PLANNING SUBMITTAL - REVISION 3 6/5/19

EMRY - SU REMODEL

1381 SYDNEY DRIVE SUNNYVALE, CA 94087

A.P.N. 323-09-001

SECOND STORY TO FIRST STORY RATIO (MASSING)				
1ST FLOOR 1,767.55 SQ. FT.				
2ND FLOOR	603.04 SQ.FT.			
603.04 SQ.FT. / 1,767.55 =				
= 0.341173 X 100%				
	= 34%			

GENERAL NOTES

1. DO NOT SCALE THESE DRAWINGS.

BEFORE STARTING THE WORK.

BEEN REDUCED OR ENLARGED.

Sunnyvale

General Plan Category

Gross Floor Area (sq. ft

☐ Use (If vacant, how long has it been vaca

☐ Zoning District

□ Lot Size (sq. ft.)

Floor Area Ratio (%)	46%	49.5%	45%
Lot Coverage (%)	38.2%	38.2%	40%
Number of Units	1	1	1
Density (units/acre)	1	1	NA
Meets 75% min?	NA	NA	NA
Bedrooms / Unit	3	4	NA
Unit Sizes (sq. ft.)	NA	NA	NA
Lockable Storage / Unit (cu. ft.)	NA	NA	NA
Number of Buildings On-Site	1	1	1
Distance Between Buildings	NA	NA	NA
Building Height (ft.)	19'-2 1/2"	21'-7 3/16"	30'
No. of Stories	2	2	2
Front Setbacks (1st Story/2nd Story)	37'-3 7/16"	37'-3 7/16"	20'
Left Side Setbacks(1st Story/2nd Story facing property)	6'-3 9/16"/6'-3 9/16"	6'-3 9/16"/6'-3 9/16"	5'-6"/7'-0"
Right Side Setbacks(1st Story/2nd Story facing property)	5'-0"/ 24'-3 5/8"	5'-0"/24'-3 5/8"	4'-6"/9'-0"
Rear Setback	20'-2 3/8"	20'-2 3/8"	20'
Landscaping (total sq. ft.)	NA	NA	NA
Landscaping (sq. ft./unit)	NA	NA	NA
Useable Open Space (sq. ft./unit)	NA	NA	NA 15 ft.
Parking Lot Area Shading (%)	NA	NA	NA 50% min. in 15
Water Conserving Plants (%)	NA	NA	NA 70%
Total No. of Parking Spaces	2	2	2
Standards	NA	NA	NA
Compacts / % of total	NA	NA	NA
Accessible Spaces	NA	NA	NA
Covered Spaces	NA	NA	NA
Aisle Width (ft.)	NA	NA	NA
Bicycle Parking	NA	NA	NA
-	†	†	

SUMMARY OF WORK

WORK TO BE PERFORMED.

RESIDENTIAL PROJECT DATA

R2/PD

2,207

Applicant should refer to the Sunnyvale Municipal Code for current requirements.

CONDITIONS

THE WORK CONSISTS OF THE ADDITION OF APPROXIMATELY 163 SQUARE FEET OF LIVING SPACE TO AN EXISTING HOME. IT

ALSO CONSISTS OF A NEW ROOF/STRUCTURE OF THE ENTIRE

REPAIR, OF ASBESTOS-CONTAINING EXTERIOR SIDING TILES.

CONTRACTOR: THE ABOVE PARAGRAPH IS ONLY A SUMMARY

DRAWINGS AND SPECIFICATIONS TO DETERMINE THE ACTUAL

PROJECT

2,370

REQUIRED/

PERMITTED

OF THE WORK. CAREFULLY EXAMINE THE ENTIRE SET OF

HOUSE. THE WORK INCLUDES REMOVAL, AND POSSIBLY

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T2.0 PERMIT ONLY SPECIFICATIONS

3. IF THESE DRAWINGS ARE NOT 24" X 36" THEY HAVE

☐ Impervious Surface Area (sq. ft.)

A0.1 CONTEXTUAL SITE PLAN 4. (1X) INDICATES NOMINAL SIZE. (1") INDICATES ACTUAL

COMPLY WITH THE FOLLOWING CODES, WITH LOCAL AMENDMENTS, FOR OCCUPANCY GROUP(S) AND CONSTRUCTION TYPE(S) INDICATED IN "BUILDING AND SITE INFORMATION" ON THIS SHEET: 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA RESIDENTIAL CODE,

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE

CHECKED AND VERIFIED BY THE CONTRACTOR

2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA FIRE CODE, 2016 CALIFORNIA GREEN BUILDING CODE ("CALGREEN") AND 2016

SPECIFICATIONS, AND GOVERNING CODES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE STARTING THE WORK INVOLVED.

8. TITLE 24 ENERGY REQUIREMENTS DESCRIBED IN THE REPORT ARE INCLUDED IN THE CONTRACT DOCUMENTS, AND REPRESENT MINIMUM

BUILDING AND SITE INFORMATION

ZONING R2 / PD SPECIAL USE DISTRICT NONE OCCUPANCY GROUP(S) R-3/U V-B CONSTRUCTION TYPE(S)

LOT DIMENSIONS 4,784 SF AREA OF LOT WHICHEVER IS LESS ALLOWABLE LOT COVERAGE 40% OF LOT (2 STORY) **EXISTING MAIN FLOOR AREA** 1,276.07 GSF **EXISTING SECOND FLOOR AREA** 439.88 GSF **EXISTING GARAGE FLOOR AREA** 491.48 GSF **EXISTING TOTAL FLOOR AREA** 2,207.37 GSF 1,276.07 GSF ALTERED MAIN FLOOR AREA ALTERED SECOND FLOOR AREA 603.04 GSF 491.48 GSF ALTERED GARAGE FLOOR AREA ALTERED TOTAL FLOOR AREA 2370.59 GSF

EXISTING MAIN FLOOR AREA 1,278.77 GSF **EXISITING PORCH AREA** 57.15 GSF **EXISTING GARAGE FLOOR AREA** 491.48 GSF TOTAL EXISTING LOT COVERAGE 1,826.68 GSF 1,278.77 GSF ALTERED MAIN FLOOR AREA ALTERED PORCH AREA 57.15 GSF ALTERED GARAGE FLOOR AREA TOTAL ALTERED LOT COVERAGE 1,826.68 GSF

REQUIRED FRONT YARD SETBACK REQUIRED REAR YARD SETBACK REQUIRED SIDE YARD SETBACK, MIN. REQUIRED SIDE YARD SETBACK COMBINED WIDTH OR 10' MIN., WHICHEVER IS GREATER MAIN BLDG: 30' / ACCESSORY BLDG: 8 REQUIRED OPEN SPACE ON LOT NONE REQUIRED COVERED PARKING SPACES COVERED PARKING SPACES PROVIDED 2 GARAGE REQUIRED UNCOVERED PARKING SPACES UNCOVERED PARKING SPACES PROVIDED

EXISTING NUMBER OF MAIN BUILDINGS ON LOT EXISTING NUMBER OF ACCESSORY BLDGS. ON LOT TOTAL NUMBER OF (E) BUILDINGS ON LOT

VICINITY MAP (NTS)

PROJECT SITE

San Francisco, CA 94110 phone: 415.691.7227 fax: 415.558.9685 www.klopfarchitecture.com **ARCHITECTURE**

Mr. Owen Emry and Mrs. Jocelyn Su 1381 Sydney Ďr. Sunnyvale, ĆA 94087 Phone: 650.796.3169 STRUCTURAL ENGINEER

Mr. Gokhan Akalan - Lic. 5594 582 Market Street, Ste. 1402 San Francisco, CA 94104 Phone: 415.466.2997

 $\mathbf{I} \cdot \mathbf{I} \cdot \mathbf{I}$ REMO S **EMR**

Accepted For Owner By:

DATE DESCRIPTION Checked by: Drawn by: GHC, FGB Project No: Issue Date: 6/5/19

COVER SHEET

T0.0

Sheet No. 1 of 32

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NOT FOR CONSTRUCTION

ABBREVIATIONS USED IN THE DRAWINGS

MECHANICAL

MICROWAVE

MINIMUM

MANUFACTURER

MISCELLANEOUS

MICRO

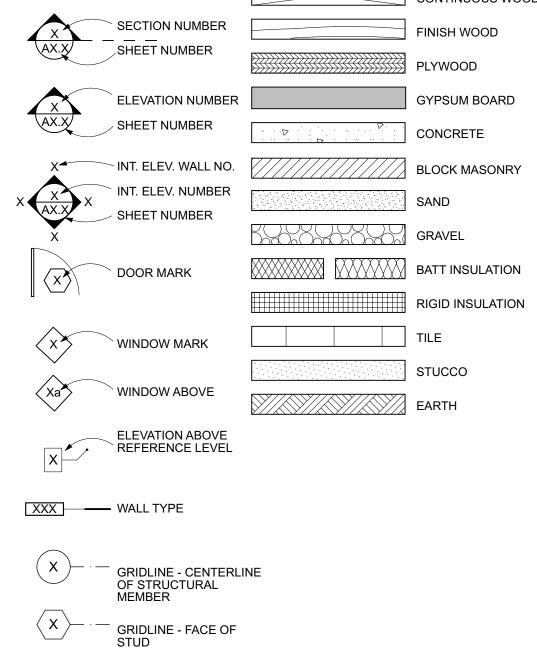
MISC.

