

PROPOSED TWO-CAR GARAGE & PORCH / ENTRY

(VARIANCE APPROVAL REQUIRED)

BUILDING CODES AND REGULATIONS

2016 CRC CALIFORNIA RESIDENTIAL CODE 2016 CPC CALIFORNIA PLUMBING CODE 2016 CMC CALIFORNIA MECHANICAL CODE 2016 CEC CALIFORNIA ELECTRIC CODE 2016 CALIFORNIA CODE FOR BUILDING CONSERVATION (NOTE: CHAPTER 5 AND APPENDIX 1, 5 & 6 ADOPTED)
2016 BUILDING ENERGY EFFICIENCY STANDARDS

2016 CGBC CALIFORNIA GREEN BUILDING STANDARDS CODE 2016 CFC CALIFONIA FIRE CODE ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REGULATIONS

SHEET INDEX

- SITE PLAN STREET SCAPE PLAN EXTERIOR ELEVATIONS EXISTING / DEMO FLOOR PLAN
- A-5 PROPOSED FLOOR PLAN

SCOPE OF WORK

- DEMOLITION OF EXISTING SINGLE CAR PORT
 NEW 434 S.F. TWO CAR GARAGE
- NEW 56 S.F. ENTRY
- NEW 33 S.F. FRONT PORCH
 VARIANCE REQUEST FOR FRONT SET BACK ENCROCHMENT OF 3'-4" WILL BE ADDED

SITE DATA

A.P.N. LOT SIZE LOT COVERAGE 45% MAX 202-30-058 7,740.0 S.F. 3,480.0 S.F. ZONING SLOPE IS <10%

EXISTING FLOOR AREA (E) FLOOR AREA (E) CAR PORT 2,230 S.F. (E) TOTAL FLOOR AREA 2,482 S.F. % LOT COVERAGE 32%

% LOT COVERAGE

PROPOSED FLOOR AREA (E) FLOOR AREA (N) FLOOR AREA (N) GARAGE (N) TOTAL FLOOR AREA 2,720 S.F.
% LOT COVERAGE 35%

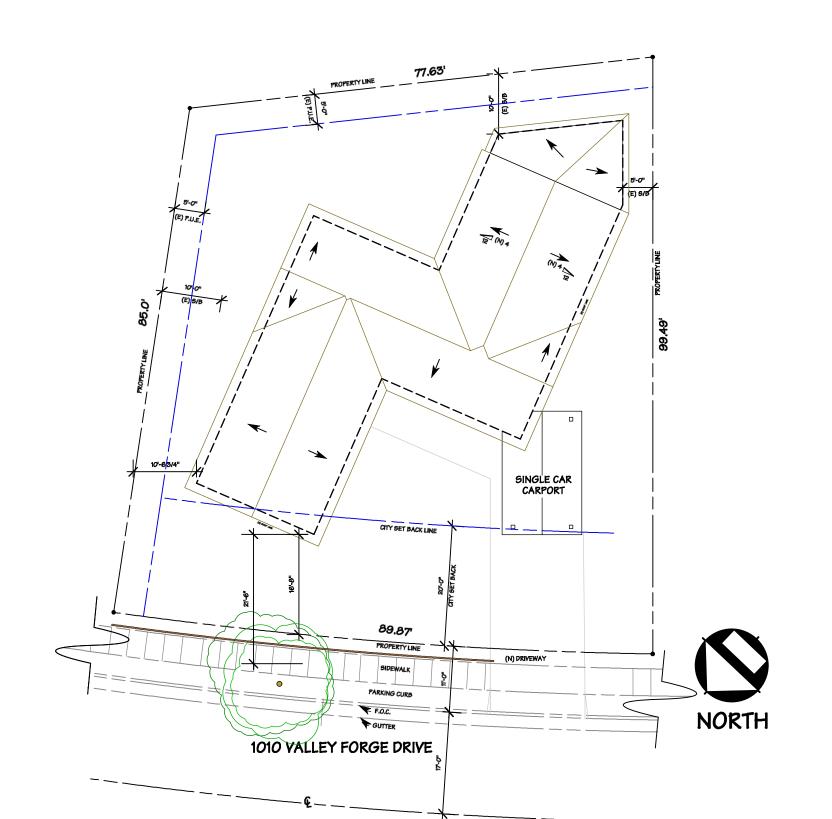
EXISTING LOT COVERAGE
(E) FLOOR AREA 2,230 S.F. (E) CAR PORT 252 S.F. (E) TOTAL FLOOR AREA 2,482 S.F. % LOT COVERAGE 32% % LOT COVERAGE

