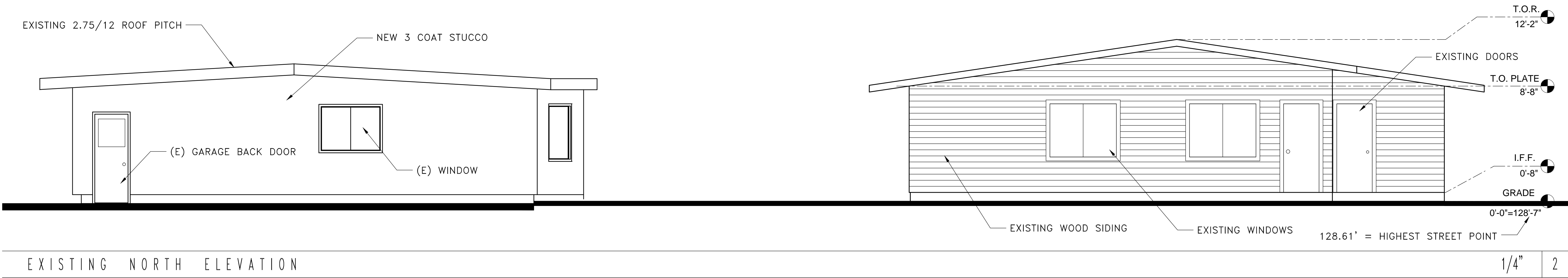
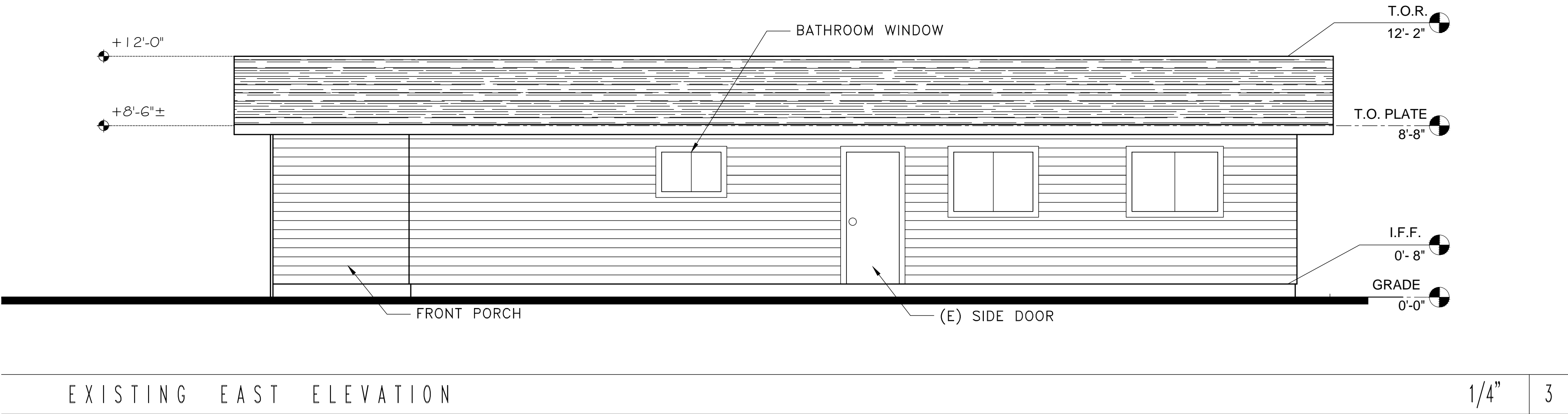
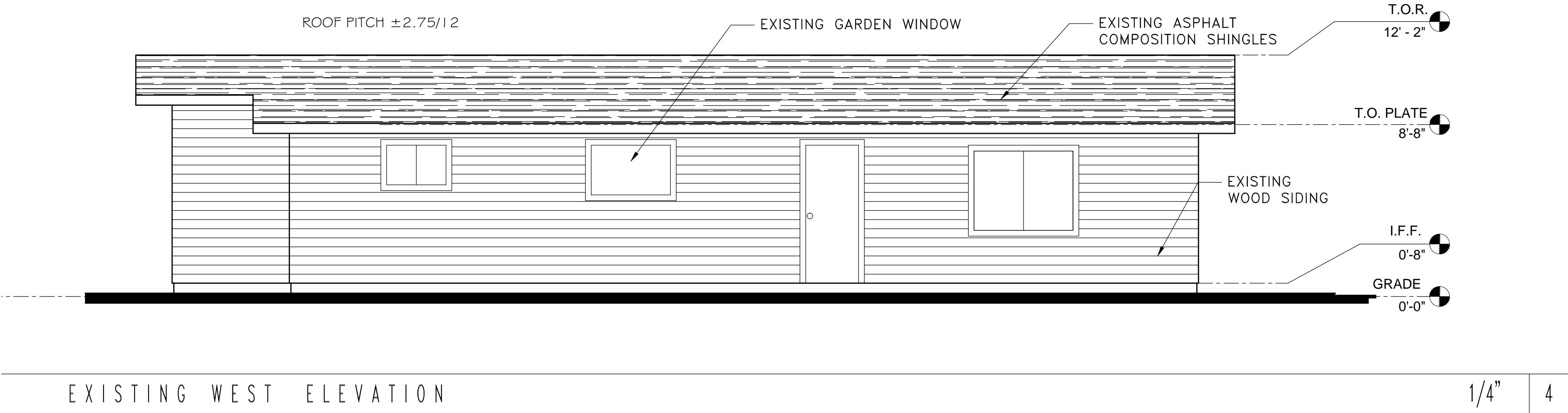
DATE: September 25, 2018
PROJECT No. 37-090215