ADDKE	VIATIONS USED IN THE DRA	WINGS	
~	APPROXIMATELY	MTL.	METAL
&	APPROXIMATELY AND		NECESSARY
@	AT	NIC	NOT IN CONTRACT
Ø	DIAMETER	NO.	NUMBER
ABV.	ABOVE	N.T.S.	NUMBER NOT TO SCALE OVER
	ABOVE FINISHED FLOOR	0/	OVER
	ALTERED	O.C.	ON CENTER
	. APPLIANCE GARAGE	O.D.	OUTSIDE DIAMETER
	ASSESSOR'S PARCEL NUMBER	O.H.	OPPOSITE HAND, OVERHANG
ARCH'I	ARCHITECTURAL	OPCI	OWNER PROVIDED, CONTRACTOR INSTA
	BOARD	OPP	OPPOSITE
BLKG	ARCHITECTURAL BOARD BLOCKING BOTTOM/BOTTOM OF BUILDING WRAP BETWEEN CALIFORNIA BUILDING CODE	PI	PROPERTY LINE
BOT/B O	BOTTOM/BOTTOM OF	PIT	PI ATF
BP.	BUILDING WRAP	PLY	PLYWOOD
BTWN	RETWEEN	PT	PRESSURE-TREATED
CBC	CALIFORNIA BUILDING CODE	P\/	PLUMBING VENT
CD	CLOTHES DRYER	(R)	REPLACEMENT
	CENTERI INF	R C P	REFLECTED CEILING PLAN
CLG	CEILING	RD	ROOF DRAIN
CLOS.	CALIFORNIA BUILDING CODE CLOTHES DRYER CENTERLINE CEILING CLOSET	REF	REFRIGERATOR
CMII	CONCRETE MASONRY LINIT	REO'D	REQUIRED
CNTRI	CONTROL (S)	RG	RANGE
CONSTR	CONSTRUCTION	R O	ROUGH OPENING
DD	DOOP	N.O.	SELF-ADHERING FLEXIBLE FLASHING
DIX.	CONTROL(S) CONSTRUCTION DOOR DOWNSPOUT DISHWASHER DRAWING EXISTING ELEVATION	3.A.I .I .	SEE CIVIL DRAWINGS
DW D3	DISHWASHED	SEC	SECTION SECTION
DWC		SED.	
DVVG. /E)	EVICTING	SEF.	SEPARATE SQUARE FOOT / SQUARE FEET
(L) El E\/	ELEVATION	SHT.	SHEET
ETC	AND OTHERS	SIM.	SIMILAR
EXT.	EXTERIOR	SIM. SLD.	SEE LANDSCAPE ARCH'L DRAWINGS
F.F.	FINISH FLOOR	SLD. SQ.	SQUARE
FLASH.	FLASHING	S.S.	STAINLESS STEEL
FLASII. FLEX.	FLEXIBLE	SSD.	SEE STRUCTURAL DRAWINGS
FLR.	FLOOR	STL.	STEEL
F.O.	FACE OF	T	TEMPERED
FT.	FOOT, FEET	T.B.D.	TO BE DETERMINED
GALV.	GALVANIZED	THK.	THICK
GALV. G.C.	GENERAL CONTRACTOR	T.O.	TOP OF
GSF	GROSS SQUARE FEET	T.P.	TOP PLATE
GYP.	GYPSUM	T&G	TONGUE AND GROOVE
HRV.	HEAT RECOVERY VENTILATOR	TYP.	TYPICAL
I.C.F.	INSULATED CONCRETE FORM	U.O.N.	UNLESS OTHERWISE NOTED
I.C.F. INFO.	INFORMATION	VERT.	VERTICAL
INSUL. INT.	INSULATION	V.I.F. WH	VERIFY IN FIELD DOMESTIC HOT WATER HEATER
	INTERIOR	W	
LOC'N.	LOCATION MECHANICAL ELECTROIAL AND		CLOTHES WASHER
M.E.P.	MECHANICAL, ELECTRCIAL, AND	W/	WITH
NAAN	PLUMBING	WDW.	WINDOW
MAX.	MAXIMUM	W/O	WITHOUT

WHERE OCCURS

WEIGHT

WATERPROOF/WATERPROOFING



GAS METER/ELECTRIC

METER/ELECTRIC

ALIGN

SYMBOLS USED IN THE DRAWINGS

DETAIL NUMBER

SHEET NUMBER

CONTINUOUS WOOD

5. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION. 6. ALL DEMOLITION AND CONSTRUCTION SHALL CALIFORNIA ENERGY CODE.

WOOD BLOCKING

ALL OMISSIONS OR CONFLICTS BETWEEN DRAWINGS,

REQUIREMENTS.

SEE ARCHITECTURAL DRAWINGS FOR INFO ON ITEMS REQUIRING STRUCTURAL/ FRAMING MEMBERS TO BE PLACED A CERTAIN WAY PRIOR TO PERFORMING ANY STRUCTURAL WORK

DRAWING INDEX

TITLE	SHEETS
T0.0	COVER SHEET

T1.0 CALGREEN MANDATORY CHECKLIST T1.1 EROSION CONTROL DETAILS

ARCHITECTURAL

A0.0 EXISTING AND ALTERED SITE PLAN A0.2 COLORED RENDERS & MATERIALS A0.3 CONTEXTUAL RENDERS A1.0 EXISTING FLOOR PLANS

A1.1 ALTERED FLOOR PLANS A1.2 REFLECTED CEILING PLAN A1.3 EXISTING ROOF PLAN

A1.4 ALTERED ROOF PLAN A2.0 EXISTING AND ALTERED EXTERIOR ELEVATIONS

A2.1 EXISTING AND ALTERED EXTERIOR ELEVATIONS A2.2 EXISTING AND ALTERED EXTERIOR ELEVATIONS A3.0 EXISTING AND ALTERED BUILDING SECTIONS

A3.1 EXISTING AND ALTERED BUILDING SECTIONS A5.0 DOOR/WINDOW/SKYLIGHT SCHEDULES AND NOTES

A6.0 INTERIOR ELEVATIONS A6.1 INTERIOR ELEVATIONS & DETAILS

A7.0 EXISTING M.E.P. PLAN, M.E.P. SCHEDULES A7.1 ALTERED M.E.P. PLAN, M.E.P. SCHEDULES



CALGREEN MANDATORY CHECKLIST RESIDENTIAL PROJECTS

THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2017

Following is a standardized checklist of the 2016 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (chapter 4). This checklist is required for all new buildings and additions/alterations that increase the building's conditioned area. The requirements shall apply only to and/or within the specific area of the addition or alteration.

CALGreen Reference	Description	Designer's Comments with Plan Sheet Reference	City Use Only Field Insp. Verification
4.1 Planning and Design	4.106.2 Storm water drainage and retention during construction. A plan is developed and implemented to manage storm water drainage during construction.	Sheet: A0.0	Initials: Date:
4.1 Planning and Design	4.106.3 Grading and paving. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows keep water from entering buildings.	Sheet: A0.0	Initials: Date:
4.1 Planning and Design	4.106.4 EV Charging . Provide capability for electric vehicle charging in one- and two-family dwellings and in townhouses with attached private garages; and 12.5% of total parking spaces, as specified, for multi-family dwellings.	Sheet: A1.1	Initials: Date:
4.2 Energy Efficiency	4.201.1 Scope Building meets or exceeds the requirements of the California Building Energy Efficiency Standards	TITLE 24 CERT TO BE COMPLETED FOR BLDG. PERMIT Sheet:	Initials: Date:

	4.504.1 Covering of duct openings and protection of mechanical equipment during construction. Duct openings and other related air distribution component openings shall be covered during construction.	
	 4.504.2 Finish material pollutant control. 4.504.2.1 Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. 4.504.2.2 Paints and coatings. Paints, stains and other coatings shall be compliant with VOC limits. 4.504.2.3 Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. 4.504.2.4 Verification. Documentation shall be provided to verify that compliant VOC limit finish materials have been used. 	
5 Environmental Quality	 4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following: Carpet and Rug Institute's Green Label Plus Program. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) NSFI ANSI 140 at the Gold level. Scientific Certifications Systems Indoor Advantage™ Gold. 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. 	Initials:
4.5 Envir	 4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following: Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 201 0 (also known as Specification 01350). 	
	4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93J20 et seq.), by or before the dates specified in those sections, as shown in Table	

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4.504.5.

