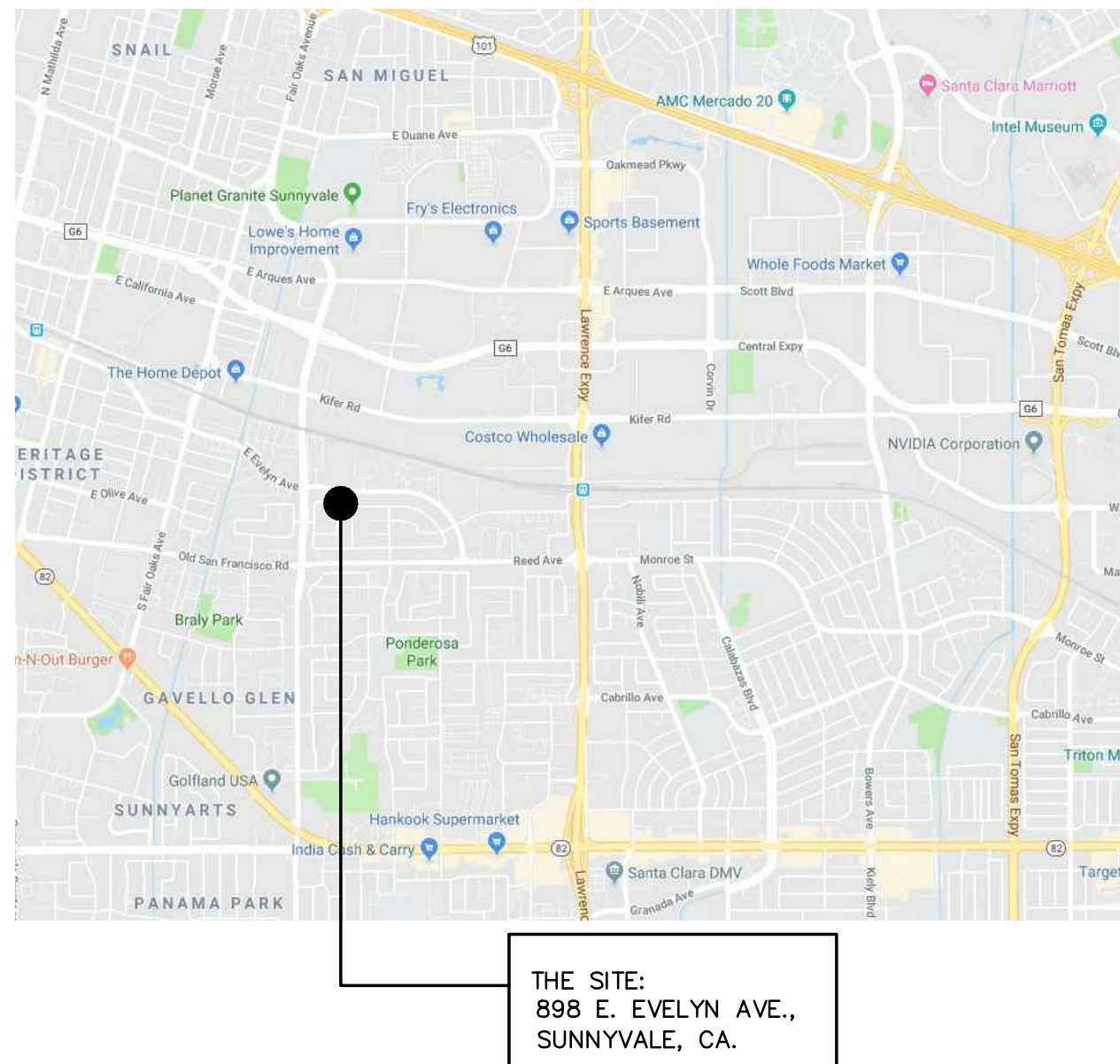
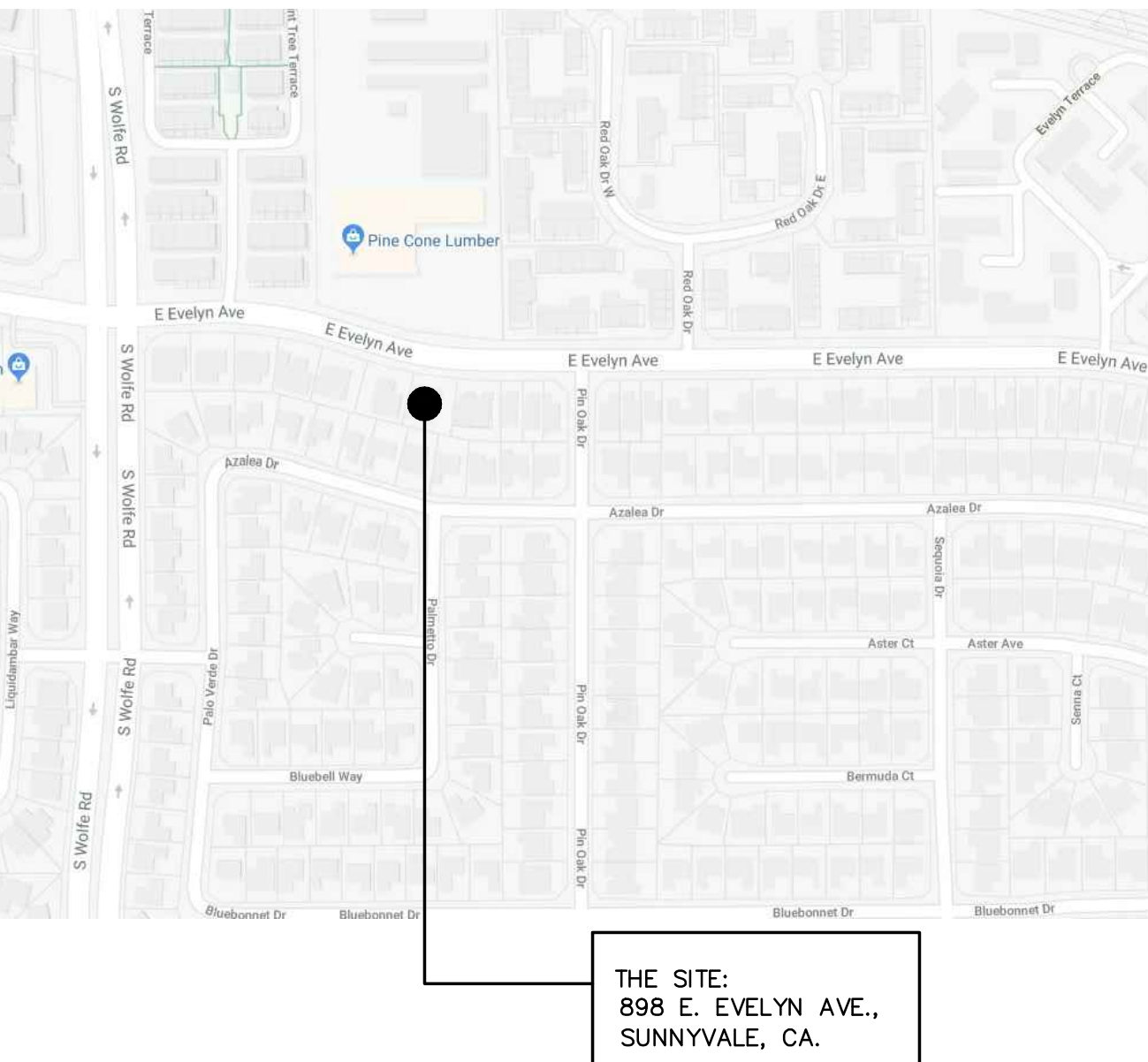


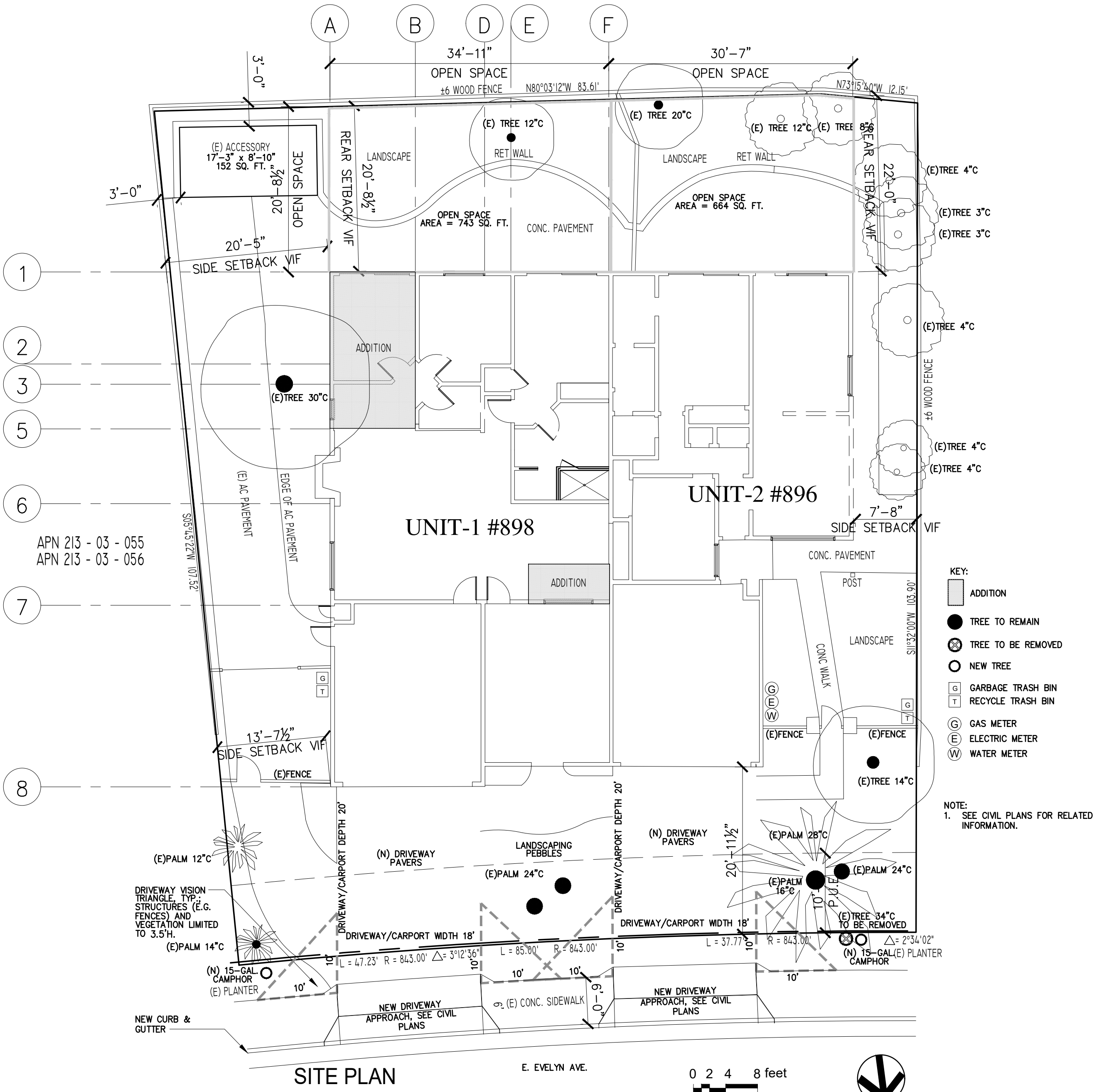
## LOCATION PLAN



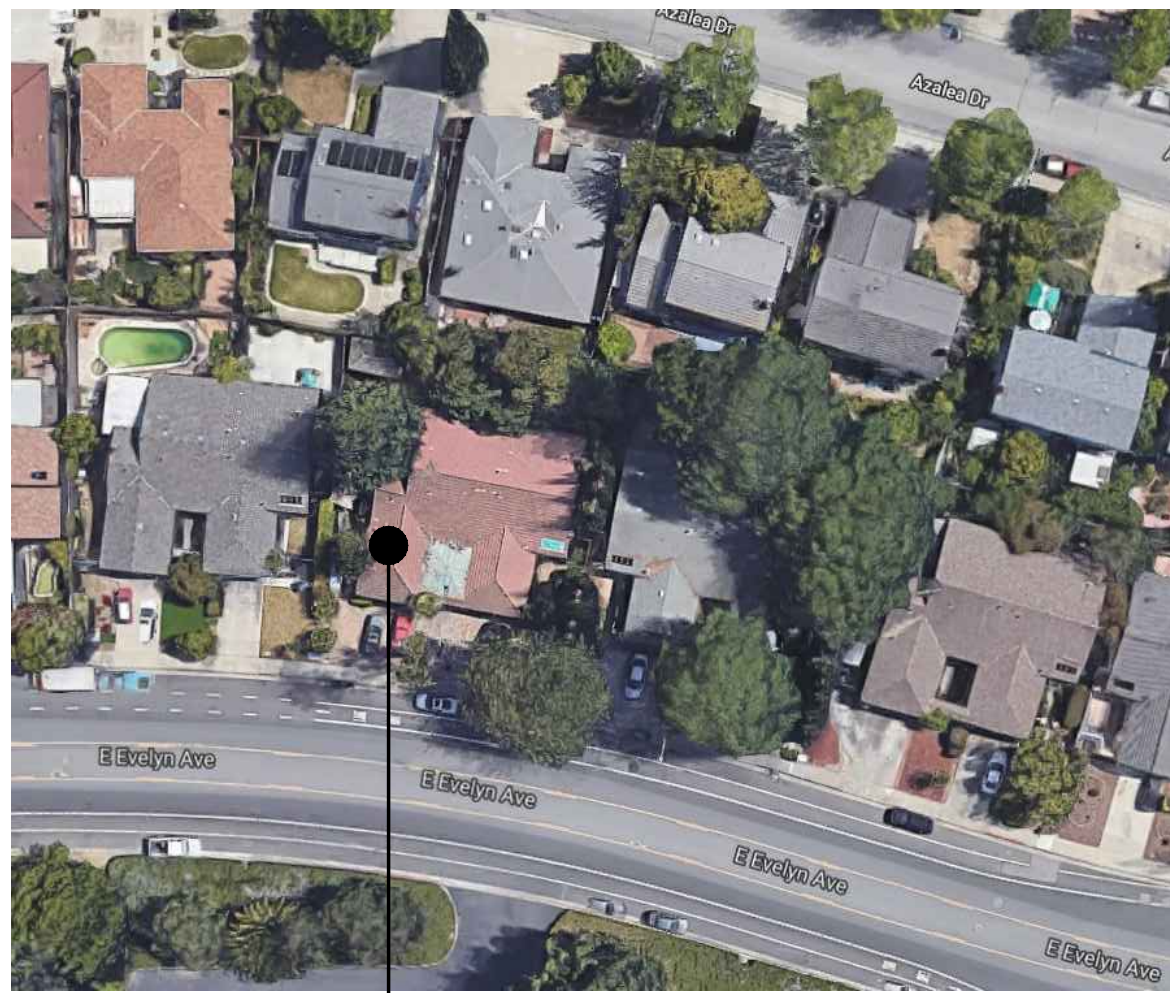
## VICINITY MAP



## SITE PLAN



## AERIAL



## EXISTING



## APPLICABLE CODES

2016 CALIFORNIA BUILDING (STRUCTURAL ONLY)  
2016 CALIFORNIA RESIDENTIAL CODE  
2016 CALIFORNIA ELECTRICAL CODE  
2016 CALIFORNIA ENERGY CODE  
2016 CALIFORNIA MECHANICAL CODE  
2016 CALIFORNIA PLUMBING CODE  
2016 CALIFORNIA FIRE CODE  
2016 CALIFORNIA GREEN BUILDING CODE  
2016 CITY OF SUNNYVALE MUNICIPAL CODE

## BUILDING DATA

ASSESSORS PARCEL NUMBER 213-03-007  
ZONING DISTRICT R2/PD  
TOTAL LOT AREA 9,532 SQ. FT.

**UNIT-1 #898**  
LOT AREA 2,341 SQ. FT.  
EXISTING LIVING AREA 1,209 SQ. FT.  
ADDITIONAL LIVING AREA (209 + 54 SF) 263 SQ. FT.  
TOTAL LIVING AREA (EXIST + NEW) 1,472 SQ. FT.  
EXISTING GARAGE AREA 449 SQ. FT.  
EXISTING COVERED PATIO 322 SQ. FT.  
REDUCED COVERED PATIO 268 SQ. FT.  
ACCESSORY BUILDING 152 SQ. FT.  
TYPE OF CONSTRUCTION VB  
OCCUPANCY R-2  
SPRINKLERS NO  
STORIES 1  
EXISTING BEDROOMS 2  
NEW BEDROOM/S 1

**UNIT-2 #896**  
LOT AREA 1,537 SQ. FT.  
EXISTING LIVING AREA 1,092 SQ. FT.  
GARAGE 445 SQ. FT.  
EXISTING BEDROOMS 2  
NEW BEDROOM/S 0

LOT COVERAGE %, MAX. ALLOWED 45.0%  
LOT COVERAGE %, PROVIDED  
OVERALL AREA UNIT-1(2,341) & UNIT-2(1,537) 3,878 SQ. FT.  
3,878/9,532 x 100 40.7%  
FAR %, THRESHOLD WITHOUT PLANNING COMMISSION HEARING 55.0%  
FAR %, PROVIDED  
OVERALL AREA UNIT-1(1,472) & UNIT-2(1,092) 2,564 SQ. FT.  
2,564/9,532 x 100 26.9%

# ADDITION & REMODEL

898 E. EVELYN AV., SUNNYVALE, CA.  
APN : 213-03-007  
OWNERS: LISA GAO & STEPHANIE YI

## NOTES

THESE NOTES ARE ARRANGED ACCORDING TO THE FOLLOWING DIVISIONS AS A CONVENIENCE TO THE CONTRACTOR. GENERAL NOTES ARE NOT LIMITED BY THEIR DIVISION HEADING AND APPLY AS NECESSARY THROUGHOUT THE ENTIRE PROJECT.

- CODES**
  - ALL CONTRACTORS WORK SHALL CONFORM TO THE 2013 CALIFORNIA BUILDING, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE CODES, AMERICANS WITH DISABILITIES ACT, AND ALL OTHER APPLICABLE CODES, OR THOSE ADOPTED BY CITY OF SUNNYVALE, CALIFORNIA. GOVERNING AUTHORITIES AND CODES TAKE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS. REPORT DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- READING THE PLANS**
  - DIMENSIONS SHALL GOVERN ON WORKING DRAWINGS. DO NOT SCALE DRAWINGS.
  - IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES OR SPECIFICATIONS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR.
  - SHOULD CONFLICTS OCCUR BETWEEN THE DRAWINGS AND SPECIFICATIONS, DRAWINGS SHALL GOVERN IN MATTERS OF DIMENSION OR QUANTITY; SPECIFICATIONS SHALL GOVERN IN MATTERS OF MATERIALS OR FINISHES.
  - IN CASE OF DISCREPANCIES OR CONFLICTS IN INFORMATION OR REQUIREMENTS WITHIN THE DRAWINGS, WITHIN THE SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MOST EXPENSIVE REQUIREMENT SHOWN OR SPECIFIED SHALL BE THE BASIS OF THE CONTRACT.
- PRIOR TO CONSTRUCTION**
  - PRIOR TO CONSTRUCTION AND GRADING, VERIFY ALL EXISTING CONDITIONS AND CONTACT UTILITY COMPANIES AND AFFECTED CITY AGENCIES. CONTACT "UNDERGROUND SERVICE ALERT" PHONE: (800) 642-2444.
  - THE CONTRACTOR SHALL THOROUGHLY REVIEW PLANS AND EXISTING SITE CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES, ERRORS OR OMISSIONS PRIOR TO CONSTRUCTION.
- SITE WORK**
  - THE CIVIL ENGINEER IS RESPONSIBLE FOR PROVIDING THE FOLLOWING INFORMATION:
    - FINISHED AND EXISTING GRADES
    - ALL SITE DRAINAGE
    - SIZES AND TYPE OF CURB AND GUTTERS
    - SITE DIMENSION AND SETBACKS
  - VERIFY DIMENSIONS, GRADES, ELEVATIONS AND CRITICAL LOCATIONS, SUCH AS STRUCTURAL SUPPORTS, BEFORE COMMENCING WORK AFFECTED BY THEM. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- JOB SITE**
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL THE EXPENSE FOR REPAIR OR REPLACEMENT OF UTILITIES AND/OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF WORK.
  - CONTRACTOR SHALL PROVIDE TEMPORARY PROJECT OFFICE, TELEPHONE, FAX MACHINE, SECURITY FENCE, WATER, POWER, AND TOILET FACILITIES. COORDINATE LOCATIONS WITH ALL APPROPRIATE AGENCIES. CONTRACTOR'S FIELD OFFICE SHALL ALSO CONTAIN A CURRENT COPY OF GOVERNING BUILDING CODE(S).
  - CITY APPROVED PLANS SHALL BE KEPT IN A PLAN BOX IN THE FIELD OFFICE AND SHALL NOT BE USED BY WORKERS. ALL CONSTRUCTION SETS SHALL BE KEPT UP TO DATE, AND REFLECT THE SAME INFORMATION. THE CONTRACTOR SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS AND SPECIFICATIONS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETE.
  - CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND ORDERLY MANNER. NO RADIOS, ALCOHOL, OR CONTROLLED SUBSTANCES ARE ALLOWED ON THE JOB SITE. ALL DEBRIS SHALL BE REMOVED FROM PREMISES, AND ALL AREAS SHALL BE LEFT IN A BROOM-CLEAN CONDITION ON A DAILY BASIS.
- COMMUNICATION**
  - FIELD CONFIRMATION OF DISCREPANCIES SHALL BE RECORDED ON A REPRODUCIBLE DOCUMENT AND IMMEDIATELY TRANSMITTED TO ENGINEER FOR PROJECT RECORD, COORDINATION, AND NECESSARY RESOLUTION PRIOR TO CONTINUING WORK.
  - THE GENERAL CONTRACTOR SHALL PROVIDE OR MAKE AVAILABLE A COMPLETE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS) TO EVERY SUBCONTRACTOR BIDDING ANY PORTION OF THIS PROJECT. THE CONSTRUCTION DOCUMENTS SHALL NOT BE SEPARATED INTO DISCIPLINES (ENGINEERING, MECHANICAL, ELECTRICAL, ETC.), FOR PURPOSE OF SUBCONTRACTOR BIDDING. THE GENERAL CONTRACTOR SHALL REQUIRE BIDDING SUBCONTRACTOR TO REVIEW THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO OBTAIN CLARITY ON THE COMPLETE SCOPE OF THEIR WORK AND REFER TO CROSS DISCIPLINE DRAWINGS FOR FULL COORDINATION OF WORK WITH OTHER TRADES, AND TO BE AWARE OF ALL WORK WHICH DOES NOT APPEAR WITHIN THE PARTICULAR DISCIPLINE'S DRAWINGS FOR THE PARTICULAR TRADE. FURTHERMORE, THE GENERAL CONTRACTOR SHALL INSURE THAT EACH SUBCONTRACTOR WORKING ON THE PROJECT MAINTAINS A FULL SET OF CONSTRUCTION DOCUMENTS THROUGHOUT THE CONSTRUCTION OF THE PROJECT.

## INDEX

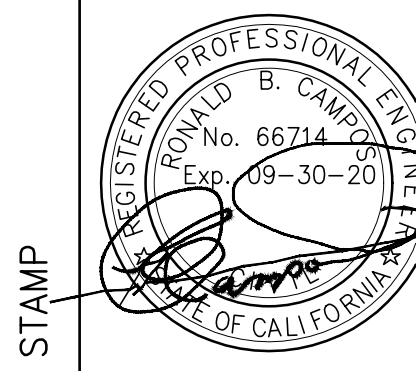
- A.0 COVER SHEET, PROJECT DATA, SITE/LANDSCAPING PLAN
- C.1 TOPOGRAPHIC SURVEY/EXIST. CONDITION  
C.2 SITE PLAN  
C.3 GRADING, DRAINAGE, & UTILITY PLAN  
C.4 STORMWATER MANAGEMENT PLAN
- A.1 EXISTING FLOOR PLAN, ACCESSORY STRUCTURE  
A.2 EXISTING ELEVATIONS  
A.3 NEW FLOOR PLAN / DEMO PLAN  
A.4 NEW ELEVATIONS  
A.5 NEW ROOF PLAN  
A.6 SECTIONS & DETAILS  
A.7 NOTES
- S1.1 STRUCTURAL NOTES  
S1.2 TYPICAL CONCRETE DETAILS  
S1.3 WOOD DETAILS  
S2.1 FOUNDATION PLAN / ROOF FRAMING PLAN  
S3.1 STRUCTURAL DETAILS
- E1 ELECTRICAL/MEP NOTES  
E2 RCP/MEP LAYOUT
- L LANDSCAPING PLANS, CALCULATIONS
- CG CALGREEN CHECKLIST

## SCOPE OF WORK

ADD ± 150 SF BEDROOM WHERE (E) PATIO IS LOCATED; REMODEL MASTER BEDROOM ADD 54 SF DINING AREA IN FRONT AREA OF THE (E) HOUSE

### 7. COMPLETION

- ONE SET OF EQUIPMENT OPERATING AND MAINTENANCE MANUALS PER UNIT SHALL BE SUBMITTED TO OWNER UPON COMPLETION OF PROJECT, PRIOR TO REQUEST FOR FINAL PAYMENT.
- CONTRACTOR SHALL ASSIST OWNER IN OBTAINING "CERTIFICATE OF OCCUPANCY" OR "OCCUPANCY PERMIT" AS NECESSARY.



STAMP  
CONSULTANT  
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CONSULTING ENGINEERS, INC.  
11103 SAN JUAN AVE., SUITE 100, LOS ANGELES, CA 90045  
TEL: 510-322-0300 FAX: 510-322-0303  
http://www.klce.com

DESIGN-BUILD PROJECT BY:  
JTN Construction & Management, Inc.  
Jeffrey Ian Nguyen, Thomas Thanh Nguyen, P.M.  
Contractor License Number 957924  
2943 Bell Avenue, San Jose, CA 95138  
Telephone: 408.607.1117 408.646.0381

PROJECT & OWNER (S):  
898 & 896 E. EVELYN AV.  
Lisa Gao & Stephanie Yi  
898 E. EVELYN AVE.

DRAWN: MTC  
CHECKED: RBC  
SCALE:  
DATE: 08/17/2018

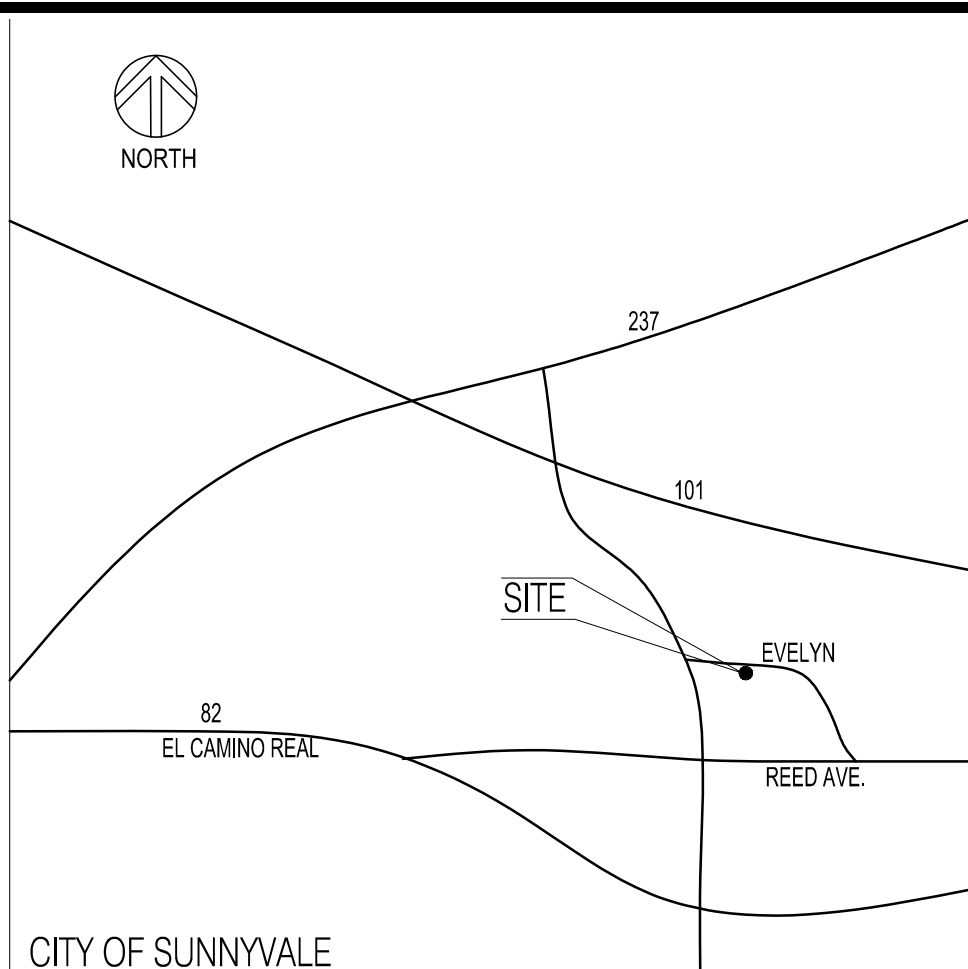
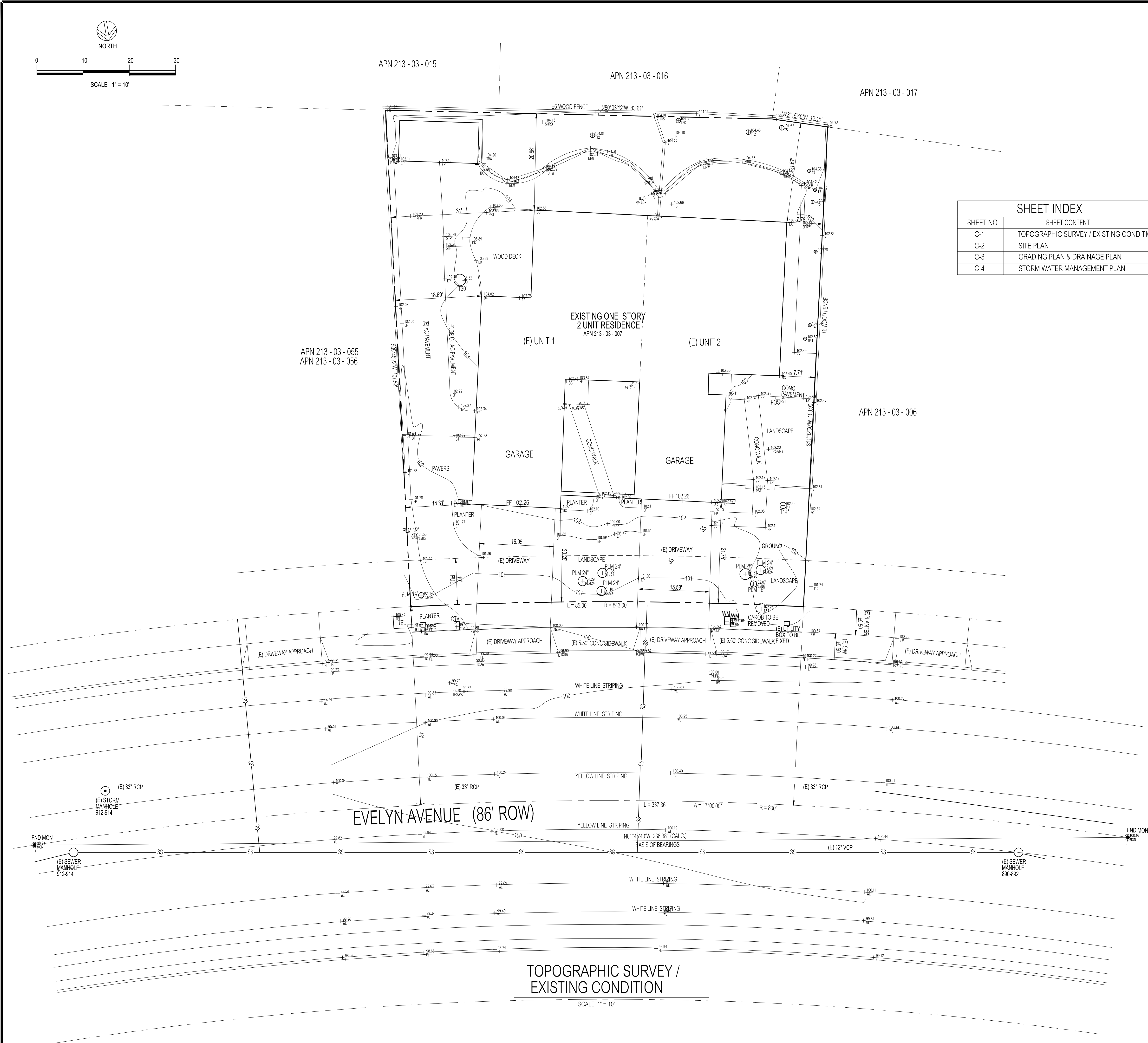
SHEET TITLE:  
COVER SHEET / PROJECT DATA,  
RESUBMIT  
APPLICABLE CODES, SCOPE OF  
WORK, VICINITY MAP,  
SHEET INDEX

PROJ. NO. 18-664  
REVISIONS:  
FOR PLANNING 08/17/2018  
FOR PLANNING RESUBMIT 10/18/2018  
FOR PLANNING RESUBMIT 12/12/2018  
FOR PLANNING RESUBMIT 01/17/2019

SHEET NO:

A.0












SHEET INDEX	
SHEET NO.	SHEET CONTENT
C-1	TOPOGRAPHIC SURVEY / EXISTING CONDITION
C-2	SITE PLAN
C-3	GRADING PLAN & DRAINAGE PLAN
C-4	STORM WATER MANAGEMENT PLAN

## REFERENCES

1. TRACT NO 4355 (BK 228 PG 5

LEGEND

- \_\_\_\_\_ PROPERTY LINE  
 \_\_\_\_\_ ADJ PROP LINE  
 \_\_\_\_\_ EASEMENT LINE

- |   |      |                           |
|---|------|---------------------------|
|  | DI   | DRAIN INLET / CATCH BASIN |
|  | FH   | FIRE HYDRANT              |
|  | LP   | LIGHT POST                |
|  | U/BX | UTILITY VAULT             |
|  | CTV  | CABLE TV                  |
|  | TEL  | TELEPHONE                 |
|  | WM   | WATER METER               |

ABBREVIATIONS:

- |         |                                |
|---------|--------------------------------|
| APN     | ASSESSORS PARCEL NUMBER        |
| AC      | ASPHALT CONCRETE               |
| BL      | BUILDING LINE                  |
| BC      | BUILDING CORNER / BACK OF CURB |
| BRW     | BOTTOM OF RETAINING WALL       |
| BW      | BACK OF WALK                   |
| ALC     | ALCANTARA                      |
| CONC    | CONCRETE                       |
| CL      | CENTER LINE                    |
| DK      | DECK                           |
| (E)     | EXISTING                       |
| EP      | EDGE OF PAVEMENT               |
| FL      | FLOW LINE                      |
| F       | FENCE                          |
| FC      | FENCE CORNER                   |
| FF      | FINISH FLOOR                   |
| FND     | FOUND                          |
| H, HT   | HEIGHT                         |
| HC      | HANDICAPPED                    |
| LP, CSG | CURB & GUTTER, LIGHT POST      |
| MANH    | MANHOLE                        |
| PLM     | PALM TREE                      |
| PST     | POST                           |
| TC      | TOP OF CURB                    |
| TCDW    | TOP OF CURB DRIVEWAY           |
| TRW     | TOP OF CURB DRIVEWAY           |
| YL      | YELLOW LINE, STRIPING          |
| YL      | YELLOW LINE, STRIPING          |

## NOTES

1. ALL ANGLES ARE 90° UNLESS OTHERWISE SHOWN.
2. ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.
3. SETBACK DIMENSIONS ARE MEASURED AT THE EXTERIOR WALL OF THE BUILDING.