EXISTING ELEVATION

REF. NORTH



A2.0



WINDOW AND SLIDING GLASS DOOR NOTES:

GENERAL:

1. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL WINDOWS, PATIO DOORS AND SKYLIGHTS AND PROVIDE ALL FLASHING AND CAULKING REQUIRED TO PROVIDE A WEATHER PROOF INSTALLATION. THE INSTALLATION SHALL CONFORM TO CEC AIR FILTRATION STANDARDS.
2. WINDOWS AND PATIO DOORS SHALL BE LABELED PER THE CBC
3. WINDOWS AND PATIO DOORS SHALL HAVE DOUBLE GLAZING AND WEATHER-STRIPPING MEETING ANSI AND CEC AIR FILTRATION STANDARDS.
4. THE CONTRACTOR SHALL FURNISH AND INSTALL SCREENS AT ALL OPENINGS.

TEMPERED SAFETY GLAZING:

- PROVIDE TEMPERED SAFETY GLAZING AT THE FOLLOWING LOCATIONS
- A. WHERE GLAZING IS LOCATED WITHIN A 24 INCH ARC OF A WINDOW VERTICAL EDGES.
 - B. WINDOWS GREATER THAN NINE SQUARE FEET WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LOCATED LESS THAN 18 INCHES ABOVE THE FINISH FLOOR.
 - C. WHERE GLAZING IS LOCATED IN WALLS ENCLOSING STAIRWAYS AND STAIRWAY LANDINGS OR WITHIN 5 FEET OF THE TOP AND BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE.
 - D. WINDOWS OVER BATHTUB OR SHOWER.
 - E. ALL GLASS SHOWER ENCLOSURES.
 - F. SKYLIGHTS AND SLOPED GLAZING.

EGRESS:

1. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR ESCAPE WINDOW.
2. ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET.
3. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES.
4. THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES.
5. THE FINISH SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE FINISH FLOOR.



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4. THE CONTRACTOR SHALL FURNISH AND INSTALL SCREENS AT ALL OPENINGS.

APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL BUILDINGS IN SUCH AS TO PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS OR ADDRESSES SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE A MINIMUM FOUR (4) INCHES IN HEIGHT FOR RESIDENTIAL AND SIX (6) INCHES FOR COMMERCIAL BUILDINGS WITH A MINIMUM STROKE WIDTH OF ONE-HALF (0.5) INCH.

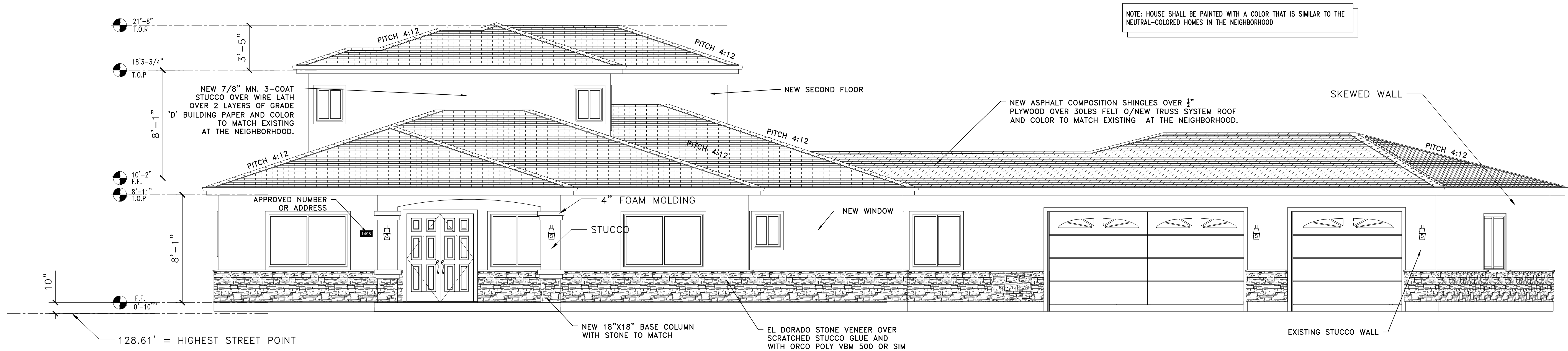
TEMPERED SAFETY GLAZING:

