

DR. PRINCE & ANCY NECHIKAT ADDITION



EXISTING SITE PHOTOS



PROPOSED TWO-CAR GARAGE & PORCH / ENTRY

(VARIANCE APPROVAL REQUIRED)

BUILDING CODES AND REGULATIONS

2016 CRC CALIFORNIA RESIDENTIAL CODE
2016 CPC CALIFORNIA PLUMBING CODE
2016 CMC CALIFORNIA MECHANICAL CODE
2016 CEC CALIFORNIA ELECTRIC CODE
2016 CALIFORNIA CODE FOR BUILDING CONSERVATION
(NOTE: CHAPTER 5 AND APPENDIX 1, 5 & 6 ADOPTED)
2016 BUILDING ENERGY EFFICIENCY STANDARDS
2016 CGBC CALIFORNIA GREEN BUILDING STANDARDS CODE
2016 CFC CALIFORNIA FIRE CODE
ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REGULATIONS

SHEET INDEX

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A-2 STREET SCAPE PLAN
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A-5 PROPOSED FLOOR PLAN

SCOPE OF WORK

- DEMOLITION OF EXISTING SINGLE CAR PORT
- NEW 434 S.F. TWO CAR GARAGE
- NEW 56 S.F. ENTRY
- NEW 33 S.F. FRONT PORCH
- VARIANCE REQUEST FOR FRONT SET BACK ENCROACHMENT OF 3'-4" WILL BE ADDED

SITE DATA

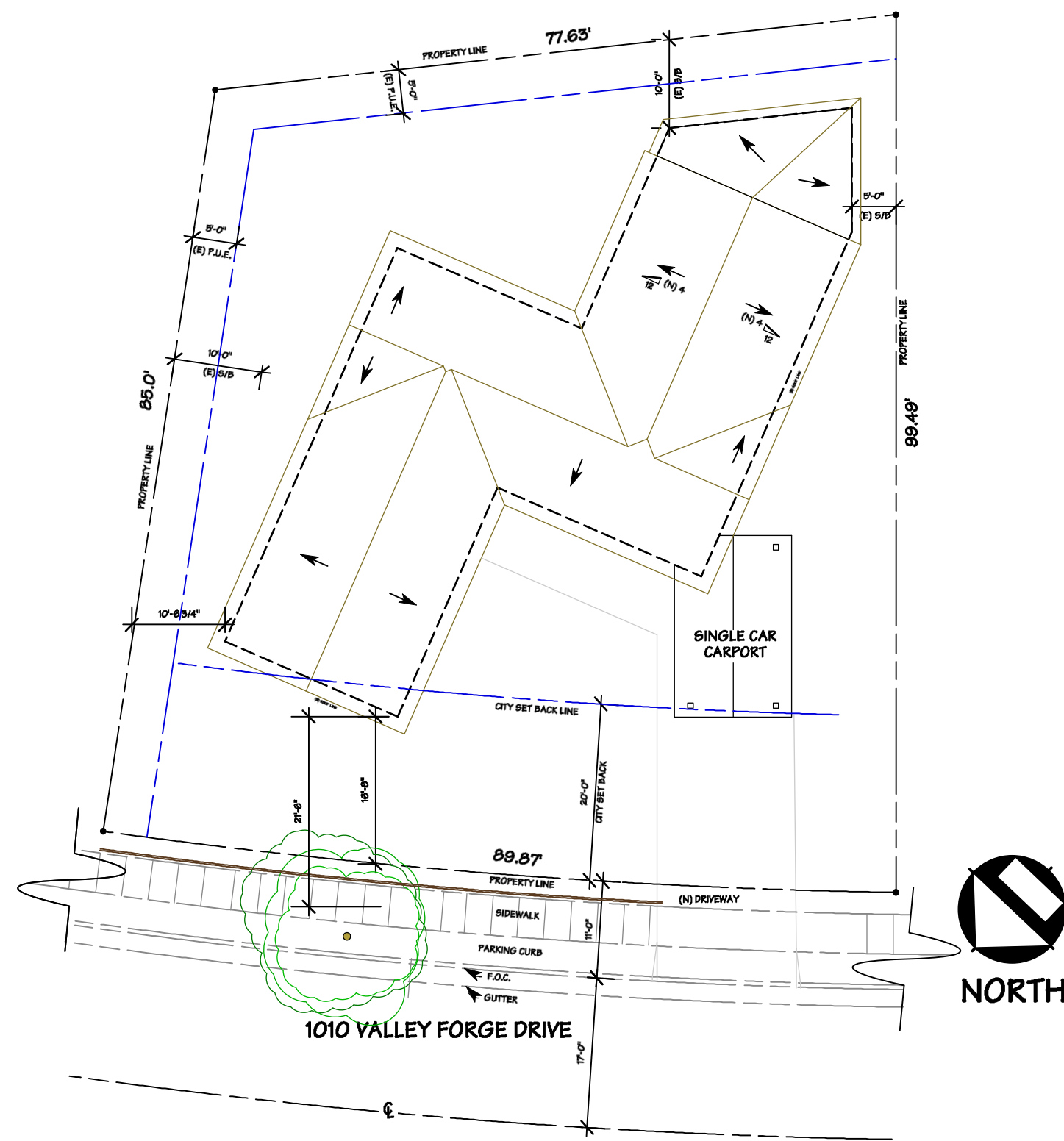
A.P.N. 202-30-058
LOT SIZE 7,740.0 S.F.
LOT COVERAGE 45% MAX 3,480.0 S.F.
ZONING R-1
SLOPE IS <10% YES