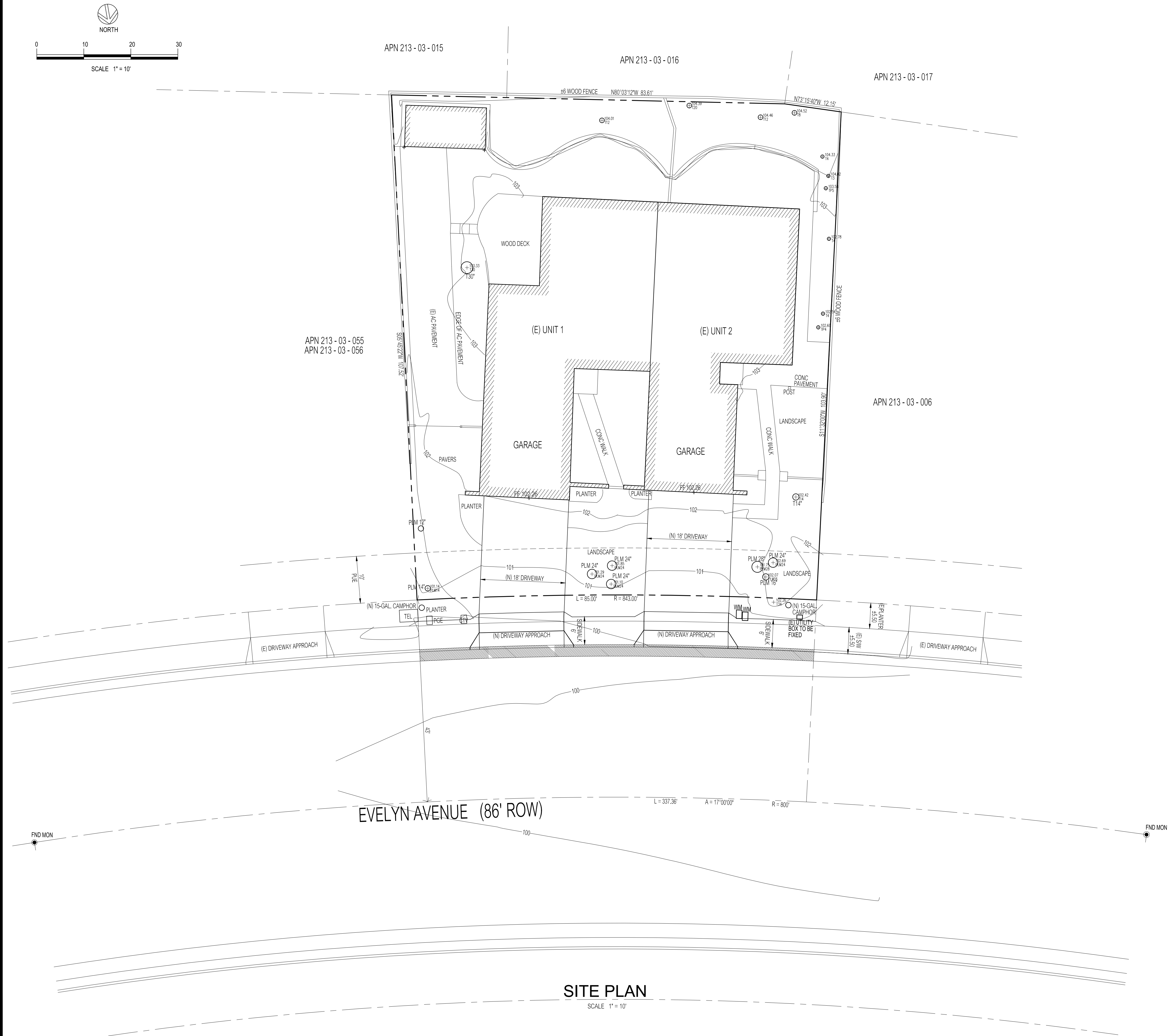


## RECORD OWNER

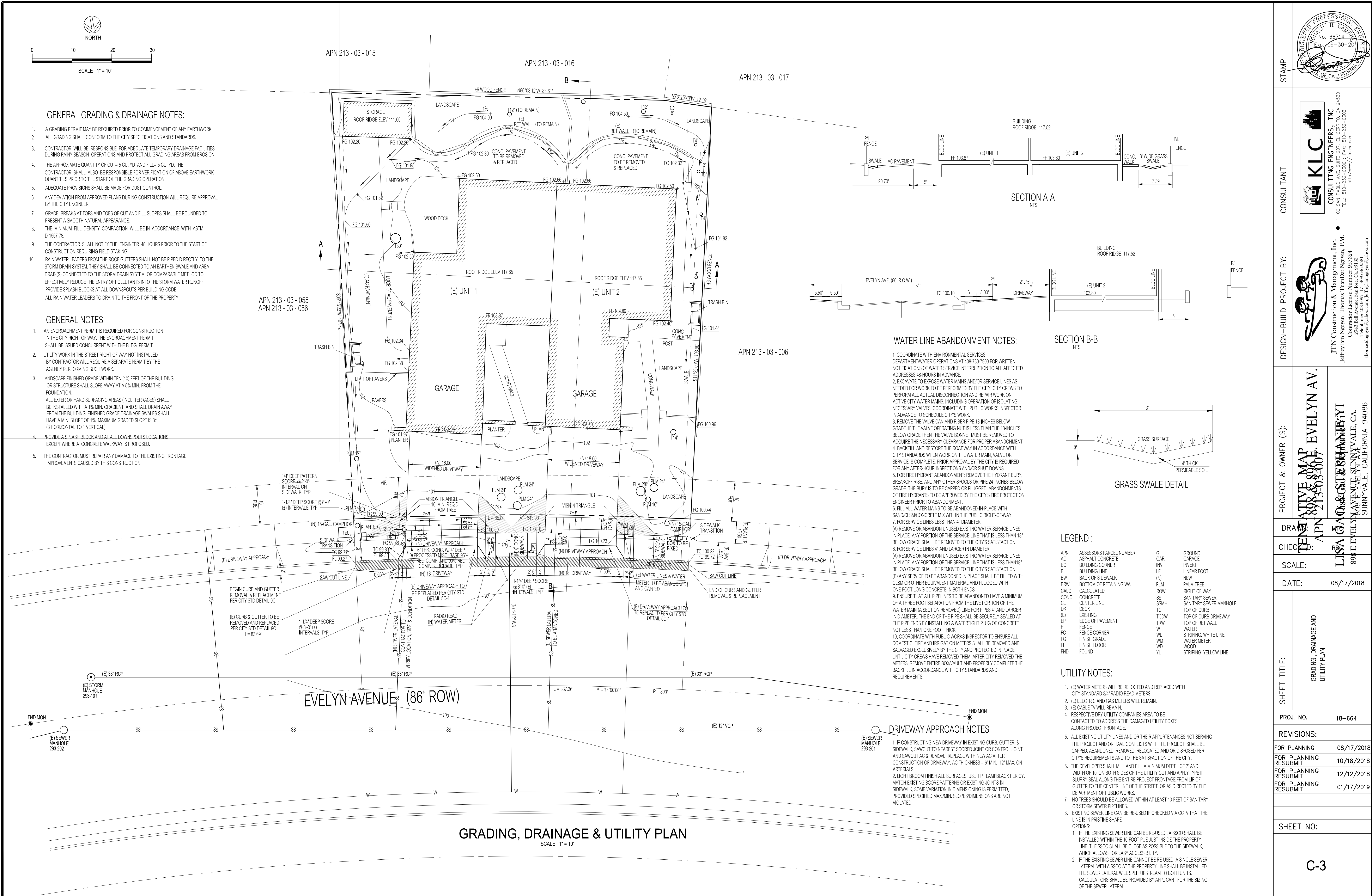
LISA GAO	STEPHANIE YI
ADDRESS	: 898 E EVELYN AVENUE, SUNNYVALE, CA 94086
ASSESSOR'S PARCEL NO.	: APN 213 - 03 - 007
ZONING	: R2
LOT AREA	: 9,532 SF ( CALCULATED )
PRESENT USE OF PROPERTY	: RESIDENTIAL WITH ONE STORY 2 UNIT RESIDENCE
PROPOSED USE OF PROPERTY	: TO SPLIT THE EXISTING 2 UNIT RESIDENCE INTO 2 CONDOMINIUM UNIT CONTAINED IN ONE PARCEL

**UTILITIES:**

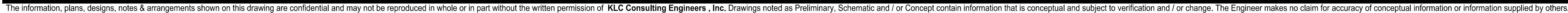
GAS	: P.G.&E.
ELECTRICITY	: P.G.&E.
SEWER	: CITY OF SUNNYVALE
WATER	: CITY OF SUNNYVALE
CABLE TV	: AT & T , COMCAST



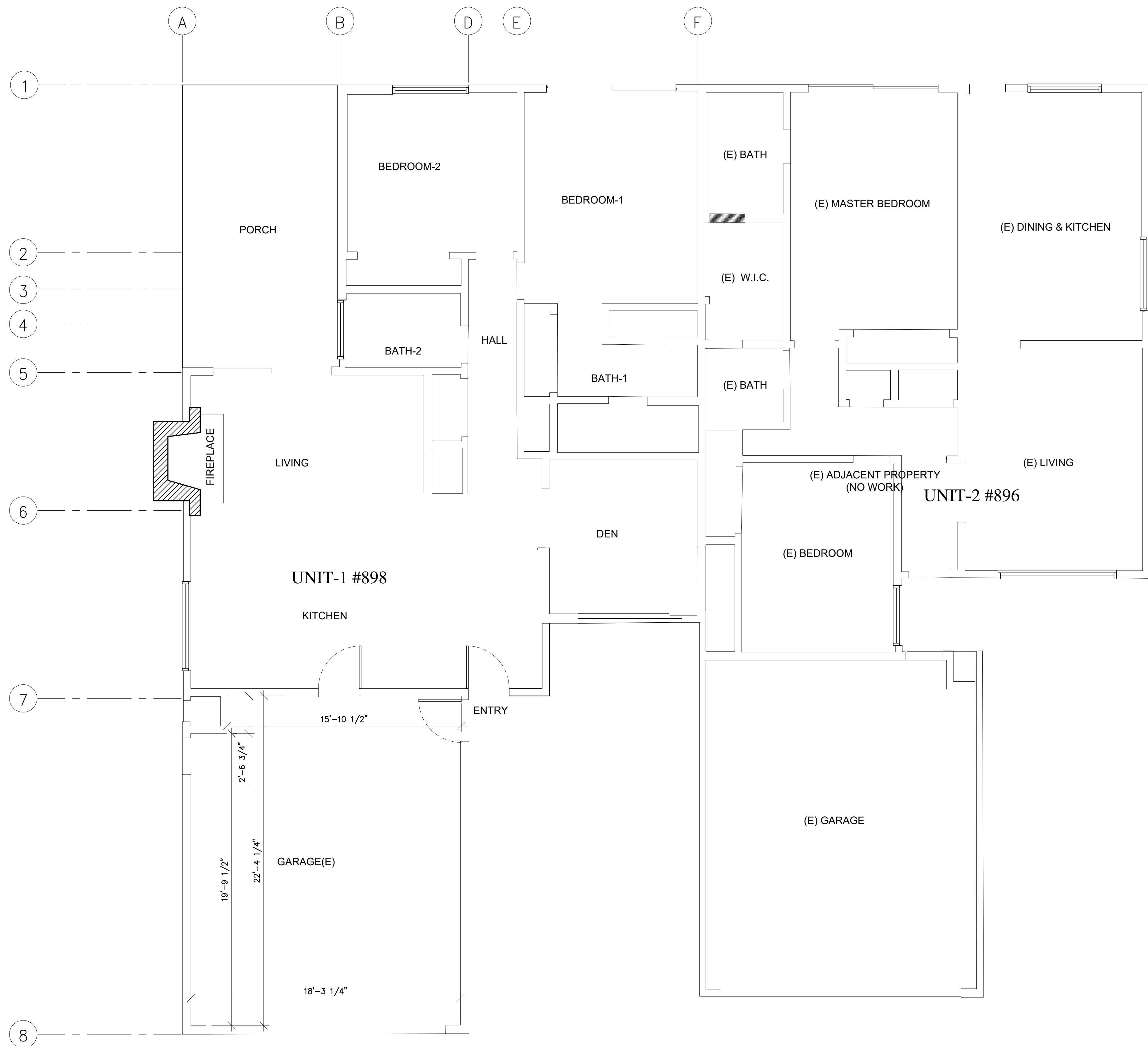




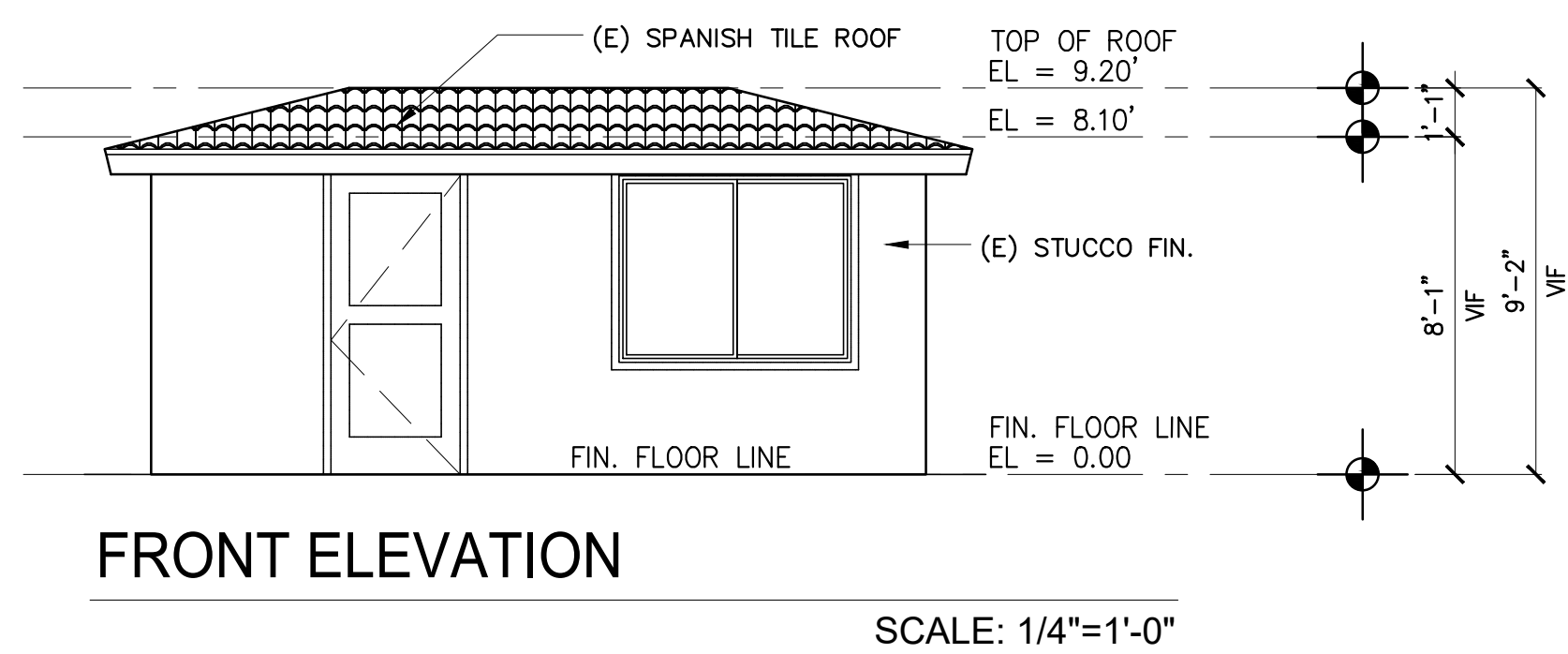
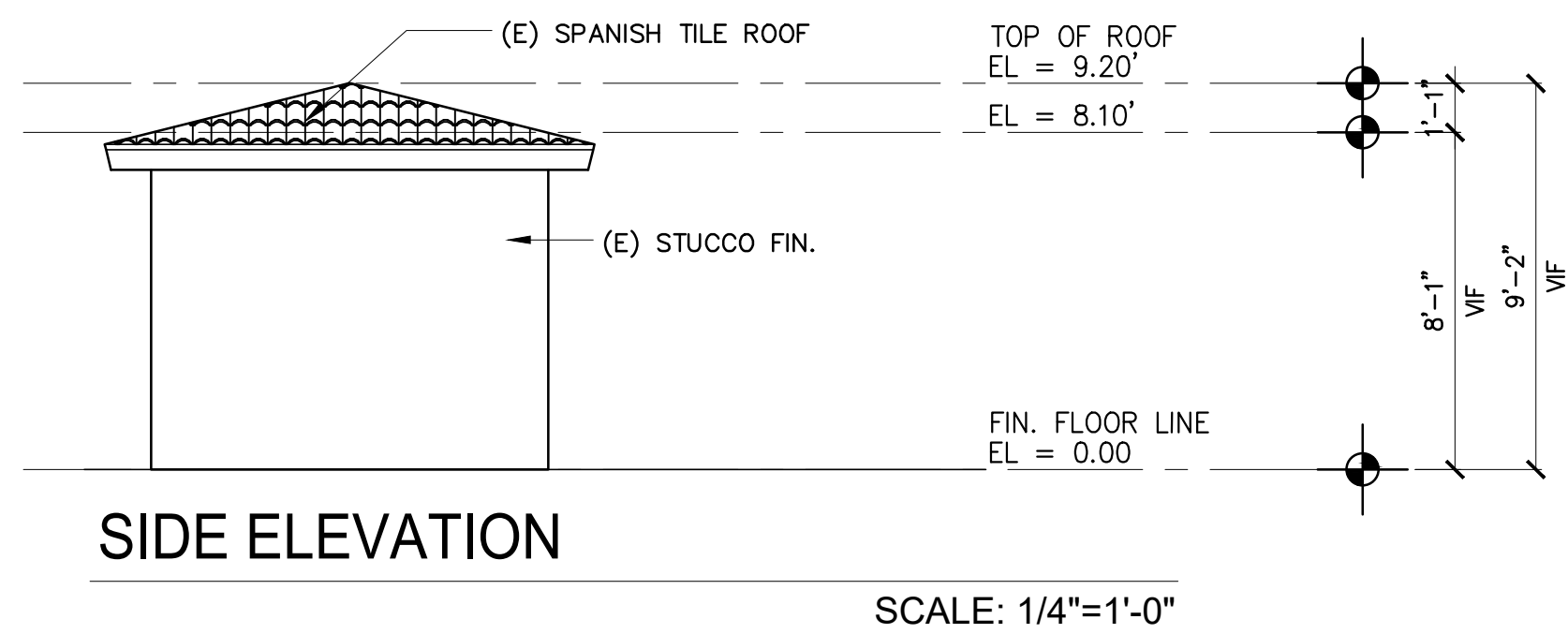
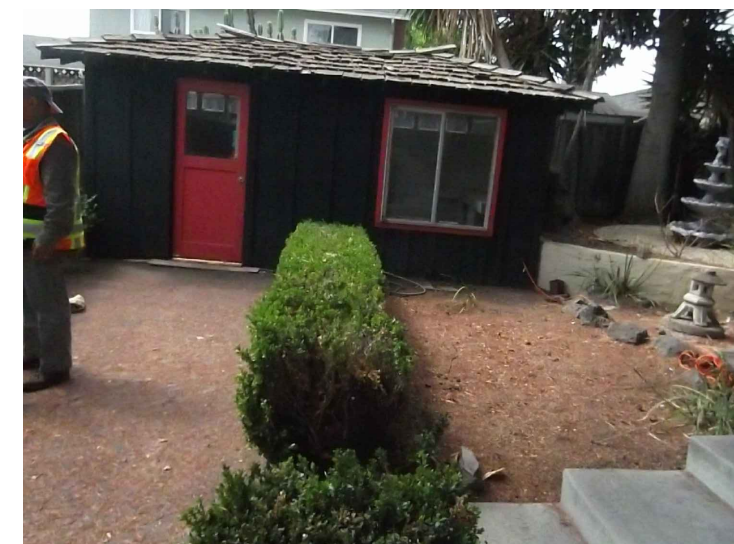
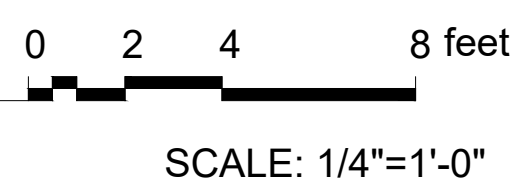




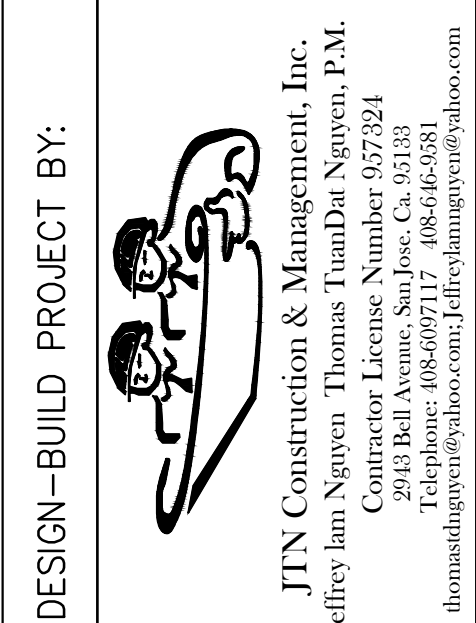
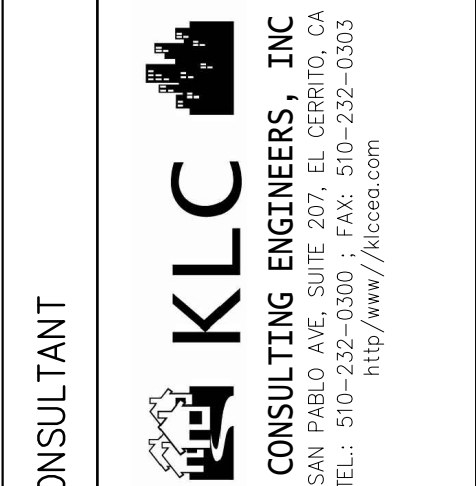
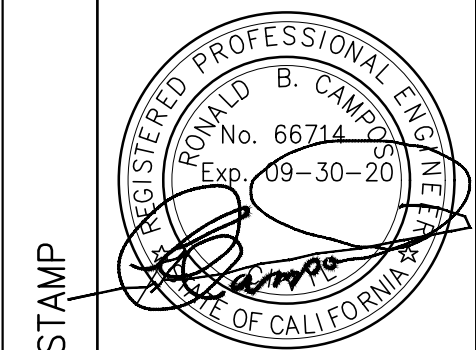




EXISTING FLOOR PLAN



EXISTING ACCESSORY STRUCTURE - STORAGE



PROJECT & OWNER (S):  
898 & 896 E. EVELYN AV.  
Lisa Gao & Stephanie Yi  
898 E. EVELYN AVE  
SUNNYVALE, CALIFORNIA 94086

DRAWN: MTC  
CHECKED: RBC  
SCALE:  
DATE: 08/17/2018

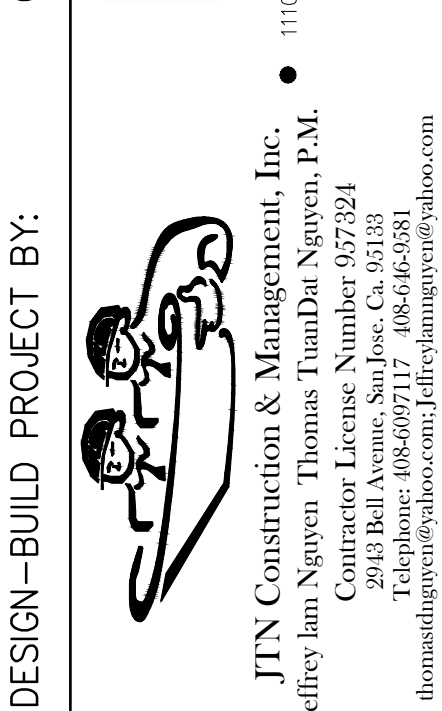
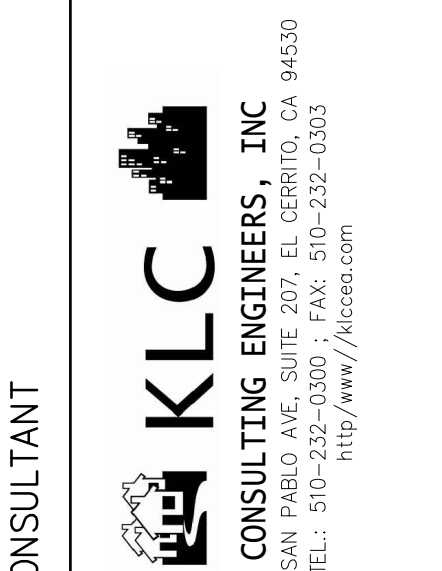
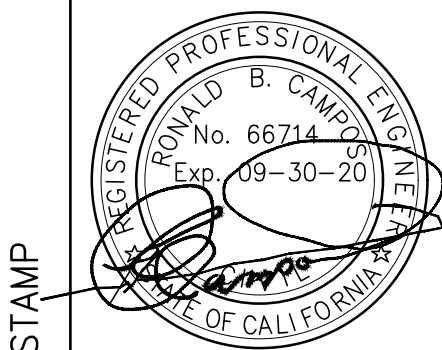
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EXISTING FLOOR PLAN

PROJ. NO. 18-664  
REVISIONS:  
FOR PLANNING 08/17/2018  
FOR PLANNING RESUBMIT 10/18/2018  
FOR PLANNING RESUBMIT 12/12/2018  
FOR PLANNING RESUBMIT 01/17/2019

SHEET NO:

A.1





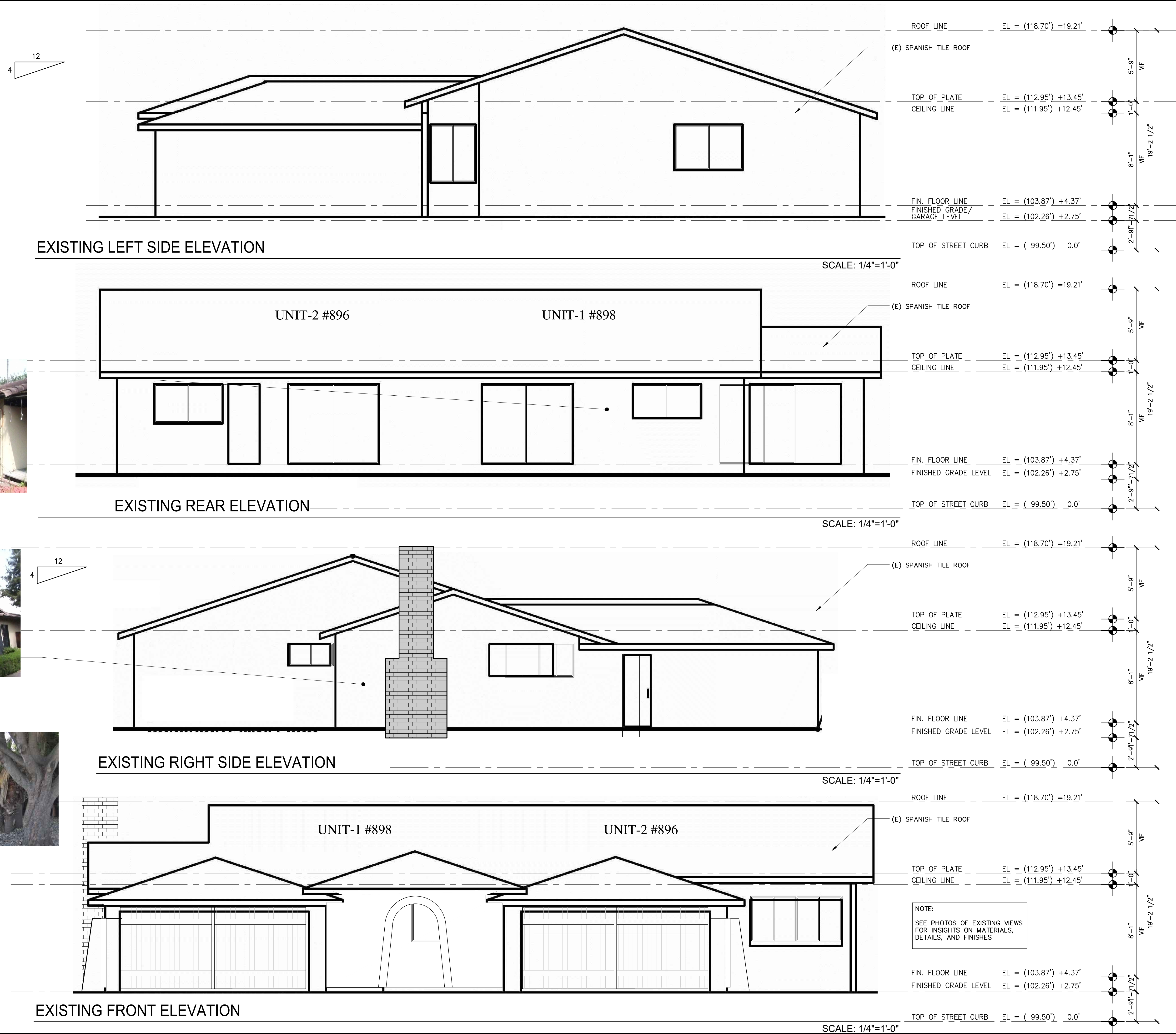
PROJECT & OWNER (S):  
**898 & 896 E. EVELYN AV.**  
**Lisa Gao & Stephanie Yi**  
898 E. EVELYN AVE  
SUNNYVALE, CALIFORNIA 94086

DRAWN: MTC  
CHECKED: RBC  
SCALE:  
DATE: 08/17/2018

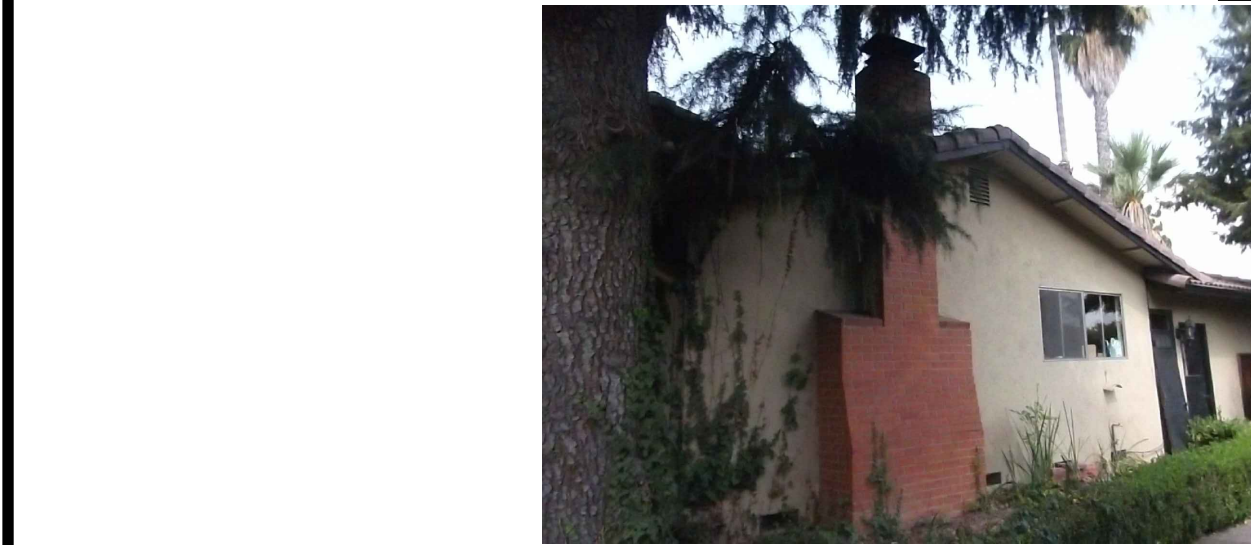
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PROJ. NO. 18-664  
REVISIONS:  
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FOR PLANNING RESUBMIT 10/18/2018  
FOR PLANNING RESUBMIT 12/12/2018  
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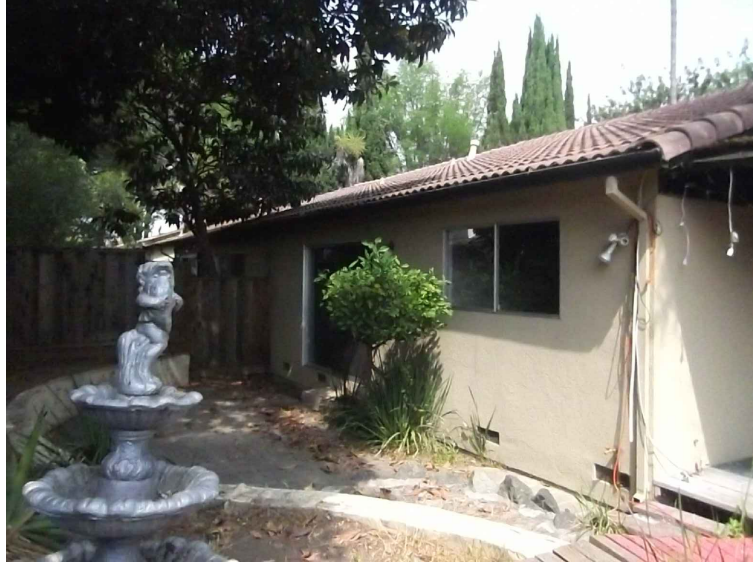
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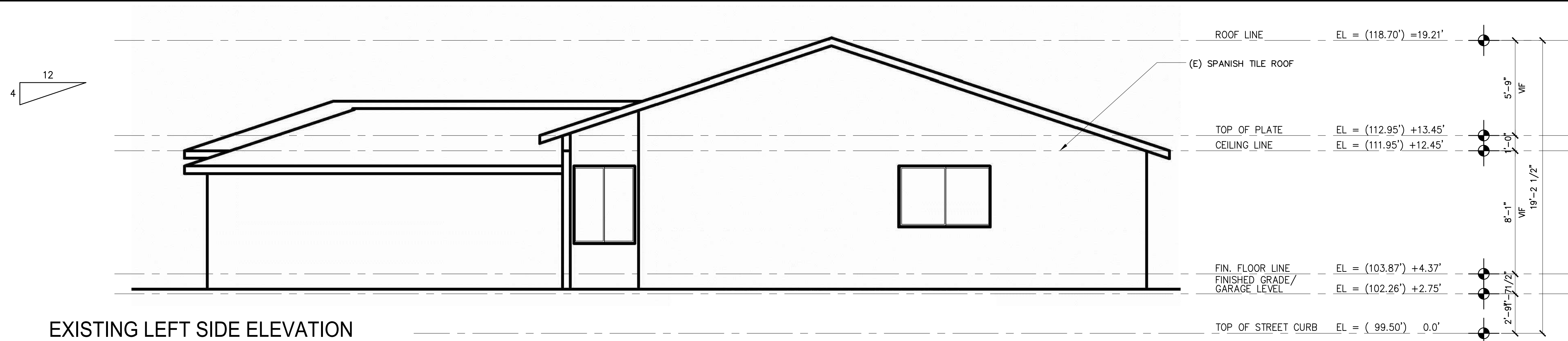
FRONT ELEVATION



EXISTING RIGHT SIDE ELEVATION

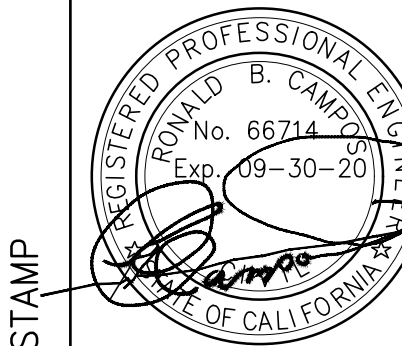
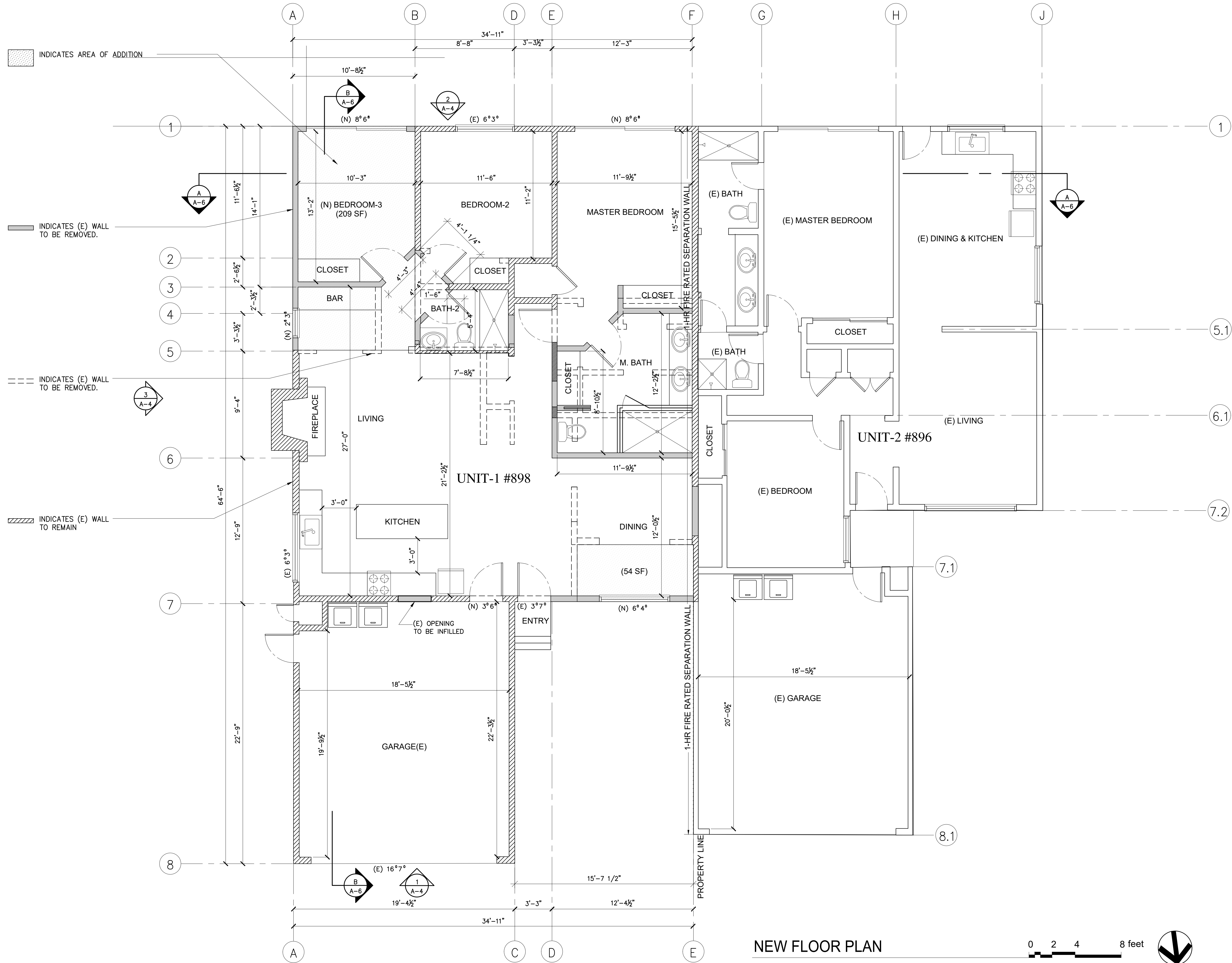


EXISTING REAR ELEVATION



EXISTING LEFT SIDE ELEVATION





STAMP

CONSULTANT

**KLC**  
CONSULTING ENGINEERS, INC.  
11100 SAN PABLO AVE, SUITE 207, EL CERRITO, CA 94530  
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http://www.klce.com

DESIGN-BUILD PROJECT BY:

JTN Construction & Management, Inc.  
Jeffrey Ian Nguyen Thomas TuanBai Nguyen, P.M.  
Contractor License Number 15077824  
Telephone: 408-697117 408-646-9381  
thomashtnguyen@yahoo.com; jeffreyltnguyen@yahoo.com

PROJECT & OWNER (S):

898 & 896 E. EVELYN AV.  
Lisa Gao & Stephanie Yi  
898 E. EVELYN AVE  
SUNNYVALE, CALIFORNIA 94086

