





KAN RESIDENCE
1150 S. BERNARDO AVENUE
SUNNYVALE, CA 95087

Roof Material

Brand: Presidential

Model: Shake TL

Color: Platinum



Stone Veneer

Brand: Coronado

Model: Ledge

Color: Bristol



Exterior Wall Color

Brand: Kelly-Moore

Color: Oyster

(26)



Exterior Wall Color

Brand: Kelly-Moore

Color: Spanish sand

(231)

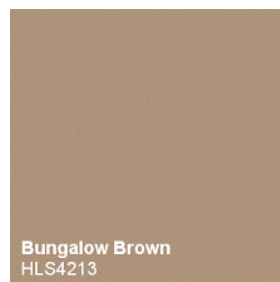


Color Trim

Brand: Kelly-Moore

Color: Bungalow Brown

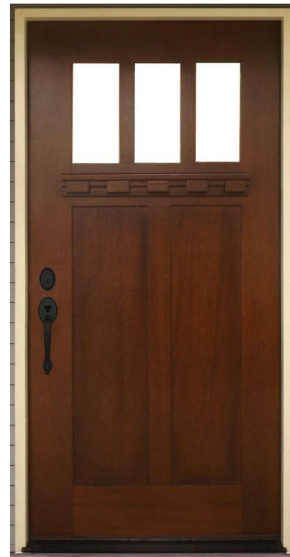
(4213)



KAN RESIDENCE
1150 S. BERNARDO AVENUE
SUNNYVALE, CA 95087

Main Entry doors

Color: Dark Brown



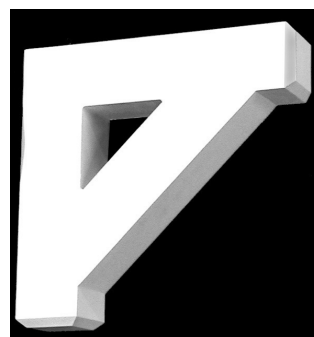
Garage door

Color: Dark Brown



Decorative Bracket

Color: White



KAN & FAN RESIDENCE

1150 S. BERNARDO AVENUE SUNNYVALE, CALIFORNIA 94087

GENERAL NOTES

IT IS THE RESPONSIBILITY OF THE CONTRACTORS AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORKS.

NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENT, AND THE CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE DESIGNER.

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.

THE CONTRACTORS SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THEY SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.

CONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY THEMSEVE AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTORS SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING THEIR WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTORS FOR THE EXPENSES DUE TO THEIR NEGLECT TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT THEIR WORK.

ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.

ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOWS SUCH STORAGE TO BE PLACED.

PROJECT DATA

ZONING DESIGNATION:	R1	
EXISTING USE:	SINGLE FAMILY RESIDENTIAL	
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL	
OCCUPANCY GROUP:	R3/U	
TYPE OF CONSTRUCTION:	V-B	
SITE AREA: (GROSS)	16800 S.F.	0.3857 ACRE
(NET)	13125 S.F.	0.3013 ACRE
EXISTING LIVING FLOOR:	1993 S.F. (TO BE DEMOLISHED)	
EXISTING GARAGE:	686 S.F. (TO BE DEMOLISHED)	
TOTAL EXISTING BUILDING AREA:	2679 S.F.	
EXISTING COVERED PORCH:	24 S.F. (TO BE DEMOLISHED)	
EXISTING COVERED PATIO:	162 S.F. (TO BE DEMOLISHED)	
PROPOSED LIVING FLOOR:	4701 S.F.	
PROPOSED GARAGE:	760 S.F.	
FLOOR AREA RATIO (FAR):	41.61% (5461 / 13125)	
FRONT COVERED PORCH:	78 S.F.	
REAR COVERED PATIO:	180 S.F.	
LOT COVERAGE:	43.57% (5719 / 13125)	
EXISTING BUILDING HEIGHT:	14'-1"	
PROPOSED BUILDING HEIGHT:	20'-6"	
NUMBER OF STORIES:	1	
PAVING AREA:	1312 S.F.	10.00% OF TOTAL
LANDSCAPE AREA:	6094 S.F.	46.43% OF TOTAL
BUILDING SET BACK:	FRONT 20 FT. SIDE 10 FT. 6 IN. REAR 20 FT.	
APPLICABLE CODES:	2016 CRC, CDBC, CMC, CPC, CFC, CEC, & CITY OF SUNNYVALE MUNICIPAL CODES, 2016 CALIFORNIA ENERGY STANDARD	
ASSESSOR PARCEL NUMBER:	202-34-030	

SCOPE OF WORK

THIS PROJECT IS TO DEMOLISH (E) SINGLE FAMILY HOUSE AND PROPOSE A NEW 1-STORY HOUSE SINGLE FAMILY HOUSE WITH 5 BEDROOMS, 4.5 BATHS, & 3-CAR GARAGE, AND UPGRADE THE ELECTRICAL PANEL TO 400 AMPS.

DRAWING INDEX

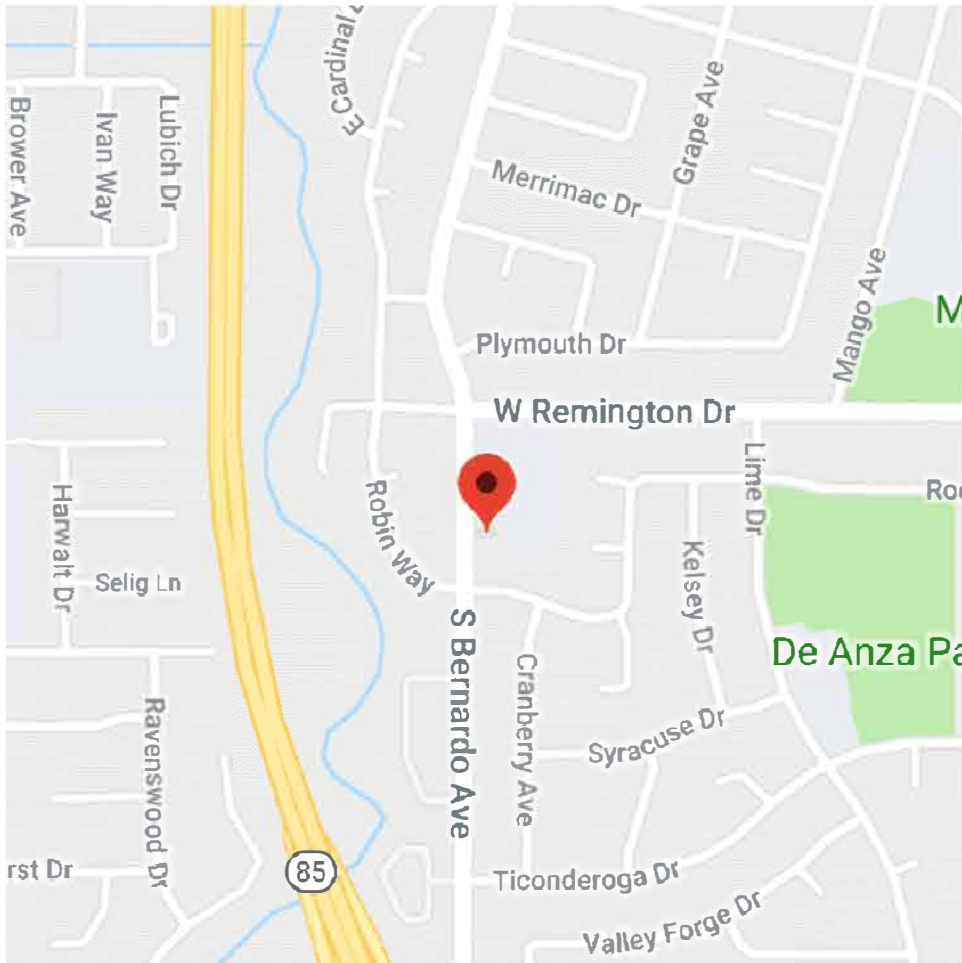
ARCHITECTURAL	
A-0	TITLE SHEET / SITE PLAN
A-1.1	DEMOLITION PLAN / BLOCKOUT CALCULATION
A-1.2	PROPOSED ROOF PLAN
A-2.1	PROPOSED FLOOR PLAN
A-2.2	PROPOSED UTILITY PLAN
A-3.1	PROPOSED BUILDING ELEVATIONS & SECTION
A-3.2	PROPOSED BUILDING ELEVATIONS & SECTION
A-4.1	EXISTING BUILDING ELEVATIONS
A-4.2	STREET VIEW FRONT ELEVATIONS
A-5	ARCHITECTURAL DETAILS
T-24	T-24 ENERGY COMPLIANCE

STRUCTURAL	
S-0	GENERAL NOTES / STRUCTURAL DETAILS
S-1	FOUNDATION FRAMING PLAN / STRUCTURAL DETAILS
S-2	ROOF FRAMING & CEILING JOIST PLAN