- PROVIDE TEMPERED SAFETY GLAZING AT THE FOLLOWING LOCATIONS
- A. WHERE GLAZING IS LOCATED WITHIN A 24 INCH ARC OF A WINDOW VERTICAL EDGES.
 - B. WINDOWS GREATER THAN NINE SQUARE FEET WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LOCATED LESS THAN 18 INCHES ABOVE THE FINISH FLOOR.
 - C. WHERE GLAZING IS LOCATED IN WALLS ENCLOSING STAIRWAYS AND STAIRWAY LANDINGS OR WITHIN 5 FEET OF THE TOP AND BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A WALKING SURFACE.
 - D. WINDOWS OVER BATHTUB OR SHOWER.
 - E. ALL GLASS SHOWER ENCLOSURES.
 - F. SKYLIGHTS AND SLOPED GLAZING.

EGRESS:

1. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR ESCAPE WINDOW.
2. ESCAPE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET.
3. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES.
4. THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES.
5. THE FINISH SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE FINISH FLOOR.

EMERGENCY SCAPE AND RESCUE OPENINGS ARE REQUIRED TO BE INSTALL IN ALL SLEEPING AREAS. THESE WINDOWS SHALL BE IN ACCORDANCE WITH THE 2016 CALIFORNIA FIRE CODE CHAPTER 10 SECTION 1029 AND THE 2016 CALIFORNIA RESIDENTIAL SECTION R-310; EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY; OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. MINIMUM OPENING IS 24 INCHES IN HEIGHT AND 20 INCHES IN WIDTH. THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING.



PROPOSED NEW SOUTH ELEVATION

1/4" 2

RESIDENTIAL EGRESS WINDOWS
2013 CALIFORNIA RESIDENTIAL CODE
SECTIONS R310.11 & R612.2

The following is a list of the general requirements based on the 2013 California Building Code. This handout is intended to provide only general information, contact the Building and Safety Division for any questions or additional information.

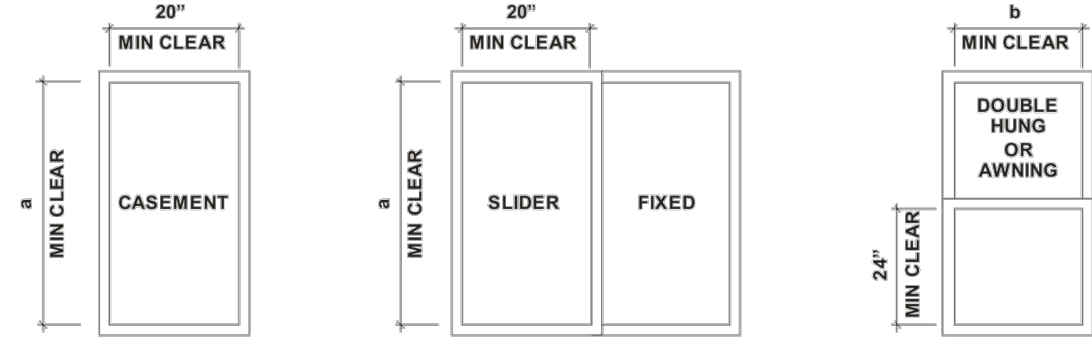
RESIDENTIAL EGRESS WINDOWS:

Every sleeping room shall have at least one operable emergency escape and rescue opening (window or door). Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