DRAWN: MTC

CHECKED: RBC

SCALE:

DATE: 08/17/2018

SHEET TITLE:

NEW FLOOR PLAN

PROJ. NO. 18-664

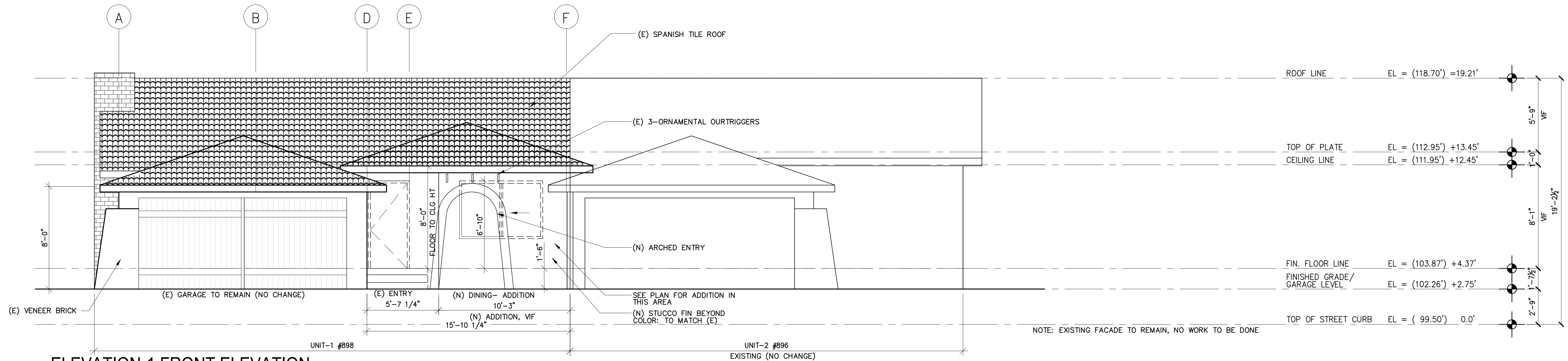
REVISIONS:

FOR PLANNING	08/17/2018
FOR PLANNING RESUBMIT	10/18/2018
FOR PLANNING RESUBMIT	12/12/2018
FOR PLANNING RESUBMIT	01/17/2019

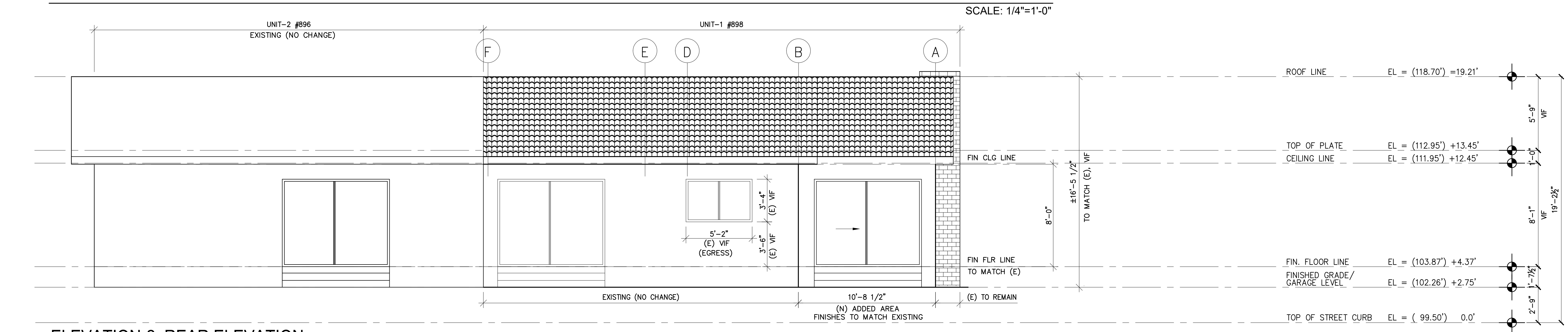
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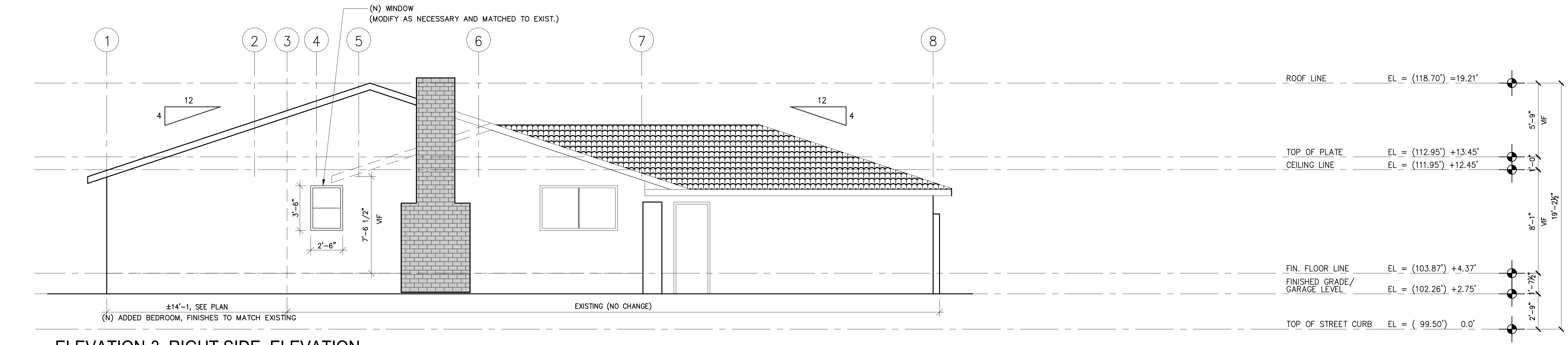




ELEVATION-1 FRONT ELEVATION

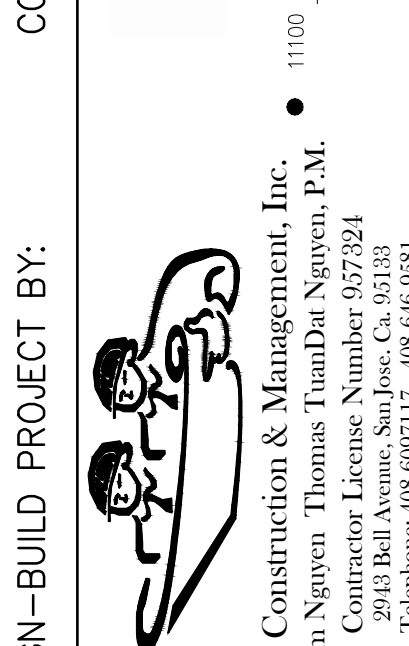
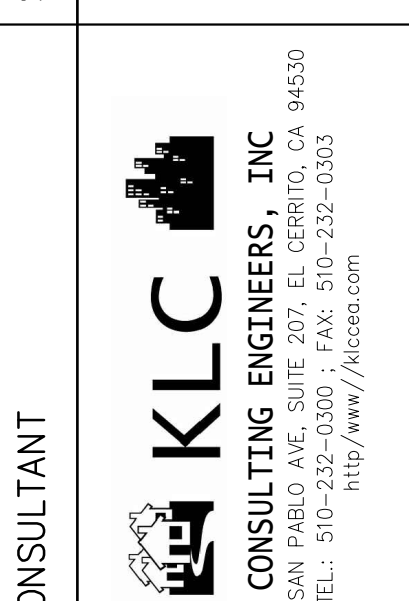
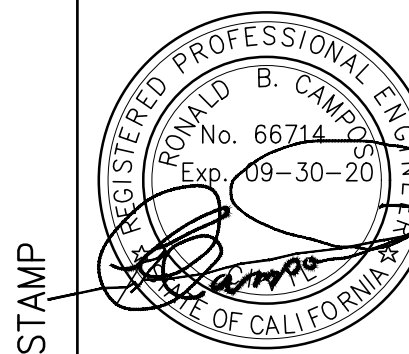


ELEVATION-2 REAR ELEVATION



ELEVATION-3 RIGHT SIDE ELEVATION

SCALE: 1/4"=1'-0"



PROJECT & OWNER (S):  
898 & 896 E. EVELYN AV.  
Lisa Gao & Stephanie Yi  
898 E. EVELYN AVE  
SUNNVALE, CALIFORNIA 94086

DRAWN: MTC

CHECKED: RBC

SCALE:

DATE: 08/17/2018

SHEET TITLE:  
NEW ELEVATIONS

PROJ. NO. 18-664

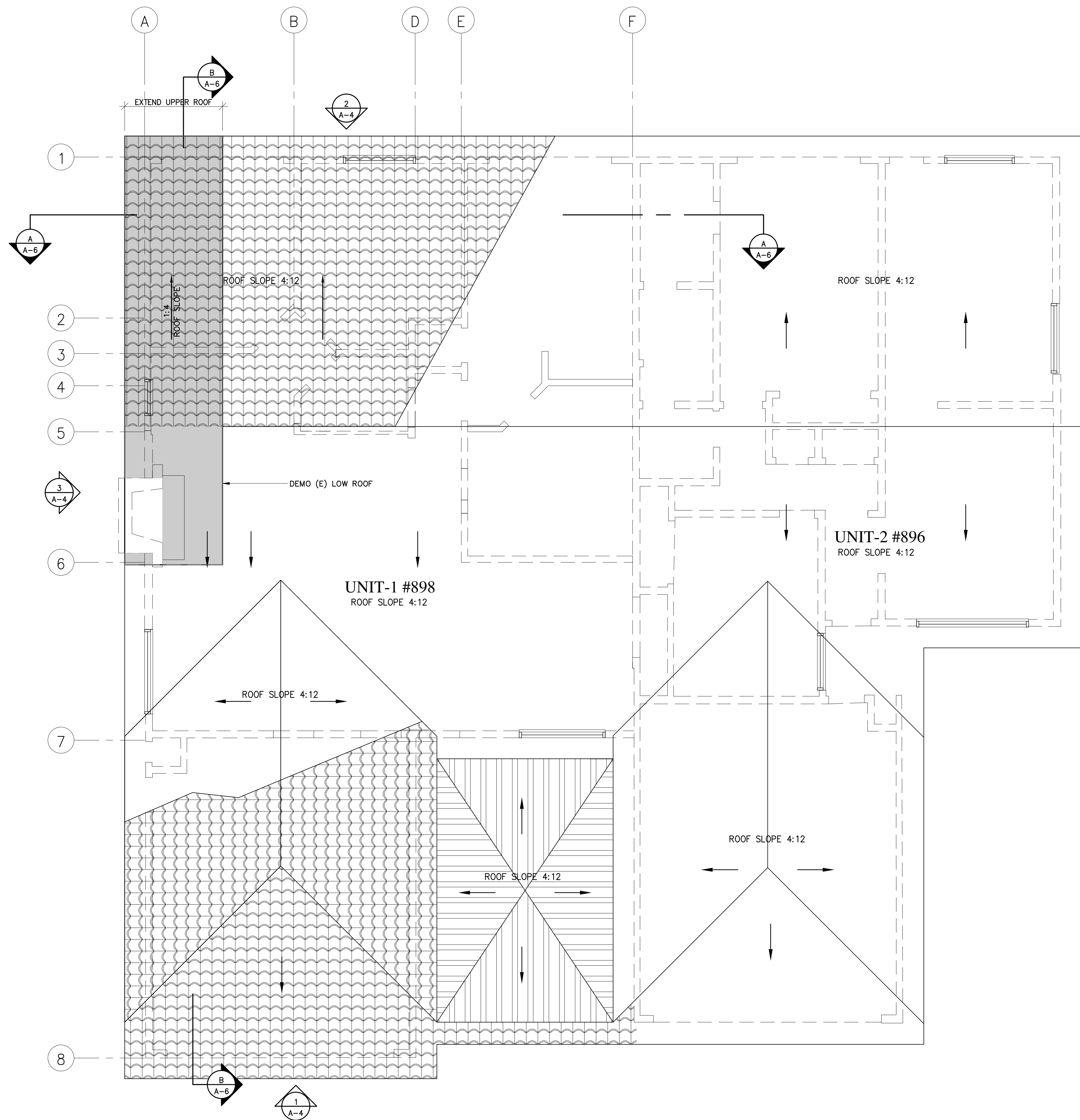
REVISIONS:

FOR PLANNING	08/17/2018
FOR PLANNING RESUBMIT	10/18/2018
FOR PLANNING RESUBMIT	12/12/2018
FOR PLANNING RESUBMIT	01/17/2019

SHEET NO:

A.4





ROOF PLAN

0 2 4 8 feet

SCALE: 1/4"=1'-0"



NORTH

**ATTIC/ROOF VENTING:**

ALL ATTIC SPACE SHALL BE VENTED WITH RIDGE VENTS AND EAVE HOLES EQUALLING 1 SQUARE FOOT FOR EVERY 150 SQUARE FEET OF ROOF AREA.

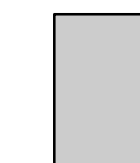
ALL ATTIC SPACE SHALL BE VENTED WITH A COMB. OF RIDGE VENTS AND (3)-2"Ø DRILLED HOLES AT EVERY OTHER EAVE = 0.065" PER EAVE.

(N) ROOF AREA VENTING = 146/150 = .973'

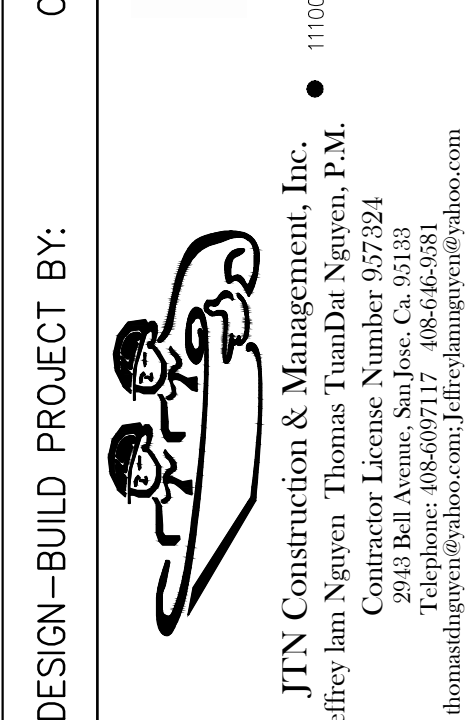
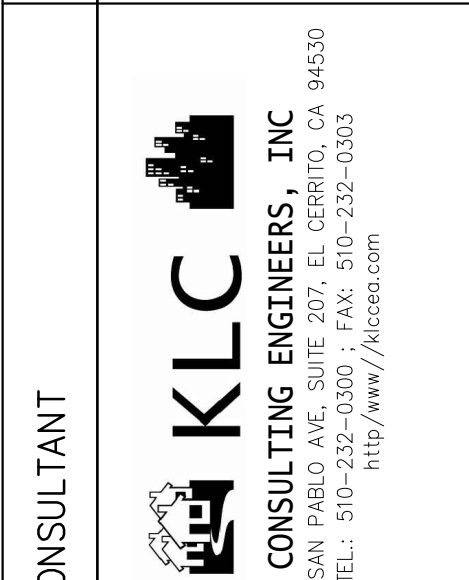
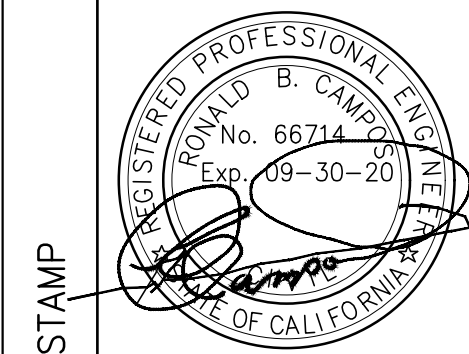
**ROOF PLAN NOTES:**

1. PROVIDE VENTING FOR ALL ROOF AREAS AT 1 SQUARE FOOT PER 150 SQUARE FEET OF SPACE. SEE TABLE PROVIDED. ANY COMBINATION OF VENTING IS ACCEPTABLE PROVIDED MIN. 50% OF THE REQUIRED VENTING IS LOCATED A MIN. 3 FEET ABOVE THE EAVES. SEE ALSO CRC SECTION R806.
2. ALL NEW ROOFING SHALL MATCH (E)
3. (X'-X") DENOTES TOP OF ROOF/RIDGE/STORY POLE ELEVATION WITH RESPECT TO LOWEST FINISH GRADE AT BUILDING. THE EXISTING EXTERIOR GRADE VARIES AND IS NEARLY AT THE SAME ELEVATION AS THE TOP OF THE INTERIOR SLAB. THE ELEVATION REFERENCED ASSUMES THE EXTERIOR GRADE IS 2" BELOW THE FINISHED FLOOR AS SHOWN IN THE ELEVATIONS, SHEET A.4

KEY:



NEW PART OF THE ROOF



PROJECT & OWNER (S):  
**898 & 896 E. EVELYN AV.**  
**Lisa Gao & Stephanie Yi**  
898 E. EVELYN AVE  
SUNNYVALE, CALIFORNIA 94086

DRAWN: MTC  
CHECKED: RBC  
SCALE:  
DATE: 08/17/2018

SHEET TITLE:  
**ROOF PLAN**

PROJ. NO. 18-664

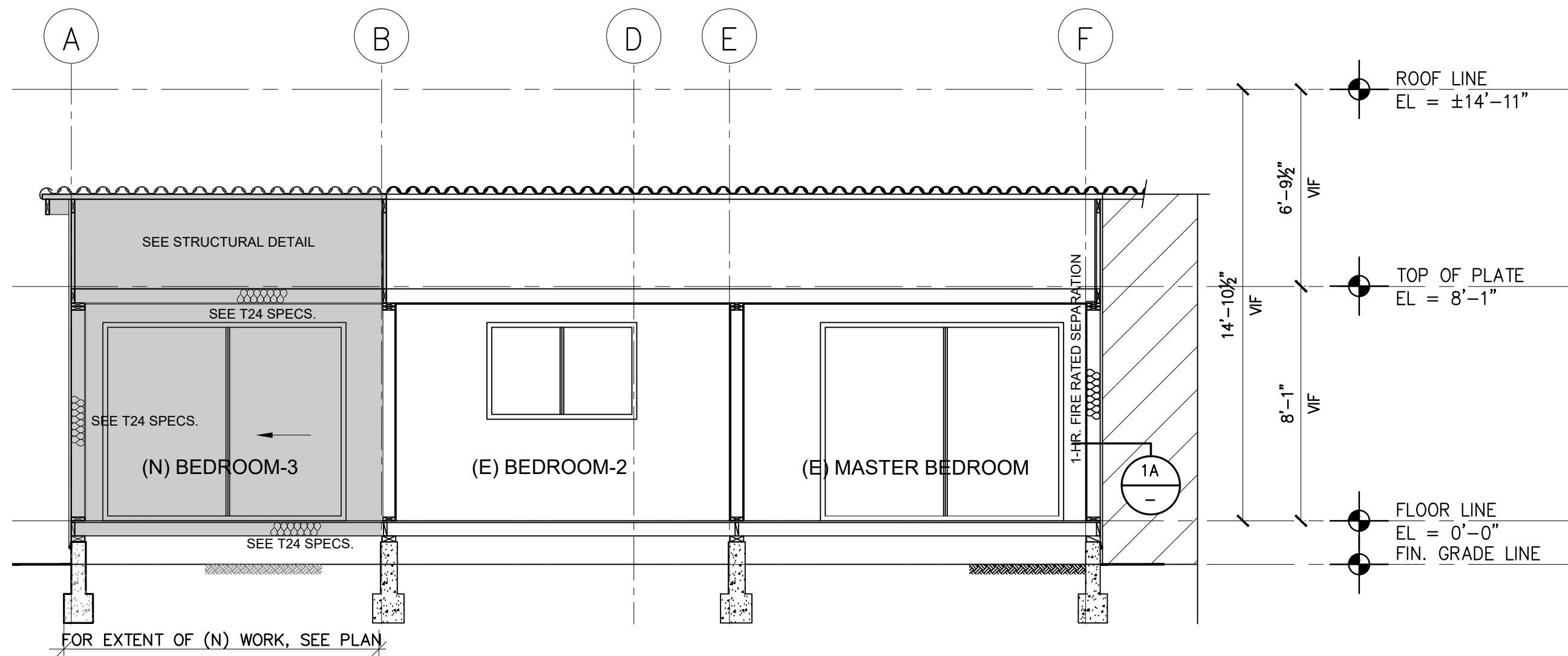
REVISIONS:

FOR PLANNING	08/17/2018
FOR PLANNING RESUBMIT	10/18/2018
FOR PLANNING RESUBMIT	12/12/2018
FOR PLANNING RESUBMIT	01/17/2019

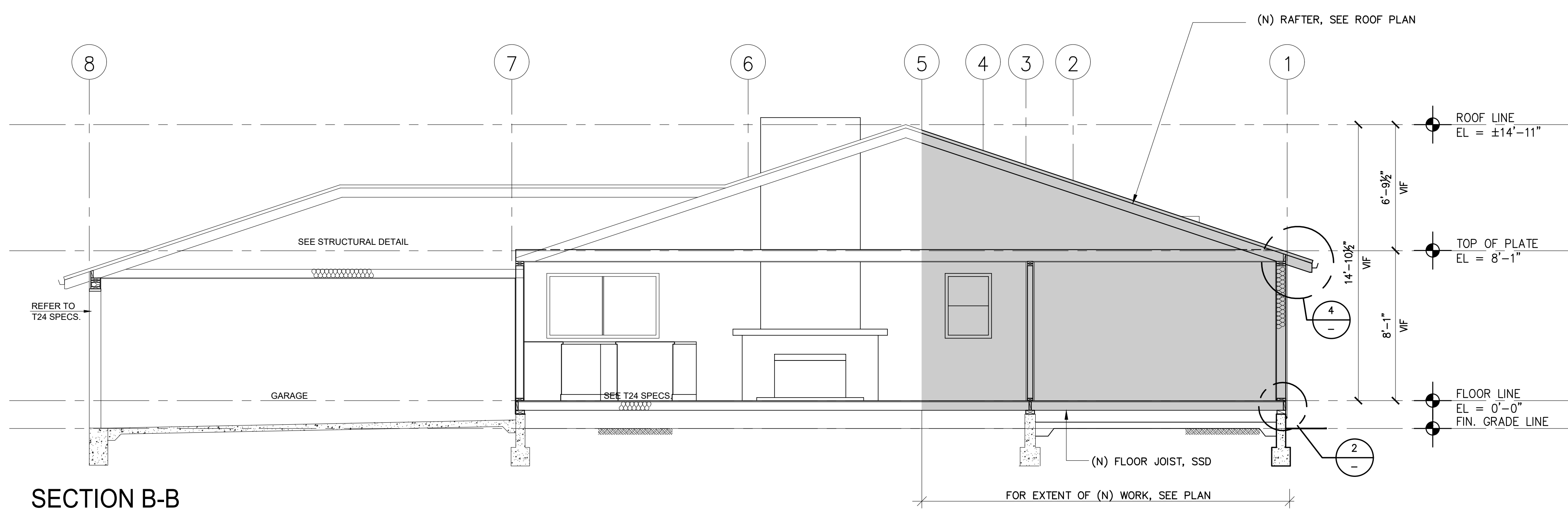
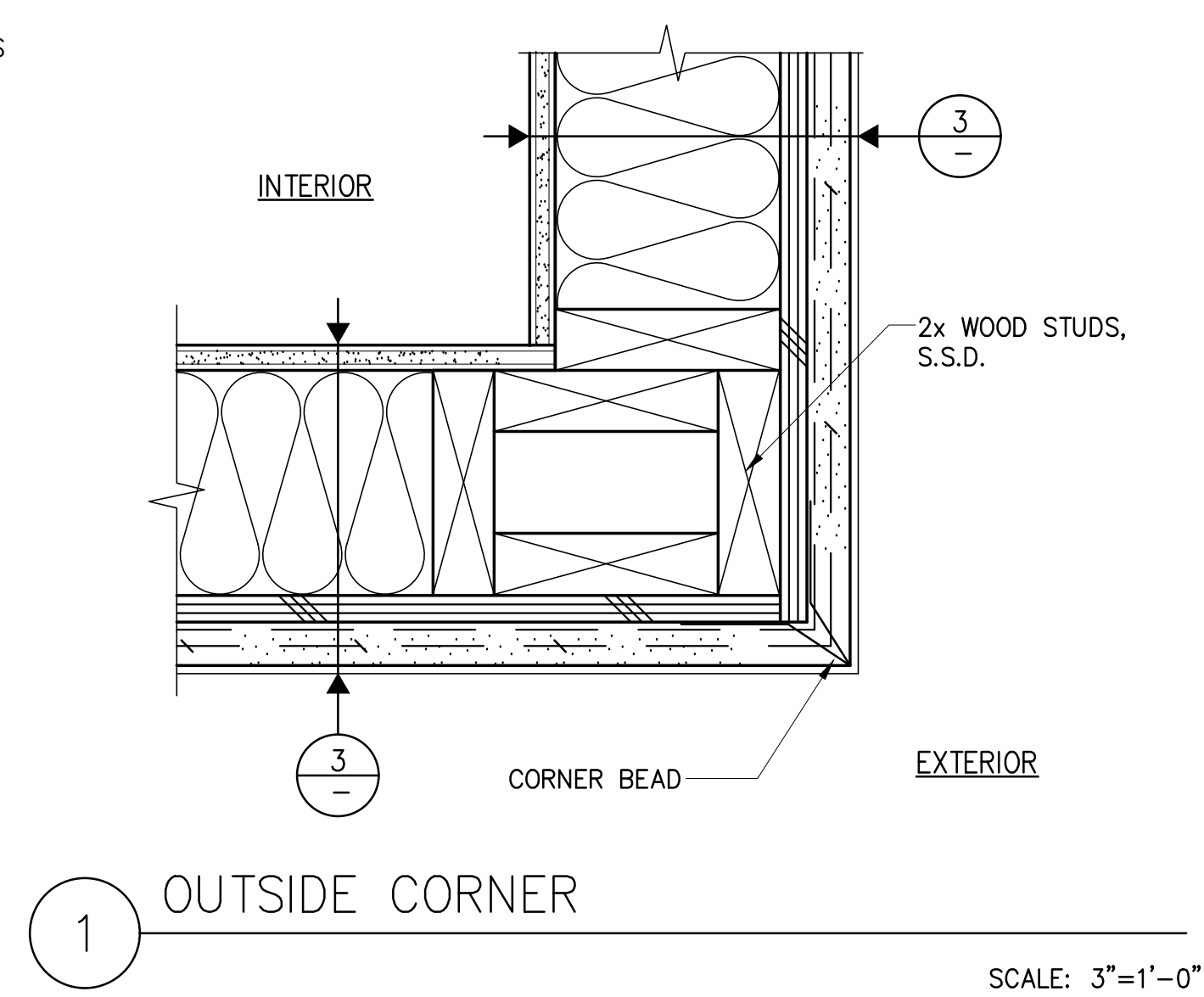
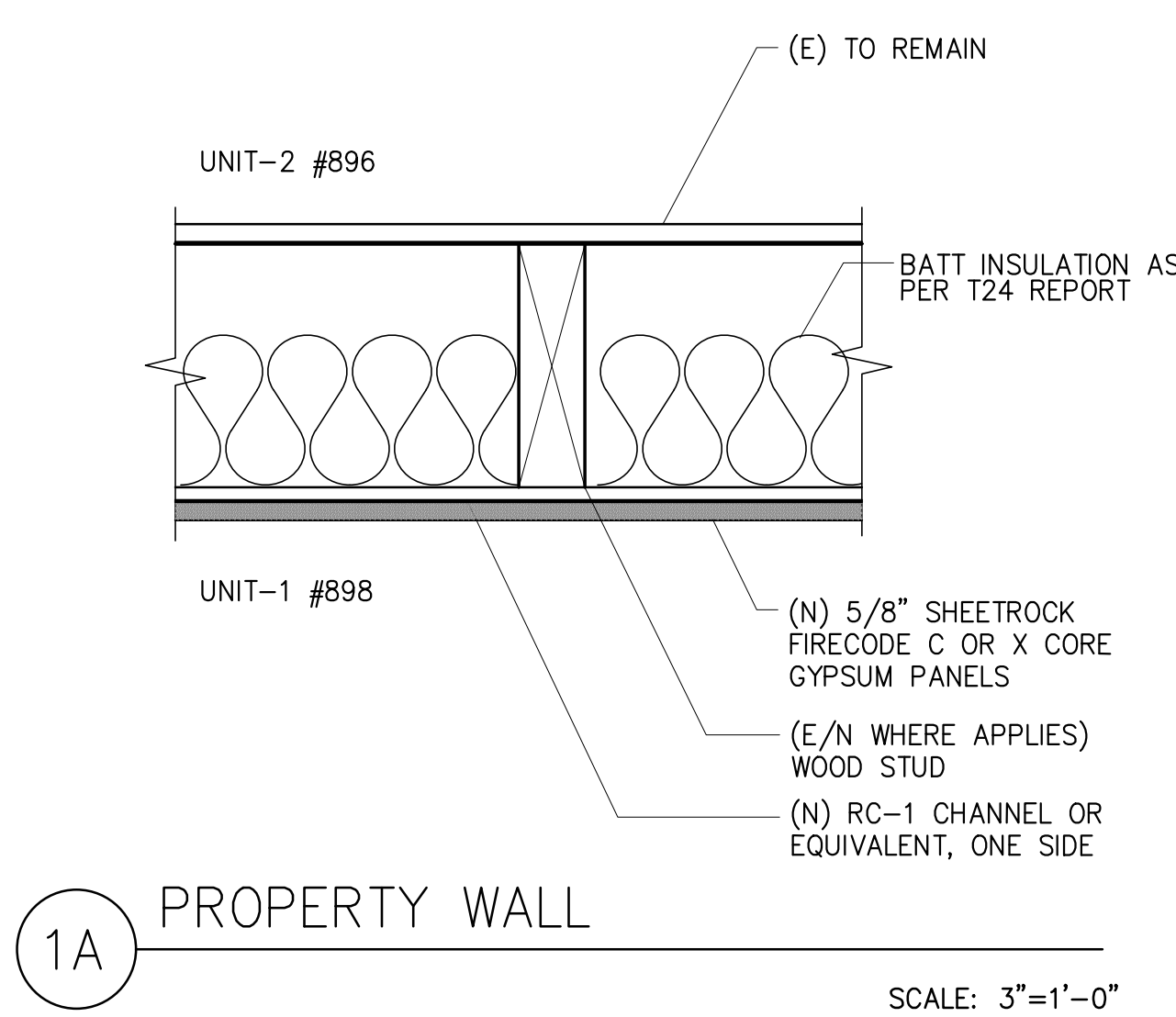
SHEET NO:

A.5

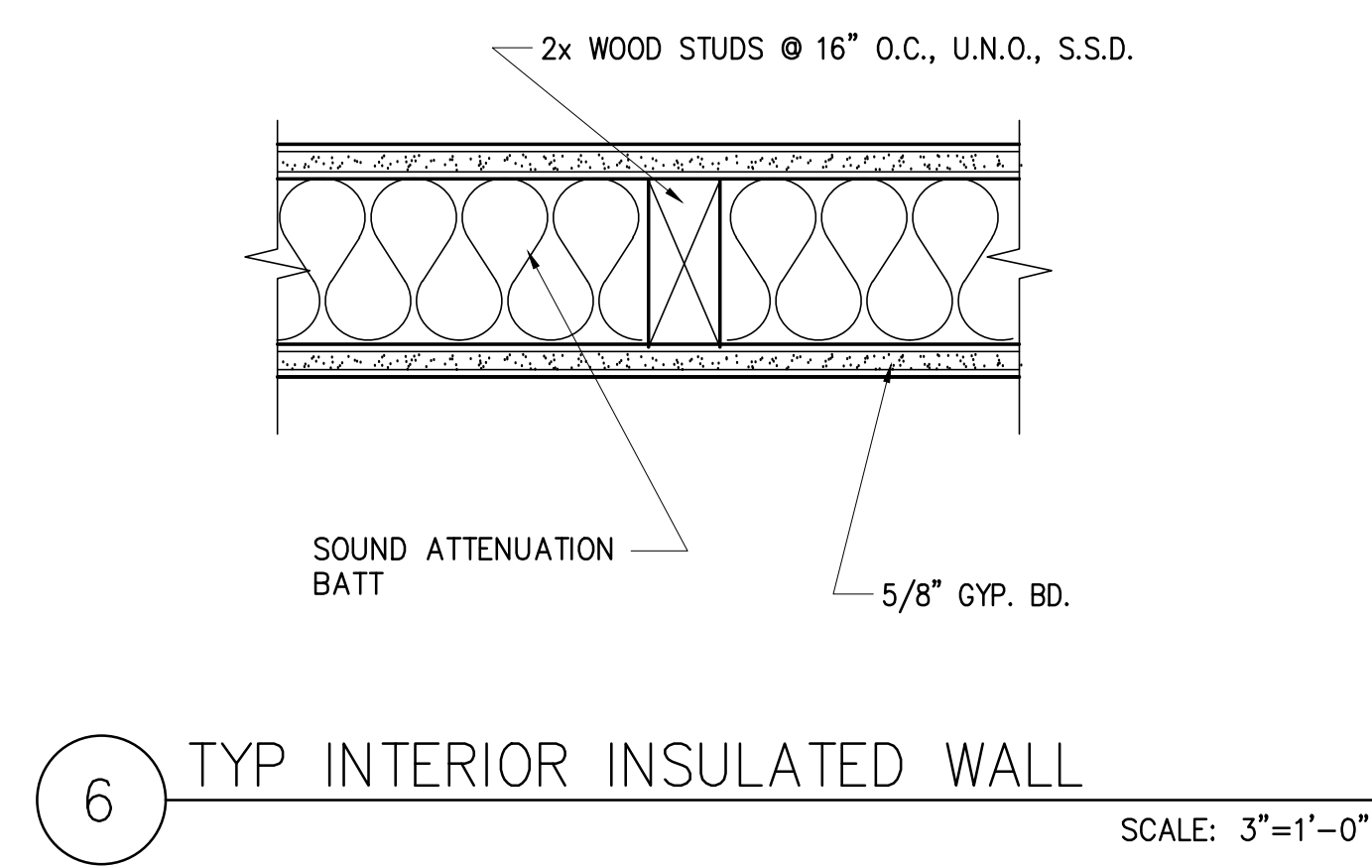
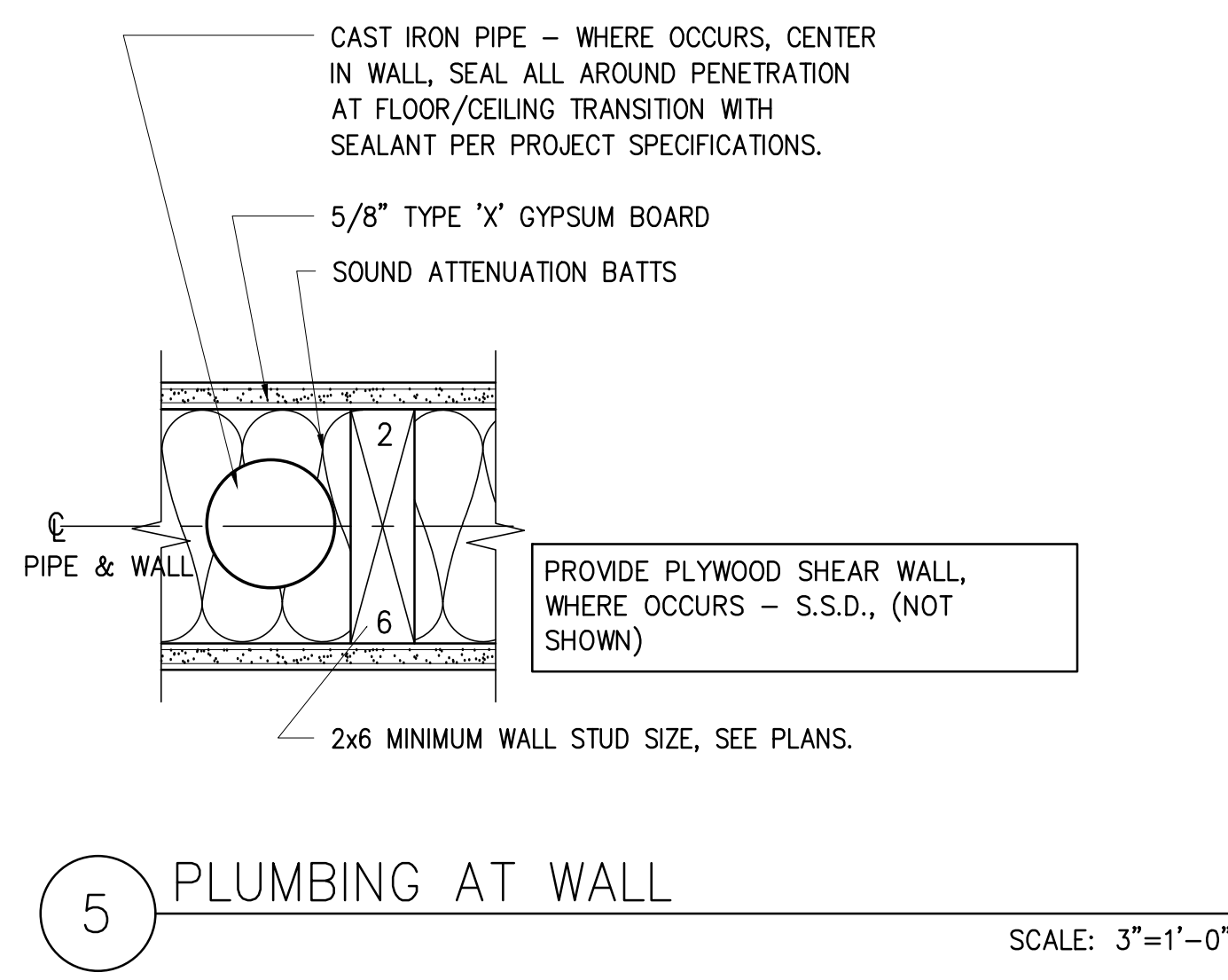
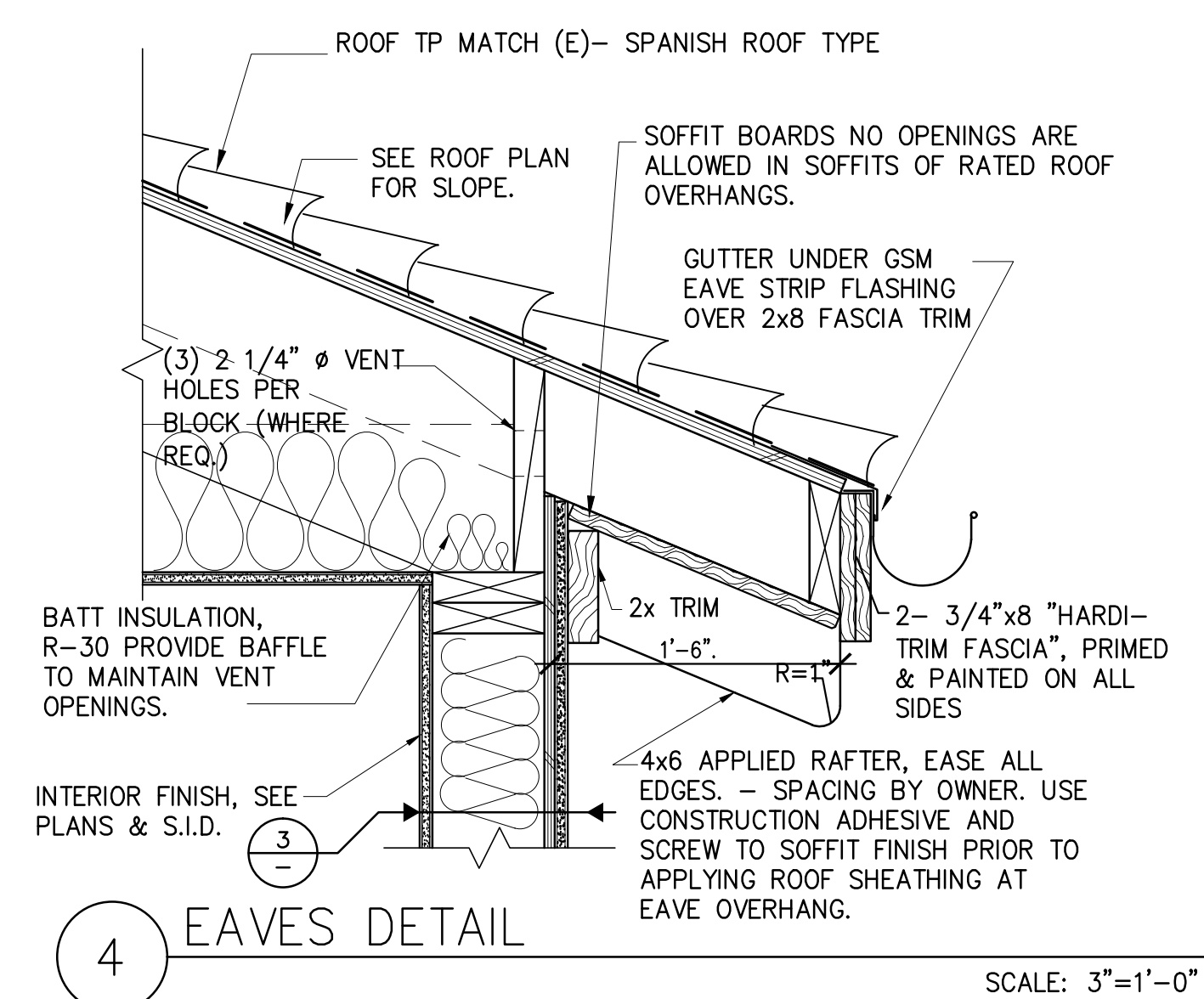
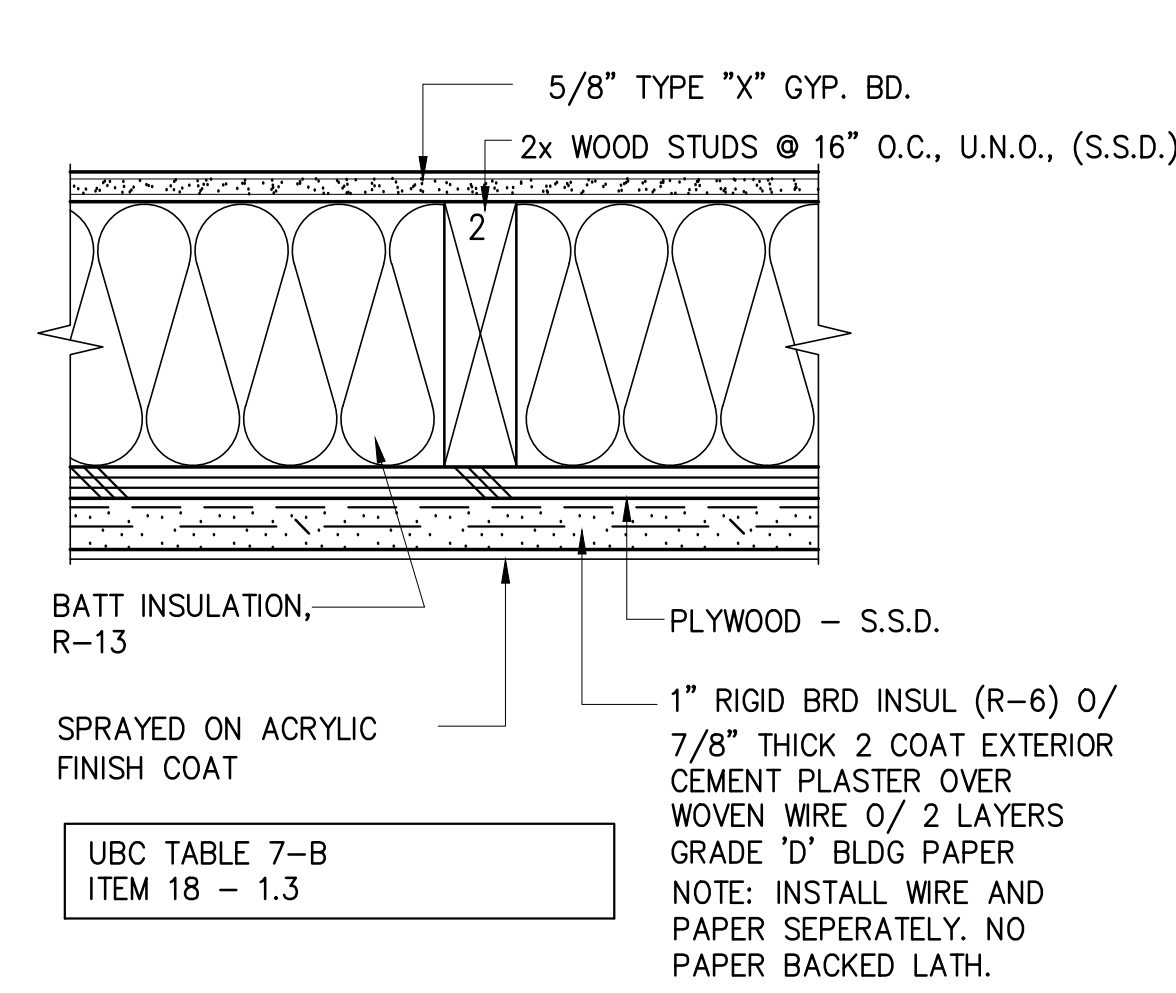
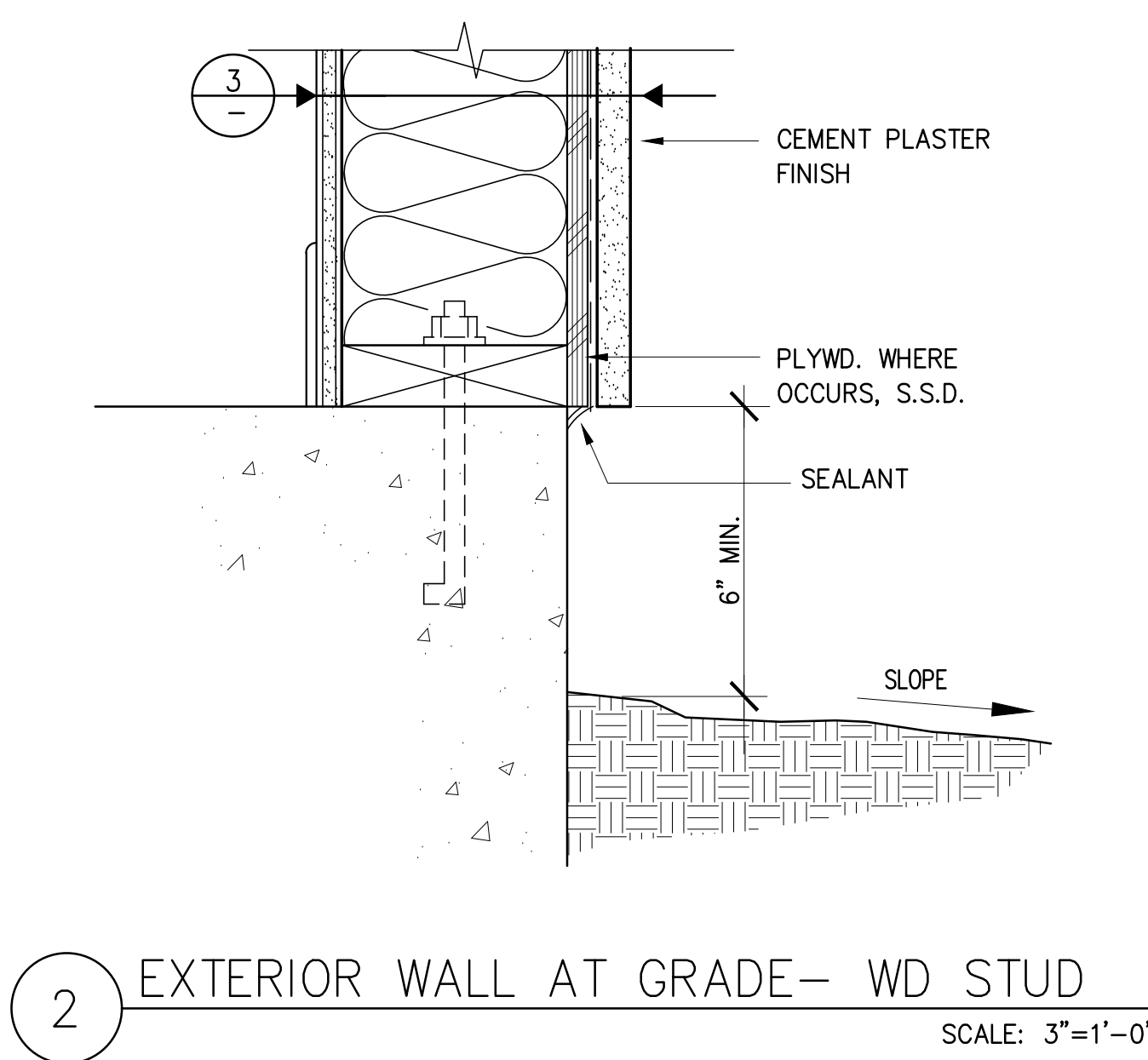




SECTION A-A



SECTION B-B



STAMP

CONSULTANT

DESIGN-BUILD PROJECT BY:

PROJECT & OWNER (S):

DRAWN: MTC

CHECKED: RBC

SCALE:

DATE: 08/17/2018

SHEET TITLE:

SECTIONS, DETAILS

PROJ. NO. 18-664

REVISIONS:

FOR PLANNING 08/17/2018

FOR PLANNING RESUBMIT 10/18/2018

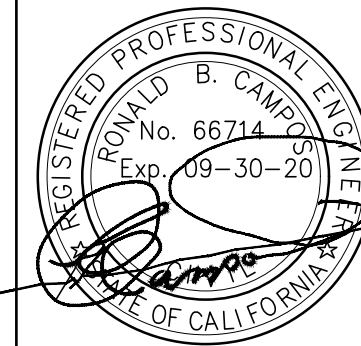


FOR PLANNING RESUBMIT 12/12/2018

FOR PLANNING RESUBMIT 01/17/2019

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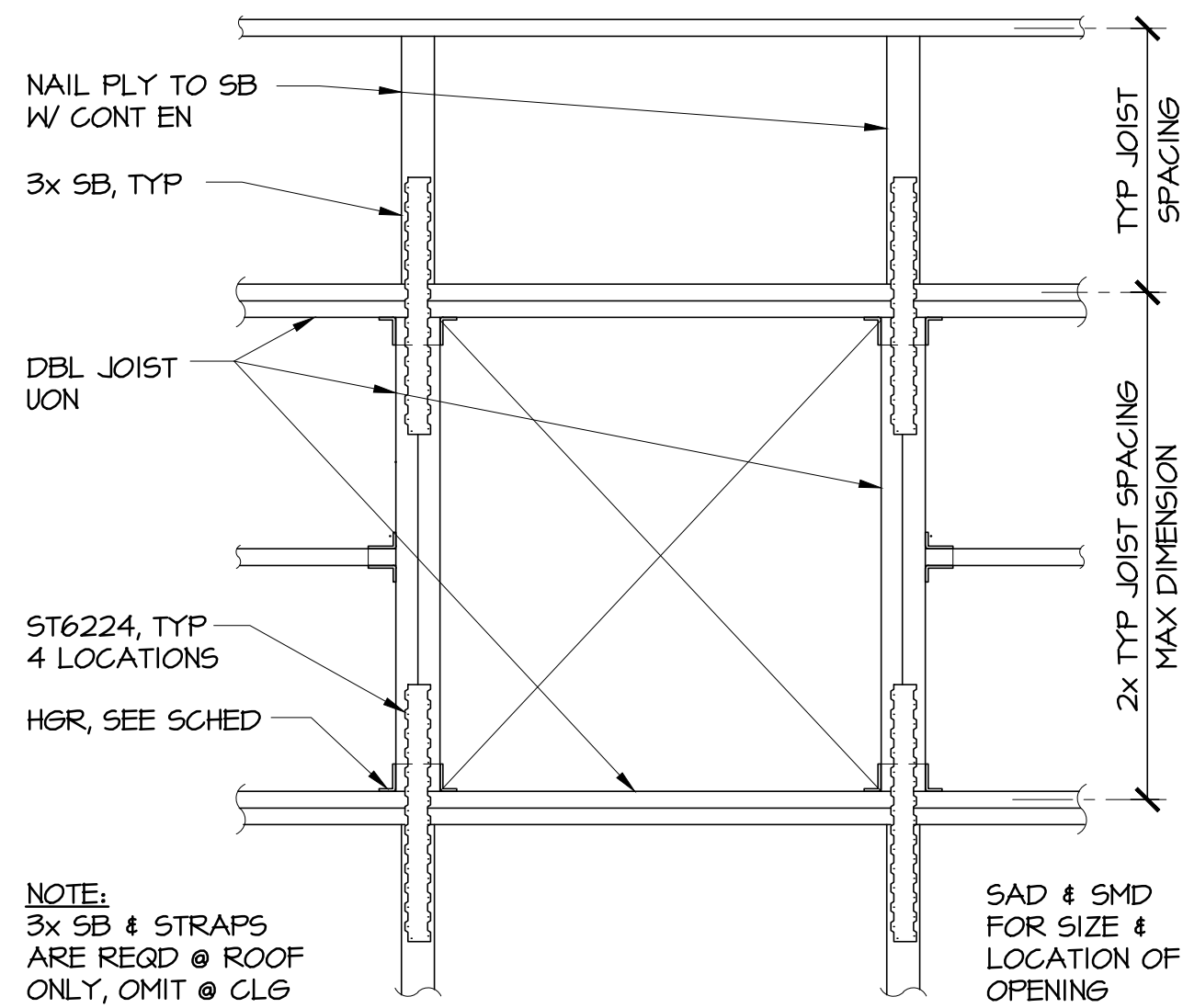
A.6



STAMP			
CONSULTANT		 <b>KLC</b> CONSULTING ENGINEERS, INC. 11100 SAN PABLO AVE., SUITE 207, EL CERRITO, CA 94530 TEL.: 510-232-0300 ; FAX: 510-232-0303 http://www.klce.com	
DESIGN-BUILD PROJECT BY:		 <b>JTN</b> Construction & Management, Inc. Jeffrey Iana Nguyen, Thomas Tran, Da Nguyen, P.M. Contractor License Number: 052724 2013 Bell Avenue, San Jose, Ca. 95131 Telephone: 408-6071117 408-616-0381 thomasnguyen@jtnso.com, jtd@jtnconstruction.com	
PROJECT & OWNER (S):		898 & 896 E. EVELYN AV.	
		Lisa Gao & Stephanie Yi 898 E. EVELYN AVE SUNNYVALE, CALIFORNIA 94086	
DRAWN:		MTC	
CHECKED:		RBC	
SCALE:			
DATE:		08/17/2018	
SHEET TITLE:	NOTES		
PROJ. NO.		18-664	
REVISIONS:			
FOR PLANNING		08/17/2018	
FOR PLANNING RESUBMIT		10/18/2018	
FOR PLANNING RESUBMIT		12/12/2018	
FOR PLANNING RESUBMIT		01/17/2019	
SHEET NO:			
		A.7	

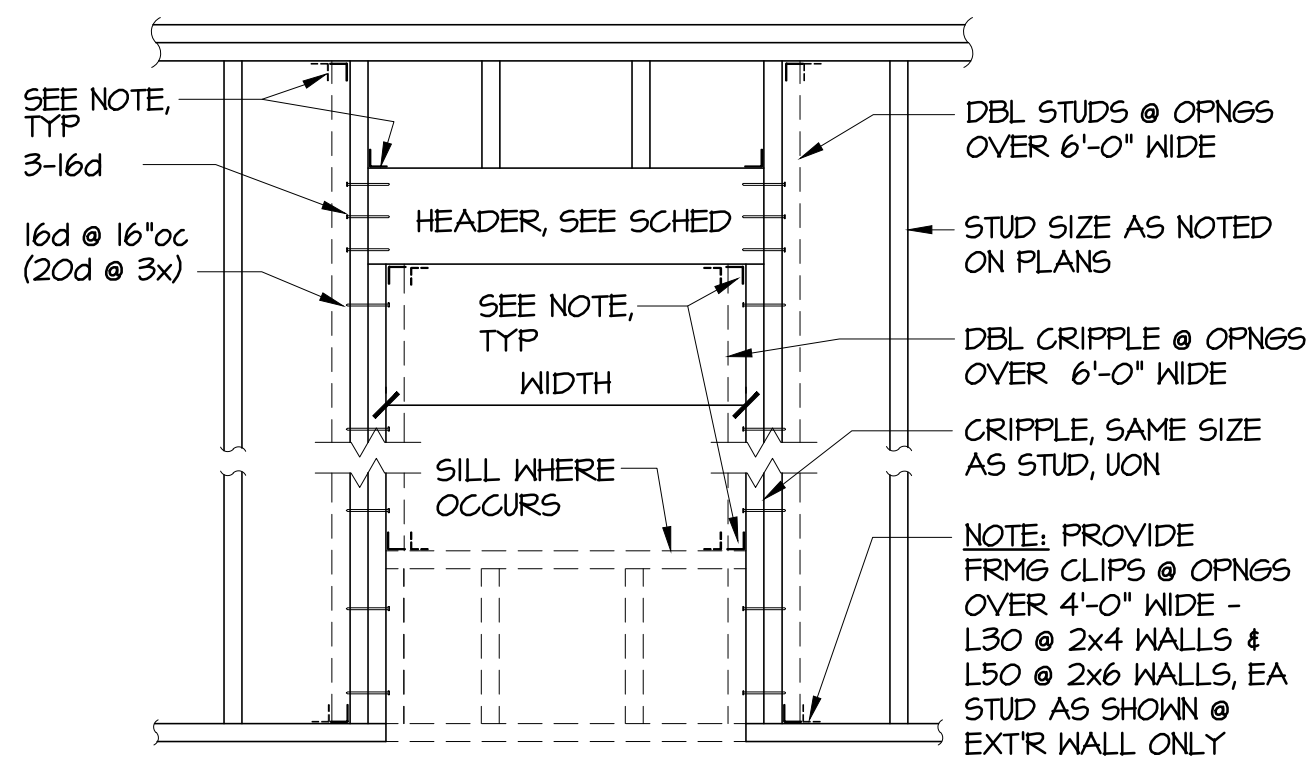
<p><b>A. VENTILATION:</b></p> <p>1. PROVIDE UNDER ROOF CROSS VENTILATION AT THE RATE OF 1/150 OF THE ATTIC AREA PER CRC-2016 R806.2.</p> <p>2. ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA. NATURAL VENTILATION SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLED PER 2016 CRC R 303.1.</p> <p><b>B. FIRE PROTECTION:</b></p> <p>1. CARBON MONOXIDE ALARMS ARE REQUIRED. ALARMS TO BE INTERCONNECTED, HAVE TO BE PLACED IN EACH BEDROOM AND JUST OUTSIDE THE IMMEDIATE VICINITY OF THE SLEEPING AREA AND AT THE LEVEL INCLUDING BASEMENTS PER 2016 CRC, SECTION R315.</p> <p>2. PROVIDE TAMPER RESISTANT OUTLETS IN ALL 125 VOLT, 15 AND 20 AMP RECEPTACLES FOR ALL AREAS OF SINGLE FAMILY HOME. SECTION 406.11 AND 210.52 OF 2016 CEC.</p> <p>3. BATHROOM OUTLETS - PROVIDE DEDICATED CIRCUIT FOR BATHROOM OUTLETS SECTION 210.11 OF 2016 CEC.</p> <p>4. ALL 125-VOLTS, SINGLE PHASE, 15 TO 20 AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGE, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENT, KITCHENS SHALL HAVE GROUND FAULT INTERRUPTER PROTECTION, 2016 CEC, SECTION 210.8 (A).</p> <p><b>C. GLAZING:</b></p> <p>1. ALL GLASS AND GLAZING SHALL COMPLY WITH THE U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS AND WITH FEDERAL SPECIFICATIONS, 2016 CRC , SECTION R308.</p> <p>2. VERIFY WINDOWS MEET EGRESS REQUIREMENTS PER 2016 SECTION 310.1.1 AT LEAST ONE ESCAPE ROUTE FROM EACH SLEEPING ROOM, 20" MIN CLEAR WIDTH, 24" CLEAR HEIGHT, AND 5.7 SQ.FT. CLEAR OPENING, BOTTOM OF CLEAR OPENING HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.</p> <p>3. GLAZING IN ANY DOOR OR GLAZING WITHIN 24" OF ANY DOOR AND WITHIN 60" OFF FLOORS TO BE TEMPERED GLASS. GLAZING WITHIN 18" OFF THE FLOOR AS PER OR AT ENCLOSED WALLS AT STAIRWAYS SHALL BE TEMPERED GLASS PER 2016 CRC SECTION R308.4.5 AND SECTION R 308.4.7.</p> <p><b>D. BATHROOMS:</b></p> <p>1. TOILETS TO HAVE A MINIMUM OF CLEAR STALL SPACE OF 30" AND A MINIMUM CLEAR SPACE OF 24" IN FRONT PER 2016 CPC, SECTION 402.5.</p> <p>2. TOILETS TO HAVE A MAXIMUM FLOW RATE OF 1.28 GALLONS PER EFFECTIVE FLUSH VOLUME AND SHALL COMPLY W/ APPLICABLE STANDARDS REFERENCED IN TABLE 1401.1, 2016 CPF, SECTION 403.1.</p> <p>3. ALL SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. 2016 CPC, SECTION 408.3.</p> <p>4. DOORS AND PANELS OF SHOWER ENCLOSURE SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. 2016 CRC, SECTION R308.</p> <p>5. GLAZING IN BATHTUB ADJACENT WALL OPENINGS WITHIN 60" ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. 2016 CRC SECTIONS R308.</p> <p>6. SHOWER AND TUB/SHOWER WALLS SHALL BE FINISHED WITH A NONABSORBENT SURFACE OVER. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THEN 6" ABOVE THE FLOOR. 2016 CRC SECTION R307.2.</p> <p>7. DOOR SWING AND SHELVES IN FRONT OF THE TOILETS OF MASTER. PROVIDE 24" CLEAR SPACE IN FRONT OF TOILET. PER 407.5 OF 2016 CPC.</p> <p>8. BATHROOMS WITH NO WINDOWS SHALL BE VENTED MECHANICALLY AND SHALL MEET THE MIN. VENTILATION RATE SHALL BE 50 CUBIC FEET PER MINUTE.</p> <p>9. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GALLONS PER MIN. MEASURED AT 80 PSI AND MUST COMPLY W/ DIV. 4.3 OF THE CGBS CODE.</p> <p>10. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY CPC 408.9.</p> <p>11. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE. ( 2016 CPC, SECTION 408.6).</p> <p>12. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.</p> <p>13. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL BOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.</p> <p><b>E. KITCHEN:</b></p> <p>1. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.</p> <p><b>F. PERFORMANCE:</b></p> <p>1. ALL HARDWOOD FLOOR TO BE INSTALLED IN ACCORDANCE WITH THE LATEST NOFMA SPECIFICATIONS AND RECOMMENDATIONS.</p>	<p>2. ALL TILE WORK TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT TILE CONTROL OF AMERICA SPECIFICATIONS AND RECOMMENDATIONS.</p> <p>3. ALL PLUMBING WORK SHALL COMPLY WITH THE UNIFORM CODE, SAFETY ORDERS OF THE STATE OF CALIFORNIA AND ALL LOCAL CODES AND ORDINANCES.</p> <p>4. ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS.</p> <p>5. ALL HVAC WORK SHALL BE IN CONFORMANCE WITH THE APPLICABLE CODES, THE UNIFORM MECHANICAL CODE AND THE RECOMMENDED CODES AND ORDINANCES.</p> <p>6. RADIANT BARRIER REQUIRED IN CLIMATE ZONE 3 §150.1 (c).</p> <p>7. REDUCE U-FACTOR (0.32) AND SHGC (0.25) FOR HIGH PERFORMANCE WINDOWS §150.1 (c).</p> <p>8. SKYLIGHTS AND FENESTRATION SHALL HAVE A U-factor (0.58) §150.0.</p> <p>G. TOXIC MATERIALS REMOVAL:</p> <p>1. ALL HANDLING AND REMOVAL OF TOXIC MATERIALS TO BE DONE BY A CERTIFIED TOXIC WASTE CONTRACTOR. CERTIFICATION TO BE DONE BY THE STATE OF CALIFORNIA AND REGISTERED WITH THE LOCAL BUILDING OFFICIAL.</p> <p>H. PLUMBING FIXTURE AND FITTINGS:</p> <p>1. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS IN TABLE 4.303.2 OF 2016 CGBS CODE.</p> <p>2. SB407 (2009) REQUIRES NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING FIXTURES</p> <p>3. PROVIDE A BACKFLOW PREVENTION DEVICE/DOUBLE CHECK VALVE ASSEMBLY.</p> <p>I. BUILDING MAINTENANCE AND OPERATION:</p> <p>1. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, MWEB BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PLACED IN THE BUILDING PER 2016 CGBS SECTION 4.410.1.</p> <p>J. POLLUTANT CONTROL:</p> <p>1. DUCT OPENINGS AND MECHANICAL EQUIPMENT SHALL BE COVERED AND PROTECTED DURING CONSTRUCTION PER 2016 CGBS SECTION 4.504.1 AND 4.504.2.</p> <p>2. ADHESIVES, SEALANTS AND CAULKING MATERIAL SHALL MEET THE REQUIREMENTS PER 2016 CGBS, SECTION 4.504.2.1.</p> <p>K. COMPOSITE WOOD PRODUCTS:</p> <p>1. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE-1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE AS SHOWN ON HARDWOOD PLYWOOD, PARTICLE BOARD AND MEDIUM DENSITY FIBER BD. TABLE 4.504.3 PER 2016 CGBS. SECTION 4.504.2.2 AND VERIFICATION OF COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF COMPLIANCE SHALL BE PROVIDED PER SAME SECTION.</p> <p>2. THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE AS SHOWN IN TABLE 4.504.5 PER 2016 CGBS SECTION 4.504.5 AND VERIFICATION OF COMPLIANCE SHALL BE DOCUMENTED PER SECTION 4.504.5.1.</p> <p>L. DOORS &amp; WINDOWS:</p> <p>1. EXTERIOR WOOD DOORS- SHALL BE OF SOLID CORE CONSTRUCTION OF 1 3/4" THICK EXCEPT THAT SUCH DOOR MAY BE OF HOLLOW CORE CONSTRUCTION 16 GA. SHEET STEEL, OR EQUIVALENT, IS INSTALLED ON THE SIDE OF THE DOOR &amp; IS SECURED WITH SCREWS 6" ON CENTER. SUCH DOOR SHALL BE EQUIPPED WITH DEADBOLT &amp; DEAD-LATCH &amp; EACH HINGE SHALL BE SECURED TO THE WOOD JAMB W/ 2" FULL THREAD WOOD SCREWS &amp; SECURED TO THE DOOR EDGE W/ 1" FULL THREAD WOOD SCREWS.</p> <p>2. EXTERIOR DOOR JAMB- EACH EXT DOOR JAMB SHALL BE INSTALLED IN A MANNER TO PREVENT VIOLATIONS OF THE STRIKE. SUCH JAMB SHALL HAVE STOPS ON THE IN-SWINGING WOOD DOORS OF 1-PIECE CONSTRUCTION OR RABBETED OR BE SO CONSTRUCTED AS TO PREVENT THE JAMB FROM BEING BENT OR FRACTURED.</p> <p>3. EXTERIOR WINDOW - EACH LOCK ON EACH EXTERIOR WINDOW SHALL BE CAPABLE OF WITHSTANDING PRESSURE IN ANY DIRECTION. SUCH WINDOW SHALL NOT LIFT OUT ITS TRACK. WHEN IN THE LOCKED POSITION EACH STOP ON THE OUTSIDE WOODEN FRAMED EXT FIXED WINDOWS MUST BE OF ONE PIECE.</p> <p>4. DEAD BOLT - EACH DEAD BOLT SHALL CONTAIN SAW-RESISTANT MATERIAL, HAVE 1" THROW OR 3/4" THROW IF OFF THE HOOK OR EXPANDING TYPE, AND HAVE THE THROW ENCASED METAL.</p> <p>5. DEAD LATCH / LATCH -EACH DEAD LATCH OR LATCH HAVE 1/2" THROW.</p> <p>6. EXTERIOR DOOR- EACH SINGLE DOOR- THE ACTIVE LEAF OF EACH DOUBLE, AND DOUBLE LEAF OF EACH DUTCH DOOR, SHALL BE EQUIPPED WITH A DEAD BOLT AND DEAD LATCH AND MAYBE ACTIVATED BY ONE LOCK OR INDIVIDUAL LOCKS. THE INACTIVE LEAF OF EACH DOUBLE DOOR AND THE UPPER LEAF OF EACH DUTCH DOOR SHALL BE EQUIPPED WITH A FLUSH OR DEAD BOLT.</p> <p>M. ATTIC ACCESS:</p> <p>1. PROVIDE 22X30 ATTIC ACCESS TO FIRST FLOOR ROOF PER SECTION 807 OF 2016 CRC.</p> <p>2. EMERGENCY ESCAPE AND REUSE OPENING SHALL HAVE A SILL HEIGHT OF NOT MORE THEN 44" ABOVE THE FLOOR AND PER SECTION 2016 CRC SECTION R-310.1.</p> <p>3. ALL EMERGENCY ESCAPE SHALL HAVE A MIN. CLEAR OPENING 5.7 SQ. FT. WITH A MIN OF OPENING HEIGHT 24" AND MIN</p>	<p>WIDTH 20". 2016 CRC SECTION 310.1, 1.2 AND 3.</p> <p>N. COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION:</p> <p>4. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.</p> <p>O. RODENT PROOFING:</p> <p>5. RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.</p> <p>P. FINISH MATERIAL POLLUTANT CONTROL:</p> <p>6. ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.</p> <p>7. PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.</p> <p>8. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.</p> <p>9. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.</p> <p>Q. CARPET SYSTEM:</p> <p>R. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:</p> <p>10. CARPET AND TUG INSTITUTE'S GREEN LABEL PLUS PROGRAM.</p> <p>11. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FORM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, "VERSION 1.1, FEBRUARY 2010 (SPEC. 01350).</p> <p>12. NSF1 ANSI 140 AT THE GOLD LEVEL.</p> <p>13. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD.</p> <p>a. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM.</p> <p>b. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.</p> <p>S. DRAINAGE AROUND FOUNDATIONS:</p> <p>14. INSTALL FOUNDATION AND LANDSCAPE DRAINS WHICH DISCHARGE TO A DRY WELL, SUMP, BIO-SWALE OR OTHER APPROVED ON-SITE LOCATION.</p> <p>T. MATERIAL PROTECTION:</p> <p>15. PROTECT BUILDING MATERIALS DELIVERED TO THE CONSTRUCTION SITE FROM RAIN AND OTHER SOURCES OF MOISTURE.</p> <p>U. RESILIENT FLOORING SYSTEMS:</p> <p>16. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:</p> <p>c. VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.</p> <p>d. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN &amp; SCHOOLS PROGRAM.</p> <p>e. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM.</p> <p>f. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS", VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).</p> <p>V. CONCRETE SLAB FOUNDATIONS:</p> <p>17. VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS.</p> <p>W. MOISTURE CONTENT OF BUILDING MATERIALS:</p> <p>18. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.</p> <p>X. HEATING AND AIR-CONDITIONING SYSTEM DESIGN</p> <p>19. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:</p> <p>h. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSIACCA 2 MANUAL J-2011 OR EQUIVALENT.</p> <p>i. SIZE DUCT SYSTEMS ACCORDING TO ANSI ACCA 1 MANUAL D-2014 OR EQUIVALENT.</p> <p>j. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSIACCA 3 MANUAL S-2014 OR EQUIVALENT.</p>	<p><b>Y. DOCUMENTATION:</b></p> <p>1. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AS REQUESTED BY THE ENFORCING AGENCY. DOCUMENTATION SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:</p> <p>a. PRODUCT CERTIFICATIONS AND SPECIFICATIONS.</p> <p>b. CHAIN OF CUSTODY CERTIFICATIONS.</p> <p>c. PRODUCT LABELED AND INVOICED AS MEETING THE COMPOSITE WOOD PRODUCTS REGULATION (SEE CCR, TITLE 17, SECTION 93120, ET SEQ.)</p> <p>d. EXTERIOR GRADE PRODUCTS MARKED AS MEETING THE PS-1 OR PS-2 STANDARDS OF THE ENGINEERED WOOD ASSOCIATION, THE AUSTRALIAN AS/NZS 2269 OR EUROPEAN 636 3S STANDARDS.</p> <p>e. OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY.</p> <p><b>Z. FIREPLACE:</b></p> <p>1. GAS FIREPLACE SHALL BE DIRECT VENT SEALED-COMBUSTION TYPE. INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS). EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.</p> <p><b>AA. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS:</b></p> <p>AFTER DECEMBER 1, 2015, NEW RESIDENTIAL DEVELOPMENTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH ONE OF THE FOLLOWING OPTIONS:</p> <p>1. A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT; OR</p> <p>2. PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAN 2,500 SQUARE FEET MAY COMPLY WITH THE MWELO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION.</p> <p><b>AB. WATER CONSERVATION NOTES:</b></p> <p>1. NEW CLOTHES WASHER SHALL HAVE A WATER FACTOR EQUAL OR LESS THAN 6.0.</p> <p>2. NEW DISHWASHER SHALL USE LESS THAN 6.5 GAL/CYCLE OR BE ENERGY STAR QUALIFIED.</p> <p><b>AC. CONSTRUCTION WASTE MANAGEMENT:</b></p> <p>NEW CLOTHES WASHER SHALL HAVE A WATER FACTOR EQUAL OR LESS THAN 6.0. RECYCLE AND SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:</p> <p>1. A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE; OR</p> <p>2. A CONSTRUCTION WASTE MANAGEMENT PLAN, PER SECTION 4.408.2; OR</p> <p>3. A WASTE MANAGEMENT COMPANY, PER SECTION 4.408.3; OR</p> <p>4. THE WASTE STREAM REDUCTION ALTERNATIVE, PER SECTION 4.408.4..</p> <p><b>AD. MISCELLANEOUS REQUIREMENT:</b></p> <p>1. FOR GYPSUM BOARD USED AS THE BACKER OR BASE FOR CERAMIC TILES OR OTHER NON-ABSORBENT FINISH MATERIALS, PROVIDE FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM OR FIBER REINFORCED GYPSUM BACKERS SUCH AS WONDER-BOARD, HARDI-BACKER, DENS SHIELD OR EQUIVALENT. CRC SECTION R702.4.2.</p> <p><b>AE. INSTALLER TRAINING:</b></p> <p>1. INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPERT INSTALLATION OF HVAC SYSTEMS.</p> <p><b>AF. SPECIAL INSPECTION:</b></p> <p>1. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.</p>
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1 OPENING IN ROOF & CEILING