OWNER:
KAILI KAN & QING FAN
1150 S. BERNARDO AVENUE
SUNNYVALE, CA 94087
TEL: (408) 739-8993

ARCHITECT:
LHC ARCHITECTURAL DESIGN
13937 LYNDE AVENUE
SARATOGA, CA 95070
TEL: (408) 483-1965

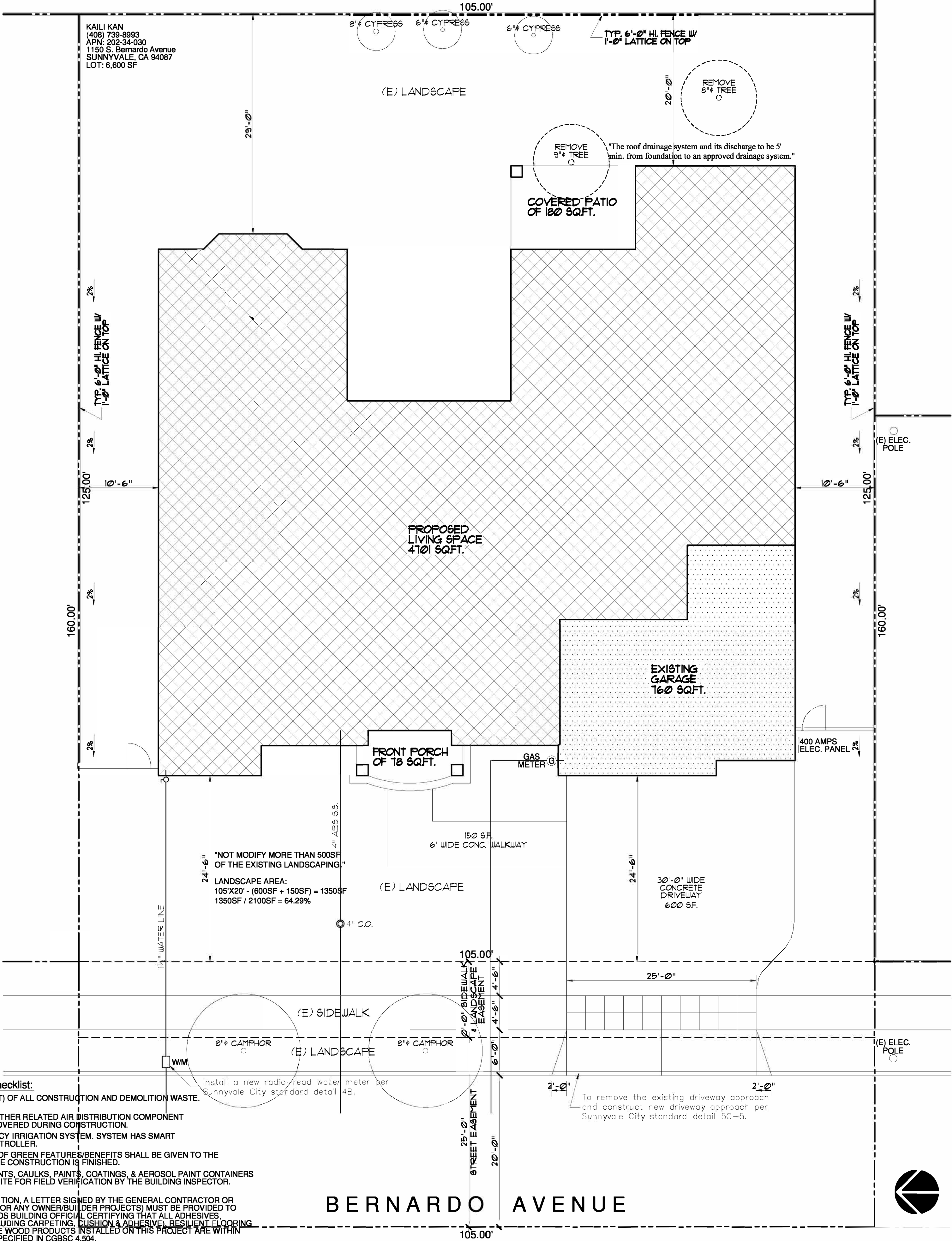
VICINITY MAP



GreenPoint Rated Checklist:

- * DIVERT 65% (BY WEIGHT) OF ALL CONSTRUCTION AND DEMOLITION WASTE. (RECYCLING OR REUSE)
- * DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- * INSTALL HIGH-EFFICIENCY IRRIGATION SYSTEM. SYSTEM HAS SMART (WEATHER-BASED) CONTROLLER.
- * HOMEOWNER MANUAL OF GREEN FEATURES/BENEFITS SHALL BE GIVEN TO THE OWNERS AFTER THE CONSTRUCTION IS FINISHED.
- * ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, & AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC 4.504.
- * PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, CARPET SYSTEMS (INCLUDING CARPETING, GLUE, & ADHESIVE), RESILIENT FLOORING SYSTEMS, & COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC 4.504.

SITE PLAN



1/8"

1

LHC

L.H.C. Construction

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SUNNYVALE, CALIFORNIA 94087

REVISIONS:

SHEET TITLE:

SITE PLAN
TITLE SHEET

DATE: Feb. 1, 2019 PROJECT NO.: 17-17

SCALE: AS SHOWN DRAWN: HC

SHEET

A-0

OF 10 SHEETS

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REVISIONS:

SHEET TITLE:
**DEMOLITION PLAN
BLOCKOUT CALCULATION**

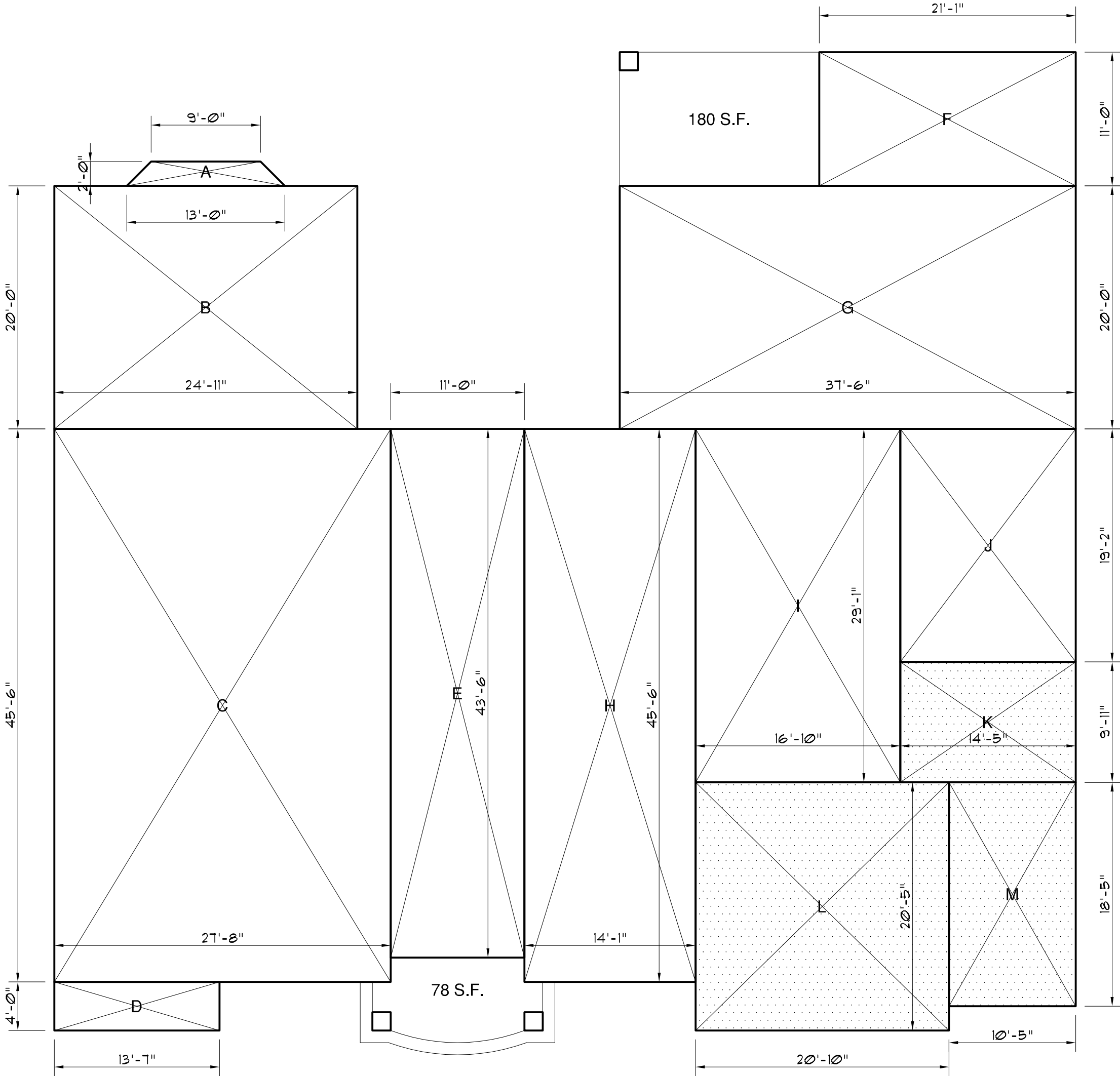
DATE: Feb. 1, 2013 PROJECT NO.: 11-11

SCALE: AS SHOWN DRAWN: HC

SHEET

A-1.1

OF 10 SHEETS



LIVING AREA:		
A	(9'-0" + 13'-0")/2 X 2' =	22.00 S.F.
B	24'-11" X 20'-0" =	498.33 S.F.
C	27'-8" X 45'-6" =	1258.83 S.F.
D	13'-7" X 4'-0" =	54.33 S.F.
E	11'-0" X 43'-6" =	478.50 S.F.
F	21'-1" X 11'-0" =	231.92 S.F.
G	37'-6" X 20'-0" =	750.00 S.F.
H	45'-4" X 45'-6" =	2062.67 S.F.
I	16'-10" X 29'-1" =	489.57 S.F.
J	14'-5" X 19'-2" =	276.32 S.F.
TOTAL:		4700.59 S.F.

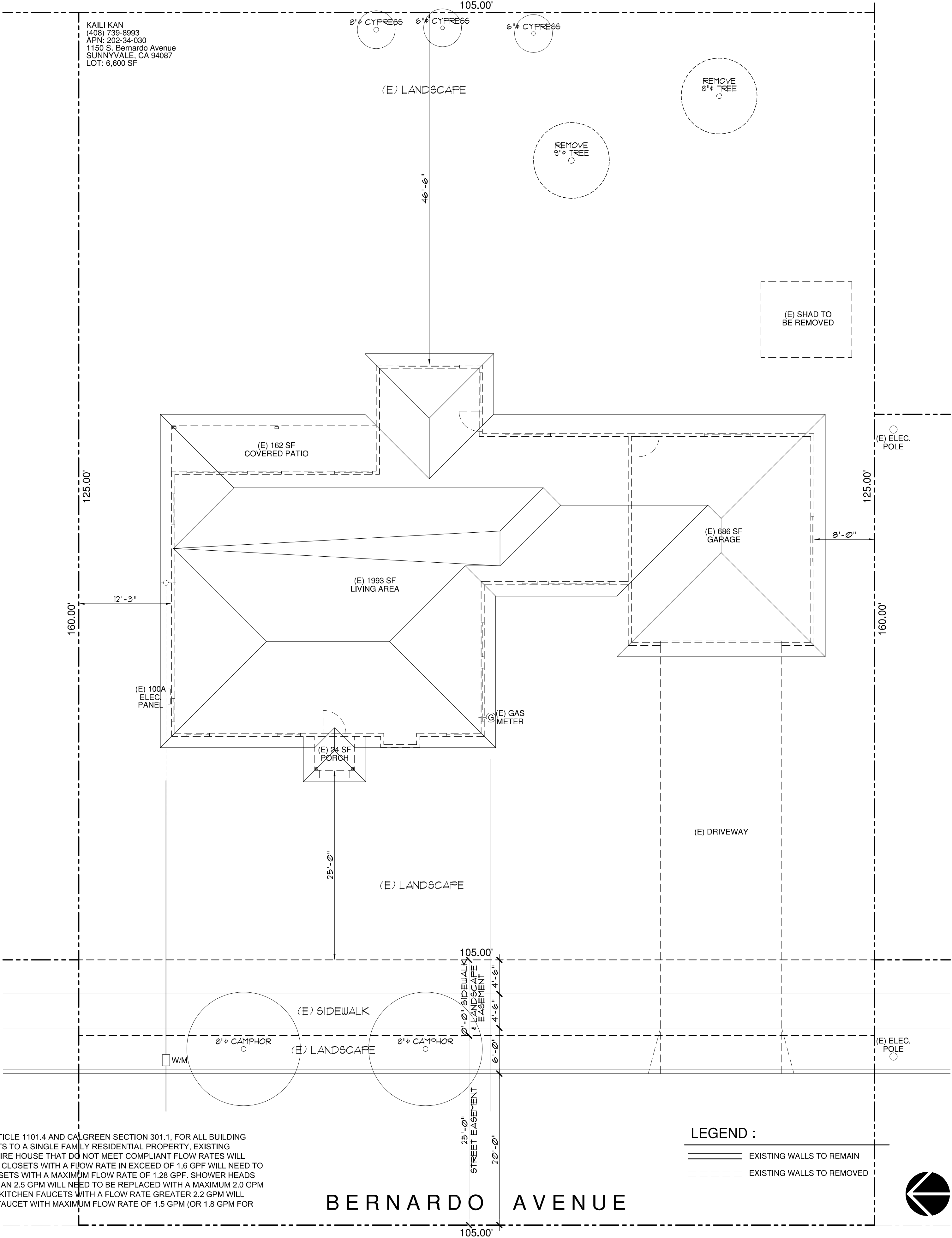
GARAGE AREA:		
K	12'-5 X 9'-11" =	142.97 S.F.
L	20'-10" X 20'-5" =	425.35 S.F.
M	10'-5" X 18'-5" =	191.84 S.F.
TOTAL:		760.16 S.F.