EXISTING FLOOR AREA
(E) FLOOR AREA 2,230 S.F.
(E) CAR PORT 252 S.F.
(E) TOTAL FLOOR AREA 2,482 S.F.
% LOT COVERAGE 32%

PROPOSED FLOOR AREA
(E) FLOOR AREA 2,230 S.F.
(N) FLOOR AREA 56 S.F.
(N) GARAGE 434 S.F.
(N) TOTAL FLOOR AREA 2,720 S.F.
% LOT COVERAGE 35%

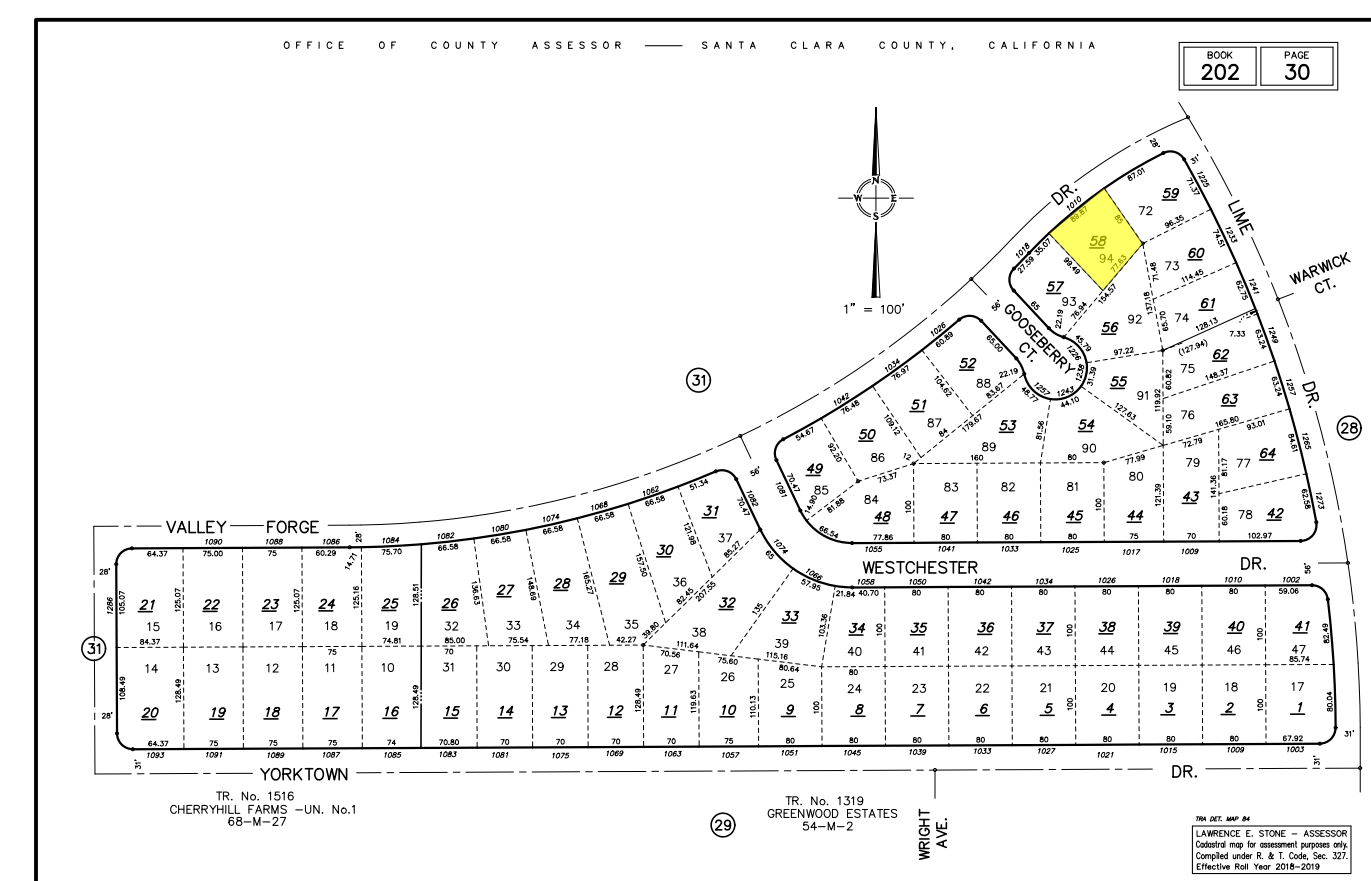
EXISTING LOT COVERAGE
(E) FLOOR AREA 2,230 S.F.
(E) CAR PORT 252 S.F.
(E) TOTAL FLOOR AREA 2,482 S.F.
% LOT COVERAGE 32%

PROPOSED LOT COVERAGE
(E) FLOOR AREA 2,230 S.F.
(N) FLOOR AREA 56 S.F.
(N) GARAGE 434 S.F.
(N) FRONT PORCH 33 S.F.
(N) TOTAL FLOOR AREA 2,753 S.F.
% LOT COVERAGE 36%