PROPOSED LOT COVERAGE (E) FLOOR AREA (N) FLOOR AREA 2,230 S.F. 434 S.F. (N) GARAGE (N) FRONT PORCH 33 S.F. (N) TOTAL FLOOR AREA 2,753 S.F. % LOT COVERAGE 36%

EXISTING SITE PHOTOS

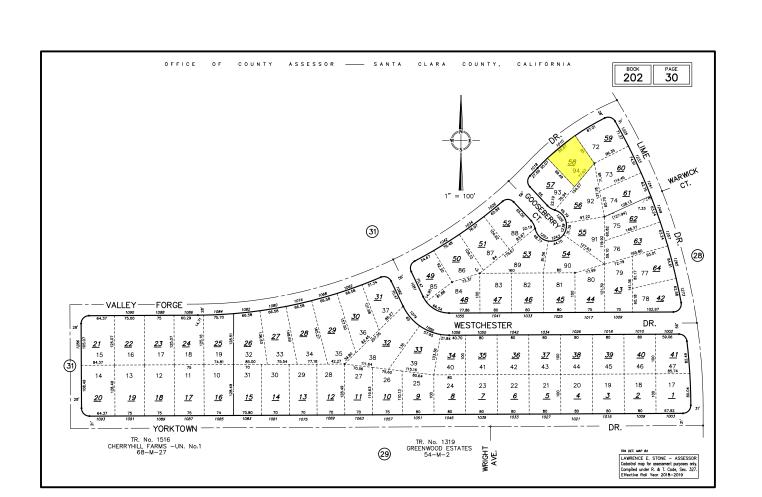
SCALE: 1/16" = 1'-0"