PORCH & PATIO:		
FRONT PORCH		78.00 S.F.
REAR PATIO		180.00 S.F.
TOTAL:		258.00 S.F.

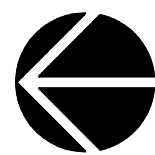
BLOCKOUT CALCULATION

1/8" 2

NOTES:
PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CAL GREEN SECTION 301.1, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE IN EXCEED OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 2.0 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).



LEGEND :
——— EXISTING WALLS TO REMAIN
- - - - - EXISTING WALLS TO REMOVED



DEMOLITION PLAN

1/8" 1

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SUNNYVALE, CALIFORNIA 94087

REVISIONS:

SHEET TITLE:
PROPOSED ROOF PLAN

DATE Feb. 1, 2019	PROJECT NO. 17-17
SCALE AS SHOWN	DRAWN HC

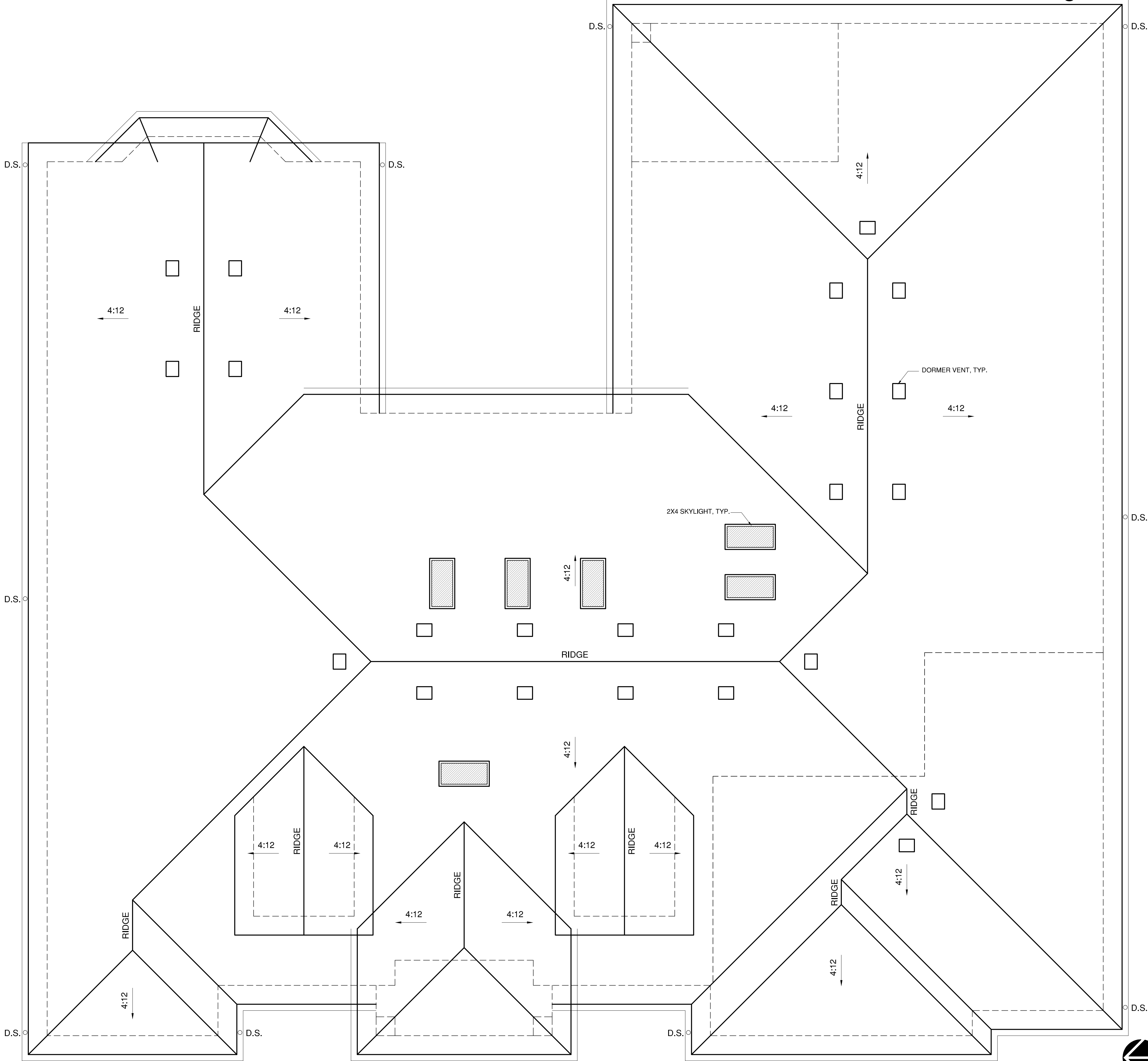
SHEET

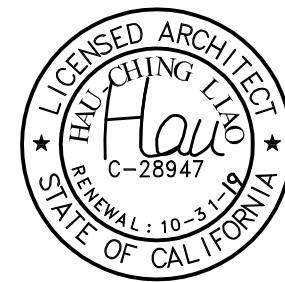
A-1.2

OF 10 SHEETS

NOTE

1. PROVIDE POSITIVE DRAINAGE TO ROOF DRAINS FROM ALL PARTS OF THE ROOF.
2. D.S. ○ — : INDICATES 2" X 3" 26 GA. G.I. DOWNSPOUTS LOCATED AS SHOWN.
3. PROVIDE 5" - 26 GA. G.I. OGEE GUTTER OVER 2 X 8 SPRUCE FASCIA BOARD - TYP.
4. ROOF PITCH TO BE 4 : 12, TYP. - U.N.O.
5. ROOF MATERIAL TO BE PRESIDENTIAL COMPOSITION SHINGLE OVER 30 # FELT - TYP.
6. PROVIDE NECESSARY FLASHING AT ALL ROOF AND WALL CONNECTIONS AS REQUIRED.
7. PROVIDE 3/4" THICK T&G WOOD PLANK @ ALL ROOF OVERHANG AREA.





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SUNNYVALE, CALIFORNIA 94087

REVISIONS:

SHEET TITLE:

PROPOSED FLOOR PLAN

DATE

Feb. 1, 2013

PROJECT NO.

11-11

SCALE

AS SHOWN

DRAWN

HC

SHEET

A-2.1

OF 10 SHEETS

LEGEND :

- EXISTING WALL TO REMAIN AND REPAIR AS REQUIRED.
- 2X OR 3X WOOD STUDS W/ 1/2" THK. GYP. BD. ON BOTH SIDES (CDX OR OSB PLYW'D O/ STUD @ SHEAR WALLS)
- 2X OR 3X WOOD STUDS W/ 1/2" THK. GYP. BD. INTERIOR SIDE 7/8" CEMENT PLASTER O/ (2) "D" PAPER BACKED LATH OR WOOD SIDING OVER 15# BLDG. PAPER (PAINTED) OVER CDX OR OSB PLYWOOD (SEE ELEVATIONS FOR EXTERIOR FINISH)
- 2X OR 3X WOOD STUDS W/ 1/2" THK. GYP. BD. ON LIVING AREA SIDE OF WALLS & 5/8" TYPE "X" GYP. BD. ON GARAGE SIDE OF WALLS (CDX OR OSB PLYW'D O/ STUD @ SHEAR WALLS)
- WINDOWS

All escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet on 2nd floor & 5.0 square feet on 1st floor. The minimum net clear openable height dimension shall be 24". The minimum net clear openable width dimension shall be 20". When windows are provided as a means of escape or rescue they shall have the bottom of the opening no higher than 44 inches above the floor per CBC 1026.3.