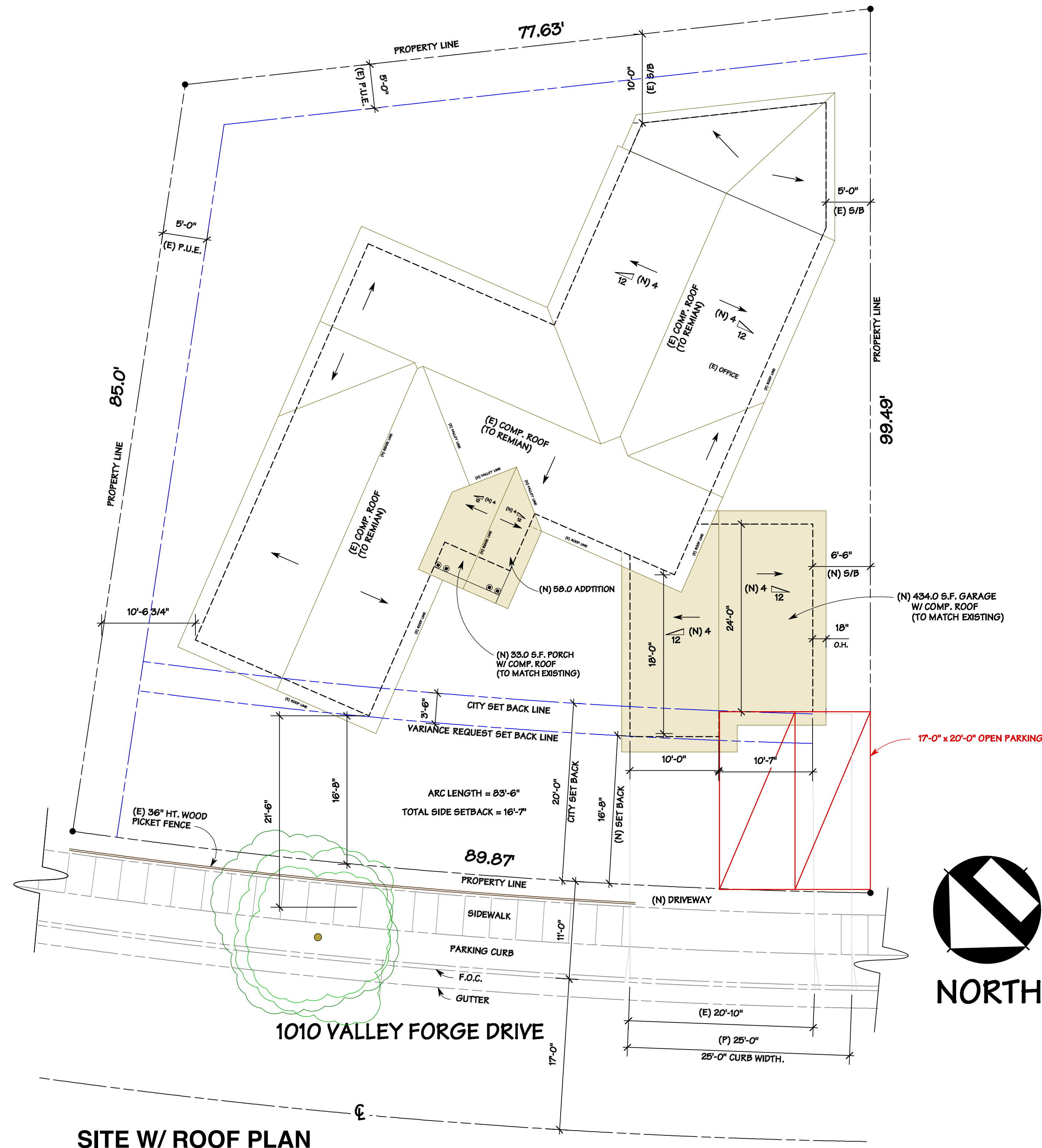
EXISTING SITE PLAN

SCALE: 1/16" = 1'-0"