SCALE: NONE  
10-05

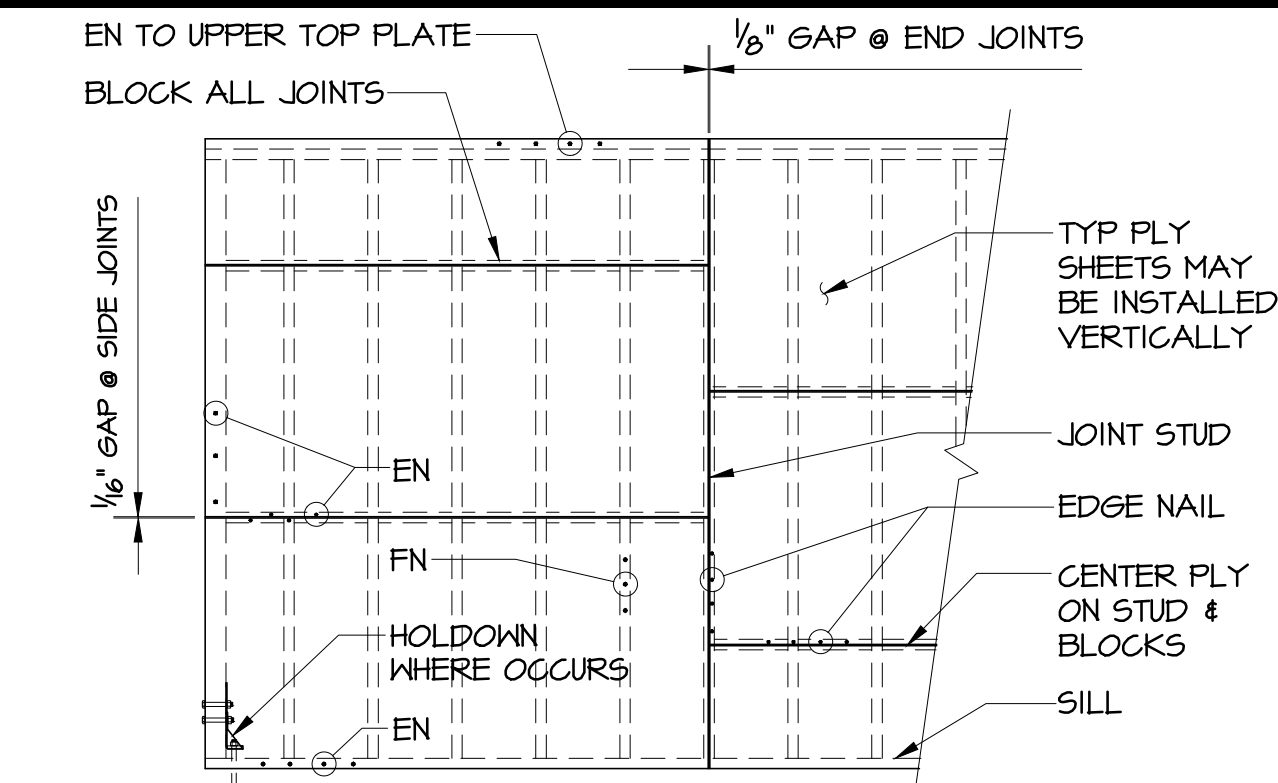


HEADER SCHEDULE				
MAX OPENING WIDTH	BEARING WALL	NON-BEARING WALL		
	2x4	2x6	2x4	2x6
3'-0"	4x8	6x12	4x4	6x6
5'-0"	4x12	6x12	4x6	6x6
8'-0"	4x14	6x12	4x8	6x8
OVER 8'-0"	SEE PLAN FOR SIZE			

1. APPLIES @ ALL OPENINGS UON.
2. USE THIS SCHEDULE UON ON DRAWINGS.

2 FRAMING @ WALL OPENINGS

SCALE: NONE  
10-06

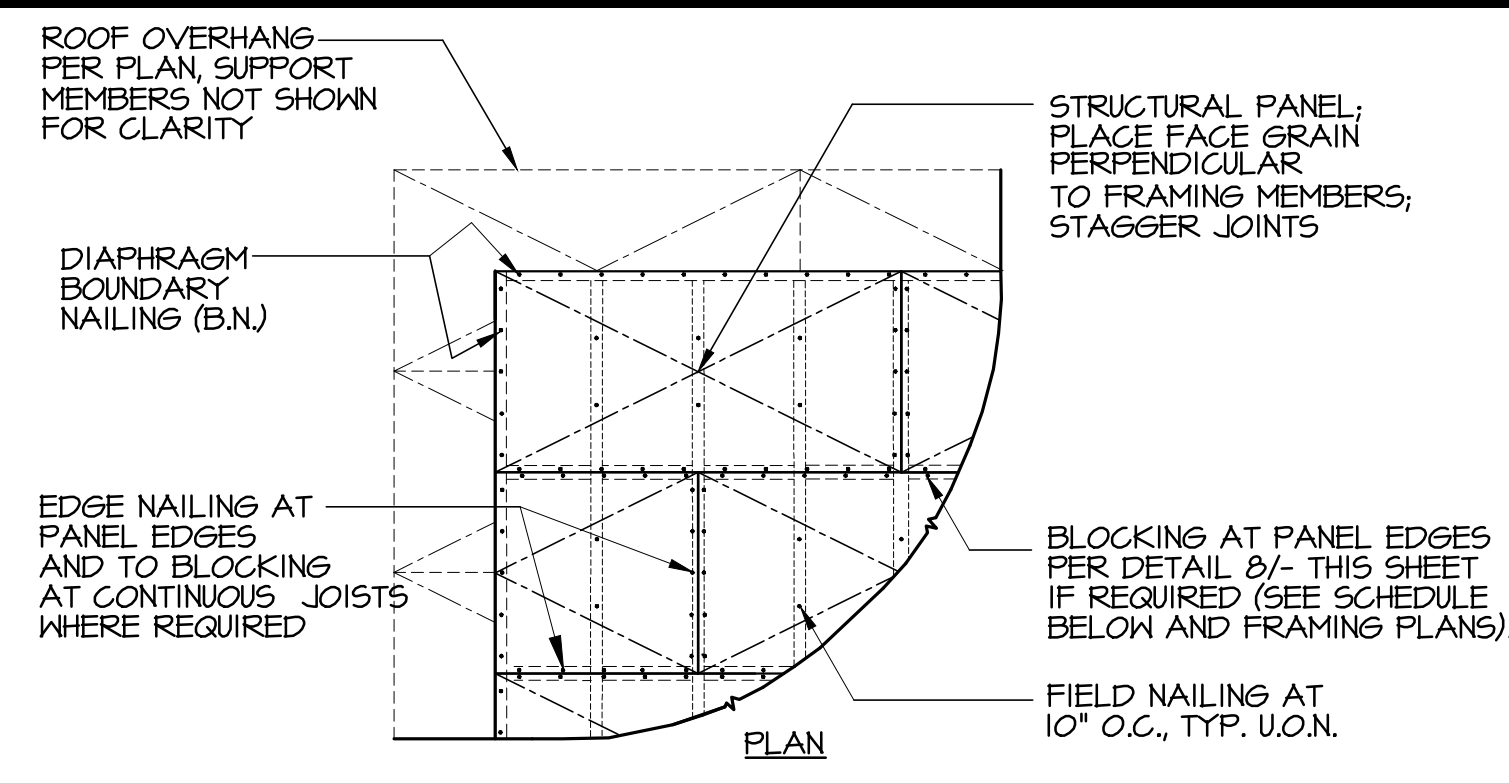


MARK	PLYWOOD	NAIL SIZE	EDGE NAIL	FIELD NAIL	JNT. STUD & BLOCK	SILL	SILL NAILING	ANCHOR BOLTS
1	1/2" CDX 24/0	10d	6" OC	12" OC	2x	2x	16d @ 3" OC	3/4" @ 48" OC
2	1/2" CDX 24/0	10d	4" OC	12" OC	2x	2x	16d @ 2" OC	3/4" @ 32" OC
3	1/2" CDX 24/0 BOTH SIDES	10d	4" OC	12" OC	2x	2x	2 ROWS 16d @ 2" OC	3/4" @ 16" OC

1. NAIL PENETRATIONS INTO FRAMING, 8d - 1/2", 10d - 1 1/8".
2. USE COMMON NAILS.
3. WHEN PANELS ARE APPLIED ON BOTH FACES OF A WALL, PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS. OTHERWISE USE MIN 3x FRAMING AT JOINT.
4. ALL NAILS IN CONTACT WITH PT WOOD SHALL BE HOT-DIPPED ZINC-COATED GALV.

3 PLYWOOD SHEAR WALL

SCALE: NONE  
10-07

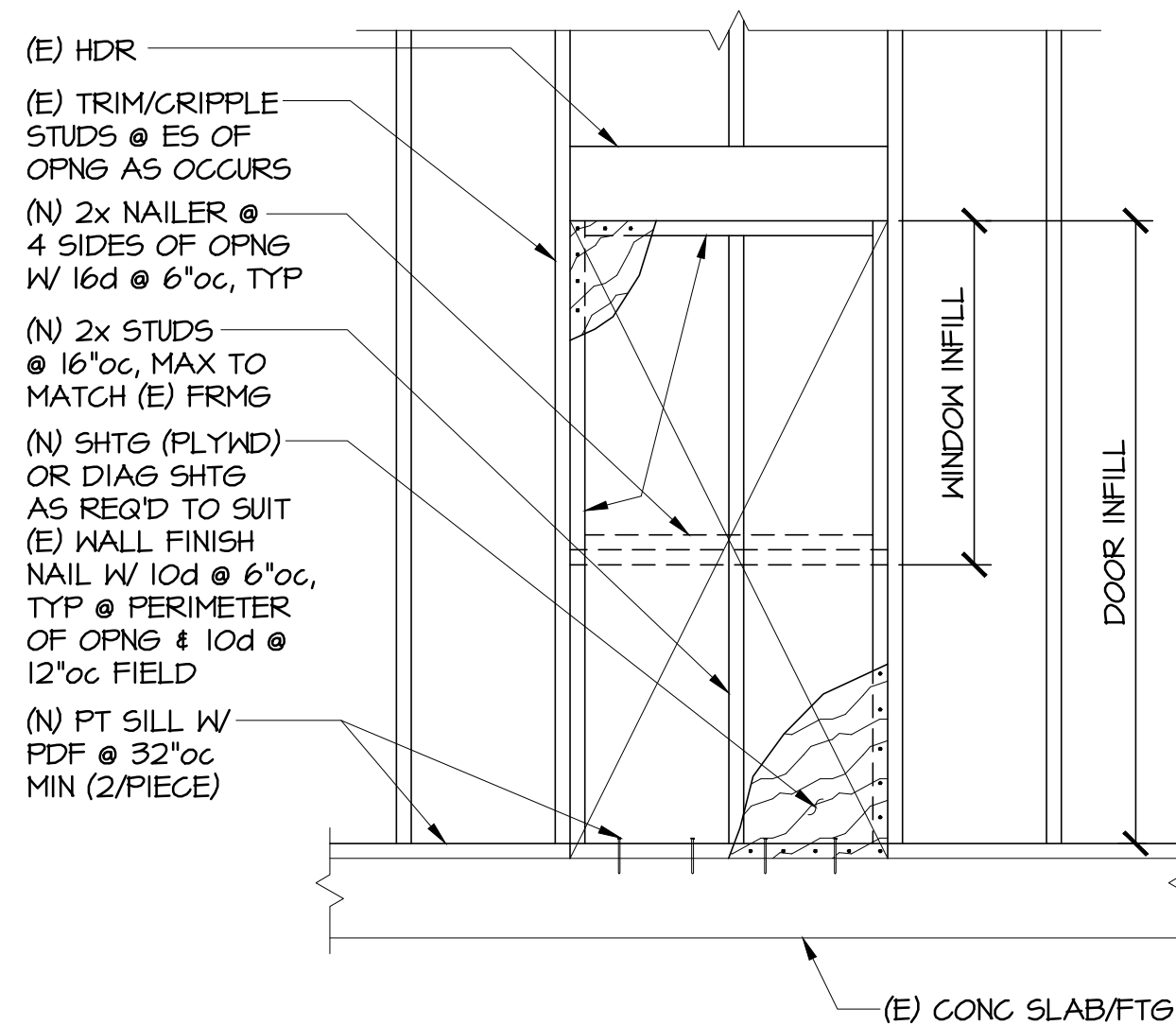


- NOTES:
1. SEE GENERAL NOTES, SHEET S1.1 FOR PANEL THICKNESS AND GRADE. IF BLOCKING NOT SPECIFIED ON PLANS, CONTRACTOR TO FOLLOW THE DETAIL ABOVE.
  2. SEE FRAMING PLANS FOR SPECIAL NAILING AND BLOCKING REQUIREMENTS.
  3. INDIVIDUAL PANEL SHEETS SHALL BE 4 FTx8 FT TYPICALLY. EDGE PIECE SHALL NOT BE LESS THAN 2 FT WIDE.
  4. IF BLOCKING IS SPECIFIED AT FLOORS, PANELS NEED NOT HAVE TONGUE & GROVE EDGES.
  5. USE 10d COMMON NAILS U.O.N., MIN. NAIL PENETRATION INTO FRAMING BELOW OF 1-1/2". NAILING SHALL BE:

	NAIL SIZE	E.N.	B.N.	BLOCKING (4)
FLOOR (6)	10d	4"	6"	NO
ROOFS	10d	4"	6"	NO

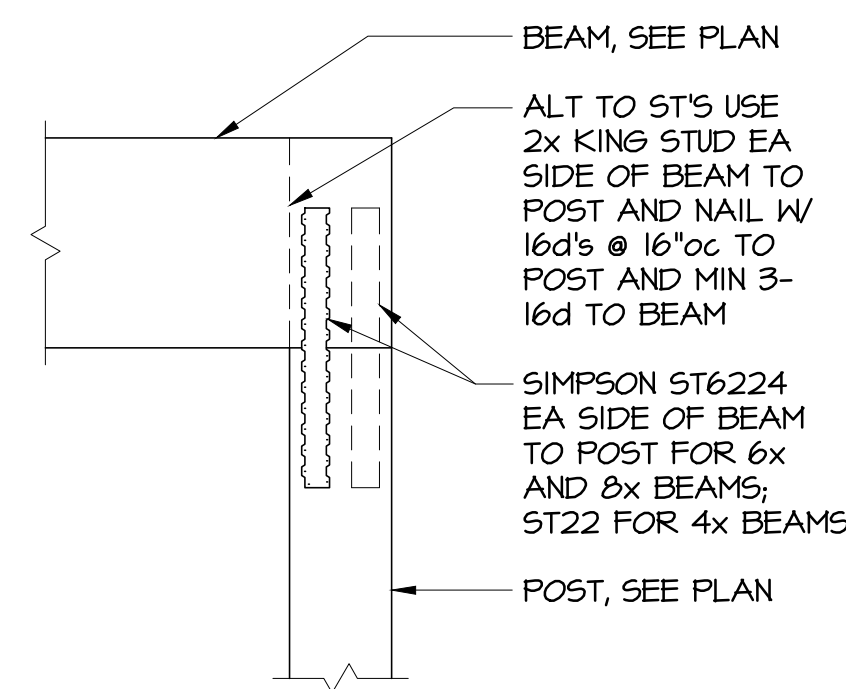
4 PLY SHEATHING-ROOF/FLOOR

SCALE: NONE  
10-11



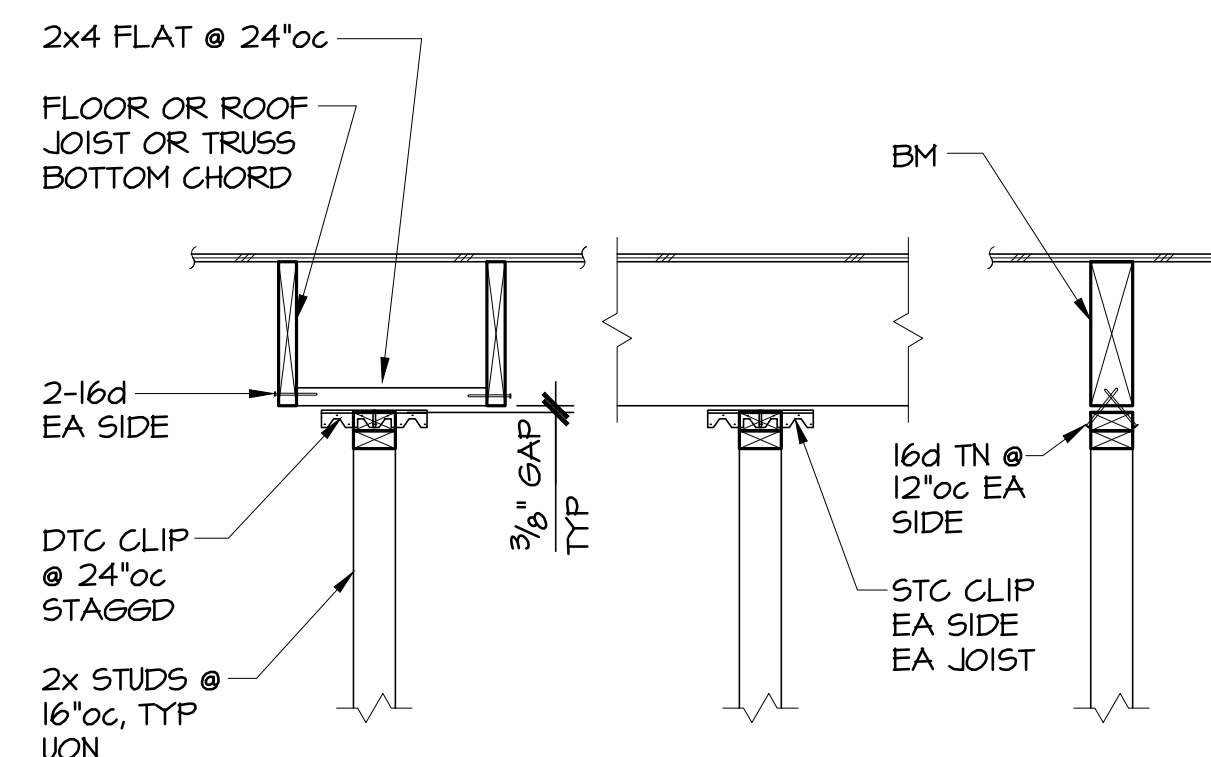
5 WALL INFILL

SCALE: 3/4"=1'-0"  
10-04



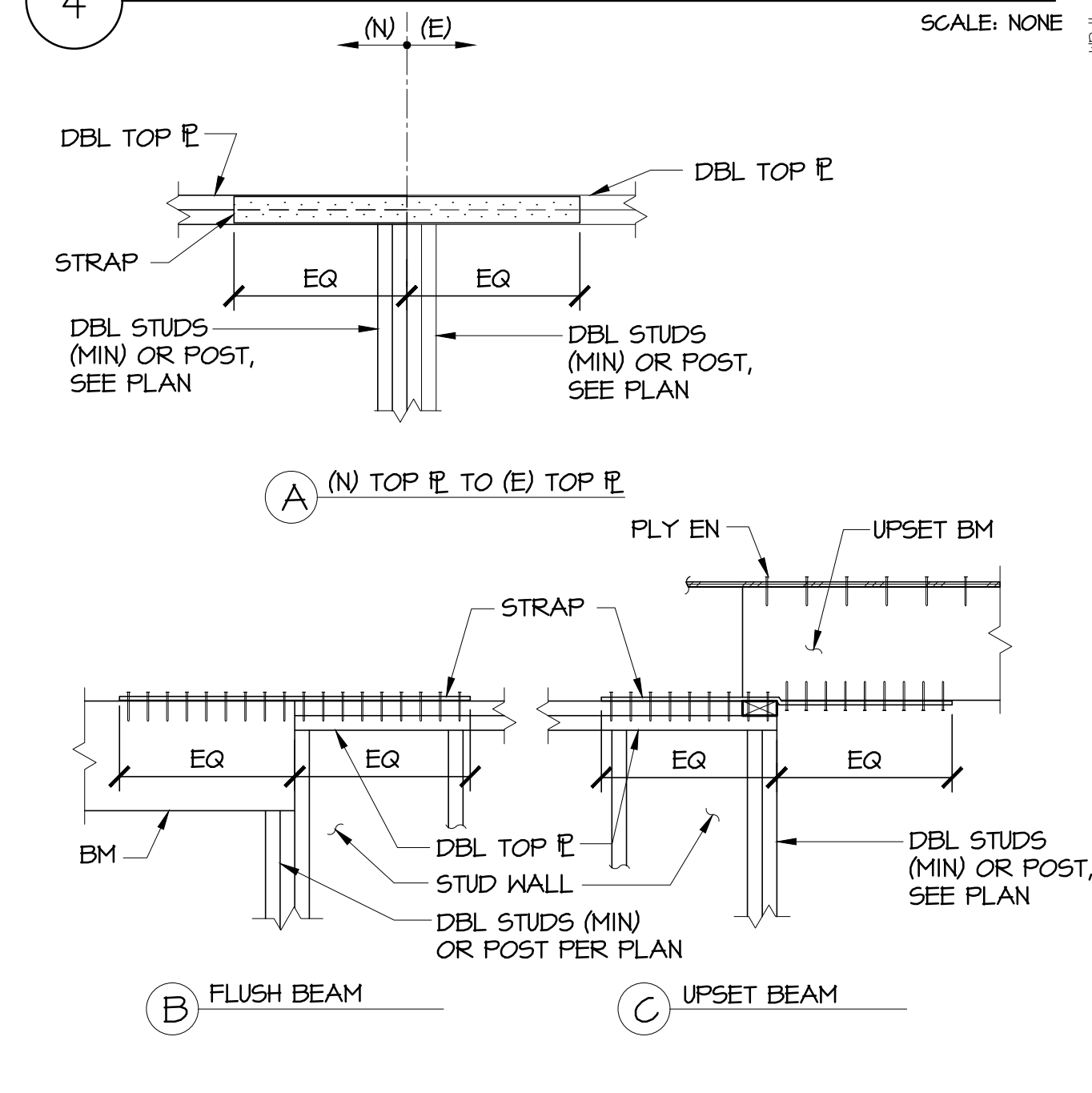
6 POST/BEAM CONNECTION

SCALE: NONE  
10-08



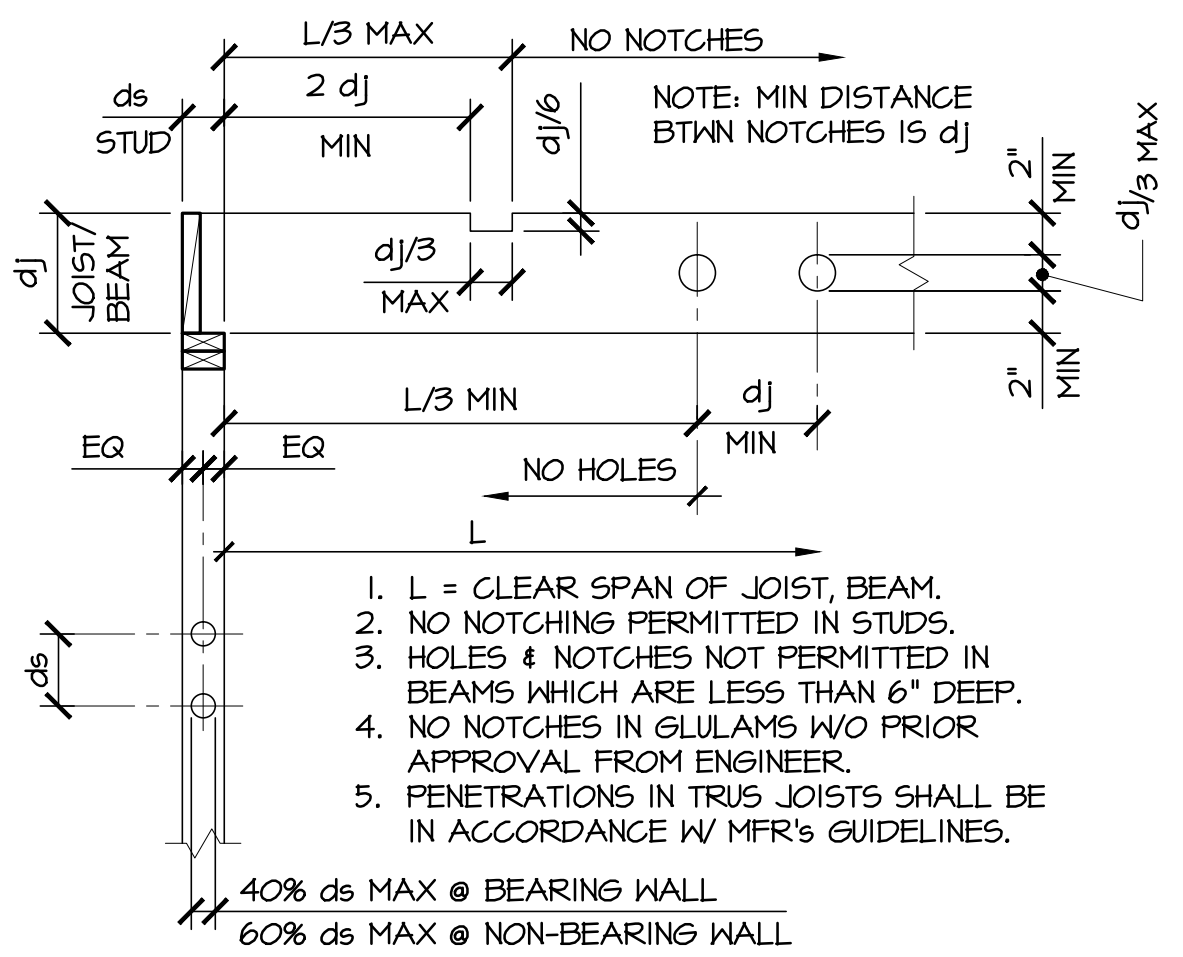
7 NON-BEARING WALL TO CEILING

SCALE: NONE



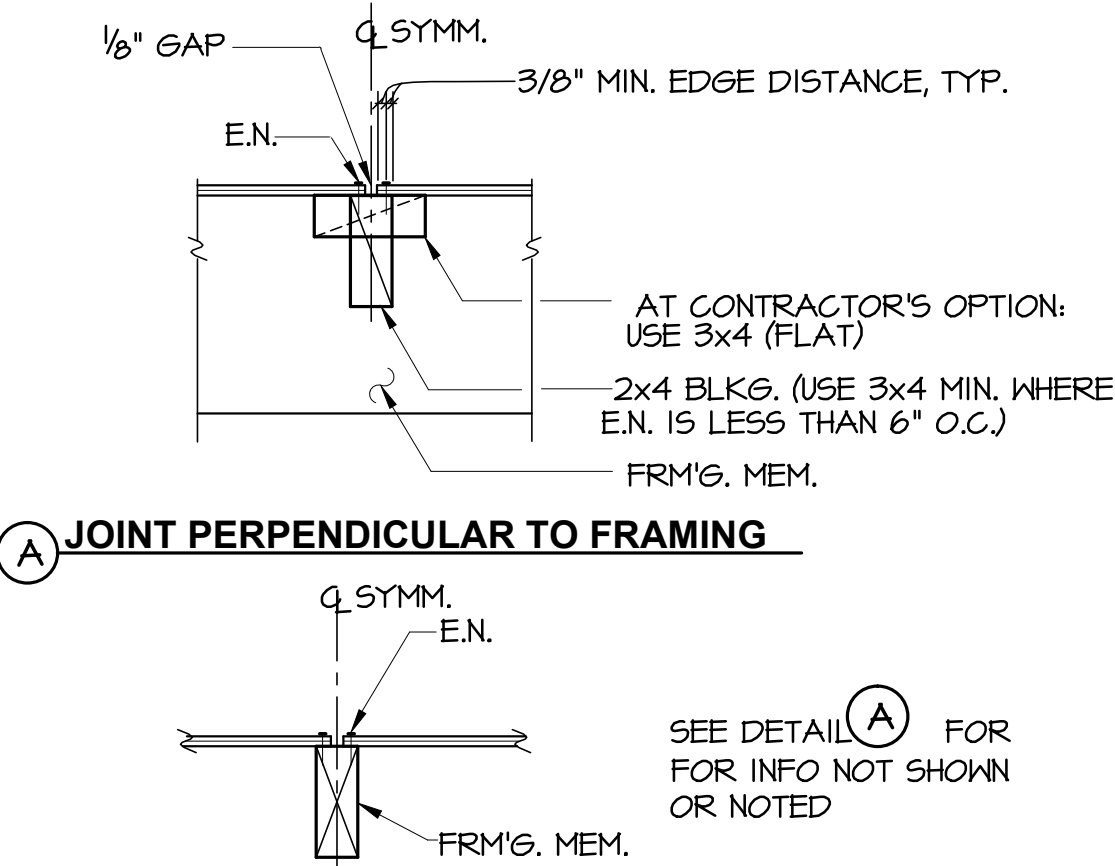
8 TOP PLATE TIE STRAP

SCALE: NONE



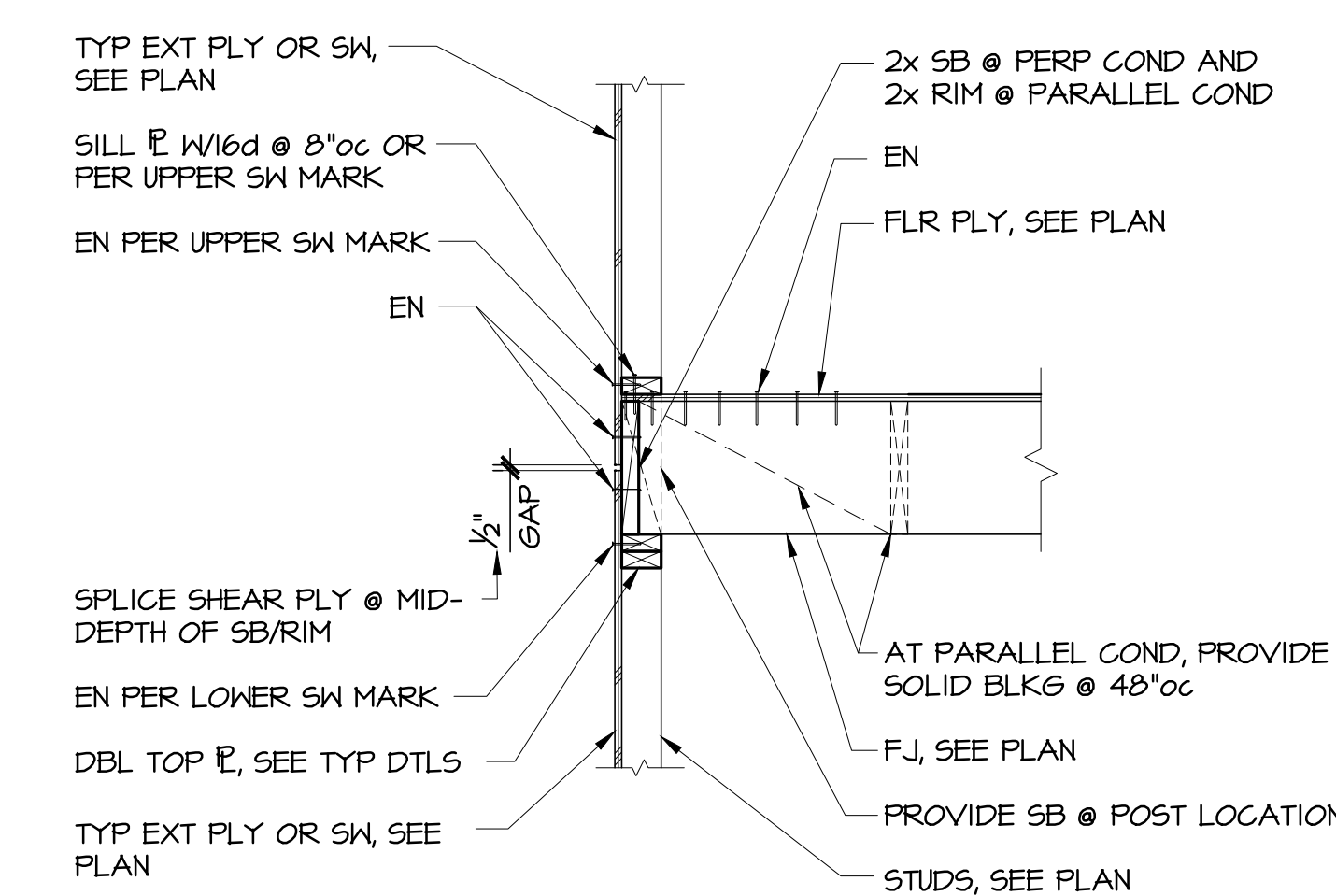
9 HOLES & NOTCHES IN JOISTS, BEAMS & STUDS

SCALE: NONE



10 PLYWOOD SHEATHING NAILING

SCALE: NONE



11 TYPICAL SHEAR WALL SECTION

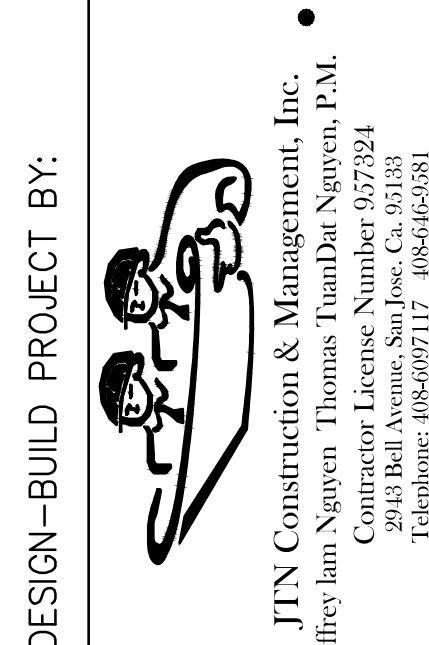
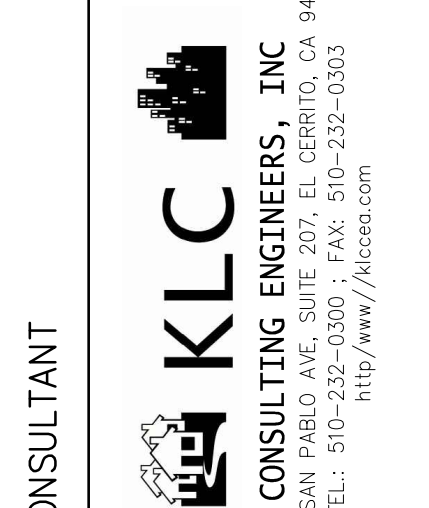
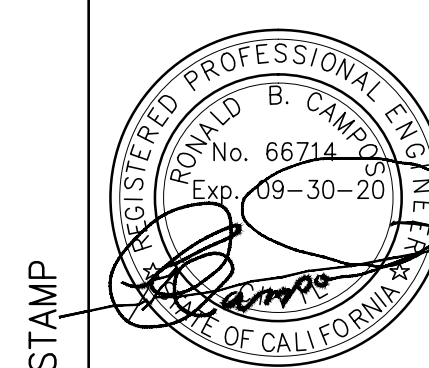
SCALE: NONE  
S1.01

JOIST OR BEAM	HANGER TYPE
2x ROOF JOIST	LUS (F OR LB @ PANELIZED) (LS&U @ SLOPING JOIST)
2x FLOOR JOIST	LUS
3x ROOF JOIST	HU
3x FLOOR JOIST	HU
4x	HU OR HW (F OR B @ PANELIZED)
6x	HU OR HW
GLULAMS	HGLT
SSI PURLINS	HNI
PSL, LVL OR LSL	HGUS OR HGLTV
I-JOISTS	IUS, MIU

HANGERS MANUFACTURED BY SIMPSON STRONG-TIE OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS UON. USE HANGERS AS SCHEDULED, UON. FILL ALL NAIL HOLES. ALL JOISTS AND BEAMS REQUIRE HANGERS UON.