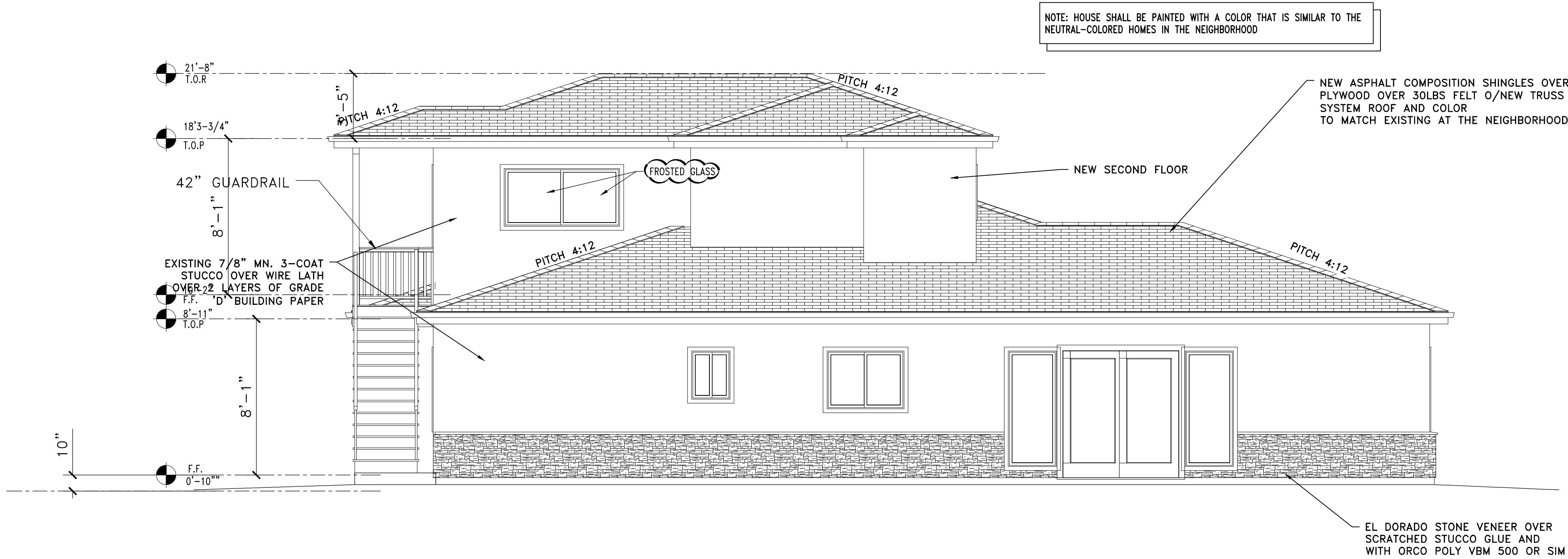
All emergency escape and rescue openings shall have:

- The bottom of the opening shall not be more than 44 inches above the floor.
- Minimum net clear opening height of 24" and width of 20."
- Minimum net clear opening of 5.7 square feet (5.0 at grade level)

Note: In order to meet the minimum clear opening of 5.7 square feet (see figure below). The net clear opening dimensions required shall be obtained by the normal operation of the emergency escape and rescue opening from the inside.



NEW REQUIREMENT FOR 2013 - SECTION R612.2: In dwelling units, where the opening of an operable window is located more than 72" above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum 24" above the finished floor of the room in which the window is located. Operable sections of windows shall not permit openings that allow passage of a 4 inch diameter where such opening are located within 24" of the finished floor. Where such window openings do not comply, window fall prevention devices and window guards that comply with ASTM F 2090, shall be provided.



PROPOSED NEW WEST ELEVATION

1/4" 1

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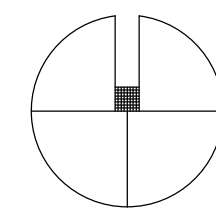