GENERAL PLAN NOTES

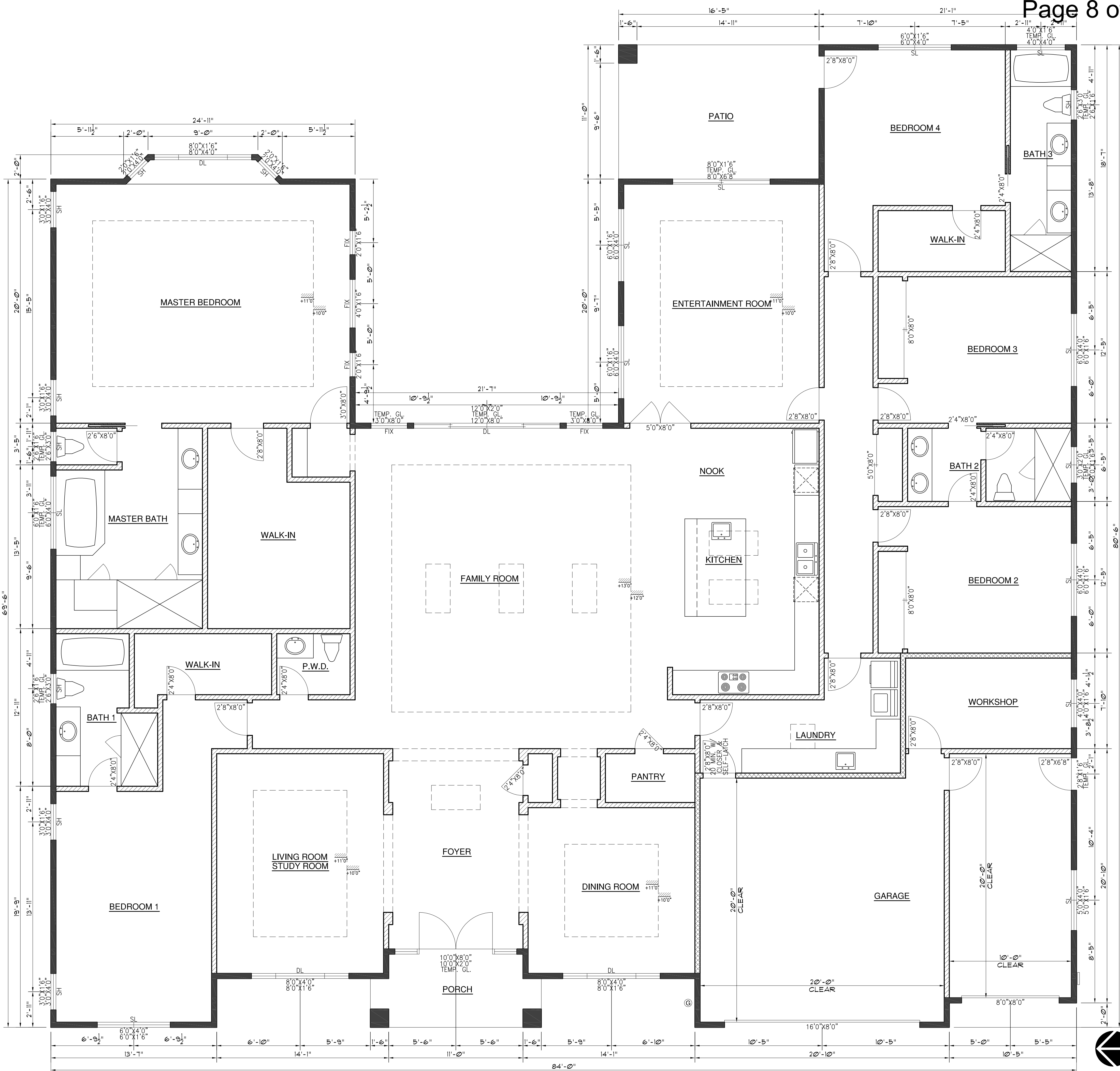
- ALL INTERIOR DOORS TO BE HOLLOW CORE 1-3/4" THK. U.O. (SEE PLAN FOR SIZE)
- ALL HOUSE TO GARAGE DOORS TO BE SOLID CORE 1-3/4" THK. W/ SELF CLOSING AND TIGHT FITTING. (SEE PLAN FOR SIZE)
- ALL ENTRY DOORS TO BE SOLID CORE 1-3/4" THICK. (SEE PLAN FOR SIZE)
- PROVIDE A LANDINGS WITH A MIN. DEPTH & WIDTH OF 36" AT ALL EXIT DOORS WHERE THE FINISH GRADE IS O/ 1-3/4" BELOW THE FINISH FLOOR FINISH
- PROVIDE SOUND BATT INSULATION @ ALL INTERIOR WALL W/ R-13 MIN.

FLOOR PLAN NOTES

- FIRE SEPARATION BETWEEN HOUSE & GARAGE TO BE 1/2" GYP. BD. ON GARAGE SIDE W/ 6d COOLER NAIL AT 7" O.C. CONTINUOUS FROM GARAGE SLAB TO ROOF SHEATHING.
- PROVIDE 3"x3" MIN. CONC. LANDING AT ALL NEW EXTERIOR DOOR OF 7.75' HI. STEP MAX.
- 22"x30" ATTIC ACCESS PANEL PER C.B.C. 1209.2.
- 18"x24" UNDERFLOOR ACCESS PANEL PER C.B.C. 1209.1.
- 36"x60" SHOWER W/ 3"x3" FLOOR TILE & ASPHALT SEAL. TILE TO 72". U.O.N. PROVIDE SOAP DISH.
- TEMPERED GLASS SHOWER ENCLOSURE W/ TOWER BAR.
- SERVICE COUNTER & CABINET PER OWNER.
- TOILET ACCESS AREA SHALL BE 24"(D)x30"(W)
- (E) GAS METER
- (N) 200 AMPS ELECTRICAL METER & PANEL.
- PROVIDE "DUROCK" OR "WONDER BOARD" WALL LINING AROUND SHOWER/BATHTUB AREA. CULTURE MARBLE OR TILE FINISH.
- ALL PLUMBING FIXTURES SHALL BE OF CPC APPROVED PRODUCTS. THE FIXTURE IN SHOWER SHALL HAVE PRESSURE OR THERMOSTATIC MIXING VALVE THAT LIMIT WATER TEMPERATURE TO 120F.
- PROVIDE FUEL GAS F.A.U. F.A.U. SIZING SEE T-24 ENERGY REPORT.
- RELOCATED CLOTH DRYER, DRYER PER CMC 504.3.
- RELOCATED CLOTH WASHER, PROVIDE COLD AND HOT WATER.
- 100 AMPS ELECTRICAL SUB-PANEL.
- PROVIDE CONC. PAD FOR AC UNIT.
- 66"x48" SHOWER W/ 3"x3" FLOOR TILE & ASPHALT SEAL. TILE TO 72". U.O.N. PROVIDE SOAP DISH.
- TUB PROVIDE MOTOR ACCESS PANEL AT OPTIONAL HYDROMASSAGE BATHTUBS. (VERIFY)
a. THE MOTOR SHALL BE UL LISTED FOR HYDRO-MASSAGE USE (CPC 415.3)
b. A REMOVABLE PANEL OF SUFFICIENT DIMENSION TO ACCESS THE PUMP. (CPC 415.0)
c. GFCI SINGLE-PHASE OUTLET WITH BONDING PER CEC 680.71.
- ISLAND CABINET W/ COUNTER & 2 GFCI OUTLETS.

GreenPoint Rated Checklist:

- * HIGH EFFICIENCY SHOWERHEADS ≤ 2.0 GPM AT 80 PSI. (MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAX. FLOW RATES)
- * HIGH EFFICIENCY BATHROOM FAUCETS ≤ 1.5 GPM AT 60 PSI.
- * HIGH EFFICIENCY KITCHEN AND UTILITY FAUCETS ≤ 1.8 GPM.
- * INSTALL ONLY HIGH EFFICIENCY TOILETS. (DUAL-FLUSH OR ≤ 1.28 GPF) PER CPC 402.2.2.
- * DESIGN AND INSTALL HVAC SYSTEM TO ACCA MANUAL J, D, AND S RECOMMENDATIONS.
- * DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SEC. 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- * INSTALL ENERGY STAR BATHROOM FANS ON TIMER AND HUMIDISTAT.
- * INSTALL WHOLE HOUSE FAN W/ INSULATED LOUVERS/COVERS (MIN. R-4.2) WHICH CLOSE WHEN THE FAN IS OFF.
- * COMPLIANCE WITH ASHRAE 62.2 MECHANICAL VENTILATION STANDARDS. (AS ADOPTED IN T-24 PART 6)
- * ALL PLUMBING FIXTURES & FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1401.1 OF 2016 CPC PER CGBSC 4.303.3.2.



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A. PROPOSED FRONT ELEVATION (WEST) (CRAFTSMAN)



B. PROPOSED REAR ELEVATION (EAST)

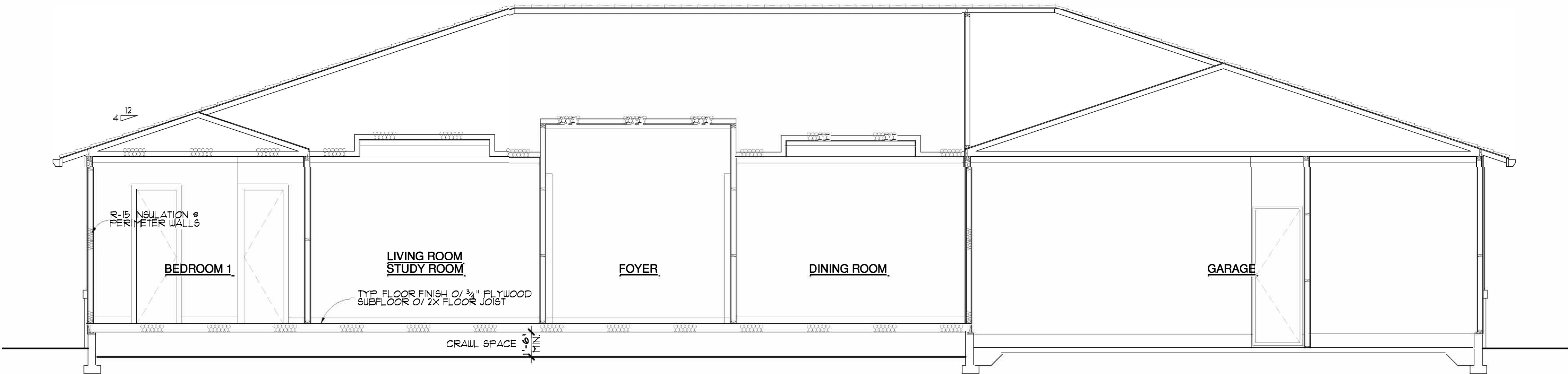
VENT CALCULATION IS FOR THE ADDITION AREA ONLY. PROVIDE
ADDITIONAL VENTS WHERE THE EXISTING VENTS ARE BLOCKED.