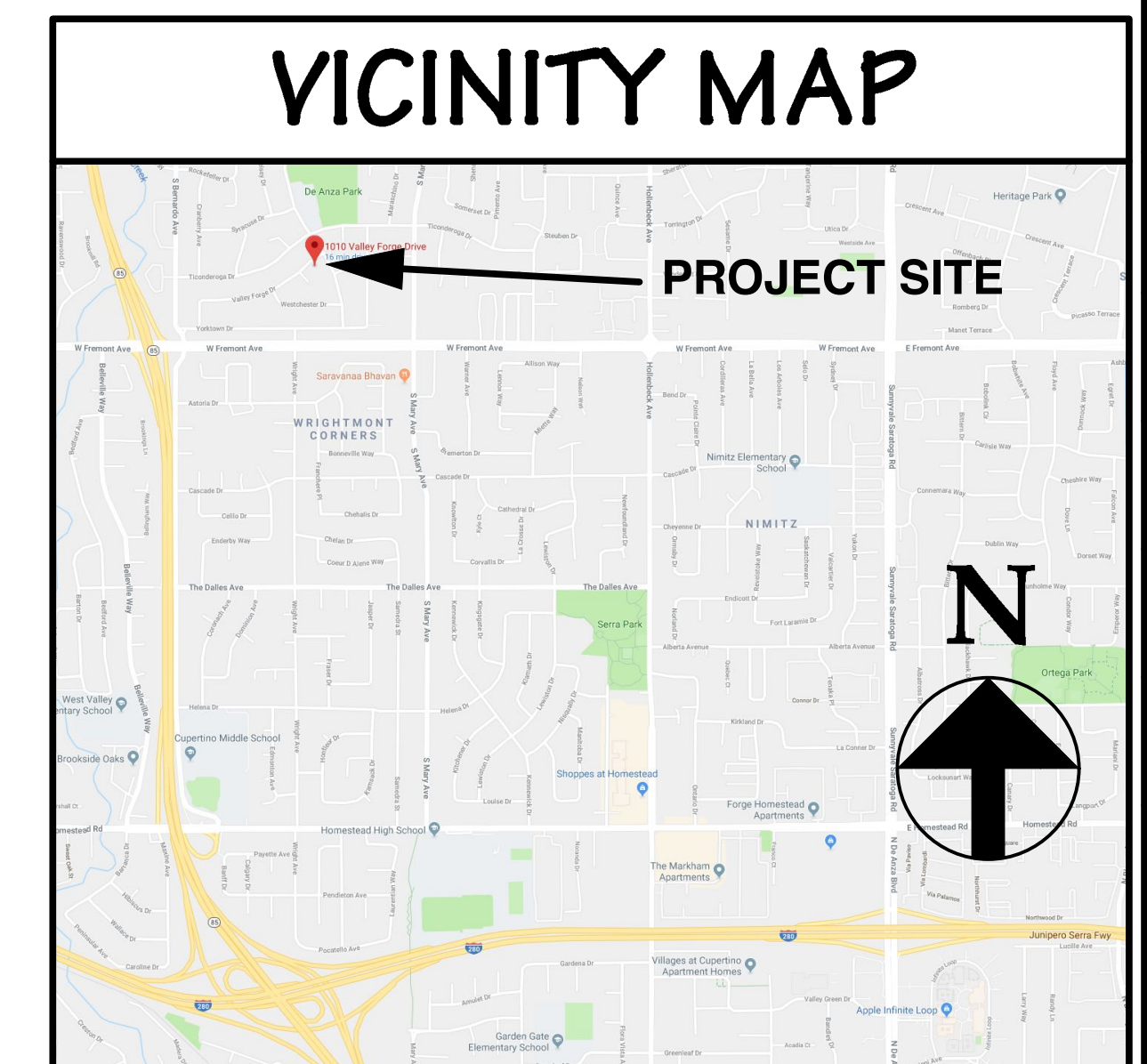
APN MAP

202-30-058



SITE W/ ROOF PLAN

SCALE: 1/8" = 1'-0"



VICINITY MAP

PROJECT SITE

SITE W/ ROOF PLAN
VICINITY MAP
PLAN NOTES

DRAWN BY
Michael S. Radu

CHECKED BY
PBD

JOB NO.
18-31

DATE
06/21/19

SCALE
AS SHOWN

SHEET

A-1

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REVISION:

OWNER: DR. PRINCE & ANCY NECHIKAT
1010 VALLEY FORGE DRIVE
SUNNYVALE CA, 95121

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REVISION:

STREET SCAPE ELEVATIONS
PLAN NOTES

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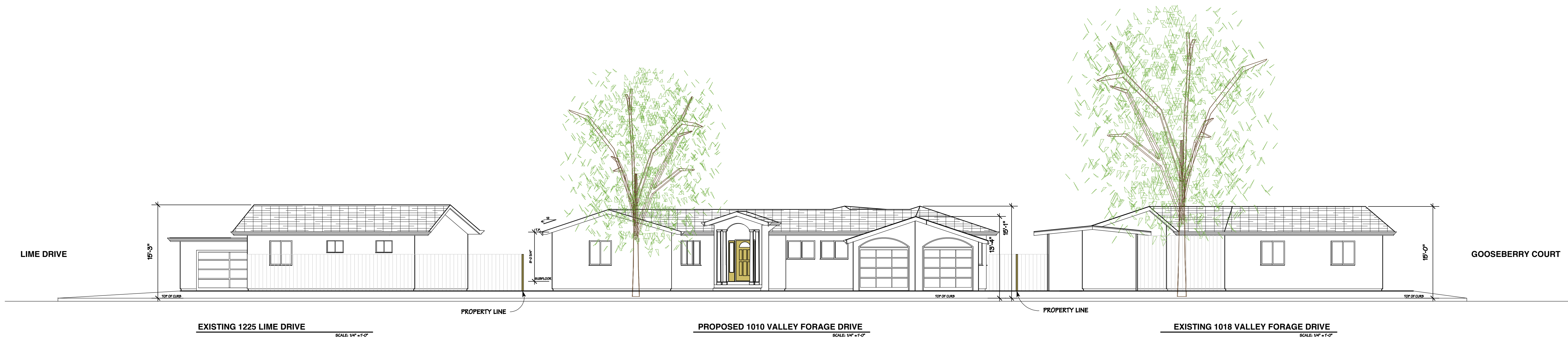
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A-2