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4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards. STANDARD M.E.P. NOTES Date: T2.0 Sheet:	4.3 Water Efficiency and Conservation	 4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4. 4.303.1.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average t1ush volume of two reduced flushes and one full flush. 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. 4.303.1.3 Showerheads. 4.303.1.3 Showerheads. 4.303.1.3 Showerheads. 4.303.1.3 Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a Showerhead. 4.303.1.4 Faucets. 4.303.1.4.1 Residential lavatory faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not exceed 1.8 gallons per minute at 60 psi. 4.303.1.4.3 Metering faucets. Metering faucets when installed in residential buildings shall not exce	STANDARD M.E.P. NOTES Sheet: T2.0	Initials: Date:
	4.3 Water Efficiency and Conservation	fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the	M.E.P. NOTES	

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nental ,	4.505.2 Concrete slab foundations. Vapor retarder and capillary break is installed at slab-on-grade foundations.		Initials:
4.5 Environmental Quality	4.503.3 Moisture content of building materials. Moisture content of building materials used in wall and floor framing is checked before		Date:
4.5 E	enclosure.	Sheet: T2.0	
Quality	4.507.2 Heating and air-conditioning system design. Duct systems are sized, designed, and equipment is selected using the following methods:		
4.5 Environmental Quality	 Establish heat loss and heat gain values according to ANSIIACCA Manual J-2011 or equivalent. Size duct systems according to ANSI! ACCA 1 Manual D-2014 or 		Initials:
5 Enviro	equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3		Date:
4.	Manual S-2014 or equivalent.	Sheet: T2.0	
ial	702.1 Installer Training. HVAC system installers are trained and certified in the proper installation of HVAC systems.		
pter 7 Installer and Spec Inspector Qualifications	702.2 Special Inspection. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.		Initials:
Chapter 7 Installer and Special Inspector Qualifications	703.1 Documentation. Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial		Date:
	conformance.	Sheet: T2.0	

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	4.304.1 Outdoor potable water use in landscape areas. After		
_	December 1, 2015, new residential developments with an aggregate		
4.3 Water Efficiency and Conservation	landscape area equal to or greater than 500 square feet shall comply		
	with one of the following options:		
Ser	1. A local water efficient landscape ordinance or the current		
Ö	California Department of Water Resources' Model Water Efficient		
٦	Landscape Ordinance (MWELO), whichever is more stringent; or		Initials:
в >	2. Projects with aggregate landscape areas less than 2,500 square		
ĵ.	feet may comply with the MWELO's Appendix D Prescriptive		
ïĊi	Compliance Option.	NO CHANGE TO	Date:
Eff	Notes:	LANDSCAPE, NOT	
iter	 The Model Water Efficient Landscape Ordinance (MWELO) and 	APPLICABLE	
×	supporting documents are available at:		
£.	www.water.ca.gov/wateruseefficiency/landscapeordinance/		
•	A water budget calculator is available at:		
	www.water.ca.gov/wateruseefficiency/landscapeordinance/	Sheet:	
_ c o	4.406.1 Rodent proofing. Annular spaces around pipes, electric		
4.4 Material Conservation and Resource Efficiency	cables, conduits or other openings in sole/bottom plates at exterior		Initials:
late irva eso ien	walls shall be protected against the passage of rodents by closing such		
A No Paragraph A No	openings with cement mortar, concrete masonry or a similar method		Date:
4. Q E	acceptable to the enforcing agency.	Sheet: T2.0	
	4.408.1 Construction waste management. Recycle and/or salvage	Sileet. 12.0	
	for reuse a minimum of 65 percent of the nonhazardous construction		
Б Го	and demolition waste in accordance with one of the following:		
rial n a icie	Comply with a more stringent local construction and demolition		Initials:
ate atio Eff	waste management ordinance; or		
4.4 Material nservation a ource Efficie	2. A construction waste management plan, per Section 4.408.2; or		Date:
4.4 Material Conservation and Resource Efficiency	3. A waste management company, per Section 4.408.3; or		Dutc.
يق ٽ	4. The waste stream reduction alternative, per Section 4.408.4.		
	, ,	Sheet: T2.0	
0	4.410.1 Operation and maintenance manual. An operation and		
rial tior Lr.c	maintenance manual shall be provided to the building occupant or		Initials:
ate rva esou	owner.		
4.4 Material Conservation and Resource Efficiency			Date:
4. O g m		Sheet: T2.0	
	4.410.2 Recycling by Occupants . Where 5 or more multifamily	Sileet. 12.0	
ن م	dwelling units are constructed on a building site, provide readily		
al an ien	accessible area(s) that serves all buildings on the site and is identified		Initials:
teri ion ffic	for the depositing, storage and collection of non-hazardous materials		
4.4 Material nservation a ource Efficie	for recycling, including (at a minimum) paper, corrugated cardboard,	NOT APPLICABLE	
4.4 Iser Jurc	glass, plastics, organic waste, and metals, or meet a lawfully enacted		Date:
4.4 Material Conservation and Resource Efficiency	local recycling ordinance, if more restrictive.		
<u>~</u>		Sheet:	
	4.503.1 Fireplace . Any installed gas fireplace shall be a direct vent		
ıtal	sealed-combustion type. Any installed woodstove or pellet stove shall		
ner '	comply with U.S. EPA New Source Performance Standards (NSPS)		Initials:
4.5 Environmental Quality	emission limits as applicable, and shall have a permanent label		
vir Qui	indicating they are certified to meet the emission limits. Woodstoves,		Date:
Ē.	pellet stoves and fireplaces shall also comply with applicable local	NOT APPLICABLE	Date.
4.	ordinances.	CL t	
		Sheet:	

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Page 2 of 17 2180 Bryant Street, Suite 203 San Francisco, CA 94110 phone: 415.691.7227 fax: 415.558.9685 www.klopfarchitecture.com OWNER
Mr. Owen Emry and Mrs. Jocelyn Su
1381 Sydney Dr.
Sunnyvale, CA 94087
Phone: 650.796.3169 STRUCTURAL ENGINEER Mr. Gokhan Akalan - Lic. 5594 Base Design 582 Market Street, Ste. 1402 San Francisco, CA 94104 Phone: 415.466.2997

SU REMODEL

Accepted For Owner By:

EMRY

Checked by: Drawn by: GHC, FGB Project No: Issue Date: 6/5/19 1701

> **CALGREEN MANDATORY CHECKLIST**

T1.0

Sheet No. 2 of 32
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STRUCTURAL ENGINEER Mr. Gokhan Akalan - Lic. 5594 Base Design 582 Market Street, Ste. 1402 San Francisco, CA 94104 Phone: 415.466.2997

REMODEL SU

EMRY

Accepted For Owner By:

Drawing Record / Revisions
DATE DESCRIPTION Checked by: Drawn by:

GHC, FGB JCK Project No: Issue Date:

1701 6/5/19

> **EROSION** CONTROL **DETAILS**

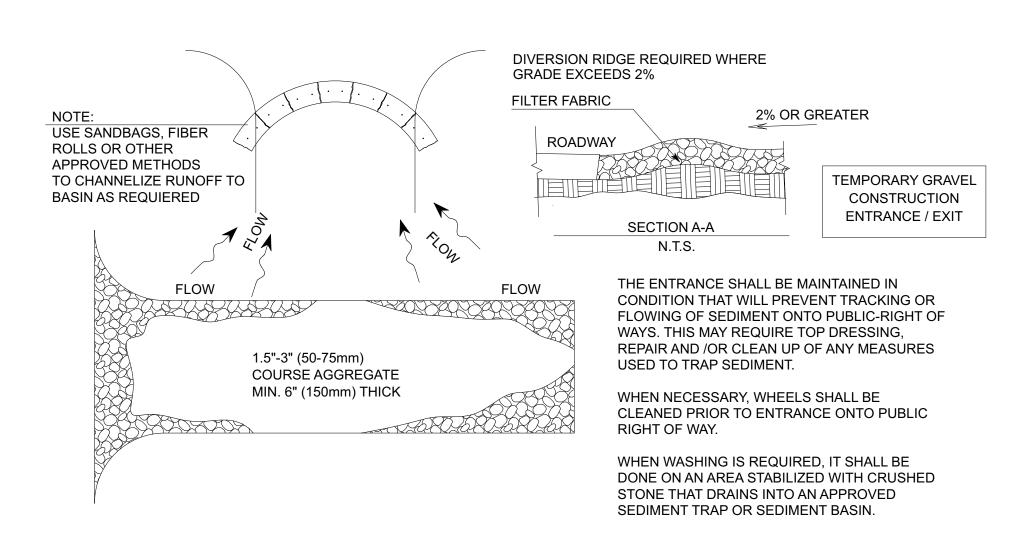
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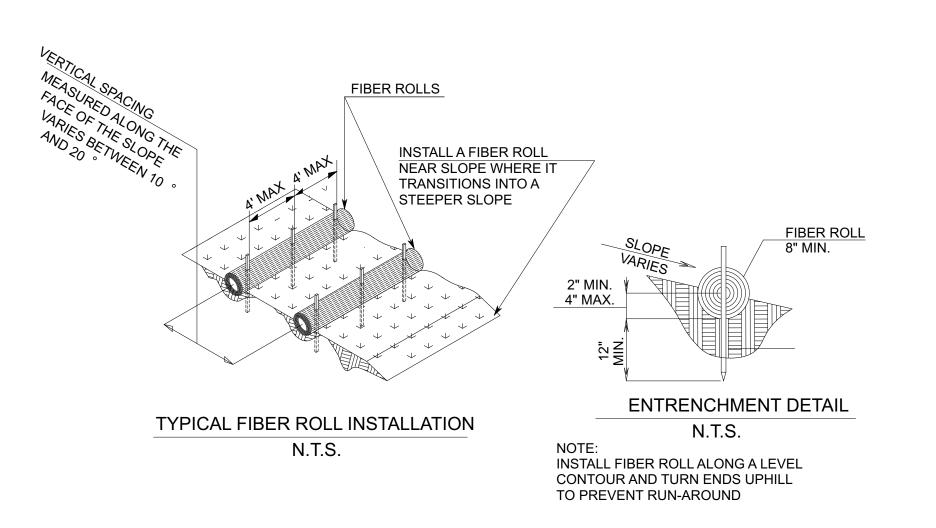
T1.1 Sheet No. 3 of 32

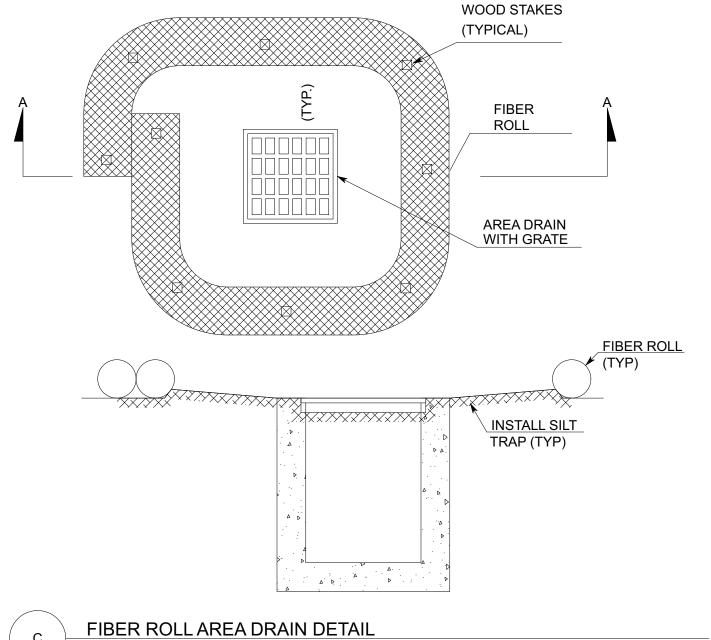
EXTERIOR INTERIOR EXTERIOR INTERIOR NEW SOIL OR SOIL REMOVAL MAY BE REQUIRED TO P.T. SILL PLATE P.T. SILL PLATE ACHIEVE REQUIRED SLOPE -CONCRETE PAVING -EXPANSION JOINT FILLER 2% SLOPE CONCRETE SLAB AND 5% SLOPE CONCRETE SLAB AND • • FOUNDATION • • • • • • · · · · FOUNDATION · · · · بقائرها وبقور فالرافق بقار فالمراجعة والمراطعة المراطة المراطة والمراطية المراطة المراطة

TYPICAL SLOPED GRADE @ BUILDING PERIMETER

SCALE: 3/4" = 1'-0"



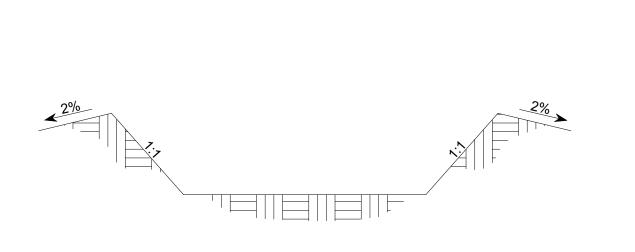




NO SCALE

FIBER ROLL DETAIL

NO SCALE

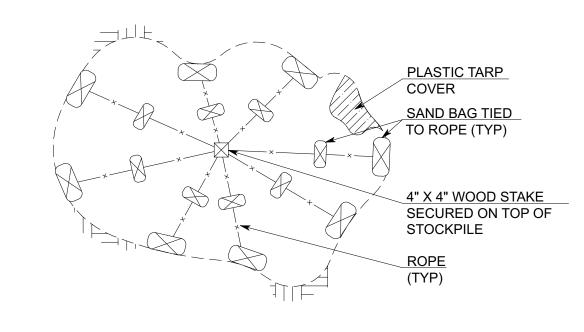


STABILIZED CONSTRUCTION ENTRANCE DETAIL

NO SCALE

CONCRETE WASHOUT

NO SCALE



STOCKPILE COVER DETAIL NO SCALE

MECHANICAL, ELECTRICAL, AND

GENERAL:

ELECTRICAL CONTRACTOR SHALL EACH REVIEW FULL SETS OF DOCUMENTATION, INCLUDING SPECIFICATIONS, FOR THE WORK, AND SHALL BE HELD ACCOUNTABLE FOR APPLICABLE PORTIONS THEREOF.

2. ENSURE **NO** INTERIOR CONDUIT FOR LINE VOLTAGE AND/OR LOW VOLTAGE WILL BE VISIBLE U.O.N. SEE PLANS AND INTERIOR ELEVATIONS FOR PARTIAL-HEIGHT WALLS, ETC.

3. SMOKE DETECTORS SHALL BE POWERED BY BUILDING WIRING CURRENT WITH BATTERY BACKUP. AND SHALL BE INTERCONNECTED SUCH THAT ACTUATION OF ONE ALARM SHALL ACTUATE ALL ALARMS.

. SMOKE DETECTORS SHALL BE TESTED AND MAINTAINED PER MANUFACTURER. SMOKE ALARMS SHALL BE REPLACED 10 YEARS FROM MANUFACTURE, OR IF NO

5. ALL SMOKE DETECTORS LOCATED WITHIN 20'-0" OF A KITCHEN SHALL BE PHOTOELECTRIC DETECTORS OR ALRAMS PER PAMC 15.04.275.

. CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034 AND UL 2075 PER CRC R315.3

PROVIDE SEPARATE 20 AMP CIRCUITS TO EACH KITCHEN APPLIANCE, AND TO EACH PAIR OF LAUNDRY APPLIANCES AND/OR PROVIDE 240V RECEPTACLE AND 40 AMP CIRCUIT FOR ELECTRIC DRYER - SEE RESIDENTIAL EQUIPMENT SCHEDULE FOR DRYER TYPE. RECEPTACLES NOT SHOWN PROVIDE (2) SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN THAT ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, AND SIMILAR AREAS.

9. RECEPTACLES IN NEW/ALTERED BATHROOMS AND KITCHENS SHALL BE GROUND-FAULT CIRCUIT INTERRUPTOR (GFCI OR GFI) -PROTECTED.

10. EXTERIOR RECEPTACLES SHALL BE WATERPROOF GFCI

 AN ARC-FAULT CIRCUIT INTERRUPTER SHALL PROTEC ALL RECEPTACLES IN THE HOUSE EXCEPT GFI CIRCUITS AND UNMODIFIED EXISTING CIRCUITS. CEC 210-12(b) ARC FAULT CIRCUITS SHALL BE COMBINATION-TYPE ARC FAULT

12. ALL RECEPTACLES 125V, 15A, 20A SHALL BE TAMPER RESISTANT.

3. DEDICATED 20-AMP CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. THE CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION-WHERE THE CIRUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.)