ATTIC VENTILATION

REQUIRED: 2745.12 SI
5719 SF / 300 = 19.06 SF X144 = 2745.12 SI
50% TOP = 2745.12 X 50% = 1372.56 SI
50% BOTTOM = 2745.12 X 50% = 1372.56 SI
PROPOSED: 2871.00 SI
50% TOP:
LOW PROFILE VENTS 18 @ 14.5"X5.5" = 18X79.75 = 1435.50 SI
50% BOTTOM:
EAVE VENTS 18 @ 14.5" X5.5" = 18X79.75 = 1435.50 SI

UNDER FLOOR VENTILATION

REQUIRED: 4512.96 SI
4701 SF / 150 = 31.34 SF X144 = 4512.96 SI
PROPOSED: 4545.75 SI
VENTS 57 @ 14.5"X5.5" = 57X79.75 = 4545.75 SI



E. BUILDING CROSS SECTION

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REVISIONS:

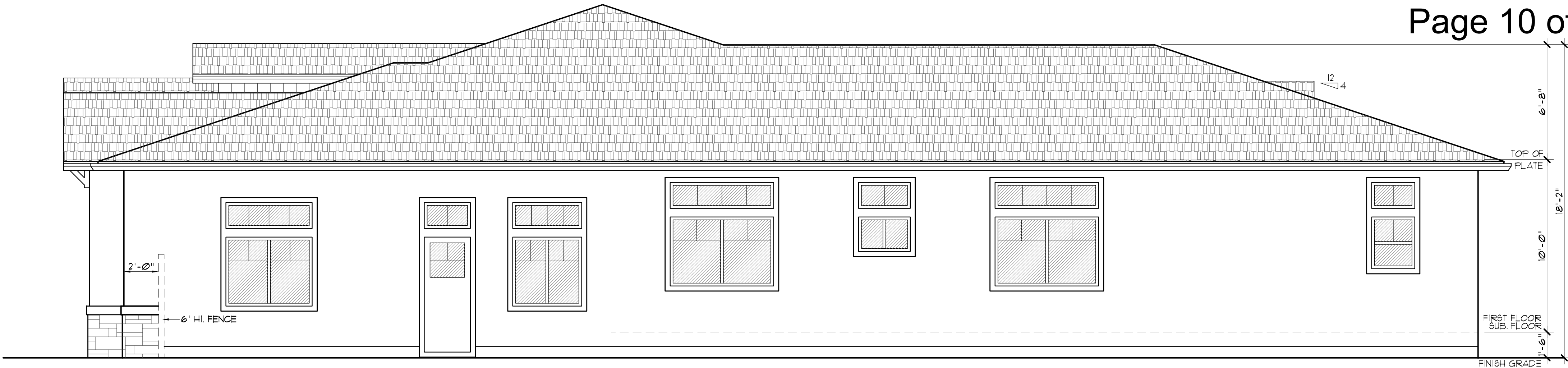
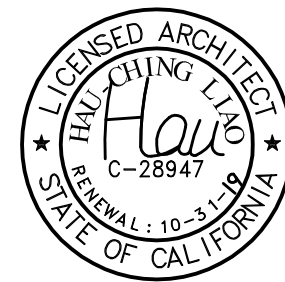
FLANNING COMMENTS 5/3/19

SHEET TITLE:
BUILDING ELEVATIONS
& BUILDING SECTION

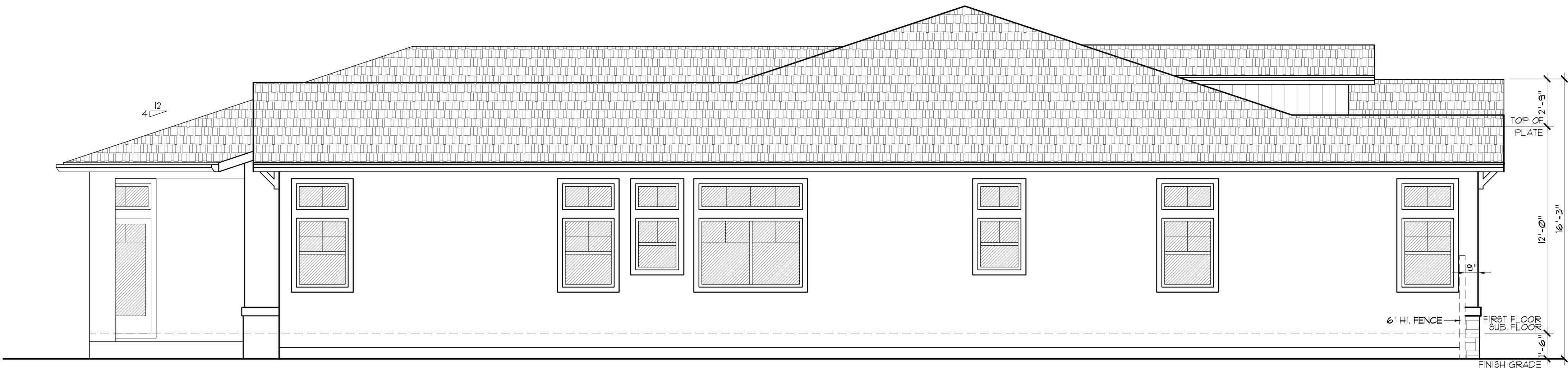
DATE: Feb. 1, 2019 PROJECT NO.: 17-17
SCALE: AS SHOWN DRAWN: HC

SHEET

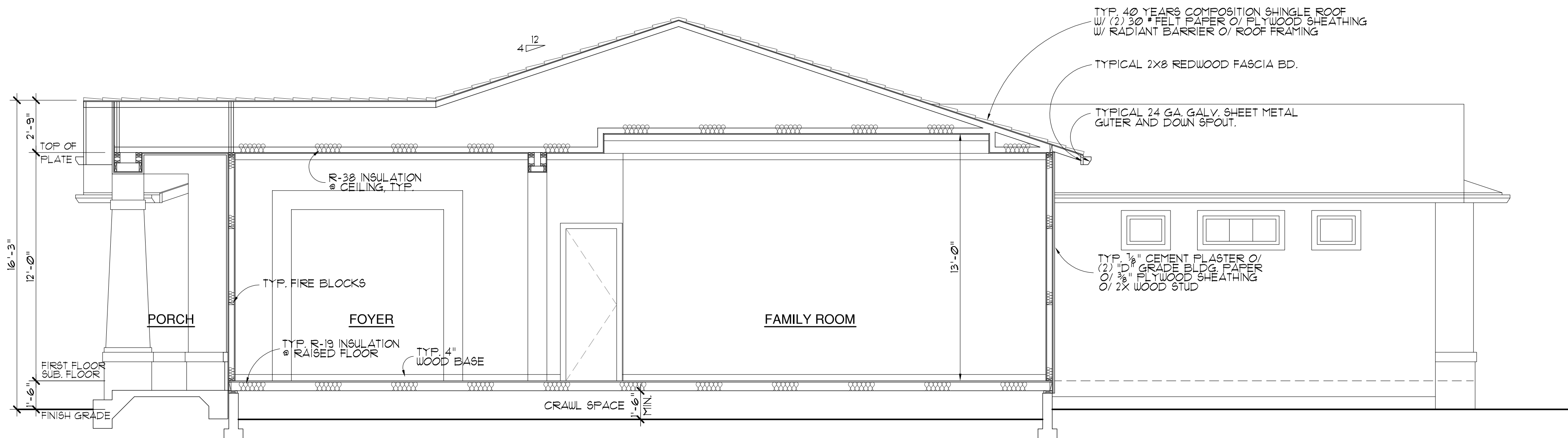
A-3.1



C. PROPOSED RIGHT ELEVATION (SOUTH)



D. PROPOSED LEFT ELEVATION (NORTH)



F. BUILDING CROSS SECTION

REVISIONS:	
	PLANNING COMMENTS 5/3/19
SHEET TITLE: BUILDING SECTIONS & BUILDING SECTION	
DATE Feb. 1, 2019	PROJECT NO. 17-11
SCALE AS SHOWN	DRAWN HC
SHEET	



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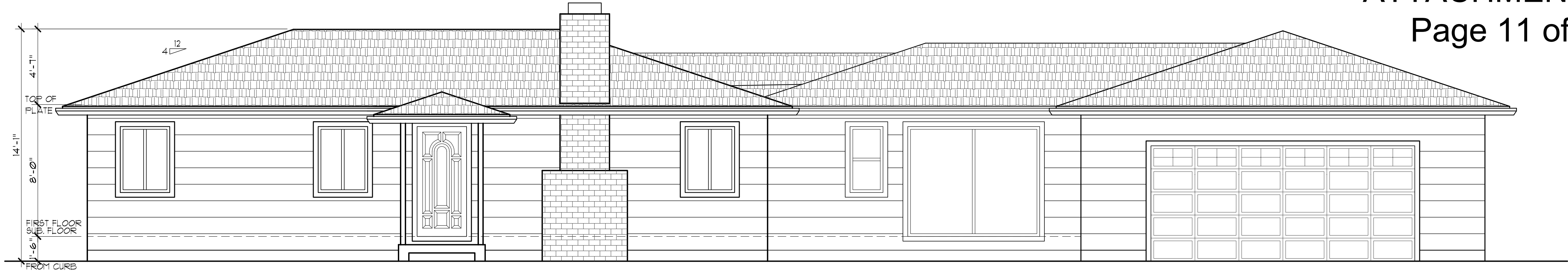
REVISIONS:	

SHEET TITLE:
(E) BUILDING ELEVATIONS

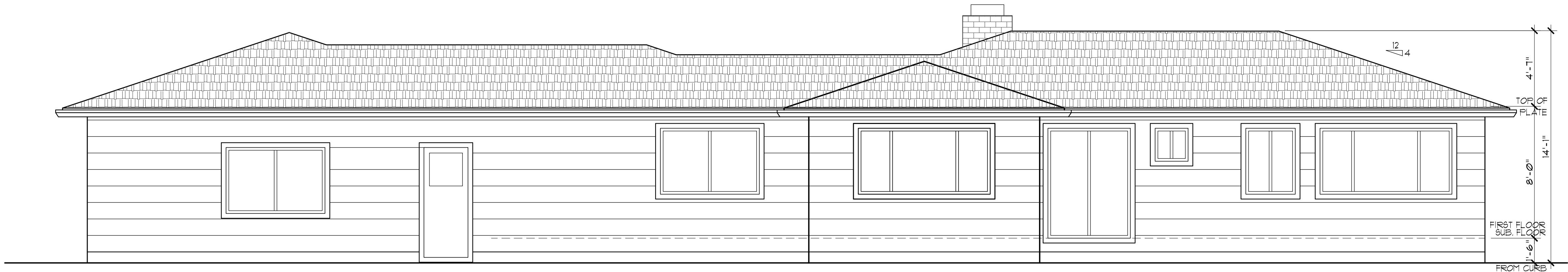
DATE	PROJECT NO.
Feb. 1, 2019	17-17
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AS SHOWN	HC