EXTERIOR ELEVATION NOTES

ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. SUCH BARRIER SHALL BE EQUAL TO THAT PROVIDED FOR IN THE C.B.C. STANDARDS AND APPLIED DIRECTLY OVER STUDS OR SHEATHING AT ALL EXTERIOR WALLS. BARRIERS SHALL BE INSTALLED HORIZONTALLY, WEATHERBOARD FASHION, WITH UPPER LAYER LAPPED OVER LOWER LAYER NOT LESS THAN 2 INCHES. WHERE VERTICAL JOINTS OCCUR LAP BARRIER NOT LESS THAN 6 INCHES. PER C.R.C.

EXTERIOR STUCCO FINISH SHALL BE A 3-COAT SYSTEM, 7/8 INCH MINIMUM THICK, HAS TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING, AND HAS 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING). PER C.R.C. R703.7.2.1 AND R703.7.3

NOTE: PAPERBACK STUCCO WIRE IS EQUIVALENT TO 1 LAYER OF GRADE D PAPER.

FLASH ALL EXTERIOR OPENINGS EXPOSED TO THE WEATHER WITH SHEET METAL OR APPROVED WATERPROOF PAPER. EXTEND AT LEAST 3" UNDER BUILDING PAPER BEHIND EXTERIOR WALL COVERING. ALL PENETRATIONS SHALL BE THOROUGHLY CAULKED AND SEALED. PER C.R.C.

WHERE REQUIRED, PROVIDE 26 GA. G.I. STEP FLASHING AT ALL ROOF TO WALL CONNECTIONS, CRICKET FLASHING AT ALL CHIMNEYS, AND SADDLE FLASHING AT ALL SKYLIGHTS (UNLESS SELF FLASHING).

PROVIDE 26 GA. G.I FLASHING AT ALL NEW CONCRETE PORCH/STOOP AREAS WHERE CONTACT WITH WOOD FRAMING WILL OCCUR.

STAIRS AND STEP RISER HEIGHT SHALL BE NOT MORE THAN 7 3/4 INCHES (196 MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENINGS LOCATED MORE THAN 30 INCHES (762 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE. THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (254 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). PER C.R.C. SECTIONS R311.7.5.1 RISERS AND R311.7.5.2 TREADS.

ANCHORED MASONRY VENEER SHALL BE 22 GA GALVANIZED SHEET METAL ANCHOR TIES (WITH A LIP OR HOOK ON EXTENDED LEG END) AGING NO. 9 GA CONTINUOUS WIRE JOINT REINFORCEMENT) TO RESULT IN ONE ANCHOR PER 2-SQ. FT. OF MASONRY VENEER (E.G., SPACED @ 24" O.C. MAXIMUM HORIZONTAL AND 12" O.C. MAXIMUM VERTICAL). PER C.R.C. SECTION R703.8, TABLE R703.3(1) AND FIGURE R703.8, AND R703.12