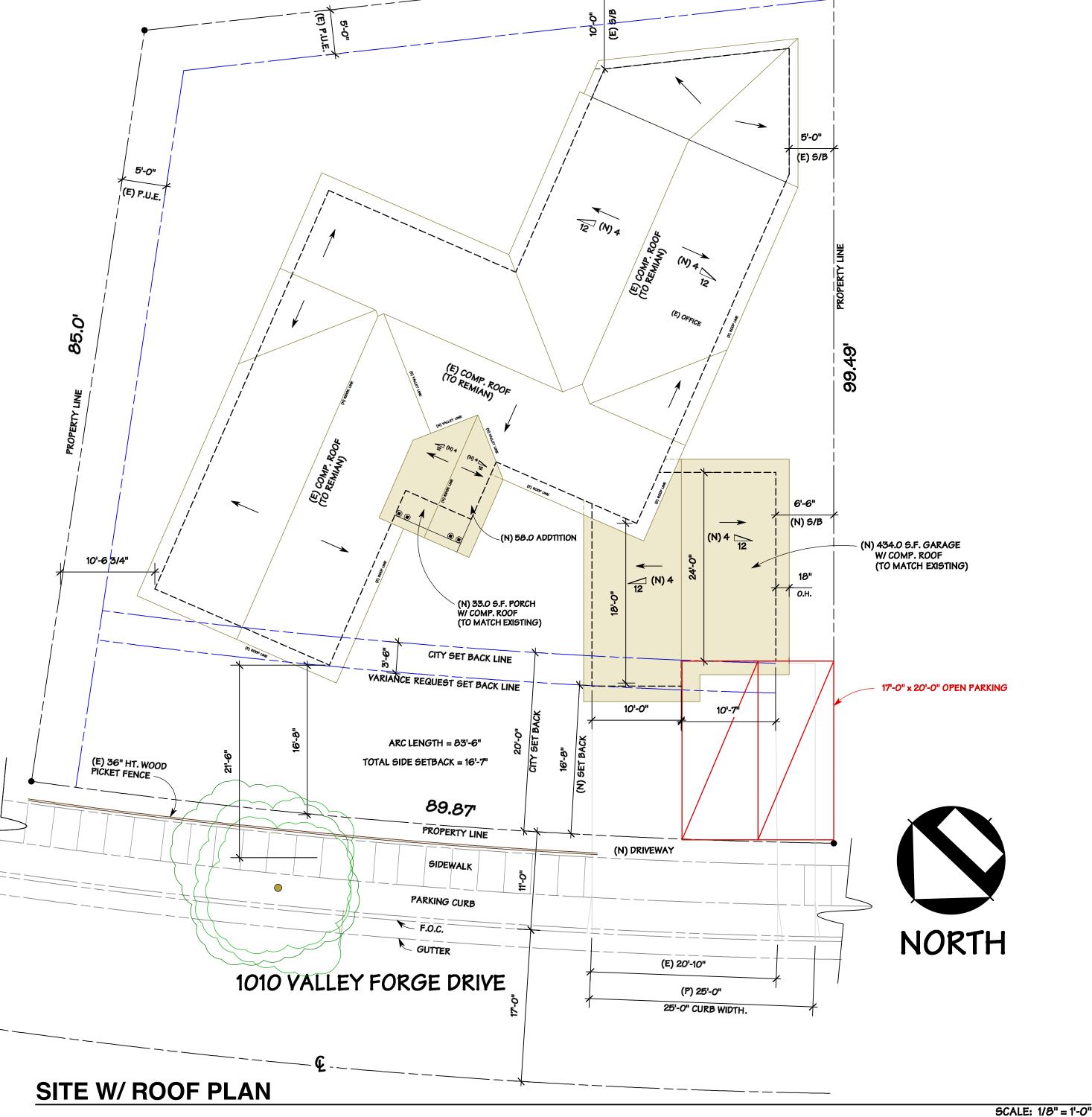
202-30-058



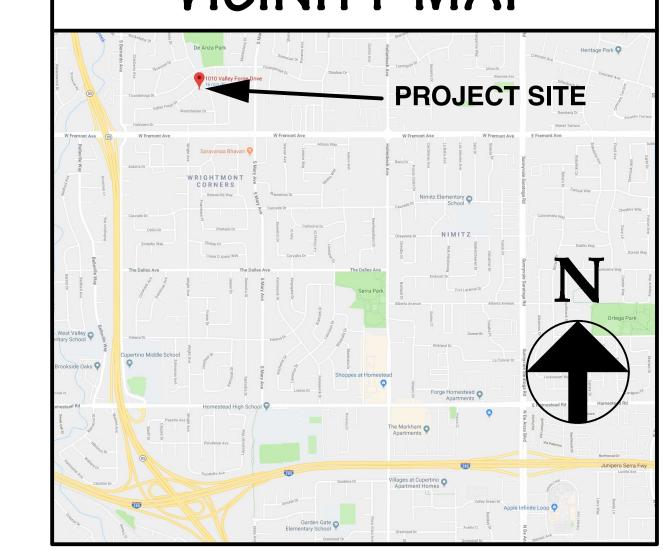
EXISTING SITE PLAN

APN MAP





VICINITY MAP



DRAWN BY

Michael S. Radu

CHECKED BY

JOB NO. 18-31

06/21/19

SCALE AS SHOWN

A-1

SHEET

DATE 06/21/19

SCALE
AS SHOWN

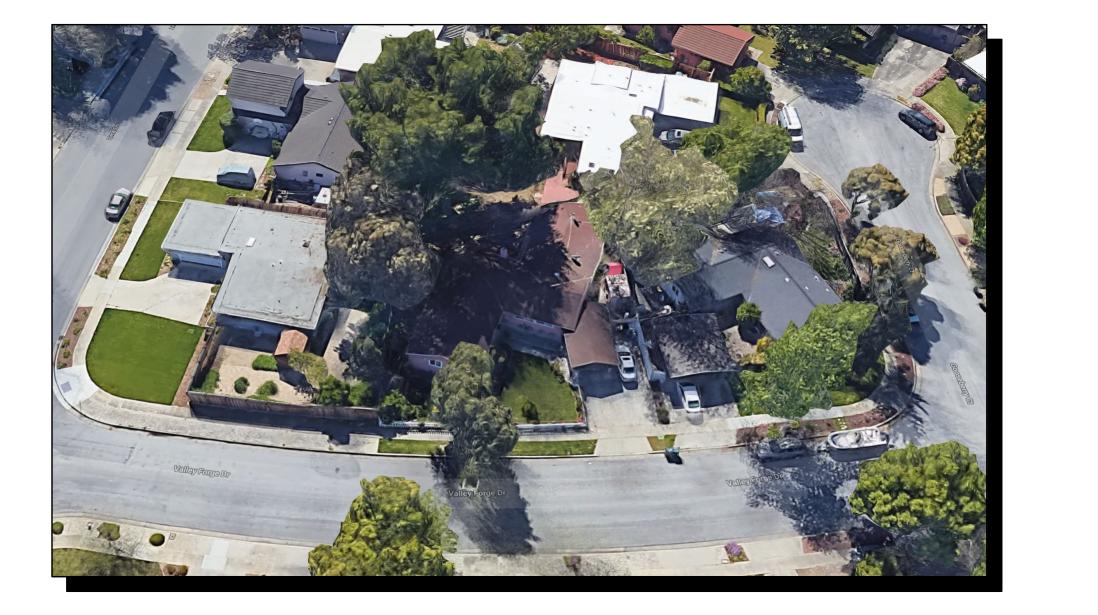
SHEET

A-2









SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

DATE 06/21/19

SCALE AS SHOWN

SHEET

EXTERIOR ELEVATION NOTES

ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. SUCH BARRIER SHALL BE EQUAL TO THAT PROVIDED FOR IN THE C.B.C. STANDARDS AND APPLIED DIRECTLY OVER STUDS OR SHEATHING AT ALL EXTERIOR WALLS. BARRIERS SHALL BE INSTALLED HORIZONTALLY, WEATHERBOARD FASHION, WITH UPPER LAYER LAPPED OVER LOWER LAYER NOT LESS THAN 2 INCHES. WHERE VERTICAL JOINTS OCCUR LAP BARRIER NOT LESS THAN 6 INCHES. PER C.R.C.

EXTERIOR STUCCO FINISH SHALL BE A 3-COAT SYSTEM, 7/8 INCH MINIMUM THICK, HAS TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING, AND HAS 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING). PER C.R.C. R703.7, R703.7.2.1 AND R703.7.3

NOTE: PAPERBACK STUCCO WIRE IS EQUIVALENT TO 1 LAYER OF GRADE D PAPER.

FLASH ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER WITH SHEET METAL OR APPROVED WATERPROOF PAPER. EXTEND AT LEAST 3" UNDER BUILDING PAPER BEHIND EXTERIOR WALL COVERING. ALL PENETRATIONS SHALL BE THOROUGHLY CAULKED AND SEALED. PER C.R.C.

WHERE REQUIRED, PROVIDE 26 GA. G.I. STEP FLASHING AT ALL ROOF TO WALL CONNECTIONS, CRICKET FLASHING AT ALL CHIMNEYS, AND SADDLE FLASHING AT ALL SKYLIGHTS (UNLESS SELF FLASHING).