SHEET

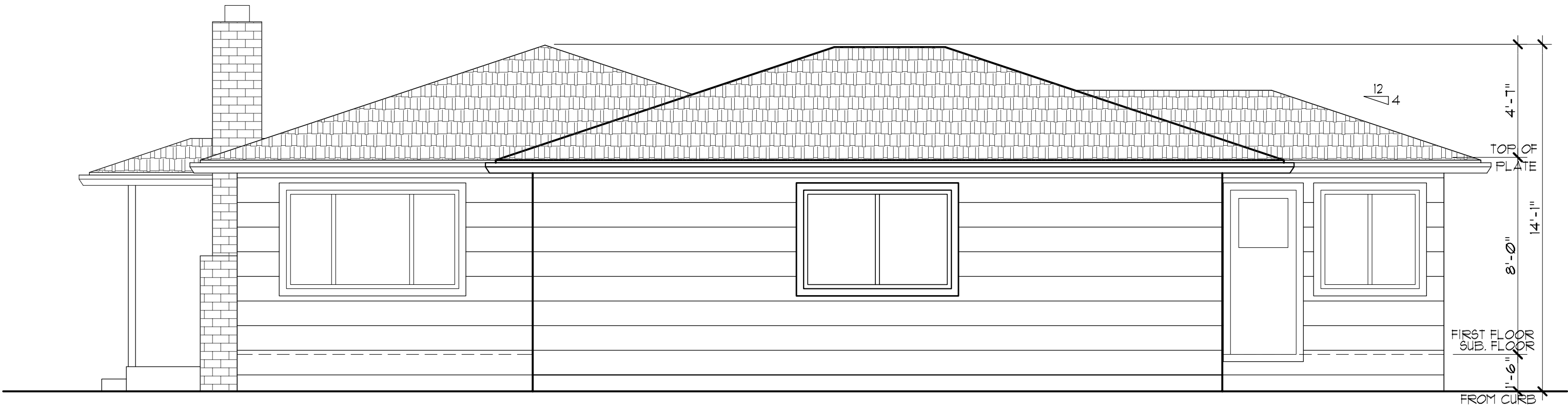
A-4.1



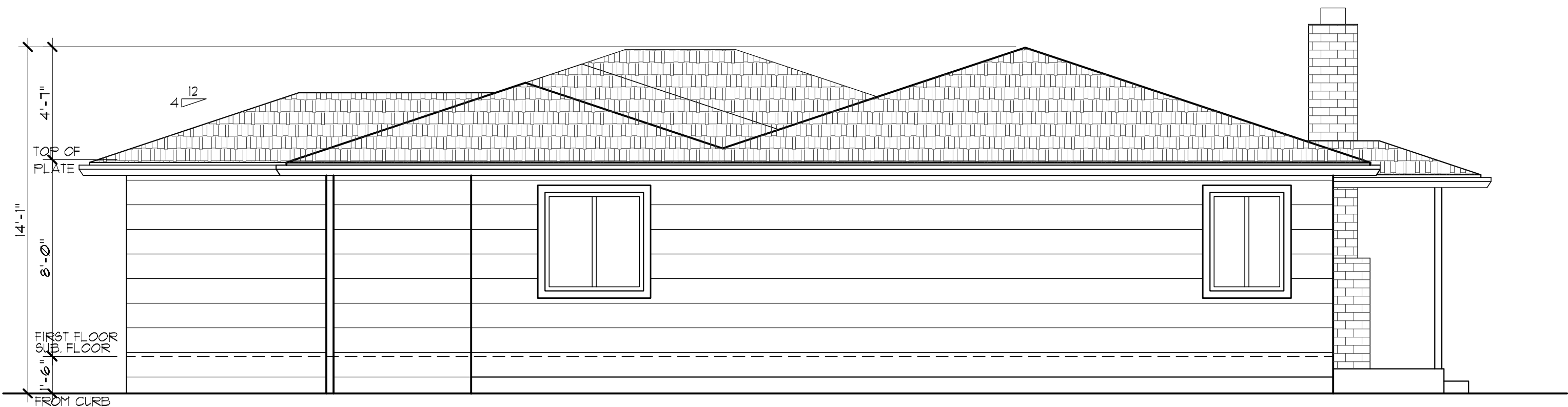
A. EXISTING FRONT ELEVATION (WEST)



B. EXISTING FRONT ELEVATION (EAST)



C. EXISTING RIGHT ELEVATION (SOUTH)



D. EXISTING LEFT ELEVATION (NORTH)

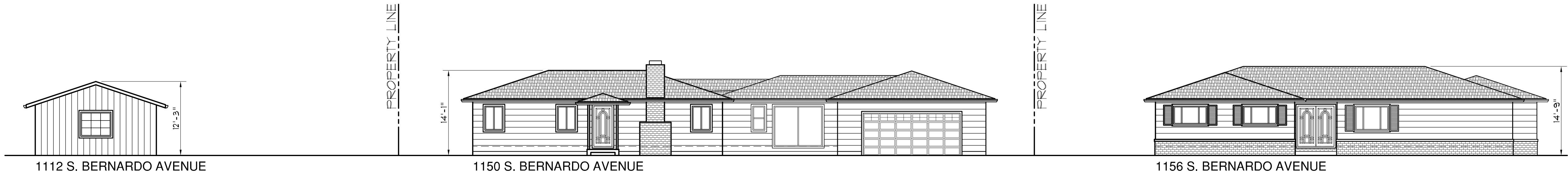
L.H.C. Construction
21000-A Big Basin Way
Saratoga, CA 95070
(408) 867-9331



OWNER:
Kaili Kan & Qing Fan
1150 S. Bernardo Avenue
Sunnyvale, CA 94087
(408) 739-8993



PROPOSED STREET VIEW BUILDING FRONT ELEVATIONS



EXISTING STREET VIEW BUILDING FRONT ELEVATIONS

STREET VIEW BUILDING FRONT ELEVATIONS

10' 1

KAN & FAN RESIDENCE
1150 S. BERNARDO AVENUE
SUNNYVALE, CALIFORNIA 94087

REVISIONS:

△	PLANNING COMMENTS	5/3/19

SHEET TITLE:
**STREET VIEW
BUILDING FRONT ELEVATIONS**

DATE Feb. 1, 2019	PROJECT NO. 17-17
SCALE AS SHOWN	DRAWN HC

SHEET

A-4.2

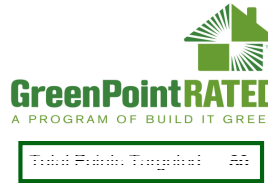
GreenPoint Rated Checklist: Single Family

The GreenPoint Rated checklist tracks green features incorporated into the home. **A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.** GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Energy (30), Indoor Air Quality/Health (5), Resources (6), and Water (9); and meet the prerequisites A.2.a, H10a., J.2., N.1, and Q0.

This checklist accommodates the verification of mandatory CALGreen measures but does not signify compliance unless accepted by enforcing agency. All CALGreen measures within the checklist must be selected as "Yes" or "n/a" for compliance with GreenPoint Rated. Build It Green is not a code enforcement agency.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated



Single Family New Home 4.2 / 2008 Title 24

Kan Residence 1150 S. Bernardo Avenue, Sunnyvale, CA 94087		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
A. SITE			Possible Points					
1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees								
No	a. Protect Topsoil and Reuse after Construction	0	1				1	
No	b. Limit and Delineate Construction Footprint for Maximum Protection	0					1	
2. Divert/Recycle Job Site Construction Waste (Including Green Waste and Existing Structures)								
Yes	a. Required: Divert 50% (by weight) of All Construction and Demolition Waste (Recycling or Reuse) (CALGreen Code)	Y				R		
No	b. Divert 100% of Asphalt and Concrete and 65% (by weight) of Remaining Materials	0				2		
No	c. Divert 100% of Asphalt and Concrete and 80% (by weight) of Remaining Materials	0				2		
3. Use Recycled Content Aggregate (Minimum 25%)								
No	a. Walkway and Driveway Base	0				1		
No	b. Roadway Base	0				1		
No	4. Cool Site: Reduce Heat Island Effect On Site	0	1					
5. Construction Environmental Quality Management Plan, Duct Sealing, and Pre-Occupancy Flush-Out [*This credit is a requirement associated with J4: EPA IAP]								
Yes	a. Duct openings and other related air distribution component openings shall be covered during construction. (CALGreen code if applicable)	1			1			
No	b. Full environmental quality management plan and pre-occupancy flush out is conducted (Prerequisite is A5a)	0			1			
Total Points Available in Site = 12		1						
B. FOUNDATION			Possible Points					
No	1. Replace Portland Cement in Concrete with Recycled Fly Ash and/or Slag (Minimum 20%)	0				2		
No	2. Use Frost-Protected Shallow Foundation in Cold Areas (CEC Climate Zone 16)	0				2		
No	3. Use Radon Resistant Construction [*This credit is a requirement associated with J4: EPA IAP]	0			2			
No	4. Install a Foundation Drainage System [*This credit is a requirement associated with J4: EPA IAP]	0				2		
No	5. Moisture Controlled Crawlspace [*This credit is a requirement associated with J4: EPA IAP]	0			2			
6. Design and Build Structural Pest Controls								
Yes	a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections	1				1		
No	b. All Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation	0				1		
Total Points Available in Foundation = 12		1						
C. LANDSCAPE			Possible Points					
80%	Enter in the % of landscape area. (Projects with less than 15% of the total site area (i.e. total lot size) as landscape area are capped at 6 points for the following measures: C1 through C7 and C9 through C11.							
No	1. Group Plants by Water Needs (Hydrozoning)	0					2	
No	2. Mulch All Planting Beds to the Greater of 3 inches or Local Water Ordinance Requirement	0					2	
3. Construct Resource-Efficient Landscapes								
No	a. No Invasive Species Listed by Cal-IPC Are Planted	0					1	
No	b. No Plant Species Will Require Shearing	0				1		
No	c. 75% of Plants Are Drought Tolerant, California Natives or Mediterranean Species or Other Appropriate Species	0					3	
4. Minimize Turf in Landscape Installed by Builder								
No	a. Turf Shall Not Be Installed on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less than 8 Feet Wide	0					2	
No	b. Turf is Small Percentage of Landscaped Area (2 Points for ≤25%, 4 Points for ≤10%)	0					4	
No	5. Plant Shade Trees	0	1	1			1	
6. Install High-Efficiency Irrigation Systems								
No	a. System Uses Only Low-Flow Drip, Bubblers, or Sprinklers	0					2	
Yes	b. System Has Smart (Weather-Based) Controller (CALGreen code if applicable)	3					3	
No	7. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil	0					3	
8. Rain Water Harvesting System								