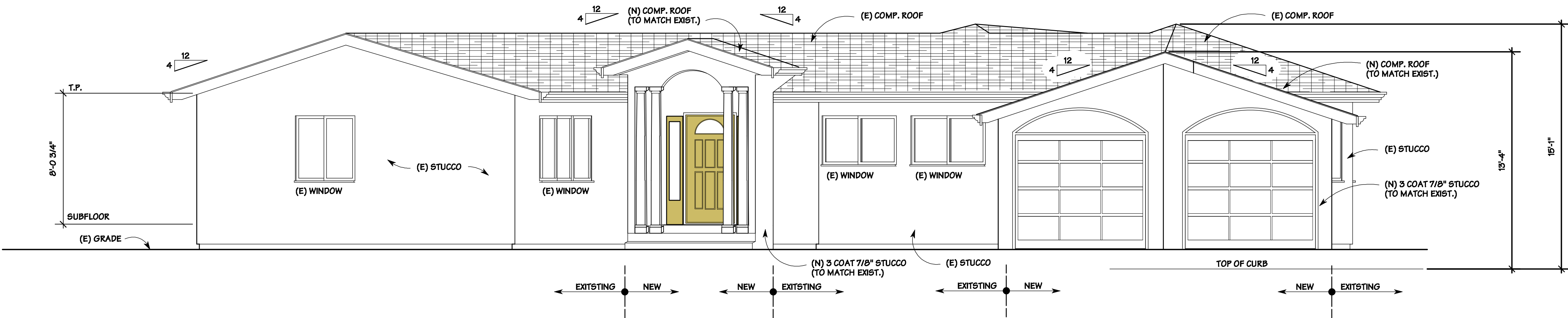
ROOF COVERING TO COMPLY WITH C.R.C. CHAPTER 9 ALL ROOFING MATERIAL MUST BE LABELED AND CERTIFIED PER U.L. AND ASTM STANDARDS, AND MEET THE REQUIREMENTS OF SECTION R905.4.

ROOFING MATERIAL TO BE LIGHTWEIGHT METAL TILE (ICD# 9001) OVER TYPE 30 SATURATED RAG FELT INSTALLED OVER 1/2" MIN. APA RATED (24/16) CDX PLYWOOD SHEATHING WITH 8d NAILS AT 6" (E) & 12" (F). USE T&G PLYWOOD OR 'H' CLIPS AT 48" O.C. (TYPICAL).

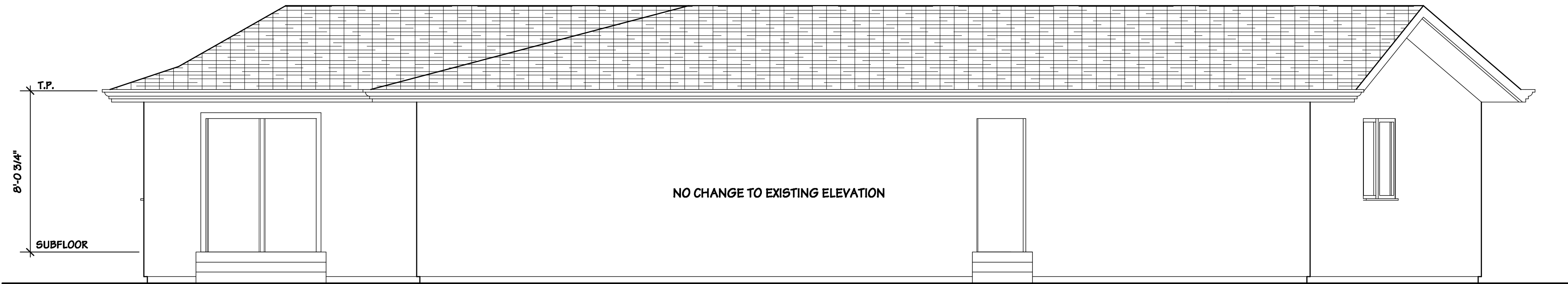
DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI / ACCA 2 MANUAL J-2004 OR EQUIVALENT
2. SIZE DUCT SYSTEMS ACCORDING TO ANSI / ACCA 1 MANUAL D-2009 OR EQUIVALENT.
3. MANUAL S-2004 OR EQUIVALENT.