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PROPOSED NEW ELEVATION

REF. NORTH



A2.1



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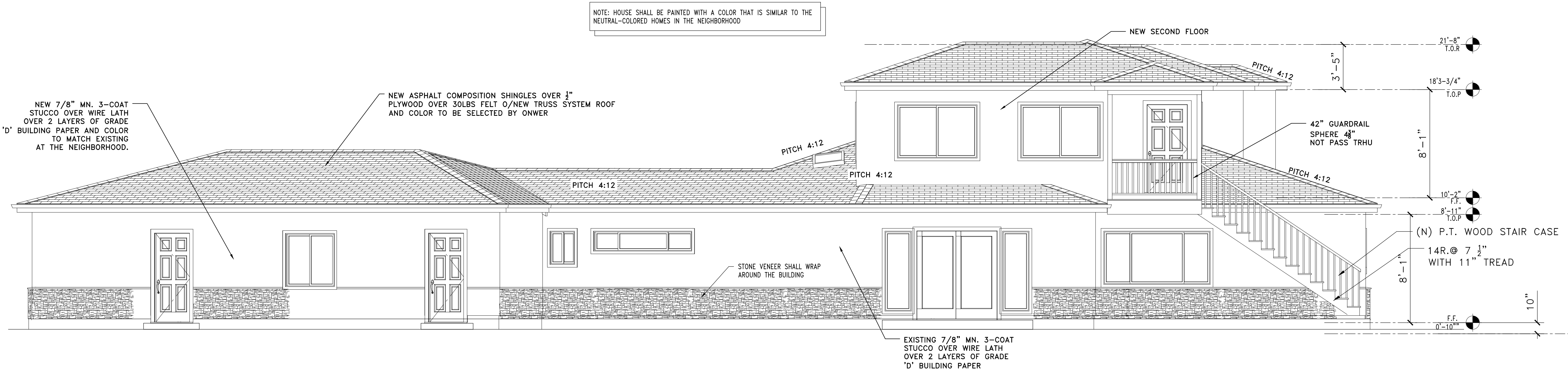
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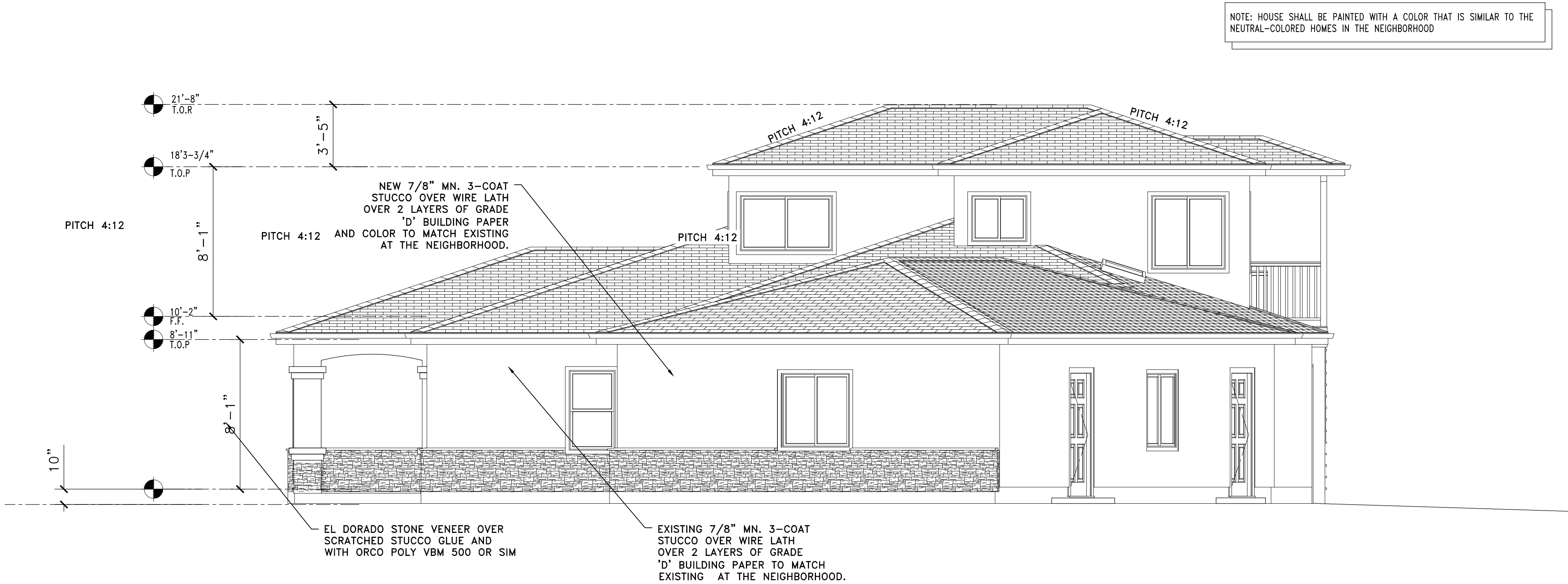
STREETSCAPE ELEVATION

3/32" 3



PROPOSED NORTH ELEVATION

1/4" 2



PROPOSED EAST ELEVATION

1/4" 1

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1498 NORMAN DR
SUNNYVALE, CA 95035

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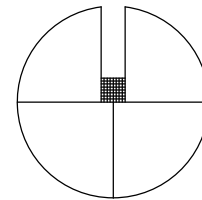


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PROPOSE NEW ELEVATIONS AND STREET SCAPE

REF. NORTH



A2.2



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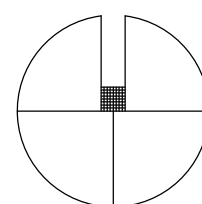