PROVIDE 26 GA. GI FLASHING AT ALL NEW CONCRETE PORCH/STOOP AREAS WHERE CONTACT WITH WOOD FRAMING WILL OCCUR.

STAIRS AND STEP RISER HEIGHT SHALL BE NOT MORE THAN 73/4 INCHES (196 MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH

(9.5 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE

UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. OPEN RISERS ARE PERMITTED PROVIDED THAT THE **OPENINGS LOCATED MORE THAN 30** INCHES (762 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE

PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE. THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (254 MM). THE TREAD DEPTH

SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD

DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5

PER C.R.C SECTIONS R311.7.5.1 RISERS AND R311.7.5.2 TREADS.

ANCHORED MASONRY VENEER SHALL BE 22 GA GALVANIZED SHEET METAL ANCHOR TIES (WITH A LIP OR HOOK ON EXTENDED LEG ENGAGING NO. 9 GA CONTINUOUS WIRE JOINT REINFORCEMENT) TO RESULT IN ONE ANCHOR PER 2-SQ. FT. OF MASONRY VENEER (E.G., SPACED @ 24" O.C. MAXIMUM HORIZONTAL AND 12" O.C. MAXIMUM YERTICAL). PER C.R.C. SECTION R703.8, TABLE R703.3(1) AND

ROOF COVERING TO COMPLY WITH C.R.C. CHAPTER 9 ALL ROOFING MATERIAL MUST BE LABELED AND CERTIFIED PER U.L. AND ASTM STANDARDS, AND MEET THE REQUIREMENTS OF SECTION R905.4.

FIGURE R703.8, AND R703.12

ROOFING MATERIAL TO BE LIGHTWEIGHT METAL TILE (ICO# 9001) OVER TYPE 30 SATURATED RAG FELT INSTALLED OVER 1/2" MIN. APA RATED (24/16) CDX PLYWOOD SHEATHING WITH 8d NAILS AT 6" (E) & 12" (F). USE T&G PLYWOOD OR 'H' CLIPS AT 48" O.C. (TYPICAL).

DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING

1 ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI / ACCA 2 MANUAL J-2004 OR **EQUIVALENT**

2 SIZE DUCT SYSTEMS ACCORDING TO ANSI / ACCA 1 MANUAL D-2009 OR EQUIVALENT. 3. MANUAL 5-2004 OR EQUIVALENT.

NUMBERS NEED TO CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM OF 4" HIGH, WITH A MINIMUM STROKE OF 1/2". ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR

ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION

SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. PER C.R.C. SECTION 319.1

(E) GRADE

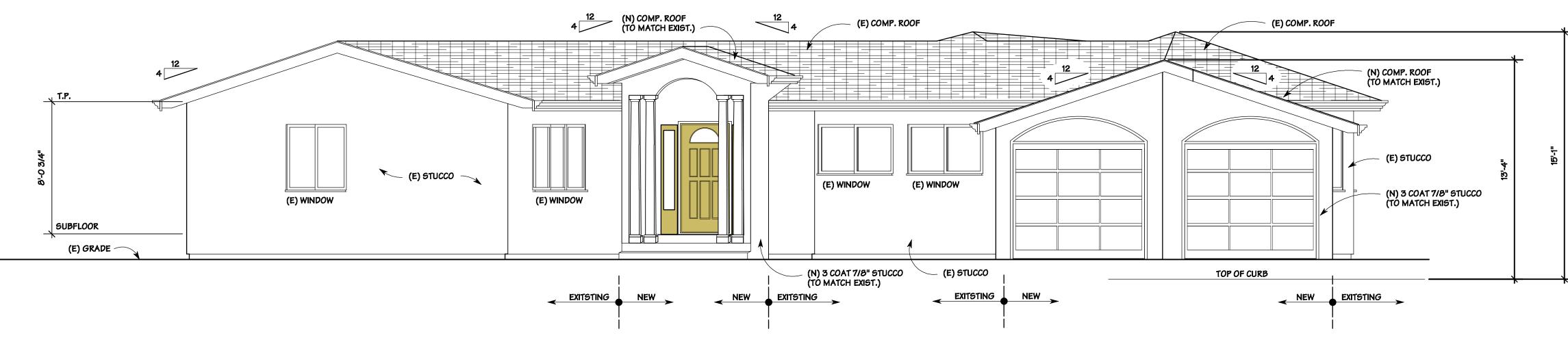
ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES INTENDED FOR HUMAN OCCUPANCY SHALL BE APPROVED PRESSURE-PRESERVATIVETREATED WOOD SUITABLE FOR GROUND CONTACT USE, EXCEPT THAT UNTREATED WOOD USED ENTIRELY BELOW GROUNDWATER LEVEL OR CONTINUOUSLY SUBMERGED IN FRESH WATER SHALL NOT BE REQUIRED TO BE PRESSURE-PRESERVATIVE TREATED. PER C.R.C. SECTION 317.1.2

AN 18" MINIMUM CLEARANCE FROM EARTH TO BOTTOM OF FLOOR JOISTS. FURTHER, SPECIFY A 12" MINIMUM CLEARANCE FROM EARTH TO BOTTOM OF GIRDERS. PER C.R.C. SECTION 317.1

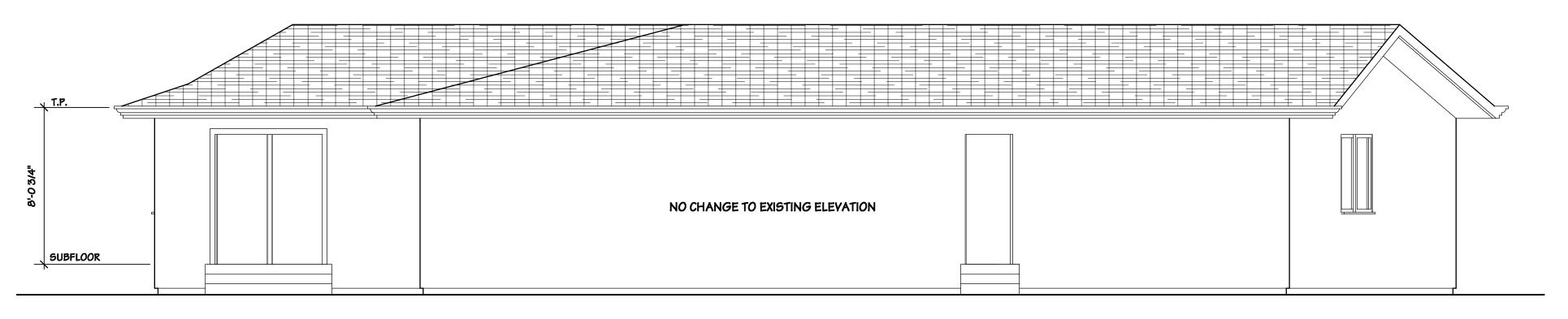
USE PTDF AT FOUNDATION. PER C.R.C. SECTION 317.1 ITEM 3

CONCRETE PEDESTAL, WITHIN THE CRAWLSPACE, PROJECTING 1 INCH (25 MM) ABOVE A CONCRETE FLOOR OR 6 INCHES (152 MM) ABOVE EXPOSED EARTH AND THE EARTH IS COVERED BY AN APPROVED IMPERVIOUS MOISTURE BARRIER. PROJECTING 6" MINIMUM ABOVE EXPOSED EARTH. PER C.R.C. 317.1.4 EXCEPTION 1