12 JOIST/BEAM HANGER SCHEDULE

SCALE: NONE  
S1.01



PROJECT & OWNER (S):  
898 & 896 E. EVELYN AV.  
Lisa Gao & Stephanie Yi  
898 E EVELYN AVE  
SUNNYVALE, CALIFORNIA 94086

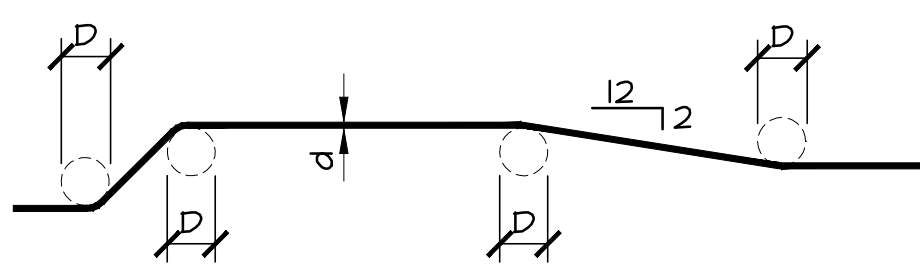
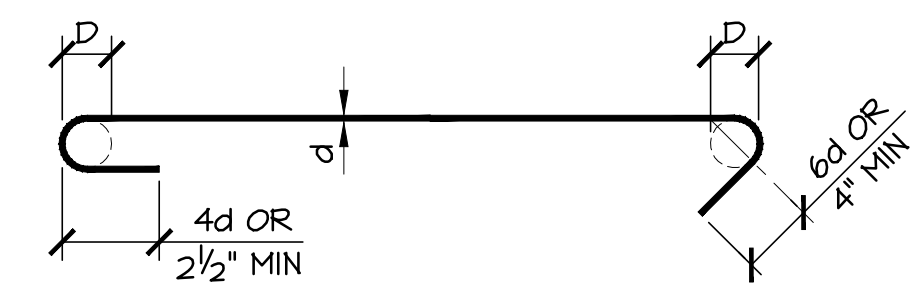
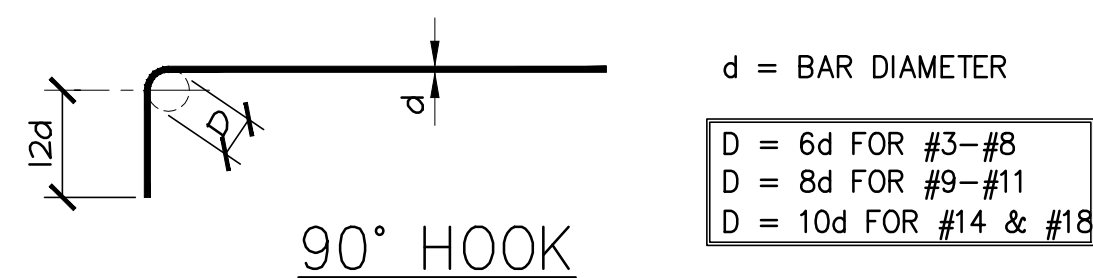
DRAWN: MTC  
CHECKED: RBC  
SCALE:  
DATE: 08/17/2018

SHEET TITLE:  
WOOD DETAILS & FRAMING DETAILS  
PROJ. NO. 18-664  
REVISIONS:  
FOR INSPECTOR'S COMMENTS 08/18/2018  
FOR PLANNING RESUBMIT 10/18/2018  
FOR PLANNING RESUBMIT 12/12/2018  
FOR PLANNING RESUBMIT 01/17/2019

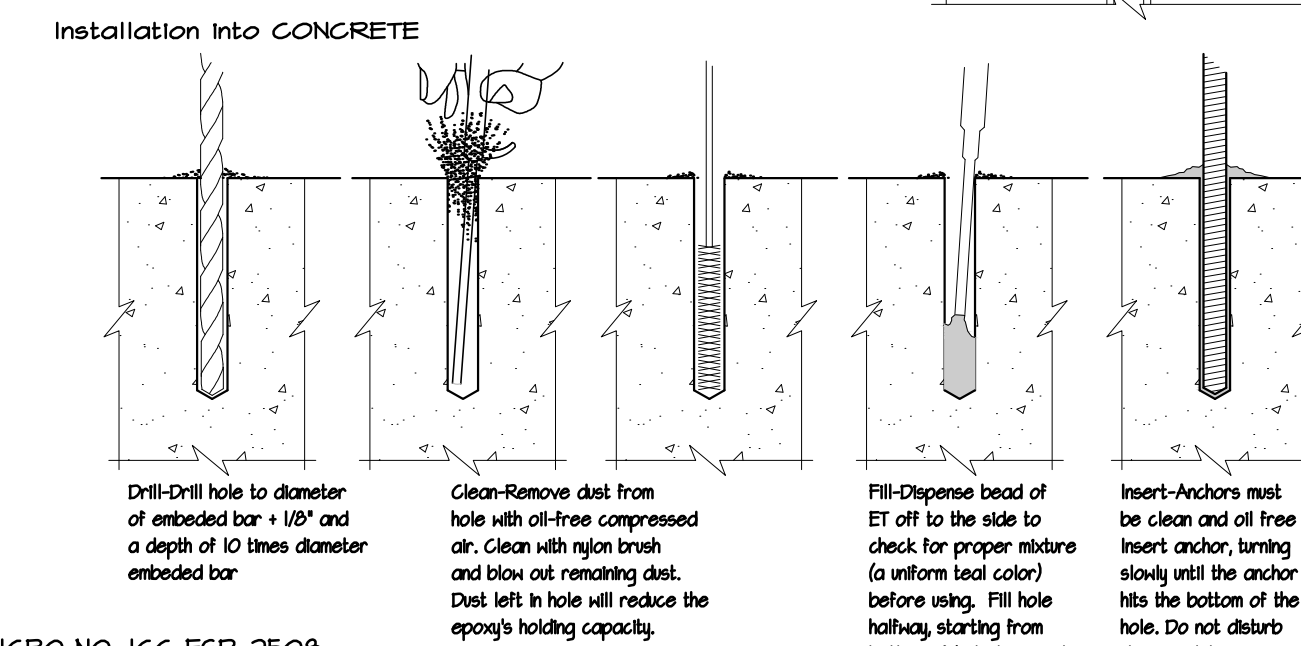
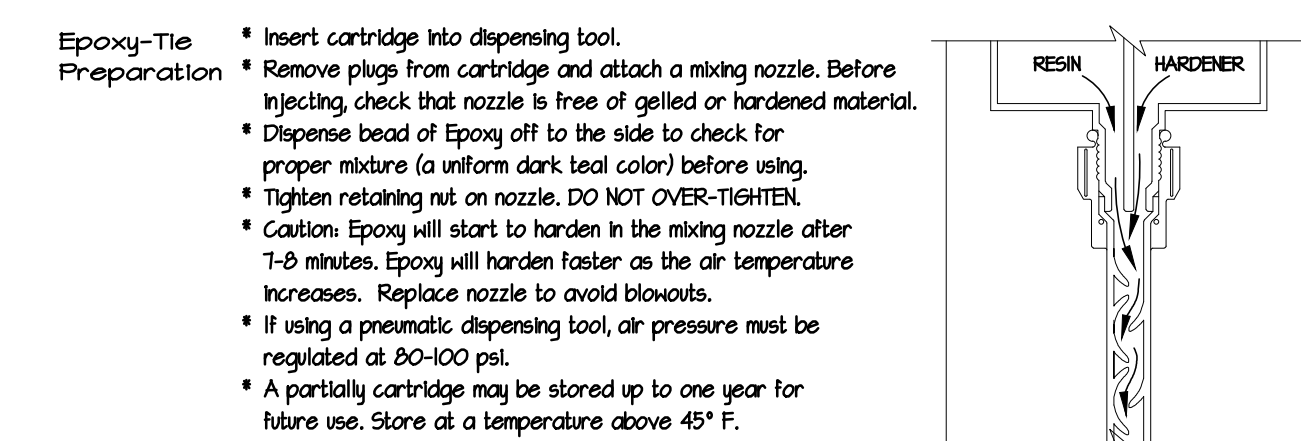
SHEET NO:

S1.3

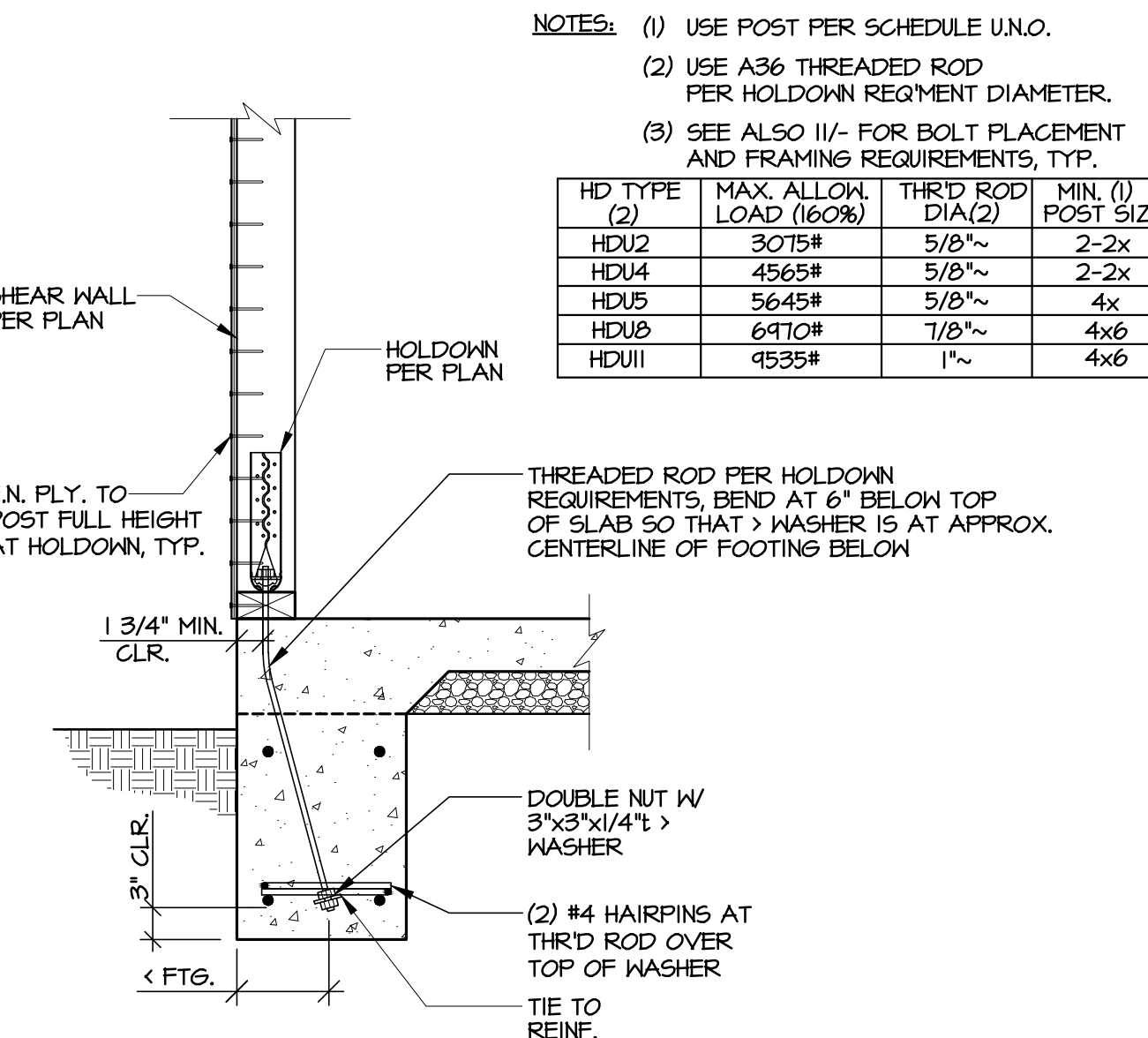




## 1 REINF BENDS, HOOKS & OFFSETS



## 5 EPOXY INSTALLATION



## 9 HOLDOWN

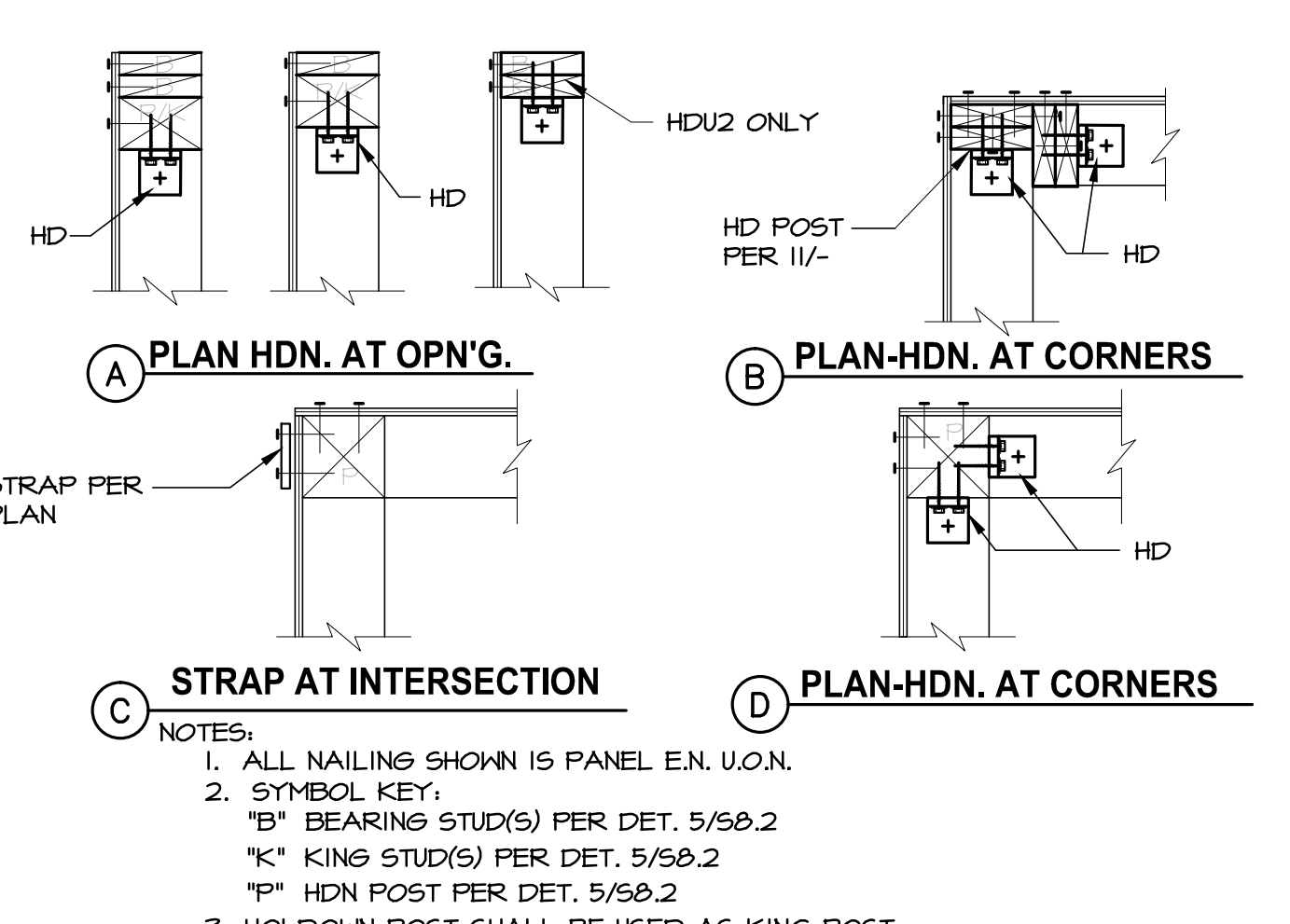
BAR SIZE	CONC. F'c = 2500 PSI		REQ'D.
	LAP SPLICE	EMBEDMENT	
#3 (4)	21	16	13 1/2
#4 (4)	28	21	18
#5 (4)	51	31	21
#6 (4)	60	48	24

## 2 REINF STEEL OFFSET & LAP SPLICE

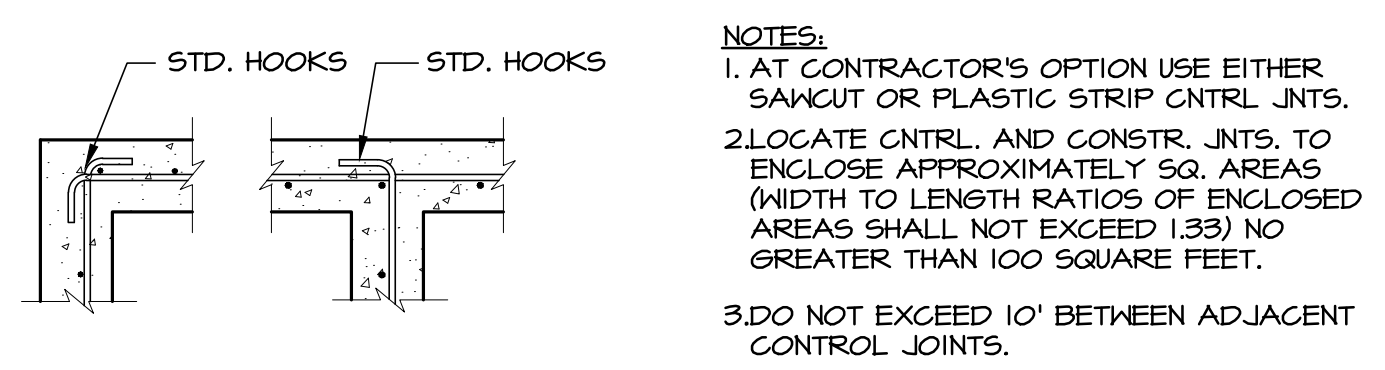
REBAR SIZE	MIN. HOLE DIAMETER	DEPTH OF EMBEDMENT (4)
#3	1/2"	4"
#4	5/8"	6"
#5	3/4"	8"
#6	7/8"	10"
#7	1"	12"
#8	1-1/8"	15"

- EPOXY SHALL BE SIMPSON SET-XP (ICBO ESR 2508) OR EQUAL. FOLLOW EPOXY MANUFACTURER'S INSTRUCTIONS FOR DOWEL INSTALLATION.
- SEE DETAILS FOR ADDITIONAL DOWEL INFORMATION.
- HOLES SHALL BE DRY. CLEAN HOLES WITH NYLON BRUSH TO REMOVE LOOSE MATERIAL AND BLOW OUT HOLES WITH OIL-FREE COMPRESSED AIR.
- TYPICAL UNLESS NOTED OTHERWISE IN DETAILS.

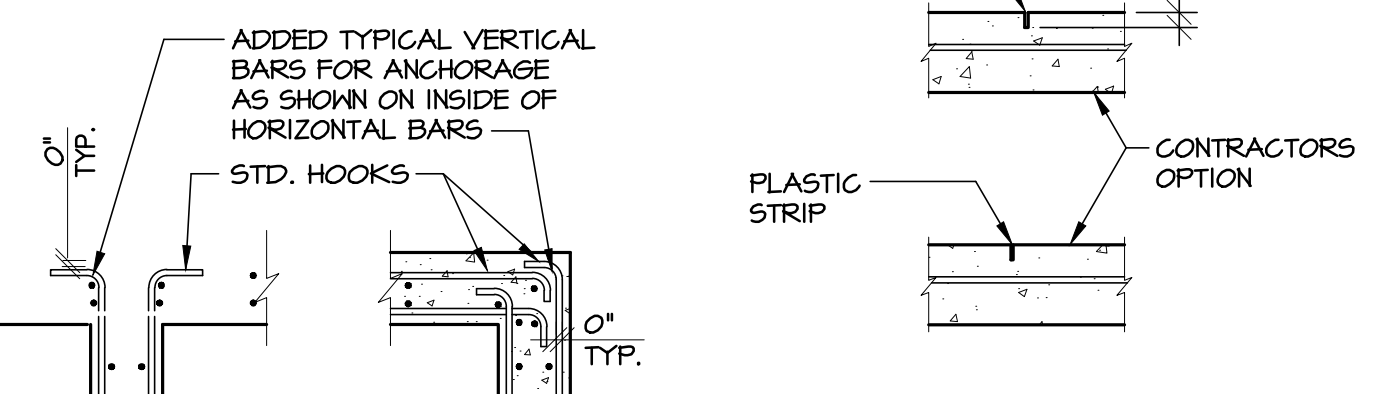
## 6 EPOXY DOWELS / ANCHOR BOLTS



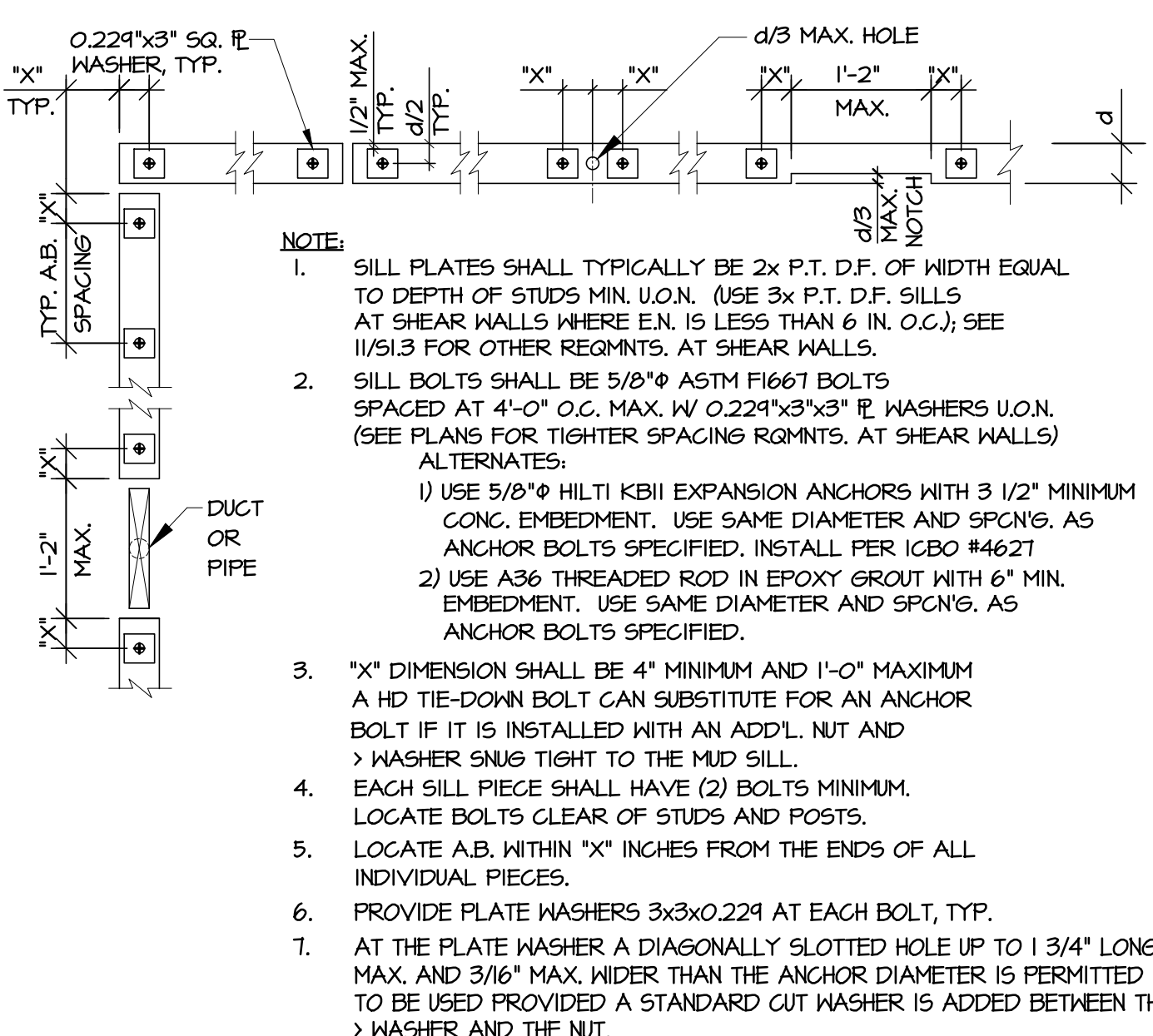
## 10 HOLDOWN LOCATIONS



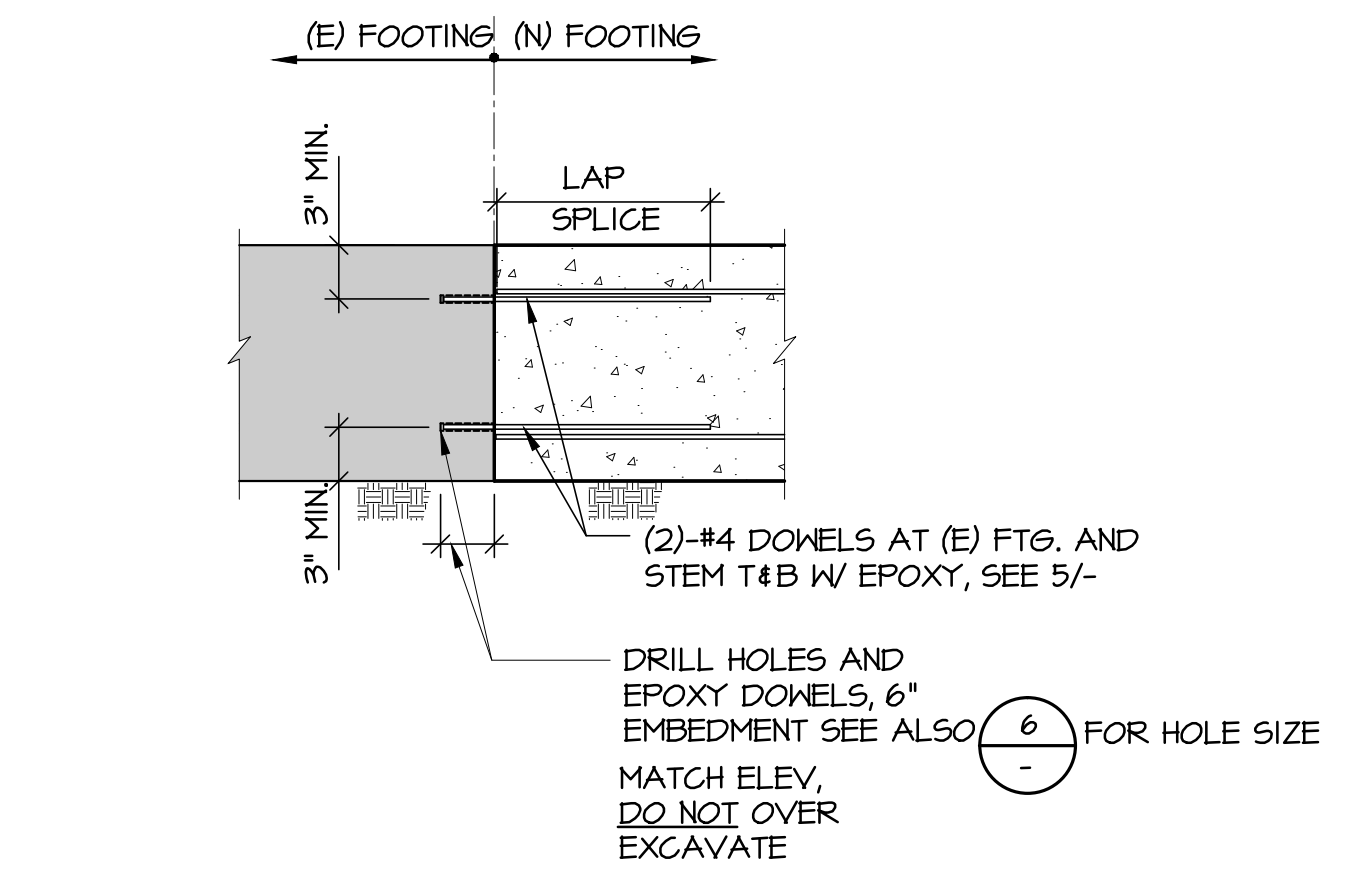
## SINGLE CURTAIN OF REINFORCING



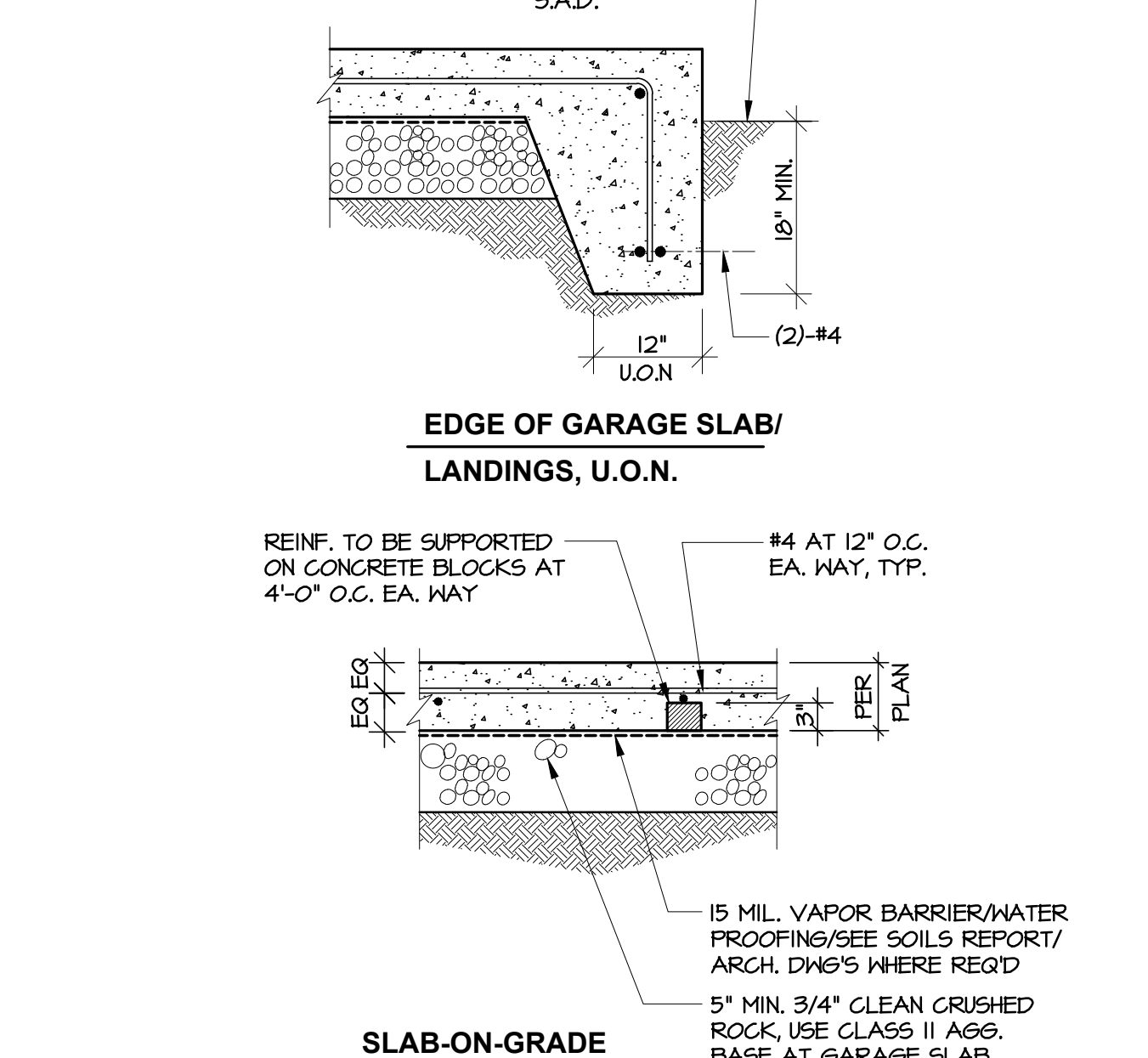
## 3A CONCRETE INTERSECTION



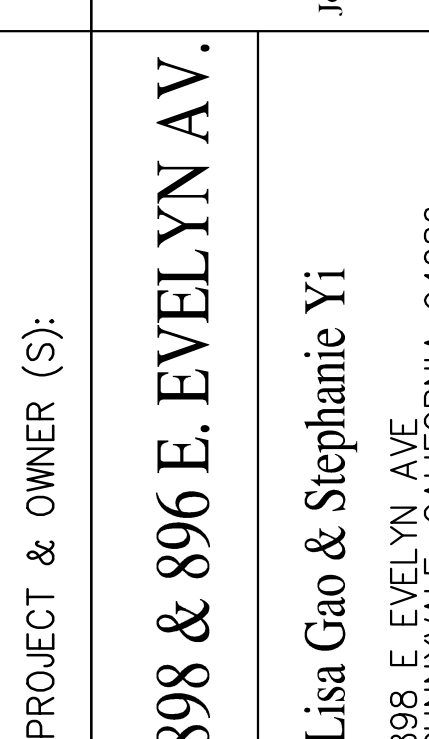
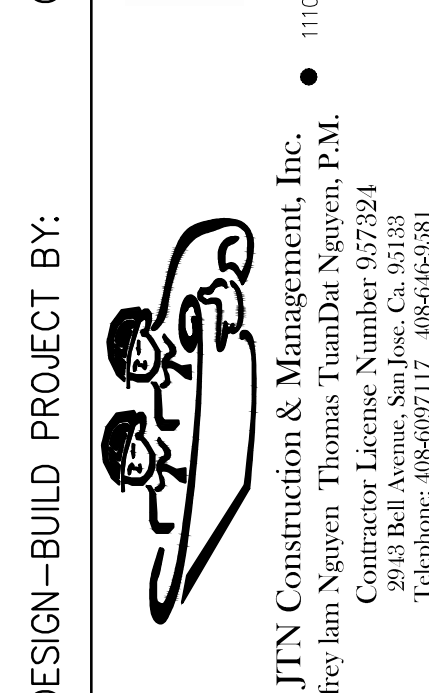
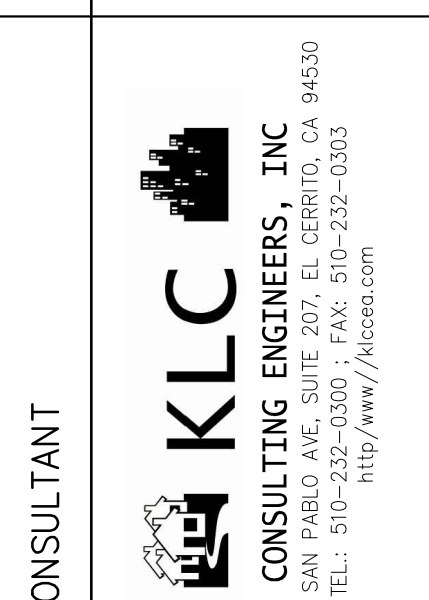
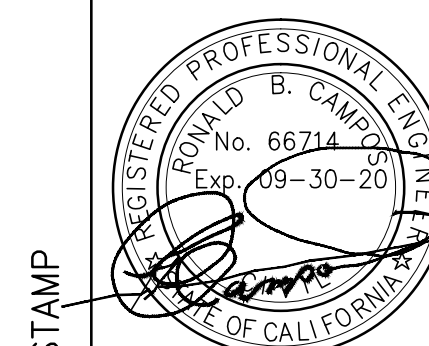
## 7 SILL PLATE BOLTING



## 4 SLAB ON GRADE



## 8 SLAB ON GRADE



DRAWN: MTC

CHECKED: RBC

SCALE:

DATE: 08/17/2018

SHEET TITLE:  
TYPICAL CONCRETE  
& WOOD DETAILS

PROJ. NO. 18-664

REVISIONS:

FOR PLANNING	08/17/2018
FOR PLANNING RESUBMIT	10/18/2018
FOR PLANNING RESUBMIT	12/12/2018
FOR PLANNING RESUBMIT	01/17/2019

SHEET NO:

S1.2



GENERAL

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2016 CALIFORNIA BUILDING CODE AND/OR LOCAL ORDINANCE. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS SHALL APPLY AT SIMILAR CONDITIONS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE. ANY CONDITIONS REQUIRING CONSTRUCTION DIFFERENT FROM THAT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

DIMENSIONS REFER TO ROUGH CONCRETE SURFACES, FACE OF STUDS, FACE OF CONCRETE BLOCK, TOP OF SHEATHING OR TOP OF SLAB.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING AND THE PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING ADEQUATE SHORING AND BRACING AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THE STRUCTURE. SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL THE FLOORS, ROOF AND WALLS HAVE BEEN ENTIRELY CONSTRUCTED.

DESIGN CRITERIA

A. VERTICAL LIVE LOADS:

1. ROOF:  
2. FLOOR:

B. LATERAL LOADS: FOR NEW CONSTRUCTION

I. SEISMIC LOADS

V	=	CeM
V (STRENGTH LEVEL)	=	0.33M
V (ASD LEVEL)	=	0.23M
PROJECT LATITUDE	=	31.3703°
PROJECT LONGITUDE	=	122.0161°
REDUNDANCY FACTOR	p	= 1.0
OCCUPANCY CATEGORY	I, II & III	
IMPORTANCE FACTOR	I	= 1.0
SITE CLASS	S <sub>s</sub>	= D
MCE SHORT PERIOD	S <sub>s</sub>	= 1.500
MCE LONG PERIOD (1 SECOND)	S <sub>1</sub>	= 0.600
SITE SPECIFIC MCE SHORT PERIOD	S <sub>MS</sub> = F <sub>a</sub> S <sub>s</sub>	
SITE SPECIFIC MCE LONG PERIOD	S <sub>M1</sub> = F <sub>v</sub> S <sub>1</sub>	
DESIGN MCE SHORT PERIOD	S <sub>DS</sub> = 2/3S <sub>1</sub> M <sub>5</sub>	
DESIGN MCE LONG PERIOD	S <sub>D1</sub> = 2/3S <sub>1</sub> M <sub>1</sub>	
COEFFICIENT R (LIGHT-FRAMED WOOD SHEARWALLS)	R	= 6.5
OVERSTRENGTH	Q <sub>o</sub>	= 3.0
SEISMIC DESIGN CATEGORY (SDC)	D	

METHOD 1 BASIC EQUATION	P <sub>s</sub>	= 1 K <sub>z</sub> I P <sub>s30</sub>
DESIGN PRESSURE:		
BASIC WIND SPEED		= 110 MPH ULT, 85 MPH M5D
EXPOSURE CATEGORY	C	
MEAN BUILDING HEIGHT		= 15 FEET
IMPORTANCE FACTOR	I	= 1.0
HEIGHT AND EXPOSURE FACTOR	I	= 1.21
TOPOGRAPHY FACTOR	K <sub>z1</sub>	= 1.0

FOUNDATIONS

FOUNDATIONS SHALL CONFORM TO THE 2016 CBC, TABLE 1806.2

FOOTINGS SHALL EXTEND TO SUCH DEPTHS AS TO BEAR ON FIRM, UNDISTURBED SOIL. PIER DEPTHS SHOWN ON DRAWINGS ARE MINIMUM DEPTHS. CLEAN OUT BOTTOM OF ALL PIERS. FOOTINGS SHALL BE POURED IN NEATLY EXCAVATED TRENCHES.

CONCRETE

MATERIALS: AGGREGATE, ASTM C-33; CEMENT, PORTLAND TYPE II, ASTM C-150; WATER, POTABLE; TRANSIT MIX, ASTM C-94; ADMIXTURE, ONLY WITH WRITTEN APPROVAL.  
MIX DESIGN: TO BE DESIGNED BY AN APPROVED LABORATORY AND SHALL BE SUBMITTED TO THE ENGINEER AT LEAST 2 DAYS PRIOR TO PLACING OF CONCRETE.  
TESTING: TESTING BY AN APPROVED LABORATORY AND SHALL SUBMIT FOUR (4) TEST CYLINDERS FROM EACH BATCH OF CONCRETE USED IN EACH DAY'S OPERATIONS, BUT AT LEAST ONE (1) SAMPLE FROM EACH 100 CUBIC YARDS OF CONCRETE. IN ADDITION, PROVIDE ONE (1) SLUMP TEST FROM EVERY THREE (3) TRUCK LOADS OF CONCRETE WHERE A MAXIMUM SLUMP AND/OR SPECIAL INSPECTION IS SPECIFIED.

LOCATION	28 DAY COMP. STRENGTH (psi)	MAX. AGG. SIZE (in)	MAX. SLUMP (in)	MAX. WATER CEMENT RATIO	SPECIAL INSPECTION*
FOOTINGS	2500	1½"	-	-	NO
SLAB ON GRADE	2500	1"	4"	-	NO

\*SPECIAL INSPECTION, WHERE REQUIRED, SHALL BE IN ACCORDANCE WITH CBC REQUIREMENTS. WHERE SPECIAL INSPECTION IS NOT REQUIRED AND COMPRESSIVE STRENGTH IS GREATER THAN 2500 psi, HIGHER STRENGTHS HAVE BEEN SPECIFIED FOR QUALITY CONTROL ONLY; HOWEVER, STRUCTURAL DESIGN IS BASED ON 2500 psi.

THE CONTRACTOR SHALL REMOVE AND REPLACE ANY CONCRETE WHICH FAILS TO ATTAIN SPECIFIED STRENGTH IN 28 DAYS IF SO DIRECTED BY THE ENGINEER.

INTERIOR CONCRETE FLOOR FILL

ALL INTERIOR CONCRETE FLOOR FILL SHALL BE "GYPCRETE" OR THE EQUIVALENT. IT SHALL HAVE A MINIMUM STRENGTH OF 2000 psi AT 28 DAYS. THICKNESS SHALL BE AS INDICATED ON THE DRAWINGS. DRY WEIGHT SHALL BE 105 pcf.