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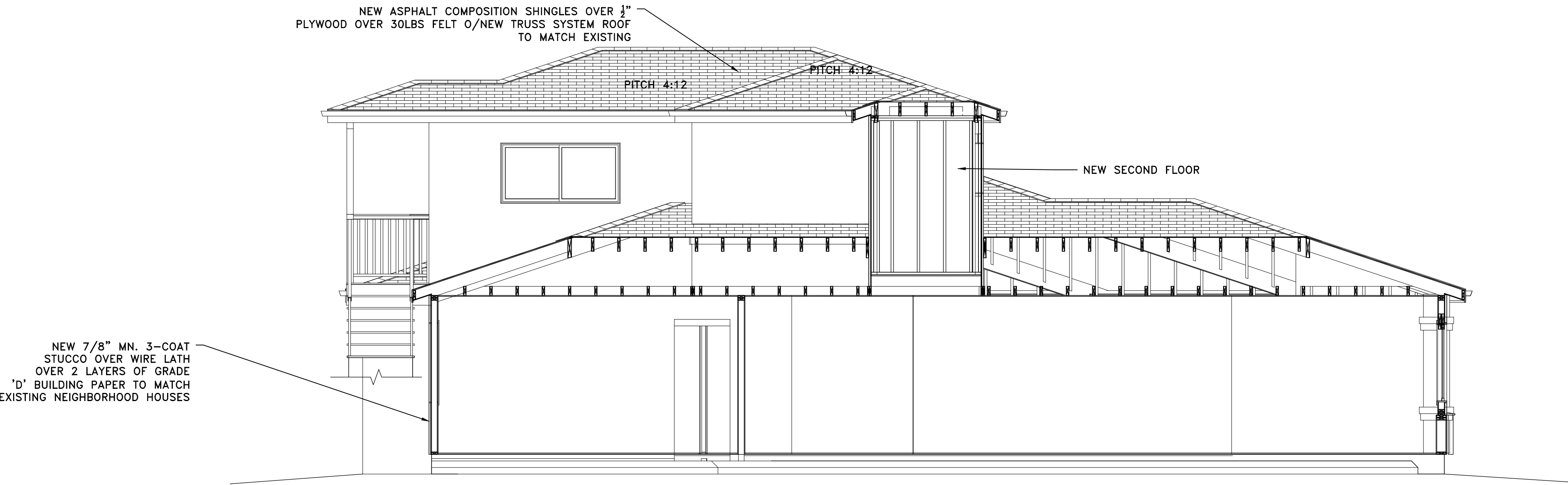
DATE: September 25, 2018
PROJECT No. 37-090215