CONCRETE PIERS PROJECT 8" MINIMUM ABOVE EXPOSED EARTH. SHALL BE COVERED BY AN IMPERVIOUS MOISTURE BARRIER. PER C.R.C. R317.1.4 EXCEPTION 2



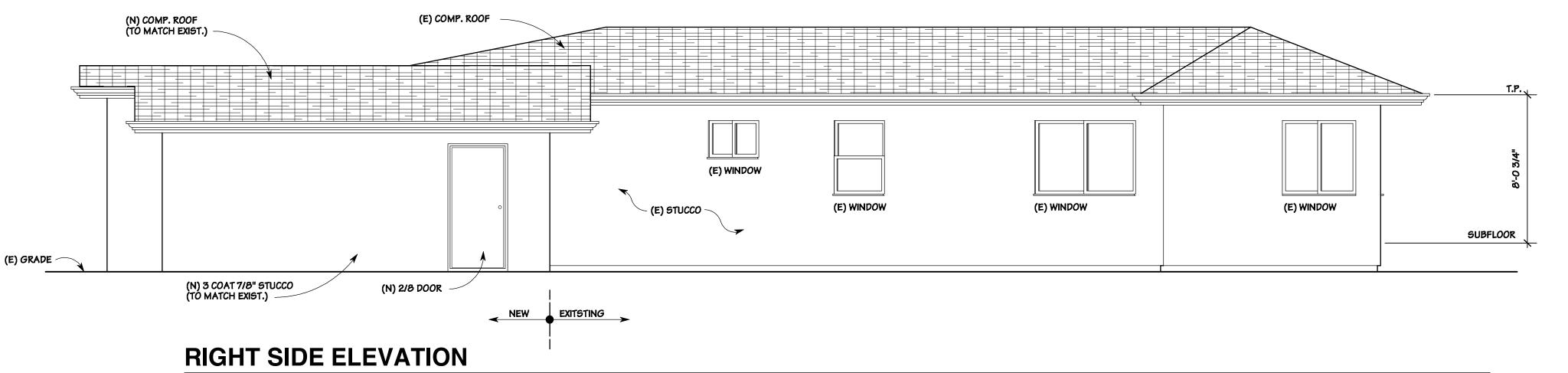
FRONT ELEVATION



LEFT SIDE ELEVATION

NO CHANGE TO EXISTING ELEVATION

REAR ELEVATION



SCALE: 1/4" = 1'-0"

EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

A-4

SHEET

FLOOR PLAN NOTES

PROVIDE EMERGENCY EGRESS WINDOWS
WITH MINIMUM NET CLEAR OPENABLE AREA
OF 5.7 SQUARE FEET. DIMENSIONS SHALL
BE 24" MIN. HIGH BY 20" MIN. WIDE, WITH A
MAXIMUM FINISH SILL HEIGHT OF 44" ABOVE
THE SUBFLOOR. C.R.C.

GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED, LABELED "SAFETY GLASS", AND COMPLY WITH C.R.C. AS FOLLOWS:

• GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND GLAZING IN ANY PORTION OF A WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.

• GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

• GLAZING IN INDIVIDUALLY FIXED OR OPERABLE PANELS (OTHER THAN ABOVE) THAT MEET ALL OF THE FOLLOWING CONDITIONS: GLAZING GREATER THAN 9 SQ. FT. IN AREA; BOTTOM EXPOSED EDGE LESS THAN 18" & TOP EXPOSED EDGE GREATER THAN 36" ABOVE THE FLOOR; AND WITHIN 36" HORIZONTALLY OF ANY WALKING SURFACE.

SLIDING GLASS WINDOWS SHALL BE DESIGNED AND INSTALLED SO AS TO PREVENT THEIR REMOVAL BY RAISING THE MOVABLE PANEL FROM THE TRACK WHILE IN THE CLOSED POSITION. SLIDING UNITS SHALL ALSO HAVE AN APPROVED PRIMARY AND AUXILIARY LOCKING DEVICE PERMANENTLY MOUNTED AND NOT ACCESSIBLE FROM THE EXTERIOR OF THE BUILDING. THE MOVABLE SECTION OF THE SLIDING UNITS SHALL BE MOUNTED ON THE INSIDE TRACK.

ALL DOORS AND WINDOWS ARE TO BE FULLY WEATHER-STRIPPED PER TITLE 24 REQUIREMENTS.