Kan Residence 1150 S. Bernardo Avenue, Sunnyvale, CA 94087		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
No	a. Cistern(s) is Less Than 750 Gallons						1	
No	b. Cistern(s) is 750 to 2,500 Gallons	0					1	
No	c. Cistern(s) is Greater Than 2,500 Gallons	0					1	
No	9. Irrigation System Uses Recycled Wastewater	0					1	
No	10. Submetering for Landscape Irrigation	0					1	
11. Design Landscape to Meet Water Budget								
No	a. Install Irrigation System That Will Be Operated at ≤70% Reference ET (Prerequisites for Credit are C1. and C2.)	0					1	
No	b. Install Irrigation System That Will Be Operated at ≤50% Reference ET (Prerequisites for Credit are C1, C2, and C6a or C6b.)	0					1	
No	12. Use Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content E) Finger-Jointed or F) Local	0				1		
No	13. Reduce Light Pollution by Shielding Fixtures and Directing Light Downward	0	1					
Total Points Available in Landscape = 35		3						
D. STRUCTURAL FRAME & BUILDING ENVELOPE			Possible Points					
1. Apply Optimal Value Engineering								
No	a. Place Joists, Rafters and Studs at 24-Inch On Center	0				3		
No	b. Door and Window Headers are Sized for Load	0				1		
No	c. Use Only Cripple Studs Required for Load	0				1		
2. Construction Material Efficiencies								
No	a. Wall and Floor Assemblies (Excluding Solid Wall Assemblies) are Delivered Panelized from Supplier (Minimum of 80% Square Feet)	0				2		
No	b. Modular Components Are Delivered Assembled to the Project (Minimum 25%)	0				6		
3. Use Engineered Lumber								
No	a. Engineered Beams and Headers	0				1		
No	b. Wood I-Joists or Web Trusses for Floors	0				1		
No	c. Engineered Lumber for Roof Rafters	0				1		
No	d. Engineered or Finger-Jointed Studs for Vertical Applications	0				1		
No	e. Oriented Strand Board for Subfloor	0				1		
No	f. Oriented Strand Board for Wall and Roof Sheathing	0				1		
No	4. Insulated Headers	0		1				
5. Use FSC-Certified Wood								
≥40%	a. Dimensional Lumber, Studs and Timber (Minimum 40%)	2				6		
≥40%	b. Panel Products (Minimum 40%)	1				3		
6. Use Solid Wall Systems (Includes SIPs, ICFs, & Any Non-Stick Frame Assembly)								
No	a. Floors	0				2		
No	b. Walls	0				2		
No	c. Roofs	0				1		
No	7. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)	0		1				
8. Install Overhangs and Gutters								
No	a. Minimum 16-Inch Overhangs and Gutters	0				1		
No	b. Minimum 24-Inch Overhangs and Gutters	0		1				
9. Reduce Pollution Entering the Home from the Garage [*This credit is a requirement associated with J4: EPA IAP]								
No	a. Install Garage Exhaust Fan OR Build a Detached Garage	0			1			
No	b. Tightly Seal the Air Barrier between Garage and Living Area (Performance Test Required)	0			1			
Total Points Available in Structural Frame and Building Envelope = 39		3						
E. EXTERIOR			Possible Points					
No	1. Use Environmentally Preferable Decking	0				2		
No	2. Flashing Installation Techniques Specified and Third-Party Verified [*This credit is a requirement associated with J4: EPA IAP]	0				1		
No	3. Install a Rain Screen Wall System	0				2		
No	4. Use Durable and Non-Combustible Siding Materials	0				1		
Yes	5. Use Durable and Fire Resistant Roofing Materials or Assembly	2				2		
Total Points Available in Exterior = 8		2						
F. INSULATION			Possible Points					
1. Install Insulation with 75% Recycled Content								
No	a. Walls	0				1		
No	b. Ceilings	0				1		
No	c. Floors	0				1		
Total Points Available in Insulation = 3		0						
G. PLUMBING			Possible Points					
1. Distribute Domestic Hot Water Efficiently (Max. 5 points, G1a. is a Prerequisite for G1b-e)								
No	a. Insulate All Hot Water Pipes [*This credit is a requirement associated with J4: EPA IAP]	0		1			1	
No	b. Use Engineered Parallel Plumbing	0					1	
No	c. Use Engineered Parallel Plumbing with Demand Controlled Circulation Loop(s)	0					1	
No	d. Use Traditional Trunk, Branch and Twig Plumbing with Demand Controlled Circulation Loop(s)	0		1			2	
No	e. Use Central Core Plumbing	0		1		1	1	
2. Water Efficient Fixtures								
Yes	a. High Efficiency Showerheads ≤2.0 Gallons Per Minute (gpm) at 80 psi. (Multiple showerheads shall not exceed maximum flow rates) (CALGreen code if applicable)	3					3	
Yes	b. High Efficiency Bathroom Faucets ≤ 1.5 gpm at 60psi (CALGreen code)	1					1	

Kan Residence 1150 S. Bernardo Avenue, Sunnyvale, CA 94087		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
Yes	c. High Efficiency Kitchen and Utility Faucets ≤1.8 gpm (CALGreen code if applicable)						1	
Yes	3. Install Only High Efficiency Toilets (Dual-Flush or ≤1.28 Gallons Per Flush (gpf)) (CALGreen code if applicable)	2					2	
Total Points Available in Plumbing = 12		7						
H. HEATING, VENTILATION & AIR CONDITIONING		Possible Points						
1. Properly Design HVAC System and Perform Diagnostic Testing								
Yes	a. Design and Install HVAC System to ACCA Manual J, D, and S Recommendations (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	4		4				
No	b. Test Total Supply Air Flow Rates [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	c. Third Party Testing of Mechanical Ventilation Rates for IAQ (meet ASHRAE 62.2)	0		1				
2. Install Sealed Combustion Units [*This credit is a requirement associated with J4: EPA IAP]								
No	a. Furnaces	0			2			
No	b. Water Heaters	0			2			
No	3. Install High Performing Zoned Hydronic Radiant Heating	0		1	1			
No	4. Install High Efficiency Air Conditioning with Environmentally Preferable Refrigerants	0	1					
5. Design and Install Effective Ductwork								
No	a. Install HVAC Unit and Ductwork within Conditioned Space	0		1				
No	b. Use Duct Mastic on All Duct Joints and Seams [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	c. Pressure Relieve the Ductwork System [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	6. Install High Efficiency HVAC Filter (MERV 6+) [*This credit is a requirement associated with J4: EPA IAP]	0			1			
No	7. No Fireplace OR Install Sealed Gas Fireplace(s) with Efficiency Rating >60% using CSA Standards [*This credit is a requirement associated with J4: EPA IAP]	0			1			
Yes	8. Install ENERGY STAR Bathroom Fans on Timer or Humidistat (CALGreen code if applicable)	1			1			
9. Install Mechanical Ventilation System for Cooling (Max. 4 Points)								
No	a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & All Bedrooms	0		1				
Yes	b. Install Whole House Fan (Credit Not Available if H9c Chosen) (CALGreen code if applicable)	1		1				
No	c. Automatically Controlled Integrated System with Variable Speed Control	0		3				
10. Advanced Mechanical Ventilation for IAQ								
Yes	a. Required: Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (as adopted in Title 24 Part 6) [*This credit is a requirement associated with J4: EPA IAP]	Y			R			
No	b. Advanced Ventilation Practices (Continuous Operation, Sone Limit, Minimum Efficiency, Minimum Ventilation Rate, Homeowner Instructions)	0			1			
No	c. Outdoor Air Ducted to Bedroom and Living Areas of Home	0			2			
No	11. Install Carbon Monoxide Alarm(s) (or No Combustion Appliances in Living Space and No Attached Garage) [*This credit is a requirement associated with J4: EPA IAP]	0			1			
Total Points Available in Heating, Ventilation and Air Conditioning = 27		6						
I. RENEWABLE ENERGY		Possible Points						
No	1. Pre-Plumb for Solar Water Heating	0				1		
No	2. Install Wiring Conduit for Future Photovoltaic Installation & Provide 200 ft² of South-Facing Roof	0				1		
0.0%	3. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind) <i>Enter % total energy consumption offset, 1 point per 4% offset</i>	0		25				
Total Available Points in Renewable Energy = 27		0						
J. BUILDING PERFORMANCE		Possible Points						
1. Building Envelope Diagnostic Evaluations								
No	a. Verify Quality of Insulation Installation & Thermal Bypass Checklist before Drywall [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	b. House Passes Blower Door Test [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	c. Blower Door Results are Max 2.5 ACH ₅₀ for Unbalanced Systems (Supply or Exhaust) or Max 1.0 ACH ₅₀ for Balanced Systems (2 Total Points for J1b. and J1c.)	0		1				
No	d. House Passes Combustion Safety Backdraft Test	0			1			
25%	2. Required: Building Performance Exceeds Title 24 (Minimum 15%) <i>(Enter the Percent Better Than Title 24, Points for Every 1% Better Than Title 24)</i>	50		≥30				
No	3. Design and Build Near Zero Energy Homes <i>(Enter number of points, minimum of 2 and maximum of 6 points)</i>	0		6				
No	4. Obtain EPA Indoor airPlus Certification <i>(Total 42 points, not including Title 24 performance; read comment)</i>	0			2			
No	5. Title 24 Prepared and Signed by a CABEC Certified Energy Plans Examiner (CEPE)	0		1				
6. Participation in Utility Program with Third Party Plan Review								
No	a. Energy Efficiency Program [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	b. Renewable Energy Program with Min. 30% Better Than Title 24 (High Performing Home)	0		1				
Total Available Points in Building Performance = 45+		50						
K. FINISHES		Possible Points						