CONCRETE REINFORCING

REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 40 FOR #3 AND SMALLER BARS, AND GRADE 60 FOR #4 AND LARGER BARS. BARS SHALL BE SECURELY TIED IN PLACE SO AS TO MAINTAIN THEIR EXACT POSITION BEFORE AND DURING THE PLACEMENT OF THE CONCRETE. WIRE FABRIC SHALL CONFORM TO ASTM A-185, USE FLAT SHEETS ONLY, AND IN SLABS MAY BE RAISED INTO POSITION DURING THE CONCRETE POURING OPERATION. LAP FABRIC 6" MINIMUM. LAP BARS 48 DIAMETERS UON. LAP TOP BARS OF FOOTINGS AND BEAMS 12 DIAMETERS UON. ALL LAPS SHALL BE STAGGERED 4'-0" MINIMUM FOR #1 AND SMALLER BARS AND 8'-0" MINIMUM FOR #8 AND LARGER BARS, UON. REINFORCING BAR FABRICATION, LAPS AND PLACING SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE OF THE CONCRETE REINFORCING STEEL INSTITUTE, UON. ALL REINFORCING BARS TO BE WELDED SHALL BE ASTM A-106.

CLEAR DISTANCES, STEEL TO FORMS UON

FORMED SURFACES EXPOSED TO WEATHER..... ½"  
FORMED SURFACES IN CONTACT WITH EARTH..... 2"  
UNFORMED SURFACES IN CONTACT WITH EARTH..... 3"  
SLABS ON ROLLED GRADE, BEAMS, GIRDERS & COLUMNS..... ½"  
SLABS AND WALLS NOT EXPOSED TO WEATHER..... ¾"  
CLEAR DISTANCE BETWEEN BARS..... 2"

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION.

CONTRACTOR SHALL INFORM THE ENGINEER AT LEAST 2 DAYS PRIOR TO POURING ANY STRUCTURAL CONCRETE SO THAT HE/SHE MAY HAVE THE OPPORTUNITY OF REVIEWING THE WORK.

CARPENTRY

FRAMING LUMBER SHALL MEET THE FOLLOWING MINIMUM STANDARD UON:

USE	SPECIES	GRADE
SILL PLATES 2x4	DF	No.2 OR BETTER, PT
2x6	DF	No.2 OR BETTER, PT
2x8	DF	No.2 OR BETTER, PT
3x	DF	No.2 OR BETTER, PT

HORIZONTAL FRAMING LUMBER

4x4 AND SMALLER	DF	No.2
2x ROOF JOISTS AND RAFTERS	DF	No.1
2x FLOOR JOISTS	DF	No.1
2x AND 3x LEDGERS	DF	No.1
4x HEADERS AND BEAMS	DF	No.1
6x6 AND LARGER BEAMS	DF	No.1

VERTICAL FRAMING LUMBER

ALL STUDS	DF	No.2
ALL POSTS	DF	No.1
ALL OTHER LUMBER UON	DF	STANDARD

ALL FRAMING LUMBER SHALL BE GRADE STAMPED "S-DRY" OR MAY BE SURFACED AND FURNISHED AT A HIGHER MOISTURE CONTENT PROVIDED THAT THE LUMBER IS ALLOWED TO REACH APPROXIMATE EQUILIBRIUM WITH THE ATMOSPHERIC CONDITION (19% OR LESS MOISTURE CONTENT) BEFORE FINISHES ARE INSTALLED.

WHERE POSTS OR MULTIPLE STUDS UNDER BEAMS OR HEADERS ARE CALLED FOR ON THE DRAWINGS, THOSE POSTS OR MULTIPLE STUDS SHALL BE CARRIED TO THE FOUNDATION. SOLID BLOCK BELOW ALL POSTS AND MULTIPLE STUDS DOWN TO TOP OF FOUNDATION. BLOCK JOISTS AT ALL SUPPORTS. DOUBLE JOISTS UNDER PARALLEL PARTITIONS. BLOCK UNDER PERPENDICULAR PARTITIONS @ 32"oc.

JOIST HANGERS AND OTHER METAL FRAMING ACCESSORIES ARE REFERRED TO ON DRAWINGS BY A PARTICULAR TYPE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, PLEASANTON, CALIFORNIA. ACCESSORIES OF OTHER MANUFACTURERS WITH EQUIVALENT LOAD CARRYING CAPACITIES AND ICC APPROVAL MAY BE USED UPON THE ENGINEER'S REVIEW AND APPROVAL. INSTALL ALL JOIST HANGERS AND OTHER METAL FRAMING AND ACCESSORIES PER MANUFACTURER'S RECOMMENDATIONS. USE MANUFACTURER'S RECOMMENDED FASTENERS TO ACHIEVE MAXIMUM RATED CAPACITIES.

BOLTS HOLES IN WOOD ½" OVERSIZE MAXIMUM. USE MALLEABLE IRON WASHERS AGAINST WOOD, EXCEPT AT SILL PLATES. AT SILL PLATES, PROVIDE MIN. PLATE 0.225" x 3" SQ. WASHERS AT ALL ANCHOR BOLTS. RETIGHTEN ALL BOLTS BEFORE CLOSING IN. PRE-DRILL HOLES FOR LAG BOLTS AND TURN BOLTS INTO HOLES, DO NOT DRIVE-IN.

FIRE STOPPING, BACKING FOR INTERIOR FINISHES, NON-BEARING WALLS AND OTHER NON-STRUCTURAL FRAMING IS NOT NECESSARILY SHOWN ON THE STRUCTURAL DRAWINGS.

NAILING SCHEDULE UON

CONNECTION

CONNECTION	FASTENING <sup>(1)</sup>	LOCATION
JOIST TO SILL OR GIRDER	3-8d COMMON 3- 3"x0.131" NAILS	TOENAIL
BRIDGING TO JOIST	2-8d COMMON 2- 3"x0.131" NAILS	TOENAIL EA END
SILL PLATE TO JOIST OR BLOCKING	16d BOX @ 16"oc 3"x0.131" @ 8"oc	FACENAIL
TOP PLATE TO STUD, END NAIL	2-16d COMMON 3- 3"x0.131" NAILS	END NAIL
STUD TO SILL PLATE	4-8d COMMON 4- 3"x0.131" NAILS	TOE NAIL
	2-16d COMMON 3- 3"x0.131" NAILS	END NAIL
DOUBLE STUD	16d BOX @ 24"oc 3"x0.131" @ 8"oc	FACENAIL
DOUBLE TOP PLATES	16d BOX @ 16"oc 3"x0.131" @ 12"oc	TOP FACENAIL
	12- 3"x0.131" NAILS	LAP SPLICE
BLK'S BTWN JOISTS OR RAFTERS TO TOP PL	3-8d COMMON 3- 3"x0.131" NAILS	TOENAIL
RIM JOIST TO TOP PLATES	8d COMMON @ 6"oc 3"x0.131" @ 6"oc	TOENAIL
TOP PLATES, LAPS & INTERSECTIONS	2-16d COMMON 3- 3"x0.131" NAILS	FACENAIL
CONTINUOUS HEADER, TWO PIECES	16d COMMON @ 16"oc	ALONG EA EDGE
CEILING JOISTS TO PLATE	3-8d COMMON 3- 3"x0.131" NAILS	TOENAIL
CONTINUOUS HEADER TO STUD	4-8d COMMON	TOENAIL
CEILING JOISTS, LAPS OVER PARTITIONS	3-16d COMMON 4- 3"x0.131" NAILS	FACENAIL
CEILING JOISTS TO PARALLEL RAFTERS	3-16d COMMON 4- 3"x0.131" NAILS	FACENAIL
RAFTER TO PLATE	3-8d COMMON 3- 3"x0.131" NAILS	TOENAIL
BUILT-UP CORNER STUDS	16d COMMON @ 24"oc 3"x0.131" Nail @ 16"oc	
BUILT-UP GIRDER BEAMS	20d COMMON @32"oc 3- 3"x0.131" Nail @ 24"oc STAGGED	FACENAIL T&B & ENDS & AT SPLICE
	2-20d COMMON 3- 3"x0.131" NAILS	FACENAIL AT SPLICE

(1) NAIL SIZES ARE AS FOLLOWS:

8d COMMON = 2½"x0.131"  
10d COMMON = 3"x0.128"  
16d COMMON = 3½"x0.162"  
20d COMMON = 4"x0.142"  
16d BOX = 3½"x0.135"

ALL SILL PLATE NAILS OF SHEAR WALLS AND PLYWOOD NAILS SHALL BE COMMON NAILS, UON.

PLYWOOD

PLYWOOD SHALL BE APA RATED EXPOSURE 1 CONFORMING TO PS-1, UON. GRADE BASED ON PANEL I.D. INDEX CBC TABLE 2304.7.3) UON. ALL PLYWOOD NAILING TO BE REVIEWED BY ENGINEER PRIOR TO COVERING.

OSB ALTERNATE - AT CONTRACTOR'S OPTION, ORIENTED STRAND BOARD (OSB) MAY BE USED IN LIEU OF PLYWOOD SPECIFIED FOR ROOF, FLOOR OR WALL SHEATHING APPLICATIONS. THE OSB SHALL BE APA RATED OSB SHEATHING (ICC APPROVED) OF THE SAME THICKNESS & STRENGTH RATINGS AS THE PLYWOOD IT IS TO REPLACE. SUBMIT ICC REPORT FOR REVIEW OSB MAY NOT BE USED AT EXPOSED AREAS, I.E. - OVERHANGS, PORCHES, ETC. ( USE A-C EXTERIOR GRADE @ SOFFITS & PORCHES SAD )

PLYWOOD INSTALLATION - PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID WITH THE GRAIN OF THE OUTER PLIES PERPENDICULAR TO THE FRAMING MEMBERS UON AND END JOINTS SHALL BE STAGGERED. WALL SHEATHING MAY BE APPLIED HORIZONTALLY OR VERTICALLY.

USE COMMON WIRE NAILS UON. EQUIVALENT PNEUMATIC DRIVEN NAILS MAY BE USED IF FASTENER MANUFACTURER HAS A CURRENT ICC APPROVAL. FASTENERS TO BE USED SHALL BE EQUIVALENT IN LATERAL AND WITHDRAWAL STRENGTH TO THE SIZE OF COMMON NAIL SPECIFIED. ALL FLOOR NAILS SHALL BE VINYL COATED SCREW SHANK NAILS.

ROOF SHEATHING - EDGE BLOCKING OF UNSUPPORTED EDGES OF PLYWOOD SHEATHING MAY BE OMITTED ONLY WHERE NOTED ON PLANS. PLYWOOD CLIPS OR APPROVED EQUAL CONNECTOR SHALL BE INSTALLED AT MIDSPAN BETWEEN EACH SUPPORT WHEN RAFTER SPACING EXCEEDS 16" AND EDGE BLOCKING IS NOT SPECIFIED.

TYPICAL NAILING SHALL BE 10d @ 6"oc AT SUPPORTED EDGES AND OVER SHEAR WALLS AND 10d @ 12"oc AT INTERMEDIATE SUPPORTS UON.

FLOOR SHEATHING - EDGE BLOCKING OF UNSUPPORTED EDGES OF PLYWOOD SHEATHING MAY BE OMITTED ONLY WHERE NOTED ON PLANS, IN WHICH CASE, T&G PLYWOOD SHALL BE USED.

TYPICAL NAILING SHALL BE 10d @ 4"oc AT SUPPORTED EDGES AND OVER SHEAR WALLS AND 10d @ 8"oc AT INTERMEDIATE SUPPORTS UON. USE VINYL COATED SCREW SHANK NAILS.

ALL FLOOR SHEATHING SHALL BE GLUED TO WOOD JOISTS. THE FIELD-GLUED FLOOR SYSTEM SHALL BE INSTALLED ACCORDING TO THE RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION. GLUE SHALL BE APPLIED TO THE JOISTS AND TO THE GROOVES IN THE EDGES OF THE T&G PANELS. GLUE SHALL MEET THE REQUIREMENTS OF THE APA ADHESIVE SPECIFICATIONS AFG-01 AND SHALL BE APPLIED AS DIRECTED BY THE GLUE MANUFACTURER. GLUE MAY BE APPLIED MANUALLY OR WITH PNEUMATIC OR ELECTRIC EQUIPMENT.

WALL SHEATHING - BLOCK ALL UNSUPPORTED EDGES OF PLYWOOD SHEATHING.

TYPICAL NAILING SHALL BE 10d @ 6"oc AT EDGES AND 10d @ 12"oc AT INTERMEDIATE SUPPORTS UON. WHERE PLYWOOD SHEATHING IS USED ON SHEAR WALLS, SEE PLANS FOR NAILING.

4" EDGES FOR SHEARWALLS SURROUNDING SLIDING DOOR ENTRANCE

EPOXIED RODS AND DOWELS

USE SIMPSON "SET-XP" EPOXY (ICC ESR-2508) OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

PREFABRICATED JOISTS AND BEAMS

JOISTS SHALL BE AS MANUFACTURED BY TRUS JOIST, OF SIZE, GRADE AND SPACING AS NOTED ON THE PLANS. ANY ALTERNATE JOIST MANUFACTURER MUST EQUAL OR EXCEED THE SHEAR, BENDING, BEARING AND DEFLECTION CAPACITIES OF THE SPECIFIC TRUS JOIST PRODUCT IN ORDER TO BE CONSIDERED AS AN "EQUAL" PRODUCT. IF USING AN EQUIVALENT, SUBMIT TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. THE JOIST MANUFACTURER SHALL BE RESPONSIBLE TO SIZE AND PROVIDE ALL BLOCKING, BRIDGING, WEB BLOCKS, ETC NECESSARY FOR PROPER INSTALLATION OF THE JOIST ASSEMBLY. PROVIDE WEB STIFFENERS ON EACH SIDE AT ALL BEARING POINTS.

JOISTS SHALL BE DESIGNED FOR THE FOLLOWING MINIMUM LOADS:

DL = 28 psf (INCLUDES 5 psf PARTITION LOAD)

LL = 40 psf (UNITS)

LL = 100 psf (CORRIDORS, LOBBIES & EXITS)

SHOP DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS AND CALCULATIONS SHALL BE STAMPED BY A LICENSED CALIFORNIA CIVIL ENGINEER.

LAMINATED STRAND LUMBER - LSL: LSL SHALL BE TIMBERSTRAND AS MANUFACTURED BY TRUS JOIST OR APPROVED EQUAL.  
Fv = 285 psi, Fb = 2250 psi, E = 1,500,000 psi.

LAMINATED VENEER LUMBER - LVL: LVL SHALL BE MICROLAM AS MANUFACTURED BY TRUS JOIST OR APPROVED EQUAL.  
Fv = 285 psi, Fb = 2600 psi, E = 1,400,000 psi.

PARALLEL STRAND LUMBER - PSL: PSL SHALL BE PARALLAM PLUS PSL AS MANUFACTURED BY MEYERHAUSER OR APPROVED EQUAL.  
Fv = 191 psi, Fb = 1870 psi, E = 1,460,000 psi.

DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM ALL WORK IN SUCH A MANNER AS TO PROTECT EXISTING AND ADJACENT STRUCTURE AND BE RESPONSIBLE TO PROPERLY REPAIR ANY DAMAGE WHICH OCCUR AS A RESULT OF HIS WORK.
- CEASE OPERATIONS AND NOTIFY OWNER AND ENGINEER IMMEDIATELY IF SAFETY OR INTEGRITY OF STRUCTURE APPEARS TO BE ENDANGERED. PROPERLY BRACE AND SUPPORT STRUCTURES BEFORE RESUMING OPERATIONS.
- DO NOT CUT OR ALTER ANY STRUCTURAL MEMBERS WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER UNLESS INDICATED IN THE DRAWINGS.
- FOR ALL (E) WALL WHERE (N) FOOTING AND POST IS REQ'D, DEMO (E) WALL ONLY WHERE (N) CONSTRUCTION WILL OCCUR. PROVIDE TEMPORARY SUPPORT ON REMAINING WALL, IF REQUIRED.
- FOR OTHER RELATED NOTES, SEE NOTES 52.1, 52.2, 52.3 & 52.4.

IV. QUALITY CONTROL

TESTING, SPECIAL INSPECTIONS, AND STRUCTURAL OBSERVATIONS:

THE FOLLOWING WORK IS REQUIRED IF MARKED TO BE TESTED, SPECIAL INSPECTED, OR STRUCTURALLY OBSERVED. PER CBC CHAPTER 17 REQUIREMENTS. TESTING AND OBSERVATIONS SHALL BE MADE IN ACCORDANCE WITH THE CURRENT CODE BY AN APPROVED SPECIAL TESTING LAB, SPECIAL INSPECTOR, AND/OR BY THE ENGINEER OF RECORD OR AN ENGINEER RETAINED BY THE OWNER. A SPECIAL INSPECTION REPORT SHALL BE SIGNED AND SUBMITTED TO THE GOVERNING AGENCY.

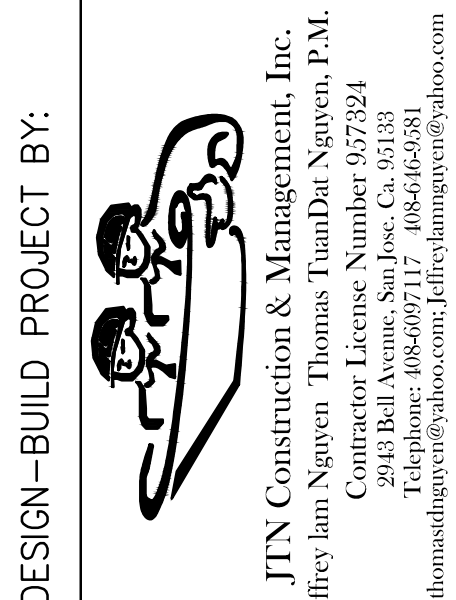
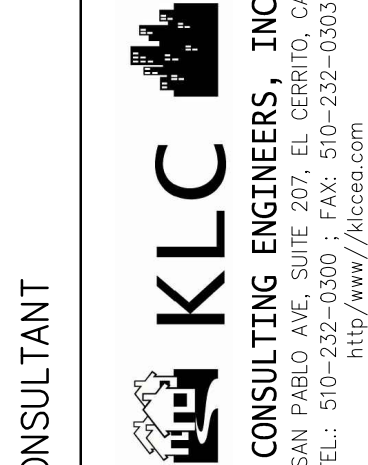
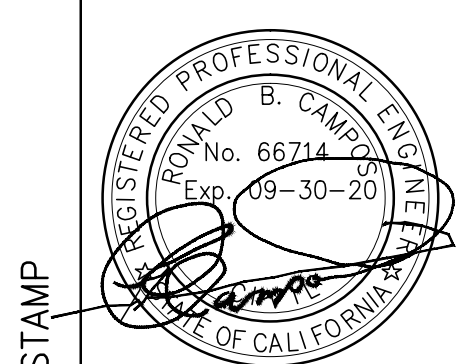
ACTIVITY	SPECIAL INSPECTIONS	
	PERIODIC-ENGINEERS OBSERVATION	CONTINUOUS
PLYWOOD SHEAR WALL NAILING AND HARDWARE FOR EDGE NAILING SPACED 4" OR LESS ON CENTER	(1) X	
PLACEMENT OF FOUNDATION REBAR AND SEISMIC HARDWARE PRIOR TO POURING CONCRETE	(1) X	
EPOXY THREADED ROD INSTALLATION FOR (N) HOLDDOWNS AT (E) CONCRETE		(1) X

FOOTNOTES:

(1) ENGINEERING OBSERVATION AND PERIODIC SPECIAL INSPECTIONS MAY BE DONE BY KLC CONSULTING ENGINEERS, INC. PLEASE CONTACT MINIMUM 48 HOURS PRIOR TO REQUIRED INSPECTION. THE INSPECTOR SHALL INSPECT AND PROVIDE A LETTER OF CONFORMANCE TO THE APPROVED SET OF CONSTRUCTION DOCUMENTS PRIOR TO POURING CONCRETE OR FINAL FRAMING INSPECTION.

ABBREVIATIONS

AB	ANCHOR BOLT	JT	JOINT
ADDL	ADDITIONAL	KD	KILN DRIED
ADJ	ADJACENT	LB	LAG BOLT
AITC	AMERICAN INSTITUTE OF TIMBER CONSTRUCTION	LLH	LONG LEG HORIZONTAL
ALT	ALTERNATE	LLV	LONG LEG VERTICAL
APA	AMERICAN PLYWOOD ASSOC	LSL	LAMINATED STRAND LUMBER
ARCH	ARCHITECTURAL	LVL	LAMINATED VENEER LUMBER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MAX	MAXIMUM
AWIS	AMERICAN WELDING SOCIETY	MB	MACHINE BOLT
BLDG	BUILDING	MECH	MECHANICAL
BLKG	BLOCKING	MFR	MANUFACTURER
BM	BEAM	MI	MALLEABLE IRON
BN	BOUNDARY NAILING	MIN	MINIMUM
BOF	BOTTOM OF FOOTING	(N)	NEW
BOTT	BOTTOM	NIC	NOT IN CONTRACT
BTWN	BETWEEN	NS	NEAR SIDE
CANT	CANTILEVER	NSG	NON-SHRINK GROUT
CB	CONCRETE BLOCK	NTS	NOT TO SCALE
CBC	CALIFORNIA BUILDING CODE	O/	OVER
CJ	CONTROL JOINT	OC	ON CENTER
CLS	CEILING	OD	OUTSIDE DIAMETER
CLR	CLEAR	OH	OPPOSITE HAND
COL	COLUMN	OPNG	OPENING
CONC	CONCRETE	PFT	PREFABRICATED TRUSS
COND	CONDITION	PLY	PLYWOOD
CONN	CONNECTION	PSL	PARALLEL STRAND LUMBER
CONT	CONTINUOUS	PT	PRESSURE TREATED
CP	COMPLETE PENETRATION REQUIRED	PTCS	POST TENSIONED CONC SLAB
CSK	COUNTERSINK	REINF	REINFORCING
CT	COLLECTOR TRUSS	REQ'D	REQUIRED
DBL	DOUBLE	RJ	ROOF JOIST
DF	DOUGLAS FIR	SAD	SEE ARCHITECTURAL DRAWINGS
DIA	DIAMETER	SB	SOLID BLOCKING
DO	DITTO	SCHED	SCHEDULE
DTL	DETAIL	SED	SEE ELECTRICAL DRAWINGS
DWG	DRAWING	SIM	SIMILAR
(E)	EXISTING	SHT	SHEET
EA	EACH	SMD	SEE MECHANICAL DRAWINGS
EF	EACH FACE	SOG	SLAB ON GRADE
EJ	EXPANSION JOINT	SP	SUBPURLIN
EMB	EMBEDMENT	STAGG	STAGGERED
EN	EDGE NAIL	STD	STANDARD
EQ	EQUAL	STIFF	STIFFENER
ES	EACH SIDE	STRUCT	STRUCTURAL
ESC	EDGE SCREW	SW	SHEAR WALL
ETC	ETCETERA	SYM	SYMMETRICAL
EW	EACH WAY	T&B	TOP AND BOTTOM
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
FDN	FOUNDATION	TBR	TO BE REMOVED
FF	FLUSH FRAME	TD	TIEDOWN
FIN	FINISH	TN	TOE NAIL
FJ	FLOOR JOIST	TO	TOP OF
FLR	FLOOR	TS	TUBE STEEL
FN	FIELD NAIL	TYP	TYPICAL
FO	FACE OF	UBC	UNIFORM BUILDING CODE
FS	FAR SIDE	UON	UNLESS OTHERWISE NOTED
FSC	FIELD SCREW	VERT	VERTICAL
FTG	FOOTING	VIF	VERIFY IN FIELD
GA	GAGE	W/	WITH
GALV	GALVANIZED	W/O	WITHOUT
GB	GRADE BEAM	WF	WIDE FLANGE
GL	GLUE-LAMINATED BEAM	WP	WORKING POINT
GT	GIRDER TRUSS	WT	WEIGHT
HDR	HEADER	XS	EXTRA STRONG
HGR	HANGER	XXS	DOUBLE EXTRA STRONG
HORIZ	HORIZONTAL	&	AND
HSB	HIGH-STRENGTH BOLT, ASTM A325	@	AT
HT	HEIGHT	C	CENTERLINE
ICC	INTERNATIONAL CODE COUNCIL	d	DIAMETER
ID	INSIDE DIAMETER	%	PERCENT
INT	INTERIOR	PL	PLATE



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Lisa Gao & Stephanie Yi  
898 E. EVELYN AVE  
SUNNYVALE, CALIFORNIA 94086

DRAWN: MTC

CHECKED: RBC

SCALE:

DATE: 08/17/2018

GENERAL NOTES

PROJ. NO. 18-664

REVISIONS:

FOR PLANNING 08/17/2018

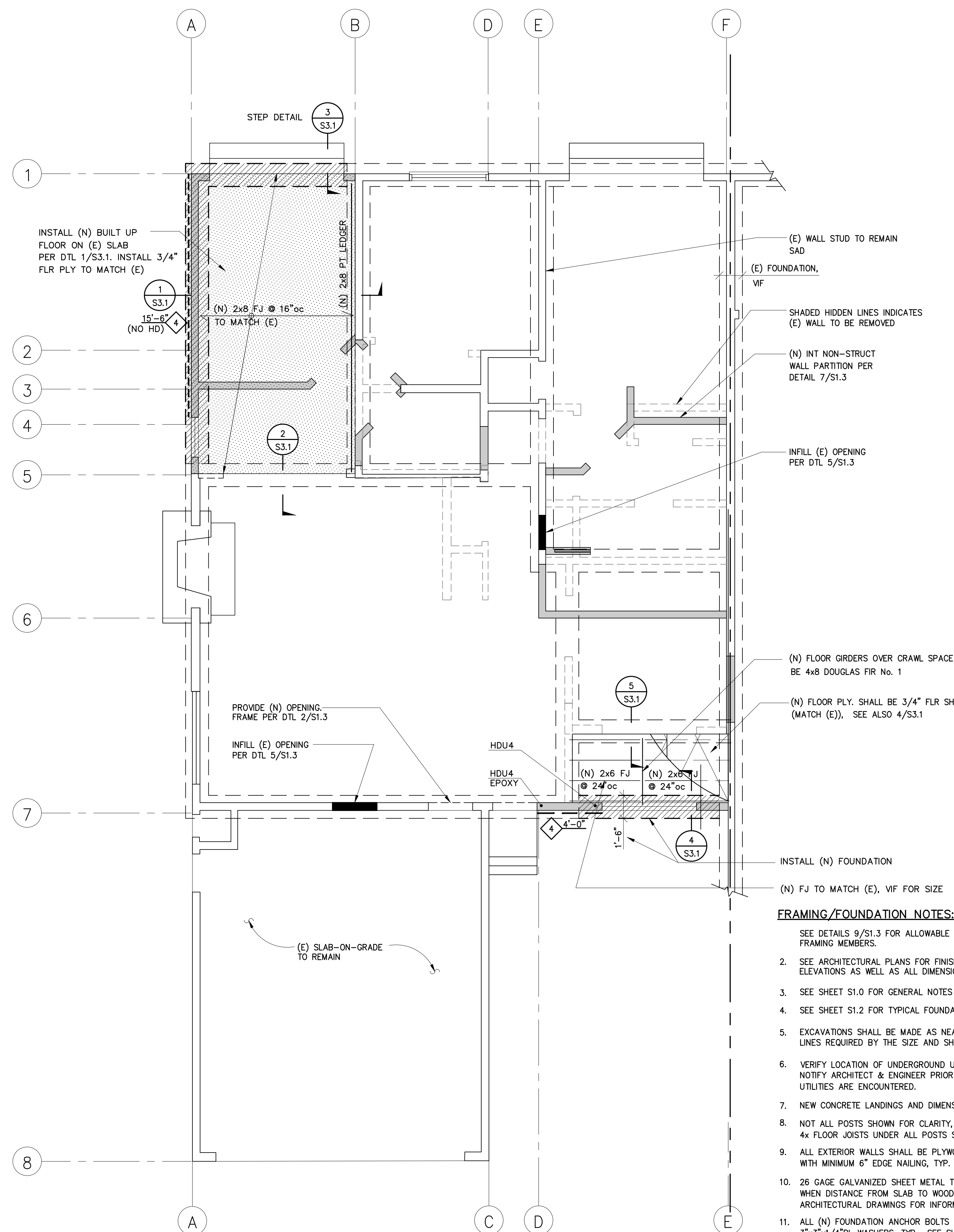
FOR PLANNING RESUBMIT 10/18/2018

FOR PLANNING RESUBMIT 12/12/2018

FOR PLANNING RESUBMIT 01/17/2019

SHEET NO:

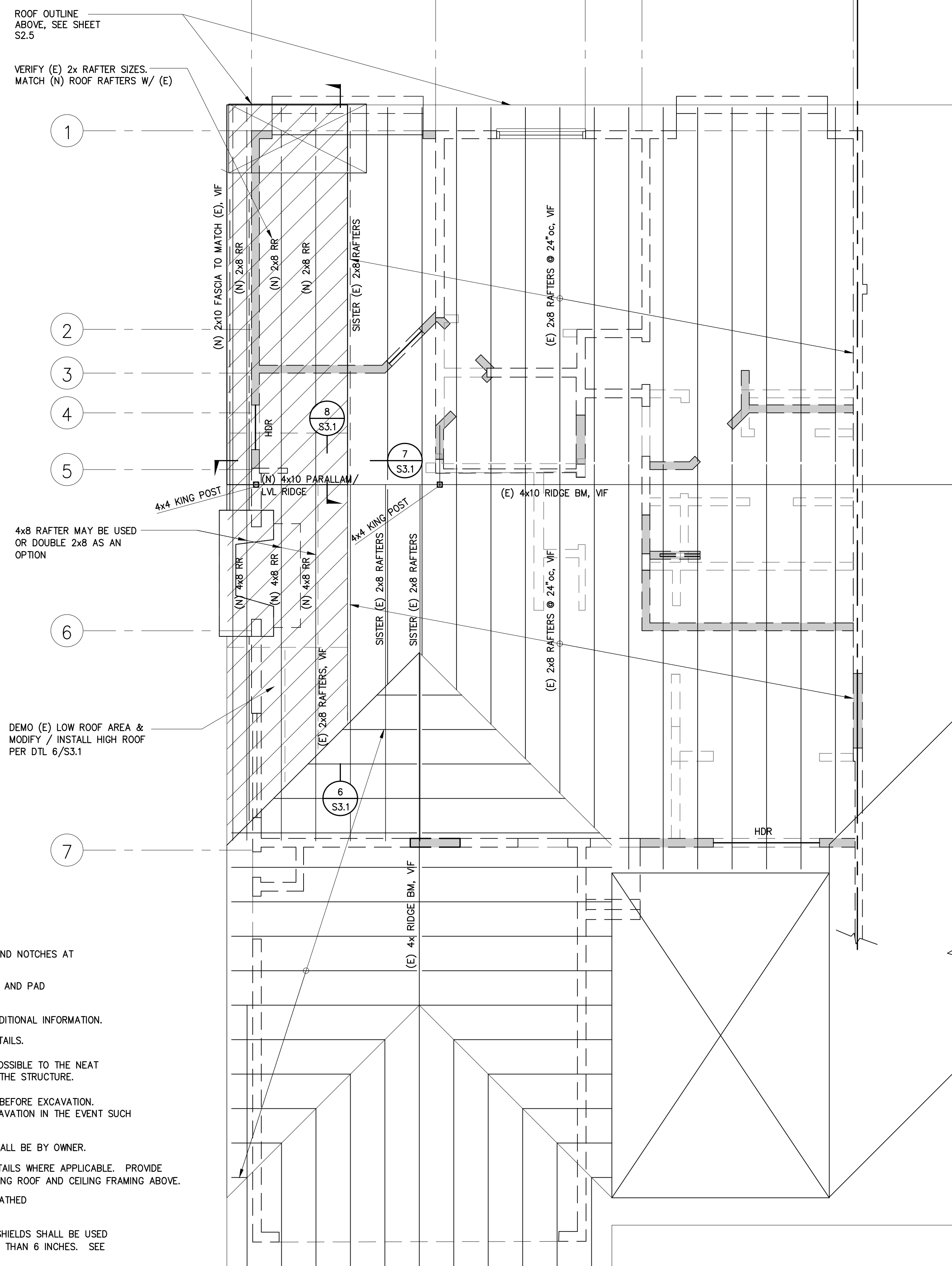




FOUNDATION PLAN / FLOOR FRAMING PLAN

NOTE: 1. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS

SCALE: 1/4"=1'-0" NORTH



## ROOF FRAMING PLAN

NOTE: 1. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS

SCALE: 1/4"=1'-0"



NORTH

STAMP



CONSULTANT

DESIGN-BUILD PROJECT BY:

PROJECT &amp; OWNER (S):

898 & 896 E. EVELYN AV.

Lisa Gao & Stephanie Yi

398 E EVELYN AVE  
SUNNYVALE, CALIFORNIA 94086

DRAWN:

MTC

CHECKED

RBC

SCALE:

DATE: 08/17/2018

SHEET TITLE:

## FOUNDATION, FLOOR, & ROOF FRAMING PLANS

PROJ. NO.	18-664
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REVISIONS:

FOR PLANNING	08/17/2018
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FOR PLANNING RESUBMIT	10/18/2018
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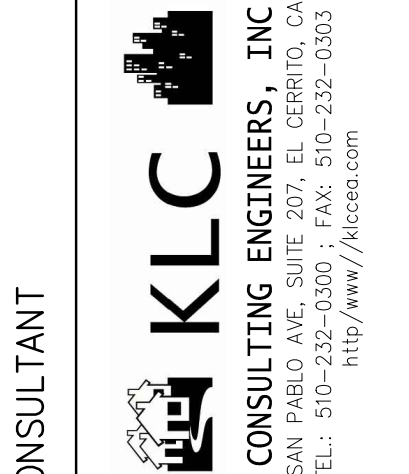
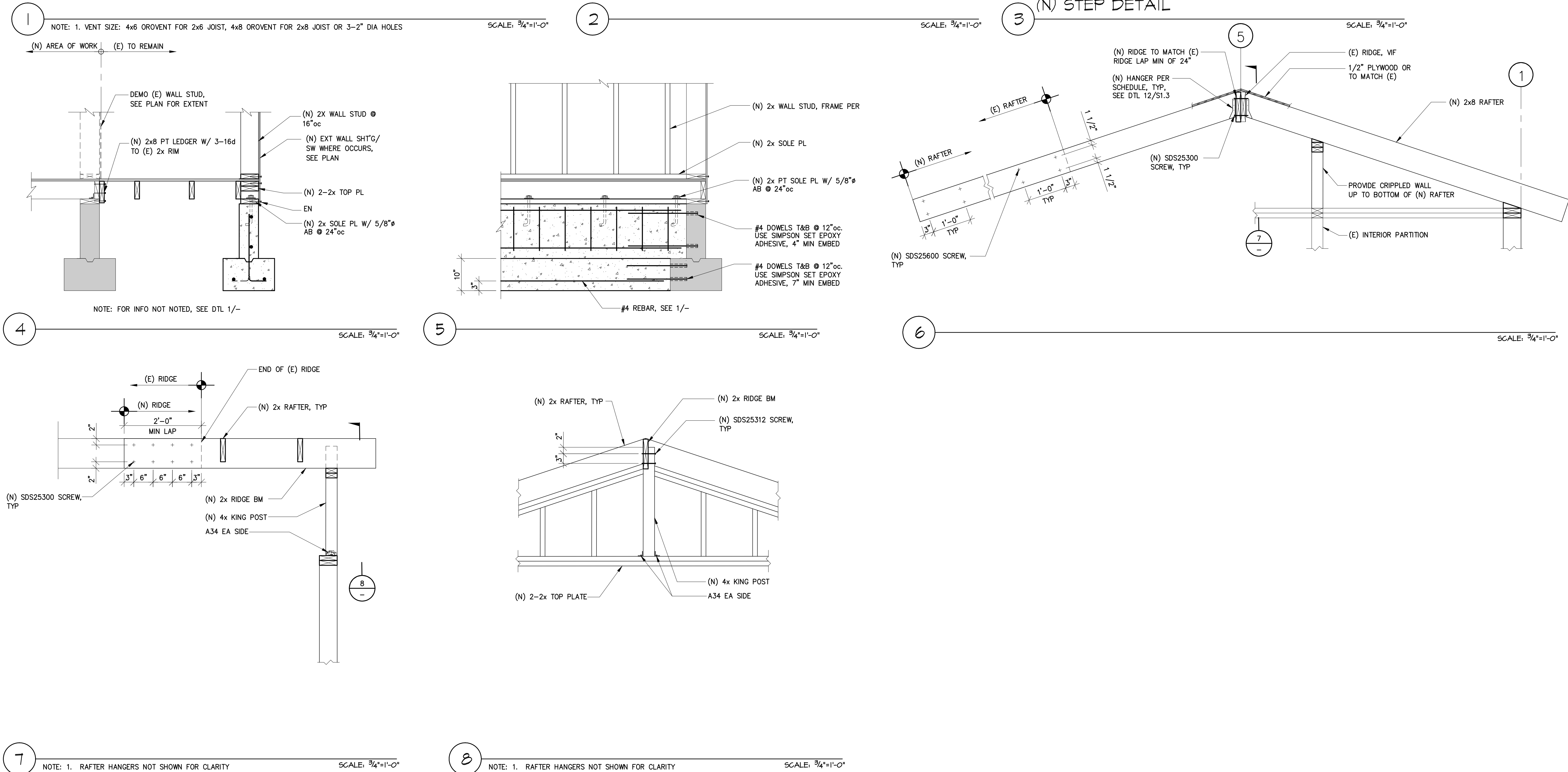
FOR PLANNING RESUBMIT	12/12/2018
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FOR PLANNING RESUBMIT	01/17/2019
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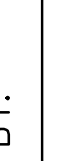
SHEET NO:

## S2.1





DESIGN-BUILD PROJECT BY:



JTN Construction & Management, Inc.  
Thị trấn Nguyễn Văn Trỗi, Quận 10, TP. HCM  
Thị trấn Nguyễn Văn Trỗi, Quận 10, TP. HCM  
Contractor License Number 357324  
2943 Bell Avenue, San Jose, CA 95131  
Tel: 408-261-1881

PROJECT & OWNER (S):	898 & 896 E. EVELYN AV.
	Lisa Gao & Stephanie Yi 898 E EVELYN AVE

DRAWN: MTC

CHECKED: RBC

SCALE:

DATE: 08/17/2018

SHEET TITLE:

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FOUNDATION  
DETAILS

PROJ. NO. 18-664

REVISIONS:

OR PLANNING 08/17/2017

FOR PLANNING  
RESUBMIT 10/18/20

FOR PLANNING	12/12/20
RESUBMIT	

FOR PLANNING	01/17/20
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SHEET NO:

### S3.1



GENERAL NOTES

1.