ALL JOINTS AND PENETRATIONS ARE TO BE PROPERLY CAULKED AND SEALED PER TITLE 24 REQUIREMENTS.

PROVIDE 26 GA. GI. FLASHING AT ALL NEW CONCRETE PORCH/STOOP AREAS WHERE CONTACT WITH WOOD FRAMING WILL OCCUR.

ALL STEPS AND STAIRWAYS RISERS SHALL NOT BE LESS THAN 4" MIN. OR GREATER THAN 7.75" MAX. ALL TREADS SHALL BE 13" WIDE (BUT, NOT LESS THAN 9" MIN.) TYPICAL UNLESS NOTED OTHERWISE ON THE PLANS.

SHOWER AND TUB WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE, SUCH AS TILE OR OTHER APPROVED MATERIAL, TO A MINIMUM HEIGHT OF 70" ABOVE THE DRAIN INLET. APPLY NON-ABSORBENT MATERIAL TO WATER-PROOF BUILDING PAPER AND WIRE LATH, INSTALLED OVER WATER-RESISTANT GYP. BOARD APPLIED DIRECTLY TO STUDS. C.R.C.

PROVIDE MIN. 24" CLEAR AT FRONT AND MIN. 30" CLEAR WIDTH AT ALL WATER CLOSETS.

SEISMIC STRAP WATER HEATER TO BUILDING AND INSTALL A MIN. R-12 INSULATION BLANKET. C.P.C. SECTION 510.5, & TITLE 24 REQUIREMENTS.

EXHAUST FANS IN BATHROOMS, LAUNDRY ROOMS, AND SIMILAR ROOMS SHALL BE VENTED DIRECTLY TO THE OUTSIDE AND CAPABLE OF PROVIDING A MINIMUM OF FIVE COMPLETE AIR CHANGES PER HOUR. C.R.C.

MECHANICAL AND PLUMBING
PENETRATIONS PASSING ENTIRELY
THROUGH BOTH PROTECTIVE MEMBRANES
OF BEARING WALLS REQUIRED TO HAVE A
FIRE-RESISTANCE RATING, AND WALLS
REQUIRING PROTECTED OPENINGS SHALL BE
PROTECTED WITH THROUGH-PENETRATION
FIRE BLOCKS SUITABLE FOR THE METHOD OF
PENETRATION. PER C.R.C.

PROVIDE FIREBLOCKING IN THE FOLLOWING LOCATIONS PER C.R.C.

(A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10 FT. INTERVALS BOTH VERTICAL AND HORIZONTAL.

(B) AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS.

(C) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.

(D) IN OPENINGS OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS AT CEILING AND FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS.

(E) AT OPENINGS BETWEEN ATTIC SPACES & CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

5/8" TYPE 'X' ONE HOUR FIRE RATED GYP. BOARD SHALL BE INSTALLED ON ALL WALLS AND CEILING AT GARAGE SIDE WHICH ARE COMMON TO ANY LIVING AREAS, ALSO INSTALL FIRE RATED GYPSUM BOARD AT UNDERSIDE OF ANY ENCLOSED STAIRWAYS. PER C.R.C.

ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVE, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.

CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH YOC LIMITS.

80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS), HIGH PERFORMANCE PRODUCTS DATABASE OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (FRCI) FLOORSCORE PROGRAM; OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH SPECIFICATION 01350.

PARTICLEBOARD, MEDIUM DENSITY
FIBERBOARD (MDF) AND HARDWOOD
PLYWOOD USED IN INTERIOR FINISH
SYSTEMS SHALL COMPLY WITH LOW
FORMALDEHYDE EMISSION STANDARDS.