Kan Residence 1150 S. Bernardo Avenue, Sunnyvale, CA 94087		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
No	1. Design Entryways to Reduce Tracked-In Contaminants							
	2. Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)							
Yes	a. Low-VOC Interior Wall/Ceiling Paints (CALGreen code if applicable) (≤ 50 Grams Per Liter (gpl) VOCs Regardless of Sheen) [*This credit is a requirement associated with J4: EPA IAP]	1			1			
No	b. Zero-VOC: Interior Wall/Ceiling Paints (≤ 5 gpl VOCs Regardless of Sheen)	0			2			
Yes	3. Use Low-VOC Coatings that Meet SCAQMD Rule 1113 (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	2			2			
Yes	4. Use Low-VOC Caulks, Construction Adhesives and Sealants that Meet SCAQMD Rule 1168 (CALGreen code if applicable)	2			2			
No	5. Use Recycled-Content Paint	0				1		
	6. Use Environmentally Preferable Materials for Interior Finish A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content or E) Finger-Jointed F) Local							
No	a. Cabinets (50% Minimum)	0				3		
No	b. Interior Trim (50% Minimum)	0				2		
No	c. Shelving (50% Minimum)	0				2		
No	d. Doors (50% Minimum)	0				2		
No	e. Countertops (50% Minimum)	0				2		
Yes	7. Reduce Formaldehyde in Interior Finish – Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	Y			0			
	8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates							
No	a. Doors (90% Minimum)	0			1			
No	b. Cabinets & Countertops (90% Minimum)	0			2			
No	c. Interior Trim and Shelving (90% Minimum)	0			1			
No	9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level ≤ 27 ppb	0			3			
Total Available Points in Finishes = 27		5						
L. FLOORING			Possible Points					
No	1. Use Environmentally Preferable Flooring (Minimum 15% Floor Area) A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Exposed Concrete, F) Local. Flooring Adhesives Must Meet SCAQMD Rule 1168 for VOCs.	0				4		
No	2. Thermal Mass Floors (Minimum 50%)	0		1				
No	3. Low Emitting Flooring (Section 01350, CRI Green Label Plus, Floorscore [*This credit is a requirement associated with J4: EPA IAP])	0			3			
Yes	4. All carpet and 50% of Resilient Flooring is low emitting. (CALGreen code if applicable)	Y						
Total Available Points in Flooring = 8		0						
M. APPLIANCES AND LIGHTING			Possible Points					
No	1. Install ENERGY STAR Dishwasher (Must Meet Current Specifications)	0		1			1	
	2. Install ENERGY STAR Clothes Washer							
No	a. Meets ENERGY STAR and CEE Tier 2 Requirements (Modified Energy Factor 2.0, Water Factor 6.0 or less)	0		1			2	
No	b. Meets ENERGY STAR and CEE Tier 3 Requirements (Modified Energy Factor 2.2, Water Factor 4.5 or less)	0					2	
	3. Install ENERGY STAR Refrigerator							
No	a. ENERGY STAR Qualified & ≤ 25 Cubic Feet Capacity	0		1				
No	b. ENERGY STAR Qualified & ≤ 20 Cubic Feet Capacity	0		1				
	4. Install Built-In Recycling Center or Composting Center							
No	a. Built-In Recycling Center	0				1		
No	b. Built-In Composting Center	0				1		
	5. Install High-Efficacy Lighting and Design Lighting System							
No	a. Install High-Efficacy Lighting	0		1				
No	b. Install a Lighting System to IESNA Footcandle Standards or Hire Lighting Consultant	0		1				
Total Available Points in Appliances and Lighting = 13		0						
N. OTHER			Possible Points					
Yes	1. Required: Incorporate GreenPoint Rated Checklist in Blueprints [*This credit is a requirement associated with J4: EPA IAP]	Y				R		
No	2. Pre-Construction Kick-Off Meeting with Rater and Subs	0	1					
No	3. Homebuilder's Management Staff are Certified Green Building Professionals	0	1					
	4. Develop Homeowner Education							
Yes	a. Develop Homeowner Manual of Green Features/Benefits (CALGreen code if applicable) [*This credit is a requirement associated with J4: EPA IAP]	2		1			1	
No	b. Conduct Educational Walkthroughs (Prerequisite is N4a) [*This credit is a requirement associated with J4: EPA IAP]	0			1			
No	5. Install a Home System Monitor OR Participate in a Time-of-Use Pricing Program	0		1				
Total Available Points in Other = 6		2						
O. COMMUNITY DESIGN & PLANNING			Possible Points					
	1. Develop Infill Sites							
No	a. Project is an Urban Infill Development	0	1			1		
No	b. Home(s)/Development is Located within 1/2 Mile of a Major Transit Stop	0			2			
No	2. Build on Designated Brownfield Site	0	3					

Kan Residence 1150 S. Bernardo Avenue, Sunnyvale, CA 94087		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
3. Cluster Homes & Keep Size in Check								
No	a. Cluster Homes for Land Preservation	0	1			1		
No	b. Conserve Resources by Increasing Density (10 Units per Acre or Greater)	0	2			2		
	c. Home Size Efficiency	0				9		
	i. Enter Average Unit Square Footage							
	ii. Enter Average Number of Bedrooms/Unit							
4. Design for Walking & Bicycling								
a. Site Has Pedestrian Access Within 1/2 Mile of Community Services:								
TIER 1: Enter Number of Services Within 1/2 Mile								
1) Day Care 2) Community Center 3) Public Park 4) Drug Store								
5) Restaurant 6) School 7) Library 8) Farmer's Market 9) After School Programs 10) Convenience Store Where Meat & Produce are Sold								
TIER 2: Enter Number of Services Within 1/2 Mile								
1) Bank 2) Place of Worship 3) Laundry/Cleaners 4) Hardware								
5) Theater/Entertainment 6) Fitness/Gym 7) Post Office								
8) Senior Care Facility 9) Medical/Dental 10) Hair Care								
11) Commercial Office or Major Employer 12) Full Scale Supermarket								
	i. 5 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	0	1					
	ii. 10 Services Listed Above (Tier 2 Services Count as 1/2 Service Value)	0	1					
No	b. Development is Connected with A Dedicated Pedestrian Pathway to Places of Recreational Interest Within 1/4 mile	0	1					
No	c. Install Traffic Calming Strategies (Minimum of Two):	0	2					
- Designated Bicycle Lanes are Present on Roadways;								
- Ten-Foot Vehicle Travel Lanes;								
- Street Crossings Closest to Site are Located Less Than 300 Feet Apart;								
- Streets Have Rumble Strips, Bulbouts, Raised Crosswalks or Refuge Islands								
5. Design for Safety & Social Gathering								
No	a. All Home Front Entrances Have Views from the Inside to Outside Callers	0	1					
No	b. All Home Front Entrances Can be Seen from the Street and/or from Other Front Doors	0	1					
No	c. Orient Porches (min. 100sf) to Streets and Public Spaces	0	1					
No	d. Development Includes a Social Gathering Space	0	1					
6. Design for Diverse Households (6a. is a Prerequisite for 6b. and 6c.)								
No	a. All Homes Have At Least One Zero-Step Entrance	0	1					
No	b. All Main Floor Interior Doors & Passageways Have a Minimum 32-Inch Clear Passage Space	0	1					
No	c. Locate Half-Bath on the Ground Floor	0	1					
No	d. Provide Full-Function Independent Rental Unit	0	1					
Total Achievable Points in Community Design & Planning = 35		0						
P. INNOVATION			Possible Points					
A. Site								
1. Stormwater Control: Prescriptive Path (Maximum of 3 Points, Mutually Exclusive with PA2.)								
No	a. Use Permeable Paving for 25% of Driveways, Patios and Walkways	0	1					
No	b. Install Bio-Retention and Filtration Features	0	2					
No	c. Route Downspout Through Permeable Landscape	0	1					
No	d. Use Non-Leaching Roofing Materials	0	1					
No	e. Include Smart Street/Driveway Design	0	1					
No	2. Stormwater Control: Performance Path (Mutually Exclusive with PA1): Perform Soil Percolation Test and Capture and Treat 85% of Total Annual Runoff	0	3					
C. Landscape								
No	1. Meet Local Landscape Program Requirement	0				2		
D. Structural Frame & Building Envelope								
1. Design, Build and Maintain Structural Pest and Rot Controls								
No	a. Locate All Wood (Siding, Trim, Structure) At Least 12" Above Soil	0			1			
No	b. All Wood Framing 3 Feet from the Foundation is Treated with Borates (or Use Factory-Impregnated Materials) OR Walls are Not Made of Wood	0			1			
No	2. Use Moisture Resistant Materials in Wet Areas: Kitchen, Bathrooms, Utility Rooms, and Basements [*This credit is a requirement associated with J4: EPA IAP]	0		1	1			
E. Exterior								
No	1. Vegetated Roof (Minimum 25%)	0	2	2				
G. Plumbing								
No	1. Greywater Pre-Plumbing (Includes Washing Machine at Minimum)	0				1		
No	2. Greywater System Operational (Includes Washing Machine at Minimum)	0				2		
No	3. Innovative Wastewater Technology (Constructed Wetland, Sand Filter, Aerobic System)	0				1		
No	4. Composting or Waterless Toilet	0				2		
No	5. Install Drain Water Heat-Recovery System	0	1					
No	6. Install a Hot Water Desuperheater	0	2					
H. Heating, Ventilation, and Air Conditioning								
No	1. Humidity Control Systems (Only in California Humid/Marine Climate Zones 1,3,5,6,7) [*This credit is a requirement associated with J4: EPA IAP]	0		1				
No	2. Design HVAC System to Manual T for Register Design	0	1					
K. Finishes								
No	1. Materials Meet SMaRT Criteria (Select the number of points, up to 5 points)	0			5			
N. Other								
No	1. Detailed Durability Plan and Third-Party Verification of Plan Implementation	0			2			
2. Educational Signage of Project's Green Features								
No	a. Promotion of Green Building Practices	0	1					
No	b. Installed Green Building Educational Signage	0	1					

Kan Residence 1150 S. Bernardo Avenue, Sunnyvale, CA 94087		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
3. Innovation: List innovative measures that meet green building objectives. Enter in the number of points in each category for a maximum of 4 points for the measure in the blue cells. Points achieved column will be automatically fill in based on the sum of the points in each category. Points and measures will be evaluated by Build It Green.								
No	Innovation: Enter up to 4 Points at right. Enter description here	0						
No	Innovation: Enter up to 4 Points at right. Enter description here	0						
No	Innovation: Enter up to 4 Points at right. Enter description here	0						
No	Innovation: Enter up to 4 Points at right. Enter description here	0						
No	Innovation: Enter up to 4 Points at right. Enter description here	0						
Total Achievable Points in Innovation = 33+		0						
Q. CALIFORNIA CALGreen CODE		Possible Points						
Yes	Home meets all applicable CAL Green measures listed in above Sections A - P of the GreenPoint Rated checklist.	Y	R					
<p><i>The following measures are mandatory in the CALGreen code and do not earn points in the GreenPoint Rated Checklist, but have been included in the Checklist for the convenience of jurisdictions.</i></p> <p><i>The GreenPoint Rater is not a code enforcement official. The measures in this section may be verified by the GreenPoint Rater at their own discretion and/or discretion of the building official.</i></p>								
Not Verified	1. CALGreen 4.106.2 Storm water management during construction.	N						
Not Verified	2. CALGreen 4.106.3 Design for surface water drainage away from buildings.	N						
Not Verified	3. CALGreen 4.303.1 As an alternative to prescriptive compliance, a 20% reduction in baseline water use shall be demonstrated through calculation	N						
Not Verified	4. CALGreen 4.406.1 Joints and openings. Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected	N						
Not Verified	5. CALGreen 4.503.1 Gas fireplace shall be a direct-vent sealed-combustion type. Woodstove or pellet stove shall comply with US EPA Phase II emission limits	N						
Not Verified	6. CALGreen 4.505.2 Vapor retarder and capillary break is installed at slab on grade foundations.	N						
Not Verified	7. CALGreen 4.505.3 19% moisture content of building framing materials	N						
Not Verified	8. CALGreen 702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.	N						
Total Achievable Points in California Green Code = 0		0						
Summary								
Total Available Points in Specific Categories			35	96+	44	110	56	
Minimum Points Required in Specific Categories		50	0	30	5	6	9	
Total Points Achieved		80	0	56	7	6	11	

Project has met all recommended minimum requirements

- Total Project Score of At Least 50 Points
- Required measures:
 - A3a: 50% waste diversion by weight
 - H10a: Compliance with ASHRAE 62.2 Mechanical Ventilation Standards
 - J2: 15% above Title 24
 - N1: Incorporate GreenPoint Rated Checklist into blueprints
- Minimum points in specific categories:
 - Energy (30 points)
 - IAQ/Health (5 points)
 - Resources (6 points)
 - Water (9 points)