NUMBERS NEED TO CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM OF 4" HIGH, WITH A MINIMUM STROKE OF 1/2". ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. PER C.R.C. SECTION 319.1

ALL WOOD IN CONTACT WITH THE GROUND, EMBEDDED IN CONCRETE IN DIRECT CONTACT WITH THE GROUND OR EMBEDDED IN CONCRETE EXPOSED TO THE WEATHER THAT SUPPORTS PERMANENT STRUCTURES INTENDED FOR HUMAN OCCUPANCY SHALL BE APPROVED PRESSURE-PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT USE, EXCEPT THAT UNTREATED WOOD USED ENTIRELY BELOW GROUNDWATER LEVEL OR CONTINUOUSLY SUBMERGED IN FRESH WATER SHALL NOT BE REQUIRED TO BE PRESSURE-PRESERVATIVE-TREATED. PER C.R.C. SECTION 317.1.2
AN 18" MINIMUM CLEARANCE FROM EARTH TO BOTTOM OF FLOOR JOISTS. FURTHER, SPECIFY A 12" MINIMUM CLEARANCE FROM EARTH TO BOTTOM OF GIRDERS. PER C.R.C. SECTION 317.1
USE PTDF AT FOUNDATION. PER C.R.C. SECTION 317.1 ITEM 3
CONCRETE PEDESTAL, WITHIN THE CRAWLSPACE, PROJECTING 1 INCH (25 MM) ABOVE A CONCRETE FLOOR OR 6 INCHES (152 MM) ABOVE EXPOSED EARTH AND THE EARTH IS COVERED BY AN APPROVED IMPERVIOUS MOISTURE BARRIER. PROJECTING 6" MINIMUM ABOVE EXPOSED EARTH. PER C.R.C. 317.1.4 EXCEPTION 1
CONCRETE PIERS PROJECT 8" MINIMUM ABOVE EXPOSED EARTH. SHALL BE COVERED BY AN IMPERVIOUS MOISTURE BARRIER. PER C.R.C. R317.1.4 EXCEPTION 2



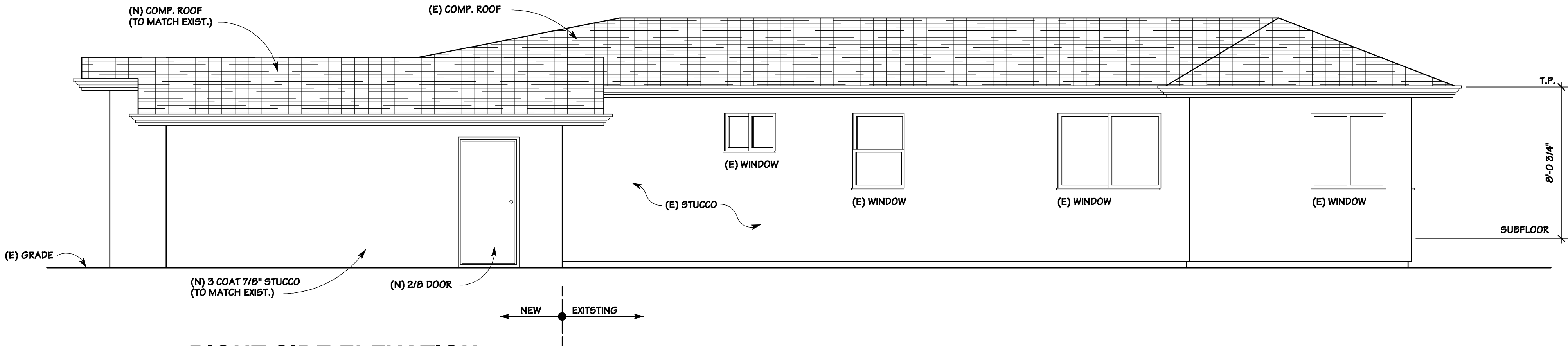
FRONT ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION

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EXTERIOR ELEVATIONS
PLAN NOTES

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A-3

WALL LEGEND

- EXISTING WALL
- NEW WALL
- REMOVAL WALL
- PATCH / CLOSE WALL



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

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1010 VALLEY FORGE DRIVE
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REVISION:				
	NO.	DESCRIPTION	DATE	BY

EXISTING FLOOR PLAN

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A-4