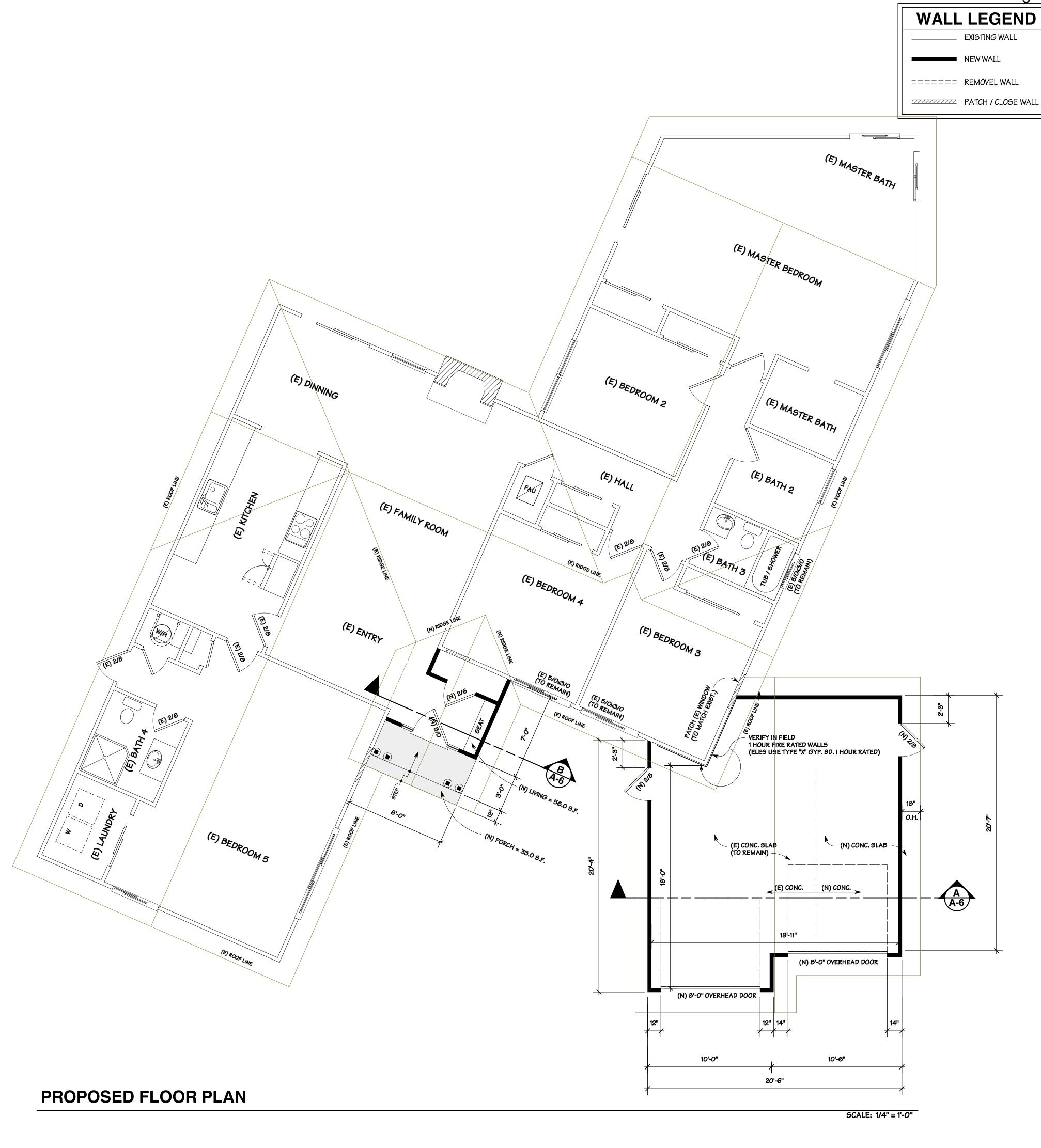
VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS.

SHOWER AND OR TUB/SHOWER WALLS SHALL HAVE A SMOOTH, HARD, NOABSORBENT SURFACE (E.G. CERAMIC TILE, FIBERGLASS ECT.) OVER MOISTURE RESISTANT UNDERLAYMENT (E.G. WATER RESISTANT GYPSUM BOARD, GREEN BOARD ECT.) TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR. PER C.R.C 307.2, R702.4 AND R702.3.7

ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWELDGE OR EFFORT. PER C.R.C. SECTION R311.2

ALL EXTERIOR WINDOWS AND SLIDING DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A LABEL IDENTIFYING MANUACTURE, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH AAMA/WDMA/CSA 101/1.5.2/A440

EXTERIOR SIDED-HINGED DOORS SHALL BE TESTED AND LABELED AS CONFORMING TO AAMA/WDMA/CSA 101/1.5.2/A440 OR COMPLY WITH SECTION R609.1 AND R609.3 OR COMPLY WITH C.R.C. SECTION R609.



ATTACHMENT 7 Page 5 of 5

WALL LEGEND

EXISTING WALL

OWNER: DR. PRINCE & ANCY NECHIK 1010 VALLEY FORGE DRIVE

PACIFIC BLUE DEVELOPMEN
Michael S Radu
35 Colleen Way
Cambell CA. 95008
(408) 504-6826 Cell

PLAN NOTES

DRAWN BY Michael S. Radu

CHECKED BY
PBD

JOB NO. 18-31 DATE

06/21/19 SCALE

AS SHOWN

SHEET

A-5