14. CONFIRM LOCATIONS OF CEILING-AND WALL-MOUNTED LIGHT FIXTURES WITH THE ARCHITECT PRIOR TO INSTALLATION.

5. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES OR OTHER WET/DAMP LOCATIONS SHALL BE RATED FOR SUCH

ALL LIGHTING INDOOR AND OUTDOOR TO BE HIGH EFFICACY (PER 2016 CALIFORNIA ENERGY EFFICIENC) STANDARDS.) ALL LIGHTING TO HAVE A JA8 COMPLIANT LAMP OR FIXTURE. ALL SCREW AND GU-24 LED PIN BASED LUMINAIRES MUST CONTAIN JA8 COMPLIANT LAMPS RECESSED DOWNLIGHTS ARE NOT PERMITTED TO BE

17. INSTALLED LUMINAIRE SCHEDULE SHOWING LAMPS AND LUMINAIRES TO BE PROVIDED TO OWNER PRIOR TO FINAL

8. ALL INTERIOR LIGHTING MUST BE CONTROLLED BY A ACANCY SENSOR OR DIMMER EXCEPT IN HALLWAYS OR CLOSETS. ALL UNDER CABINET LIGHTING MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING IN THE

19. AT LEAST ONE LIGHT IN BATHROOMS / LAUNDRY ROOMS / GARAGE MUST BE CONTROLLED BY A VACANCY

20. ALL EXTERIOR BUILDING MOUNTED LIGHTING MUST BE CONTROLLED BY ONE OF THE FOLLOWING: 1. PHOTOCELL AND MOTION SENSOR, 2. PHOTOCELL AND TIMER, 3. ASTRONOMICAL TIMEŔ, 4. ENERGY MANAGEMENŤ CONTROL SYSTEM. EXTERIOR LIGHTING MANUAL OVERRIDE SWITCH PERMITTED, AS LONG AS OVERRIDE AUTOMATICALLY REACTIVATES AUTO CONTROL WITHIN 6

PLUMBING:

21. PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICE ON ALL NEW/ALTERED EXTERIOR HOSE BIBBS AND

LAWN SPRINKLER/IRRIGATION SYSTEMS (IF ANY).

2. SHOWER AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE

23. TOILETS MUST HAVE MAX. FLUSH CAPACITY OF 1.28 GALLONS; SHOWER HEADS TO HAVE MAX. 2.0 GPM CAPACITY; LAVATORY FAUCETS TO HAVE MAX. 1.2 GPM CAPACITY; KITCHEN FAUCETS TO HAVE MAX. 1.8 GPM CAPACITY AS DEFAULT, W/ TEMPORARY INCREASES TO 2.2 GPM ALLOWED. ALL NEW AND EXISTING NON-COMPLIANT FIXTURES SHALL BE REPLACED WITH FIXTURES THAT COMPLY WITH THESE LIMITS.

24. TANK WATER HEATERS TO BE SEISMICALLY ANCHORED AS FOLLOWS: INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE-THIRD OF ITS
VERTICAL DIMENSION. THE LOWER ANCHOR/STRAP SHALL
BE LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4 INCHES ABOVE THE CONTROLS.

25. PROVIDE PRESSURE-RELIEF PIPING AT NEW / ALTERED TANK HOT WATER HEATER(S).

MECHANICAL

26. ALL ROOMS CONTAINING A SHOWER AND/OR TUB SHALL HAVE A MECHANICAL EXHAUST FAN.

27. ALL BATHROOM EXHAUST FANS SHALL BE OPERATED BY A READILY ACCESSIBLE HUMIDISTAT, SHALL PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR, AND SHALL BE ENERGY STAR RATED PANASONIC "WHISPERSENSE"

28. DRYER MOISTURE VENTS SHALL TERMINATE OUTSIDE THE BUILDING AND BE EQUIPPED WITH BACKDRAFT DAMPERS AND RODENT-PROOF COVERS WITH OPENING MAX. 1/4"X1/4".

TECHNICAL SPECIFICATIONS - CODE REQUIREMENTS ONLY

1. IN THIS SECTION "THE CONSTRUCTION TEAM" SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR(S) PAID BY THE GENERAL CONTRACTOR.

2. "GREENPOINT RATED" BY BUILD IT GREEN: IT IS A GOAL OF THIS PROJECT TO EARN THE "GREENPOINTS" DENOTED ON THE "GREENPOINT CHECKLIST" IN THE DRAWING SET. THE CONSTRUCTION TEAM IS REQUIRED TO COMPLY WITH THE INFORMATION CONTAINED IN THE BUILD IT GREEN (WWW.BUILDITGREEN.ORG) PUBLICATION "GREENPOINT RATED SINGLE FAMILY RATING MANUAL" (LATEST EDITION) AS IT RELATES TO EACH "GREENPOINT" DENOTED ON THE "GREENPOINT CHECKLIST" IN THE DRAWINGS.

3. MINIMIZE SITE DISTURBANCE AND MAXIMIZE EROSION AND SEDIMENTATION CONTROL. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A: RETENTION BASINS. B: WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY THE USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD.

4. INDOOR ENVIRONMENTAL AND AIR QUALITY: SEAL DUCTS, GRILLS, AND REGISTERS ON SITE PRIOR TO COMMENCEMENT OF DEMOLITION. SEAL NEW DUCTS DURING TRANSPORTATION, DELIVERY, AND CONSTRUCTION TO PREVENT ACCUMULATION OF CONSTRUCTION DUST AND CONSTRUCTION DEBRIS INSIDE DUCTS. REMOVE OIL FILM ON SHEET

METAL PRIOR TO DELIVERY TO SITE. 5. VERIFICATION OF VOLATILE ORGANIC COMPOUND (V.O.C.) CONTENT FOR ALL PRODUCTS: CONTRACTOR SHALL MAINTAIN ON SITE MANUFACTURER'S PRODUCT SPECIFICATION, OR THE ACTUAL PRODUCT CONTAINERS, FOR PRODUCTS IN THIS SPECIFICATION THAT ARE ASSIGNED A V.O.C. LIMIT, AND PRODUCE SUCH DOCUMENTATION AT ARCHITECT'S OR BUILDING OFFICIAL'S REQUEST.

6. SUBMIT (1) COPY TO OWNER OF A BINDER TITLED "OPERATION AND MAINTENANCE INSTRUCTIONS" THAT INCLUDES THE FOLLOWING: A. WARRANTY, OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE

1. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT

PURCHASED BY CONTRACTOR. 2. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND

DOWNSPOUTS. 3. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.

4. LANDSCAPE IRRIGATION SYSTEMS, UNLESS LANDSCAPE IRRIGATION WAS NOT INCLUDED IN THIS CONTRACT.

5. WATER REUSE SYSTEMS, IF ANY, PURCHASED BY CONTRACTOR. 6. ALL OTHER PRODUCTS PURCHASED BY CONTRACTOR. B. INFORMATION ON REQUIRED MAINTENANCE FOR UNUSUAL

PRODUCTS, MATERIALS, AND/OR SYSTEMS (ARCHITECT WILL PROVIDE INFORMATION ON ROUTINE MAINTENANCE MEASURES, I.E. CAULKING, PAINTING, AND GRADING AROUND THE BUILDING.)

C. A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS PERFORMED D. A COPY OF MANUFACTURERS' CERTIFICATIONS AND OTHER INFORMATION VERIFYING POST-INDUSTRIAL AND POST-CONSUMER RECYCLED CONTENT, RECYCLABILITY, TOTAL V.O.C.S, AND OUTSIDE AGENCY CERTIFICATIONS (E.G. FOR FSC-CERTIFIED WOOD) FOR ALL MATERIALS, PRODUCTS, FINISHES, AND FIXTURES SUPPLIED BY

CONTRACTOR E. COMPLETED FORM THAT CONTAINS OTHER CODE-REQUIRED

ELEMENTS OF THIS BINDER, INCLUDING THE FOLLOWING: 1. INFORMATION ABOUT AVAILABLE STATE SOLAR ENERGY AND INCENTIVE PROGRAMS

2. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND **LOCATIONS**

3. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA

4. EDUCATION MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE

INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER

DIVISION 2 – SITEWORK

1. CONSTRUCTION WASTE MANAGEMENT:

A. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS (NOT INCLUDING EXCAVATED SOIL AND LAND-CLEARING DEBRIS), OR MEET LOCAL CONSTRUCTION AND DEMOLITION WASTE

MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT IF MORE THAN TWO POUNDS PER SQUARE FOOT OF CONSTRUCTION WASTE WILL BE CREATED, EITHER HIRE A WASTE MANAGEMENT COMPANY APPROVED BY THE ENFORCING AGENCY WHICH MUST PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE DIVERTED FROM LANDFILL MEETS THE REQUIREMENTS OF ITEM A DIRECTLY ABOVE, OR SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT CONTAINS ITEMS 1-5 BELOW AND INDICATES COMPLIANCE WITH ITEM A DIRECTLY ABOVE. KEEP PLAN UPDATED AND ON SITE THROUGHOUT CONSTRUCTION, AND AVAILABLE FOR BUILDING OFFICIAL'S

INSPECTION. 1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED BY RECYCLING, REUSE ON THE PROJECT, OR SALVAGE FOR FUTURE USE OR SALE.