CROSS SECTIONS

REF. NORTH

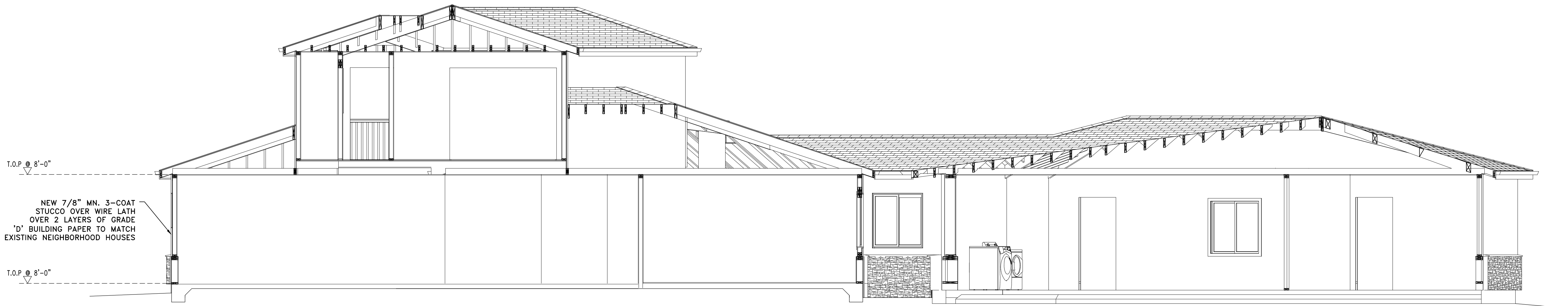


A3.0



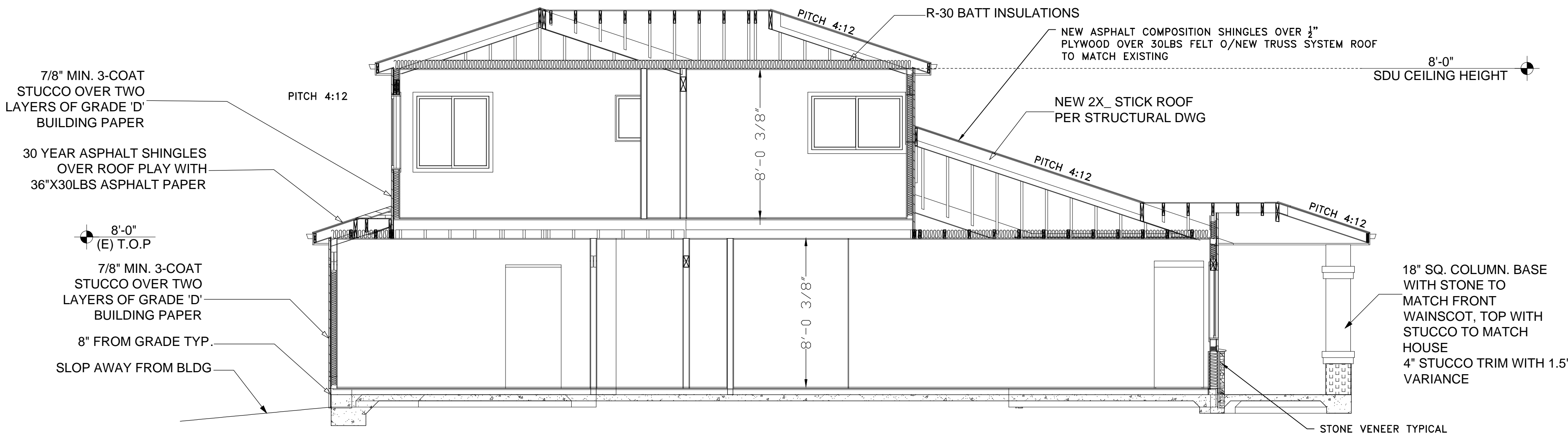
SECTION 3

1/4" 3



SECTION 2

1/4" 1



SECTION 1

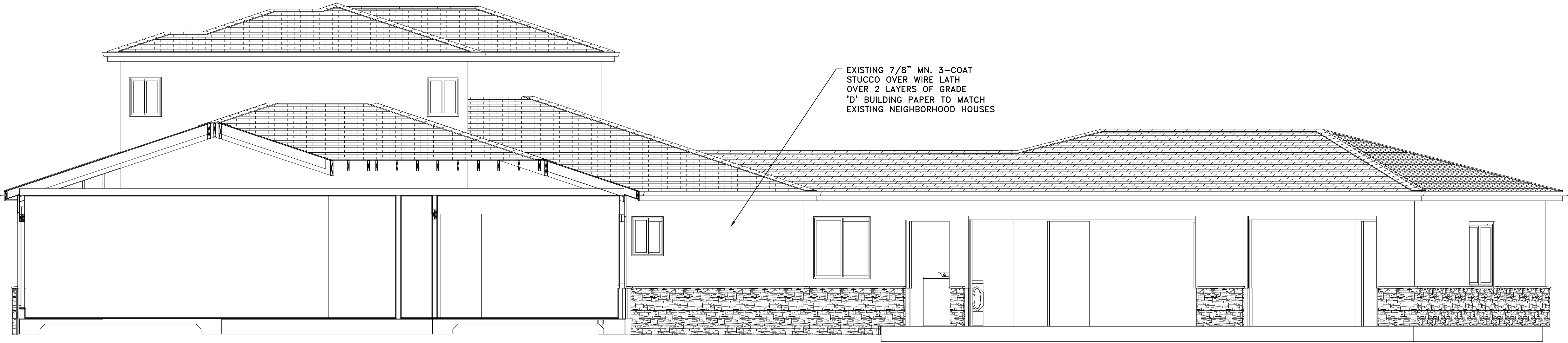
1/4" 1



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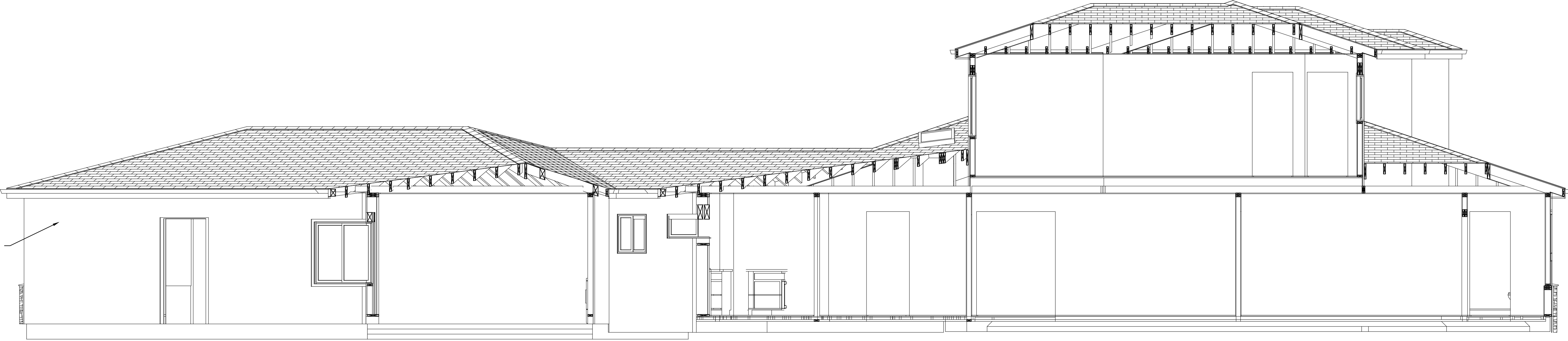