NOT ALL OF THE SYMBOLS ARE NECESSARILY USED ON THIS PROJECT.
2.

ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH THE OWNER TO DETERMINE THE FINAL LOCATIONS FOR RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY,DATA LINES, ETC.
3.

PLUMBING LINES UTILIZED AS GROUNDS ARE PROHIBITED.
4.

SMOKE DETECTORS SHALL BE INSTALLED PER U.B.C. SECTION 310.9.1.3 AND 310.9.1.4; EACH NEW OR EXISTING BEDROOM SHALL BE SERVED BY A SMOKE DETECTOR; IN NEW CONSTRUCTION EACH SMOKE DETECTOR SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS WITH HOUSE WIRING AS THE PRIMARY POWER SOURCE WITH BATTERY BACK-UP.; IN REMODELS EACH SMOKE DETECTOR MAY BE POWERED BY BATTERY ONLY. SMOKE DETECTORS SHALL SOUND AN AUDIBLE ALARM IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.
5.

IF A FIRE ALARM SYSTEM IS INTEGRATED INTO A SECURITY SYSTEM, THE FIRE ALARM SYSTEM DRAWINGS MUST BE SUBMITTED TO THE LOCAL FIRE JURISDICTION FOR APPROVAL PRIOR TO INSTALLATION.
6.

ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK ACTING VALVES ARE INSTALLED SHALL BE PROVIDED WITH DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM QUICK CLOSING THESE VALVES (TYPICALLY THIS DEVISE MAY BE INSTALLED FOR CLOTH WASHER OR DISH).
7.

(IF NEW) W.H. SHALL BE 'A.O.SMITH' OR EQUAL AND FURNACE SHALL BE 'BRAYANT' OR EQUAL-T.B.D. BY OWNER.
8.

ALL (N) WINDOWS TO HAVE AVERAGE 'U' VALUE OF .51
9.

ALL LIGHTS IN BATHROOM SHALL BE HIGH EFFICACY LUMINAIRES.
10.

ALL RECESSED LIGHT FIXTURES TO HAVE IC RATED ELECTRONIC BALLAST AND SHALL BE AIR-TIGHT.
11.

MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEM ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
12.

DEDICATED 20AMP CIRCUIT @ ALL BATHROOMS.
13.

LIGHTING FIXTURES SHALL BE OF DECORATIVE DESIGN TO BE COMPATIBLE WITH THE RESIDENTIAL DEVELOPMENT AND SHALL INCORPORATE ENERGY SAVING FEATURES.

LIGHTING NOTES:

LIGHTING CONTROLS AND COMPONENTS. ALL LIGHTING CONTROL DEVICES AND SYSTEMS, BALLASTS, AND LUMINAIRES MUST MEET THE APPLICABLE REQUIREMENTS OF § 110.9.\*

§ 110.9(E): JAB HIGH EFFICACY LIGHT SOURCES. TO QUALIFY AS A JAB HIGH EFFICACY LIGHT SOURCE FOR COMPLIANCE WITH § 150.0(K), A RESIDENTIAL LIGHT SOURCE MUST BE CERTIFIED TO THE ENERGY COMMISSION ACCORDING TO REFERENCE JOINT APPENDIX JAB.

§ 150.0(K)1A: LUMINAIRE EFFICACY. ALL INSTALLED LUMINAIRES MUST BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.

§ 150.0(K)1B-BLANK ELECTRICAL BOXES. THE NUMBER OF ELECTRICAL BOXES THAT ARE MORE THAN 5 FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE MUST BE NO GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL.

§ 150.0(K)1C:RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS. LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; AIR LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN § 150.0(K)1C. A JAB-2016-E LIGHT SOURCE RATED FOR ELEVATED TEMPERATURE MUST BE INSTALLED BY FINAL INSPECTION IN ALL RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS.

§ 150.0(K)1D: ELECTRONIC BALLASTS. BALLASTS FOR FLUORESCENT LAMPS RATED 13 WATTS OR GREATER MUST BE ELECTRONIC AND MUST HAVE AN OUTPUT FREQUENCY NO LESS THAN 20 KHZ.

§ 150.0(K)1E:NIGHT LIGHTS. PERMANENTLY INSTALLED NIGHT LIGHTS AND NIGHT LIGHTS INTEGRAL TO INSTALLED LUMINAIRES OR EXHAUST FANS MUST BE RATED TO CONSUME NO MORE THAN 5 WATTS OF POWER PER LUMINAIRE OR EXHAUST FAN AS DETERMINED IN ACCORDANCE WITH § 130.0(C). NIGHT LIGHTS DO NOT NEED TO BE CONTROLLED BY VACANCY SENSORS.

§ 150.0(K)1F: LIGHTING INTEGRAL TO EXHAUST FANS. LIGHTING INTEGRAL TO EXHAUST FANS (EXCEPT WHEN INSTALLED BY THE MANUFACTURER IN KITCHEN EXHAUST HOODS)MUST MEET THE APPLICABLE REQUIREMENTS OF § 150.0(K).\*

§ 150.0(K)1G:SCREW BASED LUMINAIRES. SCREW BASED LUMINAIRES MUST NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS AND MUST CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JAB. INSTALLED LAMPS MUST BE

MARKED WITH "JAB-2016" OR "JAB-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JAB.\*

§ 150.0(K)1H: ENCLOSED LUMINAIRES. LIGHT SOURCES INSTALLED IN ENCLOSED LUMINAIRES MUST BE JAB COMPLIANT AND MUST BE MARKED WITH "JAB-2016-E."

§ 150.0(K)2A: INTERIOR SWITCHES AND CONTROLS. ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES MUST COMPLY WITH NEMA SSL 7A.

§ 150.0(K)2B: INTERIOR SWITCHES AND CONTROLS. EXHAUST FANS MUST BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS.\*

§ 150.0(K)2C: INTERIOR SWITCHES AND CONTROLS. LUMINAIRES MUST BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.

§ 150.0(K)2D: INTERIOR SWITCHES AND CONTROLS. CONTROLS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

§ 150.0(K)2E: INTERIOR SWITCHES AND CONTROLS. NO CONTROL MUST BYPASS A DIMMER OR VACANCY SENSOR FUNCTION IF THE CONTROL IS INSTALLED TO COMPLY WITH § 150.0(K).

§ 150.0(K)2F: INTERIOR SWITCHES AND CONTROLS. LIGHTING CONTROLS MUST COMPLY WITH THE APPLICABLE REQUIREMENTS OF § 110.9.

§ 150.0(K)2G:INTERIOR SWITCHES AND CONTROLS. AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IF IT:

FUNCTIONS AS A DIMMER ACCORDING TO § 110.9; MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS OF § 130.4; MEETS THE EMCS REQUIREMENTS OF §130.5(F); AND MEETS ALL OTHER REQUIREMENTS IN § 150.0(K)2.

§ 150.0(K)2H:INTERIOR SWITCHES AND CONTROLS. AN EMCS MAY BE USED TO COMPLY WITH VACANCY SENSOR REQUIREMENTS IN § 150.0(K) IF IT MEETS ALL OF THE FOLLOWING: IT FUNCTIONS AS A VACANCY SENSOR ACCORDING TO § 110.9; THE INSTALLATION CERTIFICATE REQUIREMENTS OF § 130.4; THE EMCS REQUIREMENTS OF § 130.5(F); AND ALL OTHER REQUIREMENTS IN § 150.0(K)2.

§ 150.0(K)2I: INTERIOR SWITCHES AND CONTROLS. A MULTISCENE PROGRAMMABLE CONTROLLER MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN § 150.0(K) IF ITPROVIDES THE FUNCTIONALITY OF A DIMMER ACCORDING TO § 110.9, AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN §

150.0(K)2.

2016 LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY

§ 150.0(K)2.i:INTERIOR SWITCHES AND CONTROLS. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR.

§ 150.0(K)2k:INTERIOR SWITCHES AND CONTROLS. DIMMERS OR VACANCY SENSORS MUST CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JAB, EXCEPT LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET AND LUMINAIRES IN HALLWAYS.\*

§ 150.0(K)2L: INTERIOR SWITCHES AND CONTROLS. UNDERCABINET LIGHTING MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

§ 150.0(K)3A:RESIDENTIAL OUTDOOR LIGHTING. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING, OR TO OTHER BUILDINGS ON THE SAME LOT, MUST MEET THE REQUIREMENT IN ITEM § 150.0(K)3AI (ON AND OFF SWITCH) AND THE REQUIREMENTS IN EITHER ITEM § 150.0(K)3AII (PHOTOCELL AND MOTION SENSOR) OR ITEM § 150.0(K)3AIII (PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR EMCS).

§ 150.0(K)3B:RESIDENTIAL OUTDOOR LIGHTING. FOR LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING FOR PRIVATE PATIOS, ENTRANCES, BALCONIES, AND PORCHES; AND OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH LESS THAN EIGHT VEHICLES PER SITE MUST COMPLY WITH EITHER § 150.0(K)3A OR WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.2, 130.4, 140.7 AND 141.0.

§ 150.0(K)3C: RESIDENTIAL OUTDOOR LIGHTING. FOR LOW-RISE RESIDENTIAL BUILDINGS WITH FOUR OR MORE DWELLING UNITS, OUTDOOR LIGHTING NOT REGULATED BY § 150.0(K)3B OR § 150.0(K)3D MUST COMPLY WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.2, 130.4, 140.7 AND 141.0.

§ 150.0(K)3D: RESIDENTIAL OUTDOOR LIGHTING. OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH A TOTAL OF EIGHT OR MORE VEHICLES PER SITE MUST COMPLY WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.2, 130.4, 140.7, AND 141.0.

§ 150.0(K)4: INTERNALLY ILLUMINATED ADDRESS

SIGNS. INTERNALLY ILLUMINATED ADDRESS SIGNS MUST COMPLY WITH § 140.8; OR MUST CONSUME NO MORE THAN 5 WATTS OF POWER AS DETERMINED ACCORDING TO § 130.0(C).

§ 150.0(K)5:RESIDENTIAL GARAGES FOR EIGHT OR MORE VEHICLES. LIGHTING FOR RESIDENTIAL PARKING GARAGES FOR EIGHT OR MORE VEHICLES MUST COMPLY WITH THE APPLICABLE REQUIREMENTS FOR NONRESIDENTIAL GARAGES IN §§ 110.9, 130.0, 130.1, 130.4, 140.6, AND 141.0.

§ 150.0(K)6A:INTERIOR COMMON AREAS OF LOW-RISE MULTI-FAMILY RESIDENTIAL BUILDINGS. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS 20 PERCENT OR LESS OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING FOR THE INTERIOR COMMON AREAS IN THAT BUILDING MUST BE HIGH EFFICACY LUMINAIRES AND CONTROLLED BY AN OCCUPANT SENSOR.

§ 150.0(K)6B:INTERIOR COMMON AREAS OF LOW-RISE MULTI-FAMILY RESIDENTIAL BUILDINGS. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR

COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20 PERCENT OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING IN THAT BUILDING MUST:

I. COMPLY WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.1, 140.6 AND 141.0; AND

II. LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS MUST BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50 PERCENT. THE OCCUPANT SENSORS MUST BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS.

ELECTRICAL NOTES:

1.

CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT, AND PROVIDE ALL LABOR REQUIRED TO PROVIDE A COMPLETE INSTALLATION READY FOR OPERATION.
2.

ALL MATERIALS SHALL BE NEW AND CONFORM TO REQUIREMENTS OF UNDERWRITERS LABORATORIES (U.L.).
3.

UNLESS NOTED OTHERWISE, HEIGHT OF OUTLETS AND SWITCHES WILL BE AS FOLLOWS:  
A. OUTLETS 12" ABOVE FINISH FLOOR.  
B. SWITCHES: 48" ABOVE FINISH FLOOR.  
C. OUTLETS FOR APPLIANCES AND EQUIPMENT SHALL BE LOCATED AS RECOMMENDED BY MANUFACTURER. COORDINATE OUTLET AND SWITCH LOCATIONS WITH OTHER TRADES.
4.

ALL OUTLETS AND SWITCHES ABOVE AND BELOW COUNTERS SHALL BE MOUNTED HORIZONTALLY.
5.

CONTRACTOR SHALL VERIFY POWER REQUIREMENTS OF ALL APPLIANCES SHOWN AND PROVIDE OUTLETS AND/OR CONNECTIONS AS RECOMMENDED BY MANUFACTURERS.
6.

CONTRACTOR SHALL PROVIDE POWER FOR ALL MECHANICAL EQUIPMENT, INCLUDING THERMOSTATS.
7.

PROVIDE A MINIMUM OF 2 SEPARATE 20-AMP SMALL APPLIANCE BRANCH CIRCUITS SERVING KITCHEN COUNTER OUTLETS PER NEC ARTICLE 210-52 (B). THE REQUIRED TWO SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS (NOTE THEY CANNOT SERVE THE DINING ROOM, OUTSIDE PLUGS, RANGE HOODS, DISPOSALS, DISHWASHERS, OR MICROWAVES- ONLY THE REQUIRED COUNTERTOP/WALL OUTLETS INCLUDING THE REFRIGERATOR.)
8.

ALL BRANCH CIRCUITS THAT SUPPLY 120V SINGLE PHASE, 15- AND 20- AMP OUTLETS INSTALLED IN BEDROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS MUST BE ARC-FAULT INTERRUPTER (AFCI) PROTECTED BY A LISTED DEVICE THAT PROTECTS THE ENTIRE BRANCH CIRCUIT AND LISTED AS A TAMPER RESISTANT RECEPTACLE.
9.

PROVIDE CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND FOUR-PRONG OUTLET FOR ALL DRYERS AND COOKING UNITS PER NEC ARTICLE 210-60.
10.

A DEDICATED 30 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET.
11.

PROVIDE A DEDICATED 20 AMP CIRCUIT TO SERVE EACH OF THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. PER NEC ARTICLE 210-52. ALL BEDROOMS SHALL HAVE AFCI PROTECTION AT MAIN OR SUB-PANEL.
12.

ALL KITCHENS, BATHROOMS, LAUNDRY ROOMS, GARAGES, AND EXTERIOR OUTLETS SHALL BE GFCI.
13.

ALL CIRCUITS ARE REQUIRED TO BE LABELED AND PROPERLY IDENTIFIED AT THE SUB-PANEL PRIOR TO FINAL PER ART. 200.9.
14.

STAGGER THE ELECTRICAL OUTLETS ON OPPOSITE SIDES OF WALLS BY 24" MIN.
15.

THE ELECTRICAL BOXES IN THE FIRE-RATED WALL SHALL BE TESTED FOR USE IN THE RATED WALL AND INSTALLED PER INSTRUCTIONS INCLUDED IN THE LISTING. THE ANNULAR SPACES SHALL NOT EXCEED  $\frac{1}{8}$ "UNLESS LISTED OTHERWISE. SUCH BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY THE HORIZONTAL DISTANCE PER THE LISTING, SOLID FIRE BLOCKING PER CRC R302.11, LISTED PUTTY PADS OR BY OTHER LISTED MATERIALS AND METHODS. CRC R302.4.2, EXCEPTION 2.
16.

BATHROOMS, LAUNDRY ROOM (IF ANY) , AND UTILITY ROOM MUST HAVE AT LEAST 1 LUMINAIRE CONTROLLED BY VACANCY SENSOR.
17.

OTHER ROOMS OR AREAS LIKE MASTER BEDROOM, MULTI PURPOSE ROOM, AND FOYER SHALL BE HIGH EFFICACY AND CONTROLLED BY EITHER A DIMMER OR VACANCY SENSOR.

18.

ALL RECESSED DOWNLIGHT LUMINAIRES INSTALLED IN CEILINGS SHALL NOT CONTAIN SCREW-BASED SOCKETS AND INSTALLED LAMPS MUST BE MARKED "JAB-2016-E". ALL CEILING RECESSED DOWNLIGHTS AND ENCLOSED LUMINAIRES MUST BE CONTROLLED BY A DIMMER OR VACANCY SENSOR.
19.

OUTDOOR LIGHTING MUST BE HIGH EFFICACY AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND PHOTOCONTROL AND MOTION SENSOR.

SMOKE DETECTORS & CARBON MONOXIDE ALARMS:

1.

SINGLE AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075.
2.

CARBON MONOXIDE ALARMS SHALL RECIEVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED AND SHALL BE EQUIPED WITH A BATTERY BACKUP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
3.

WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE BUILDING.
4.

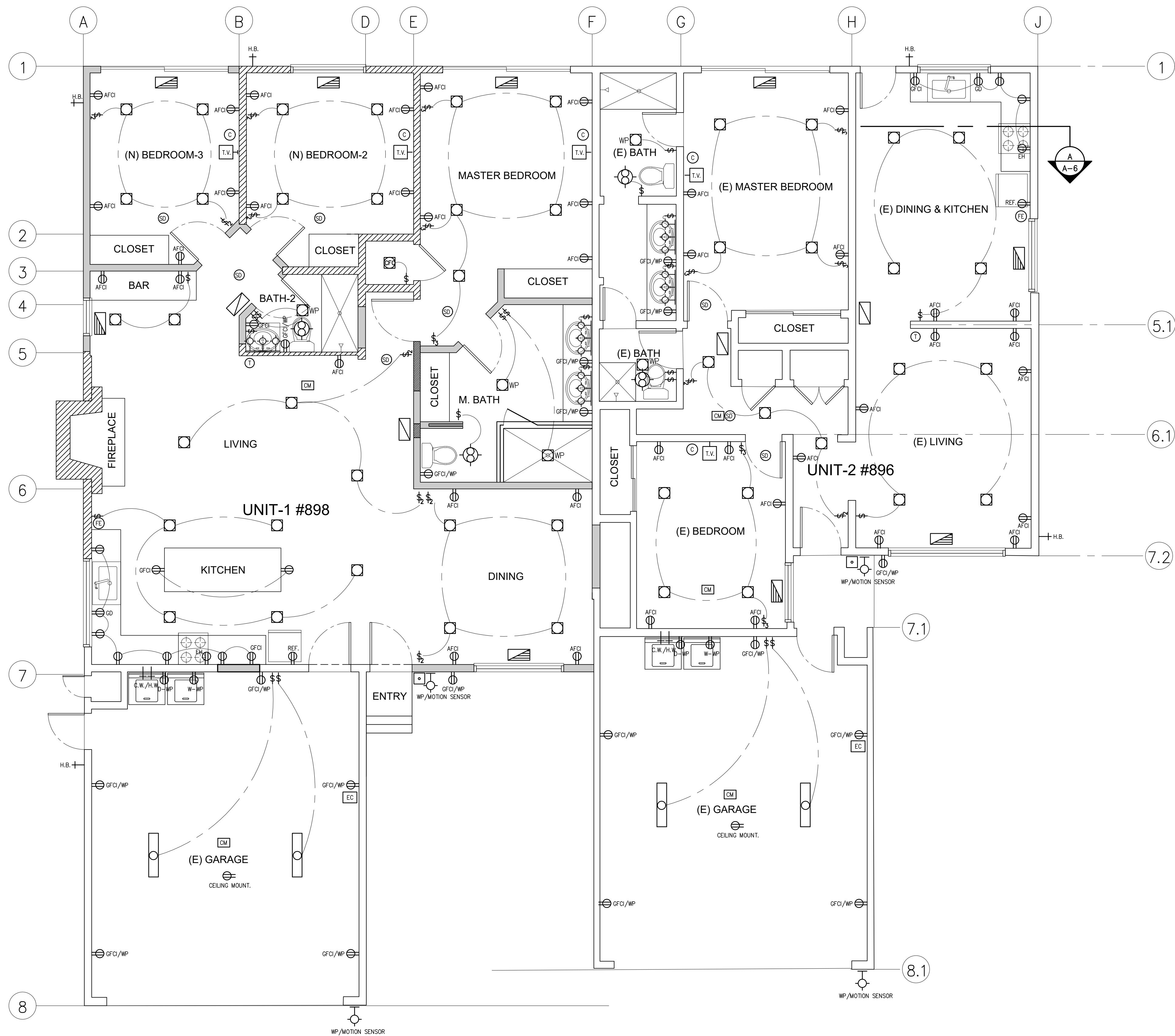
ALL SMOKE DETECTORS SHALL BE HARDWIRED FOR ALL BEDROOMS AND HALLWAYS.
5.

ALL SMOKE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE GOVERNING CRC AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF OF NFPA 72. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CRC, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.
6.

SMOKE DETECTORS SHALL RECIEVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED AND SHALL BE EQUIPED WITH A BATTERY BACKUP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW.
7.

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE BUILDING.





ELECTRICAL/MECHANICAL LEGEND

- RECESSED LIGHT FIXTURE
- MOUNTED COMPACT FLUORESCENT LAMP
- CEILING MOUNTED OR HUNG LIGHT FIXTURE
- WATERPROOF RECESSED LIGHT FIXTURE
- SENSOR ACTIVATED LIGHT FIXTURE
- VANITY 3-LAMP SCONCE
- SURFACE-MOUNTED FLUORESCENT LIGHT
- FLUORESCENT COVE LIGHTING OR UNDER CABINET LIGHTING
- EXTERIOR WALL MOUNTED LIGHT FIXTURE (+ 80" TYP.)
- FLUORESCENT WALL MOUNTED LIGHT FIXTURE
- EXHAUST FAN / LIGHT FIXTURE-TO PROVIDE 5 AIR CHANGES PER HOUR W/BACK-DRAFT DAMPER POINT OF DISCHARGE, MIN. 3' AWAY FROM ANY OPNG.
- ELECTRICAL PANEL
- DOOR BELL / GARAGE DOOR PUSH BUTTON
- HOSE BIBB W/ BACK FLOW VALVE PREVENTION
- COLD WATER/HOT WATER
- THERMOSTAT
- CARBON MONOXIDE ALARMS-BATTERY OPERATED
- SMOKE DETECTOR (WITH BATTERY BACKUP)
- FLOOR REGISTER HEATER
- CEILING REGISTER HEATER
- RETURN AIR
- ELECTRIC CAR CHARGER
- 110V DUPLEX CONVENIENCE OUTLET SURACE MOUNTED
- DUPLEX RECEPTACLE +15" TO < (U.O.N.) WITH ARC FAULT CIRCUIT INTERRUPTER
- DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER
- DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT & WATER PROOF INTERRUPTER
- SINGLE POLE WALL SWITCH +48" (U.O.N.)
- DIMMER WALL SWTCH +48" (U.O.N.)
- TWO-WAY WALL SWITCH +48" (U.O.N.)
- THREE-WAY WALL SWITCH +48" (U.O.N.)
- PHONE OUTLET
- TELEVISION OUTLET (CABLE CONNECTION)
- COMPUTER OUTLET
- FIRE EXTINGUISHER

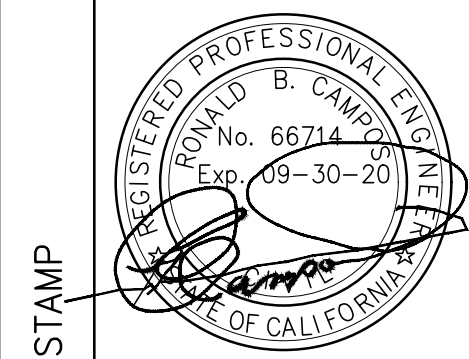
NEW RCP & MEP LAYOUT

0 2 4 8 feet

SCALE: 1/4"=1'-0"



NORTH



CONSULTANT

DESIGN-BUILD PROJECT BY:

PROJECT & OWNER (S):

DRAWN: MTC

CHECKED: RBC

SCALE:

DATE: 08/17/2018

SHEET TITLE:  
MEP/ELECTRICAL  
NOTES, NEW RCP  
& MEP LAYOUT

PROJ. NO. 18-664

REVISIONS:  
FOR PLANNING 08/17/2018  
FOR PLANNING RESUBMIT 10/18/2018  
FOR PLANNING RESUBMIT 12/12/2018  
FOR PLANNING RESUBMIT 01/17/2019

SHEET NO:

E.2

**KLC**  
CONSULTING ENGINEERS, INC.  
11001 SAN PABLO AVE, SUITE 207, EL CERRITO, CA 94530  
TEL: 510-232-0300 ; FAX: 510-232-0303  
http://www.klcei.com

JTN Construction & Management, Inc.  
Jeffrey Ian Nguyen, Thomas Tuan Dai Nguyen, Inc.  
California License No. 95754  
2943 Bell St., Suite 400, San Francisco, CA 94133  
Telephone: 415-6971117 415-646-9381  
thomasdai@jtnconstruction.com; jeffreyn@jtnconstruction.com

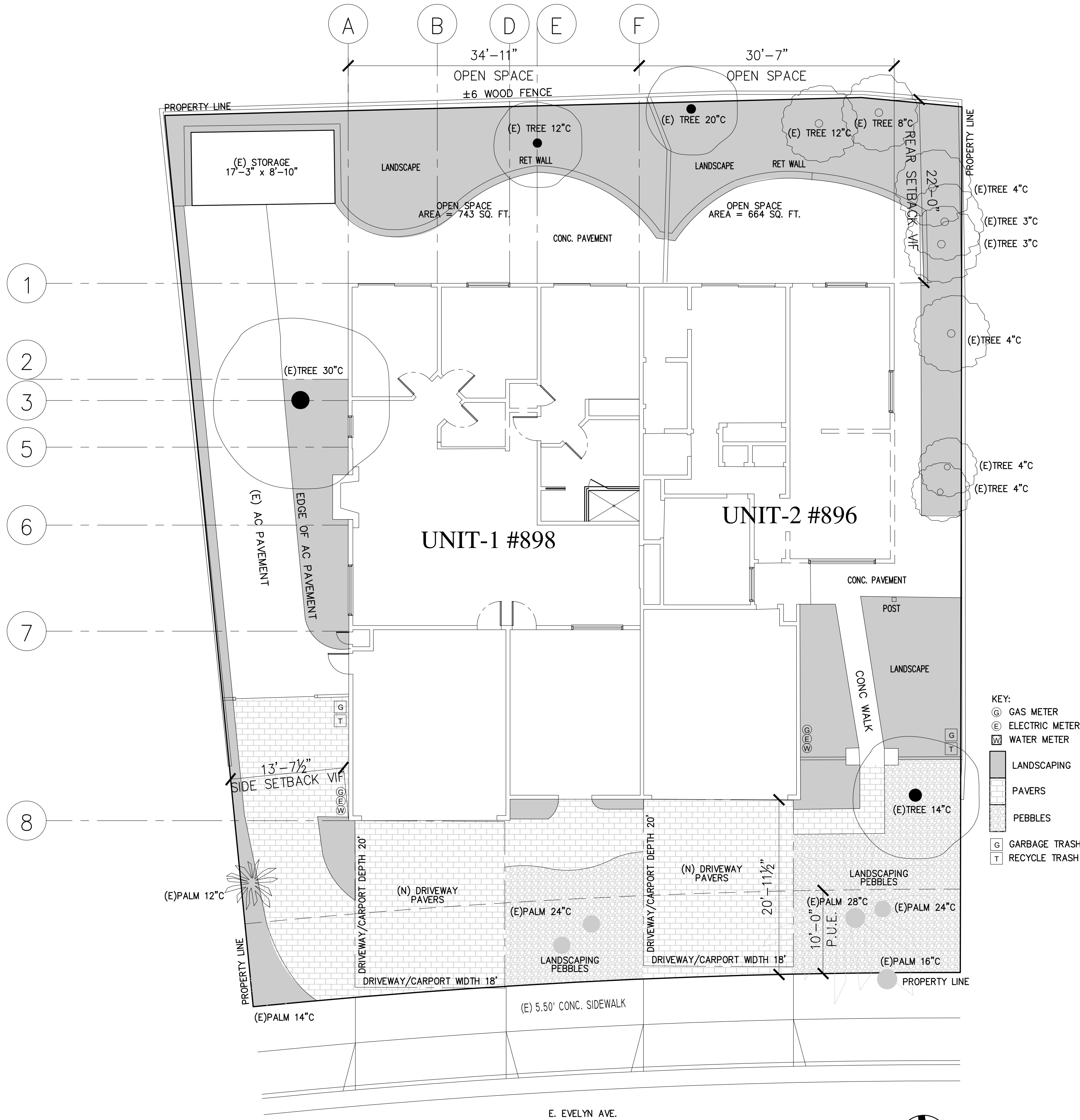
898 & 896 E. EVELYN AV.  
Lisa Gao & Stephanie Yi  
898 E. EVELYN AVE  
SUNNYVALE, CALIFORNIA 94086



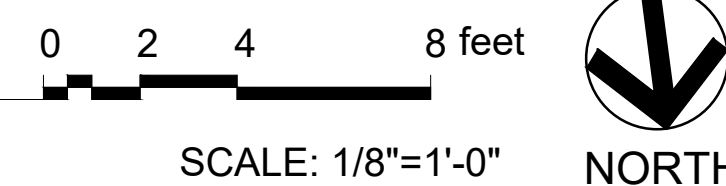
A detailed floor plan of the main building, showing various rooms and corridors. The areas are calculated as follows:

- A = 1,282 SQ. FT. (Main large room)
- B = 192 SQ. FT. (Room on the left side)
- C = 1,296 SQ. FT. (Room on the left side, below B)
- D = 32 SQ. FT. (Small room on the left side)
- E = 235 SQ. FT. (Room at the bottom left)
- F = 13 SQ. FT. (Small room at the bottom center)
- G = 7 SQ. FT. (Small room at the bottom center, next to F)
- H = 415 SQ. FT. (Room at the bottom right)
- I = 147 SQ. FT. (Room on the right side)
- J = 203 SQ. FT. (Room on the right side, above I)

SCALE: 1/16"=1'-0'



LANDSCAPING PLAN







**CALGREEN MANDATORY CHECKLIST  
RESIDENTIAL PROJECTS**

THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2017

Following is a standardized checklist of the 2016 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (chapter 4). This checklist is required for all new buildings and additions/alterations that increase the building's conditioned area. The requirements shall apply only to and/or within the specific area of the addition or alteration.

CALGreen Reference	Description	Designer's Comments with Plan Sheet Reference	City Use Only Field Insp. Verification
4.1 Planning and Design	4.106.2 Storm water drainage and retention during construction. A plan is developed and implemented to manage storm water drainage during construction.		Initials: _____ Date: _____
4.1 Planning and Design	4.106.3 Grading and paving. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows keep water from entering buildings.	Sheet: C.1	Initials: _____ Date: _____
4.1 Planning and Design	4.106.4 EV Charging. Provide capability for electric vehicle charging in one- and two-family dwellings and in townhouses with attached private garages; and 12.5% of total parking spaces, as specified, for multi-family dwellings.	N.A.	Initials: _____ Date: _____
4.2 Energy Efficiency	4.201.1 Scope Building meets or exceeds the requirements of the California Building Energy Efficiency Standards	YES Sheet:	Initials: _____ Date: _____

4.3 Water Efficiency and Conservation	4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4.	D-2	
	4.303.1.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.	N.A.	
	4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.	D-9	
	4.303.1.3 Showerheads. 4.303.1.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a Showerhead.	D-12	Initials: _____ Date: _____
	4.303.1.4 Faucets. 4.303.1.4.1 Residential lavatory faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. 4.303.1.4.2 Lavatory faucets in common and public use areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi. 4.303.1.4.3 Metering faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle. 4.303.1.4.4 Kitchen faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.	N.A.	
4.3 Water Efficiency and Conservation	4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.	H-1	Initials: _____ Date: _____
		Sheet: A.6	

One-Stop Permit Center - City Hall - 456 W. Olive Avenue - (408) 730-7444  
Building and Planning Division staff are available 8:00 a.m. - 12:30p.m. and 1:00pm - 5:00 p.m.  
[www.SunnyvaleBuilding.com](http://www.SunnyvaleBuilding.com) / [www.SunnyvalePlanning.com](http://www.SunnyvalePlanning.com)

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Rev. 12/2016

4.3 Water Efficiency and Conservation	4.304.1 Outdoor potable water use in landscape areas. After December 1, 2015, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following options: 1. A local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWEL0), whichever is more stringent; or 2. Projects with aggregate landscape areas less than 2,500 square feet may comply with the MWEL0's Appendix D Prescriptive Compliance Option. Notes: 1. The Model Water Efficient Landscape Ordinance (MWEL0) and supporting documents are available at: <a href="http://www.water.ca.gov/wateruseefficiency/landscapeordnance/">www.water.ca.gov/wateruseefficiency/landscapeordnance/</a> 2. A water budget calculator is available at: <a href="http://www.water.ca.gov/wateruseefficiency/landscapeordnance/">www.water.ca.gov/wateruseefficiency/landscapeordnance/</a>	Z	Initials: _____ Date: _____
4.4 Material Conservation and Resource Efficiency	4.406.1 Rodent proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.	0	Initials: _____ Date: _____
4.4 Material Conservation and Resource Efficiency	4.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section 4.408.3; or 4.The waste stream reduction alternative, per Section 4.408.4.	AB	Initials: _____ Date: _____
4.4 Material Conservation and Resource Efficiency	4.410.1 Operation and maintenance manual. An operation and maintenance manual shall be provided to the building occupant or owner.	I	Initials: _____ Date: _____
4.4 Material Conservation and Resource Efficiency	4.410.2 Recycling by Occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.	N.A.	Initials: _____ Date: _____
4.5 Environmental Quality	4.503.1 Fireplace. Any installed gas fireplace shall be a direct vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.	Y	Initials: _____ Date: _____

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4.5 Environmental Quality	4.504.1 Covering of duct openings and protection of mechanical equipment during construction. Duct openings and other related air distribution component openings shall be covered during construction.	H-1	
	4.504.2 Finish material pollutant control. 4.504.2.1 Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. 4.504.2.2 Paints and coatings. Paints, stains and other coatings shall be compliant with VOC limits. 4.504.2.3 Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. 4.504.2.4 Verification. Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	O	
	4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold. 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.	P	Initials: _____ Date: _____
	4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following: 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).	S	
	4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93J20 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.	K	Sheet: _____

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4.5 Environmental Quality	4.505.2 Concrete slab foundations. Vapor retarder and capillary break is installed at slab-on-grade foundations.	V	Initials: _____ Date: _____
4.5 Environmental Quality	4.503.3 Moisture content of building materials. Moisture content of building materials used in wall and floor framing is checked before enclosure.	W	Initials: _____ Date: _____
4.5 Environmental Quality	4.507.2 Heating and air-conditioning system design. Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D-2014 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.	X	Initials: _____ Date: _____
Chapter 7 Installer and Special Inspector Qualifications	702.1 Installer Training. HVAC system installers are trained and certified in the proper installation of HVAC systems.	AE	Initials: _____ Date: _____
	702.2 Special Inspection. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.	AF	Initials: _____ Date: _____
	703.1 Documentation. Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.	NOTED	Initials: _____ Date: _____

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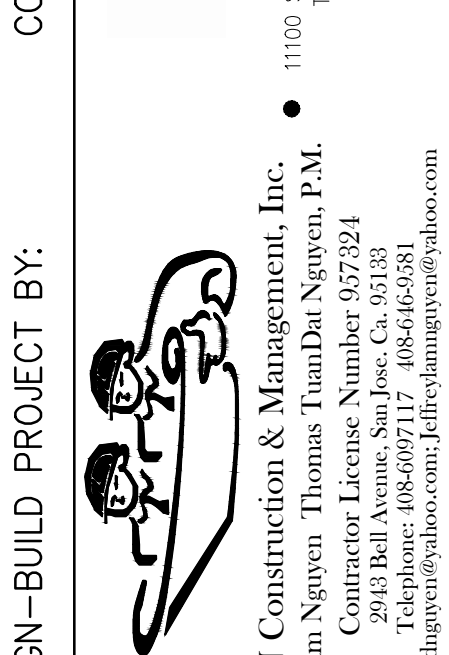
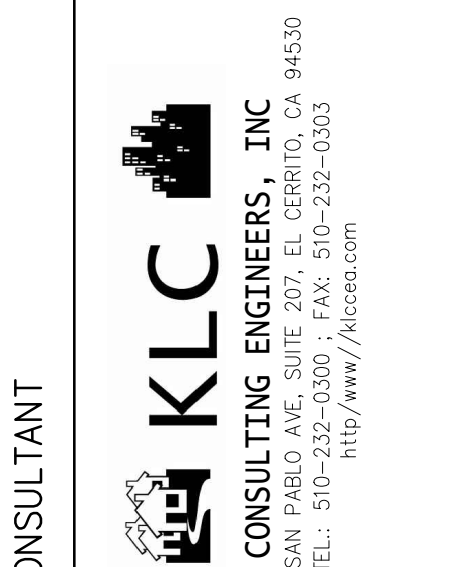
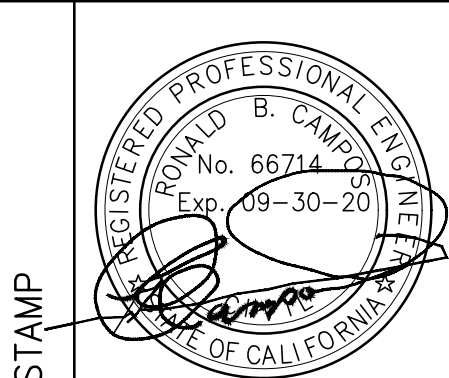
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CHECKED: RBC

SCALE:

DATE: 08/17/2018

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PROJ. NO. 18-664

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FOR PLANNING 08/17/2018

FOR PLANNING RESUBMIT 10/18/2018

FOR PLANNING RESUBMIT 12/12/2018

FOR PLANNING RESUBMIT 01/17/2019

SHEET NO:

CG