2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE SEPARATED) OR BULK-MIXED (SINGLE STREAM).

IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE WILL BE TAKEN. 4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE

AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED

5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

2. CONTROL AIR POLLUTION CAUSED BY DUST AND DIRT; COMPLY WITH

GOVERNING REGULATIONS. GRADING AND DRAINAGE: GRADE GROUND SURFACE TO CONFORM TO REQUIRED CONTOURS SHOWN ON THE DRAWINGS AND TO PROVIDE

POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS IN ACCORDANCE WITH GEOTECHNICAL REPORT, THE DRAWINGS, OR AT MIN. 5% SLOPE FOR THE FIRST TEN FEET, WHICHEVER IS THE MORE RESTRICTIVE. IMPERVIOUS SURFACES SHALL SLOPE AWAY FROM THE BUILDING AT 2% FOR THE FIRST TEN FEET. *DO NOT* BUILD FOUNDATIONS BASED ONLY ON STRUCTURAL SHEETS. REFER TO TYPICAL DETAIL ON THE SITE PLAN AND OTHER ARCHITECTURAL DRAWINGS.

EXCAVATION: EXCAVATE FOR STRUCTURES TO ELEVATIONS AND DIMENSIONS SHOWN ON THE DRAWINGS, EXTENDING EXCAVATION A SUFFICIENT DISTANCE TO ALLOW PLACING AND REMOVAL OF OTHER WORK FOR INSPECTION. IF SOIL WILL STAND WITHOUT CAVING AND

CONCRETE IS TO BE PLACED DIRECTLY AGAINST EARTH SURFACES **EXCAVATE ALL TRENCHES 1" WIDER EACH SIDE THAN DIMENSIONS** SHOWN. ANYTHING IN THE CONTRACT DOCUMENTS THAT CONTRADICTS ANY O.S.H.A. REGULATION(S) CONCERNING EXCAVATION SHALL BE OVER-RIDDEN BY THE O.S.H.A. REGULATION(S)

5. LANDSCAPE IRRIGATION: LANDSCAPE IRRIGATION CONTROLLERS SHALL COMPLY WITH LANDSCAPE ARCHITECTURAL DRAWINGS, IF ANY. IF NOT SPECIFIED ELSEWHERE, THEY SHALL MEET THE FOLLOWING MINIMUM **REQUIREMENTS:**

A. IRRIGATION CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANTES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.

B. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

DIVISION 3 – CONCRETE

SUBMITTALS: AT LEAST THREE (3) DAYS PRIOR TO SETTING ANY CONCRETE, CONTRACTOR SHALL SUBMIT CONCRETE MIX, CERTIFICATION FROM CONCRETE SUPPLIER THAT FLY ASH CONTAINS NO RADIOACTIVE MATERIALS, AND MSDS SHEETS FROM CONCRETE SUPPLIER THAT INDICATE ANY CURING COMPOUNDS CONTAIN A

MAXIMUM OF 350 g/I VOLATILE ORGANIC COMPOUNDS (V.O.C.s). CONCRETE SEALERS: OBSERVE MAXIMUM OF 100 q/I VOLATILE ORGANIC COMPOUNDS (V.O.C.s) (PER CALGREEN).

INTEGRAL CONCRETE COLOR: DAVIS COLORS BY DAVIS COLORS (www.daviscolors.com), WITH MANUFACTURER'S "COLOR SEAL II" APPROPRIATELY MATCHED TO THE CONCRETE STAIN COLOR.

DIVISION 6 – WOOD AND PLASTICS

1. QUALITY ASSURANCE: BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED.

2. FRAMING LUMBER, MATERIALS, CUTTING AND NOTCHING REQUIREMENTS, ETC. SHALL COMPLY WITH STRUCTURAL DRAWINGS AND NOTES AS HEREIN MODIFIED. FRAMING LUMBER SHALL BE AIR-DRIED TO A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF DRESSING (S-DRY), AND SHALL NOT BE ENCLOSED IF ITS MOISTURE CONTENT EXCEEDS 19%.

3. COMPOSITE WOOD PRODUCTS SHALL OBSERVE THE FOLLOWING MAXIMUM FORMALDEHYDE LIMITS:

A. HARDWOOD PLYWOOD: 0.05 PARTS PER MILLION. B. PARTICLEBOARD: 0.09 PARTS PER MILLION.

C. MEDIUM DENSITY FIBERBOARD: 0.11 PARTS PER MILLION. D. MEDIUM DENSITY FIBERBOARD WITH A THICKNESS OF 5/16" OR LESS: 0.13 PARTS PER MILLION.

4. SUBFLOOR ADHESIVES: OBSERVE MAX. OF 50 g/I VOLATILE ORGANIC COMPOUNDS (V.O.C.)

5. MULTIPURPOSE CONSTRUCTION ADHESIVES: OBSERVE A MAX. OF 70 g/l

VOLATILE ORGANIC COMPOUNDS (V.O.C.). BLOCKING: INSTALL ALL NECESSARY BLOCKING AND FURRING. BLOCK ALL UNSUPPORTED EDGES OF PLYWOOD / ORIENTED STRAND BOARD SHEATHING. BLOCK WALLS TO RECEIVE VERTICAL SIDING AT 24" O.C.

FIRE BLOCK STUD WALLS AT 10'-0" O.C. MAX. AND AT EACH FLOOR/CEILING BUILDING WRAP: "TYVEK HOME WRAP" BY DUPONT WITH "TYVEK TAPE" ALSO BY DUPONT. WEATHERLAP JOINTS IF ROLL IS NOT LARGE ENOUGH

TO COVER ENTIRE SURFACE. TAPE ALL SEAMS AND OPENINGS. 8. RODENT PROOFING: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE / BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR.

DIVISION 7 – THERMAL AND MOISTURE PROTECTION

1. ROOFING:

A. ROOFING CALLED OUT AS "COOL ROOFING" (IF ANY) SHALL HAVE AT MINIMUM: SOLAR REFLECTANCE 0.76. THERMAL EMITTANCE 0.86.

B. ASPHALT PRIMER AND CEMENTS: ASBESTOS-FREE TYPES AS SUPPLIED BY MANUFACTURER AND REQUIRED FOR SPECIFIED ROOF SYSTEM, WITH THE FOLLOWING ADDITIONAL REQUIREMENT: MAXIMUM VOLATILE ORGANIC COMPOUNDS (V.O.C.s) OF PRIMER SHALL BE 350 g/l.

C. SURFACE COATINGS: MAX. 50 g/l V.O.C.

D. SINGLE PLY ROOFING ADHESIVES: MAX. 250 g/l V.O.C.

GUTTERS AND DOWNSPOUTS: A. ROOF DRAINS AND DOWNSPOUTS SHALL EACH HAVE A MINIMUM CROSS SECTIONAL AREA OF 7 SQUARE INCHES, UNLESS DRAINING SMALL AREAS LIKE PORCHES AND CANOPIES. IN THOSE

APPLICATIONS A 2" DIAMETER ROOF DRAIN, MINIMUM, MAY BE USED. B. GUTTER CAPACITY SHALL MATCH THE DOWNSPOUT CAPACITY. 3. DAMPPROOFING AND WATERPROOFING:

A. BELOW GRADE WATERPROOFING: 1. PRE-APPLIED: "PARASEAL" COMPOSITE SHEET MEMBRANE BY TREMCO. INSTALL AGAINST BELOW-GRADE FORMS THAT WILL BE ABANDONED, OR AGAINST EARTH IF FORMS AREN'T USED. LAP BOTTOM OVER TOP FROM INSTALLER'S PERSPECTIVE IF

COURSED HORIZONTALLY. 2. POST-APPLIED: BITUTHENE 4000 BY W.R. GRACE. INSTALL OVER MANUFACTURER-RECOMMENDED PRIMER ON: EARTH SIDE OF RETAINING WALLS, EXTERIOR FACE OF ALL FOUNDATIONS AND PERIMETER GRADE BEAMS, AND AS SHOWN ON THE DRAWINGS.