SECTION 5

1/4"

2

REVISION	DATE
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SECTION 4

1/4"

1

HOUSE ADDITION/REMODEL FOR:
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SUNNYVALE, CA 95035

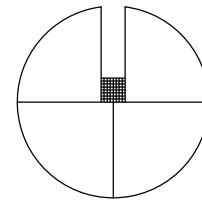


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DATE: September 25, 2018
PROJECT No. 37-090215

CROSS SECTIONS

REF. NORTH



A3.1

BOUNDARY	---
PROPERTY LINE	---
CENTER LINE	---
SETBACK LINE	---
FACE OF BUILDING LINE	---
WOODEN FENCE	○ ○ ○ ○ ○
EDGE OF CREEK	---
GAS METER	Ⓜ
WATER METER	Ⓦ
LANDSCAPE LIGHT	☆
SANITARY SEWER CLEANOUT	Ⓢ
SANITARY SEWER MANHOLE	Ⓢ
STORMDRAIN MANHOLE	Ⓟ
WATER VALVE	Ⓦ
ELECTRIC METER	⚡
GAS VALVE	ⓖ
TREE AS NOTED	🌳
FOUND MONUMENT AS NOTED	●
FOUND MONUMENT AS NOTED	⦿

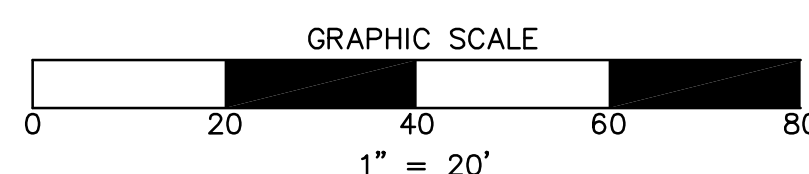
1. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
2. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
3. NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS TOPOGRAPHY SURVEY.
4. ASSESSOR'S PARCEL NUMBER: 313-14-049
5. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
6. DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES
7. FIRE HYDRANT ON EAST SIDE OF MARION WAY 75' (APPROX.) ACROSS FROM PROJECT SITE

FL	FLOWLINE
TC	TOP OF CURB
EP	EDGE OF PAVING
C	CONCRETE
L	LIP OF GUTTER
G	GROUND
AC	ASPHALTIC CONCRETE
TS	TOP OF STEP
B.S.L.	BUILDING SETBACK LINE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE
C1	110.63'	29.03'	15°01'56"
C2	97.22'	16.21'	9°33'11"
C3	7.61'	1.96'	14°47'25"

BEARINGS SHOWN HEREON ARE BASED ON THAT TRACT MAP RECORDED MARCH 6TH 1950 IN BOOK 26 OF MAPS AT PAGE 40 AND 41 SANTA CLARA COUNTY RECORDS.

PROJECT BENCH MARK DERIVED FROM CITY OF SUNNYVALE BM#90
BEING A BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE
SOUTHEAST CURB RETURN, INTERSECTION OF DUNFORD WAY AND QUAIL
AVENUE.
ELEVATION TAKEN AS 120.67



BOUNDARY & TOPOGRAPHIC SURVEY
APN: 313-14-049
1498 NORMAN DRIVE
SUNNYVALE SANTA CLARA CO. CALIFORNIA

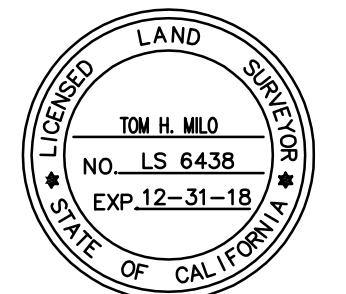
2250 Bohannon Drive
Santa Clara, CA 95050
408.615.8855 phone
408.615.1556 fax

JOB NO.

FILE NO.

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

APRIL 9, 2018
DATE



SANTA CLARA UNIFIED
SCHOLL DISTRICT