3. POST-APPLIED: XYPEX CONCENTRATE BY XYPEX CORPORATION (www.xypex.com). INSTALL ON EXTERIOR FACE OF FOUNDATIONS WHERE SHOWN ON THE DRAWINGS. APPLY WITH SEMI-STIFF NYLON BRISTLE BRUSH OR SPRAY EQUIPMENT

B. UNDER SLAB VAPOR BARRIERS: VAPOR TRANSMISSION RATE OF 0.01 PERMS OR LESS, MUST EXCEED ASTM E 1745 CLASS A, B, AND C. "STEGO WRAP 15" OR ACCEPTED EQUAL. LAP MINIMUM OF 6 INCHES IN EVERY DIRECTION. TAPE EDGES AT LAPS TO PROVIDE

WATERTIGHT SEAL. C. OVER SLAB VAPOR BARRIERS (FLOATING WOOD FLOORING): VAPOR TRANSMISSION RATE OF 0.01 PERMS OR LESS, FORTIFIBER "MOISTOP ULTRA 15" OR ACCEPTED EQUAL. LAP MINIMUM OF 6 INCHES IN EVERY DIRECTION. TAPE EDGES AT LAPS TO PROVIDE WATERTIGHT

4. SEALANTS: THE FOLLOWING VOLATILE ORGANIC COMPOUND (V.O.C.) LIMITS SHALL BE OBSERVED:

A. ARCHITECTURAL SEALANTS: MAX. 250 g/l B. NON-MEMBRANE-ROOF SEALANTS: MAX. 300 g/l C. OTHER: MAX. 420 g/l

D. PRIMER FOR ARCHITECTURAL SEALANTS (POROUS): MAX. 775 g/l E. PRIMER FOR ARCHITECTURAL SEALANTS (NONPOROUS): MAX. 250 g/l . FLASHING AND SHEET METAL:

A. CONFORM TO PROFILES AND SIZES SHOWN AND COMPLY WITH THE ARCHITECTURAL SHEET METAL MANUAL BY SMACNA FOR EACH CATEGORY OF WORK REQUIRED. PROVIDE AND INSTALL EXPANSION JOINTS, SOLDERED WATER-TIGHT SEAMS, AND ANCHOR WORK FIRMLY IN PLACE WITH FASTENERS THAT WILL NOT CAUSE GALVANIC ACTION.

B. SELF-ADHERING DECK JOIST FLASHING: "VYCOR DECK PROTECTOR" BY W.R. GRACE.

C. SELF-ADHERING FLEXIBLE ROOF FLASHING: "ICE & WATER SHIELD"

(APPROPRIATE MODEL FOR APPLICATION) BY W.R. GRACE. 24" WIDTH U.O.N. INSTALL AT ALL EDGES, EAVES, RAKES, HIPS, RIDGES, AND VALLEYS OF ROOF, AND AROUND ANY PENETRATIONS THROUGH

D. SELF-ADHERING FLEXIBLE FLASHING (NOT AT ROOF OR ON DECK

1. FLEXIBLE SILL PAN: "FLEXWRAP NF" BY DUPONT. 2. ROUGH OPENING PROTECTION: "STRAIGHT FLASH" BY DUPONT. INSTALL AROUND ALL PENETRATIONS THROUGH EXTERIOR WALLS INCLUDING DOORS AND WINDOWS, AND AT EXTERIOR LOCATIONS SHOWN ON THE DRAWINGS.

3. FLASHING: "FLASHING TAPE" BY DUPONT. INSTALL AT ALL PENETRATIONS THROUGH EXTERIOR WALLS INCLUDING DOORS AND WINDOWS, AND AT EXTERIOR LOCATIONS SHOWN ON THE

E. METAL FLASHING: PRIMED AND PAINTED 24-GAGE MINIMUM GALVANIZED SHEET METAL UNLESS OTHERWISE NOTED. FOLD, BEAD, OR RETURN EXPOSED EDGES FOR RIGIDITY AND APPEARANCE. FOR WELDED APPLICATIONS: METAL THAT CAN BE WELDED, MIN. .060 INCHES THICK, WELDED, PRIMED AND PAINTED PRIOR TO

INSTALLATION. F. ROOF JACKS: PRIMED AND PAINTED 24-GAGE GALVANIZED SHEET METAL OR BLACK ABS AT CONTRACTOR'S OPTION.

G. FABRICATION: 1. METAL APRON FLASHINGS: LOWER FLANGE MINIMUM 4 INCHES OVER AND 4 INCHES BEYOND EACH SIDE OF DOWNSLOPE ROOFING MATERIAL, AND MINIMUM 6 INCHES UP THE VERTICAL SURFACE.

2. METAL CRICKET FLASHINGS: CONCEALED FLANGE SHALL EXTEND MINIMUM 18 INCHES BENEATH UPSLOPE ROOFING MATERIAL MINUMUM 6 INCHES BEYOND EACH SIDE OF ROOF FAN, AND MINIMUM 6 INCHES ABOVE THE ROOF PLANE.

3. METAL DRIP EDGE: DECK FLANGE AS SHOWN ON THE DRAWINGS OR 6" MIN. IF NOT SHOWN. 1 1/2" FASCIA FLANGE WITH 3/8" DRIP EDGE (NOT FOLDED OR BEADED) UNLESS OTHERWISE NOTED ON THE DRAWINGS.

H. INSTALLATION: WHEN FLASHING SPECIFIC PRODUCTS COMPLY WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS COMPLETELY FLASH ONE WINDOW OR DOOR FOR ARCHITECT'S REVIEW PRIOR TO INSTALLING WINDOWS OR DOORS. WORK INSTALLED WITHOUT PROPER WATERPROOFING WILL BE REJECTED AND MUST BE REPLACED AT CONTRACTOR'S EXPENSE

DIVISION 8 – DOORS AND WINDOWS

 SKYLIGHTS: A. MANUFACTURER AND MODEL SHALL BE VELUX FCM (FIXED CURB MOUNT) AND VCM (VENTING CURB MOUNT), SIZE VARIES. B. MANUFACTURER AND MODEL SHALL BE VELUX VS (VENTING DECK MOUNT) AND FS (FIXED DECK MOUNT), SIZE VARIES.

C. IAPMO-ES EVALUATION REPORT #0199. GLAZING:

A. TEMPERED GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: ALL HAZARDOUS LOCATIONS DESCRIBED IN CRC R308.4 ALL OPERABLE DOORS INCLUDING FIXED PANELS OF SLIDING DOOR UNITS, ALL WINDOWS WITH AN EDGE WITHIN 12" OF A DOOR, ALL WINDOWS WITH AN EDGE WITHIN 18" OF A FLOOR OR WALKING SURFACE, AND ALL GLAZING MARKED WITH A "T" ON THE DRAWINGS.

B. SKYLIGHT GLASS: LAMINATED SAFETY OVER TEMPERED, LOW-E TRIPLE COATED INSULATED GLASS. C. MIRROR GLASS, EXCEPT MIRRORS THAT ARE PART OF A PRE-FABRICATED PRODUCT. SHALL BE CLASS 1 FLAT. TRANSPARENT.

TEMPERED GLASS, Q1-MIRROR SELECT QUALITY, 1/4" THICK. MIRROR SHALL BE BACK-SILVERED, COPPER PLATED, AND PAINTED. SINGLE PIECE UNITS ONLY AT EACH LOCATION SHOWN. D. GLASS SHELVES: TEMPERED GLASS, 1/4" THICK OR MANUFACTURER'S RECOMMENDED THICKNESS FOR EACH

APPLICATION (WHICHEVER IS THE MORE RESTRICTIVE), WITH GROUND EDGES. E. SHOWER ENCLOSURE GLASS: FLAT, TRANSPARENT, TEMPERED FIXED AND OPERABLE GLASS PANELS AS SHOWN ON THE DRAWINGS. COATED WITH DIAMON-FUSION, THICKNESS: MIN. 1/2" OR THICKER IF

REQUIRED TO SUIT APPLICATION. F. INSULATED GLAZING UNITS (FOR WINDOWS AND DOORS THAT ARE NOT PRE-MANUFACTURED, INCLUDING FIELD-STOPPED WINDOWS). DUAL-PANE: 1/4" THICK SOLARBAN 60 BY PPG OVER 1/4" CLEAR FLOAT GLASS, WITH 1/2" AIR SPACE IN BETWEEN. U-VALUE = 0.45 (CALCULATION: Uc = 0.29; C1 (NON-METAL FRAME) = 0.202; C2 = 0.867. $Ut = C1 + (C2 \times Uc)$, THEREFORE Ut = 0.45).

DIVISION 9 – FINISHES

1. FLOORING: THE FOLLOWING VOLATILE ORGANIC COMPOUND (V.O.C.)

LIMITS SHALL BE OBSERVED: A. FLOORING ADHESIVES: MAX. 100 g/l V.O.C.

B. TILE ADHESIVES: MAX. 65 g/l V.O.C.

C. TILE SEALERS: MAX. 100 g/l V.O.C. D. CARPET ADHESIVES: MAX. 50 g/l V.O.C.

E. CARPET PAD ADHESIVES: MAX. 50 g/l V.O.C. 2. CARPET: A. ALL CARPET SHALL MEET THE TESTING REQUIREMENTS OF ONE OF

THE FOLLOWING: 1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM, 2. CALIFORNIA DEPARTMENT OF HEALTH "STANDARD METHOD FOR TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL

CHAMBERS." VERSION 1.1, FEBRUARY 2010, 3. NSF/ANSI 140 AT THE GOLD LEVEL, OR 4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE

B. ALL CARPET PAD SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM. C. THE FOLLOWING VOLATILE ORGANIC COMPOUNDS (V.O.C.) LIMITS

SHALL BE OBSERVED: CARPET ADHESIVES: MAX. 50 g/l

2. CARPET PAD ADHESIVES: MAX. 50 g/l PAINTS AND COATINGS: THE FOLLOWING VOLATILE ORGANIC COMPOUND (V.O.C.) LIMITS SHALL BE OBSERVED:

A. PRIMERS, SEALERS, AND UNDERCOATERS: MAX. 100 g/l V.O.C. B. PAINTS AND COATINGS:

1. FLAT OR MATTE: MAX. 50 g/l V.O.C. 2. NON-FLAT: MAX. 100 g/l V.O.C. 3. HIGH GLOSS: MAX. 150 g/l V.O.C.

DIVISION 15 - MECHANICAL AND PLUMBING

C. STAINS: MAX. 250 g/l V.O.C.

1. SYSTEM DESIGN: HEATING AND AIR-CONDITIONING SYSTEM DESIGNED / BUILT BY THE CONTRACTOR SHALL BE SIZED, DESIGNED, AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

A. HEAT LOSS/HEAT GAIN VALUES: IN ACCORDANCE WITH ANSI/ACCA 2 MANUAL J-2004, ASHRAE HANDBOOKS, OR EQUIVALENT DESIGN SOFTWARE OR METHODS; B. DUCT SYSTEMS: SIZED ACCORDING TO ANSI/ACCA 1, MANUAL D-2009, ASHRAE HANDBOOKS, OR EQUIVALENT DESIGN SOFTWARE OR

C. HEATING AND COOLING EQUIPMENT: SELECT IN ACCORDANCE WITH ANSI/ACCA 3, MANUAL S-2004 OR EQUIVALENT DESIGN SOFTWARE OR METHODS.

2. INSTALLER QUALIFICATIONS: HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS.

PLUMBING NOISE CONTROL: INSTALL ISOLATION DEVICES ON SUPPLY LINES AND WASTE LINES. WRAP VERTICAL WASTE LINES WITH FELT AT ALL PLATE AND BLOCKING PENETRATIONS.

4. PLUMBING MATERIALS:

OF ≤ 50% TO 80%

A. FIXTURES: REPLACE ALL PLUMBING FIXTURES IN THE BUILDING THAT DO NOT MEET CURRENT CALGREEN FLOW REQUIREMENTS WITH FIXTURES THAT DO MEET THE REQUIREMENTS.

B. DOMESTIC WATER PIPING: COPPER TYPE 'L' SOFT PIPE TO HOUSE, COPPER TYPE 'M' WITH SOLDERED CONNECTIONS FOR 3/4" AND 1/2" DIAMETER PIPES INSIDE HOUSE. OR AS REQUIRED BY LOCAL CODES, WHICHEVER IS THE MORE RESTRICTIVE.

C. WASTE PIPING: CAST IRON OR ABS AS REQUIRED BY LOCAL JURISDICTION.

D. VENT PIPING: COPPER IF REQUIRED BY LOCAL JURISDICTION, OTHERWISE ABS.

E. NATURAL GAS PIPING: BLACK STEEL PIPE, WRAP AND COAT IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS FOR BELOW GRADE INSTALLATIONS.

5. EXHAUST FANS: A. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND

BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. B. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY A HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE

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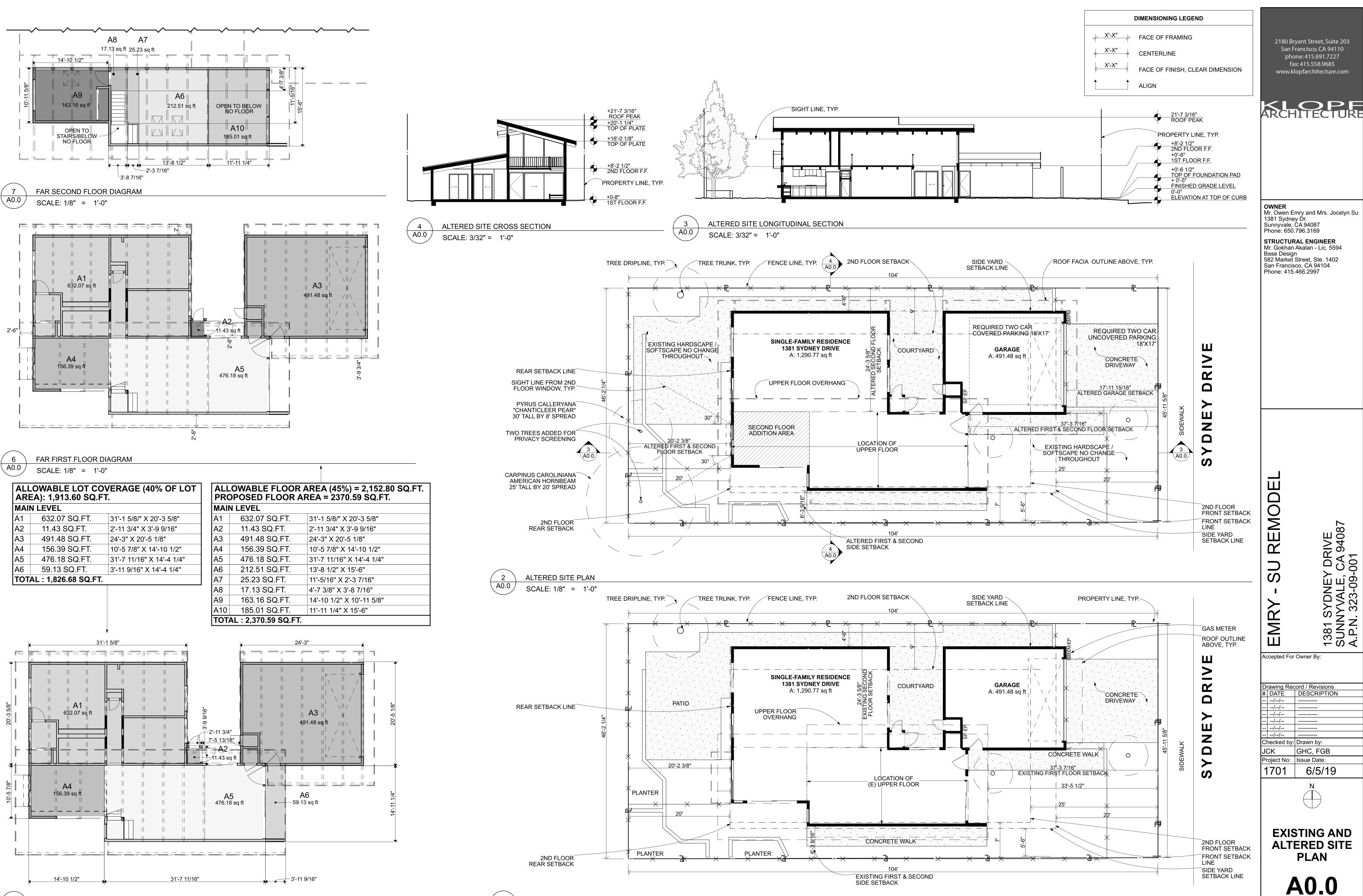
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rawing Record / Revisions DESCRIPTION --/--/-------·-<u>|--/--</u> -----Checked by: Drawn by: JCK GHC. FGB Project No: Issue Date: 6/5/19

Accepted For Owner By:

PERMIT ONLY **SPECIFICATIONS**

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EXISTING/DEMO SITE PLAN

SCALE: 1/8" = 1'-0"

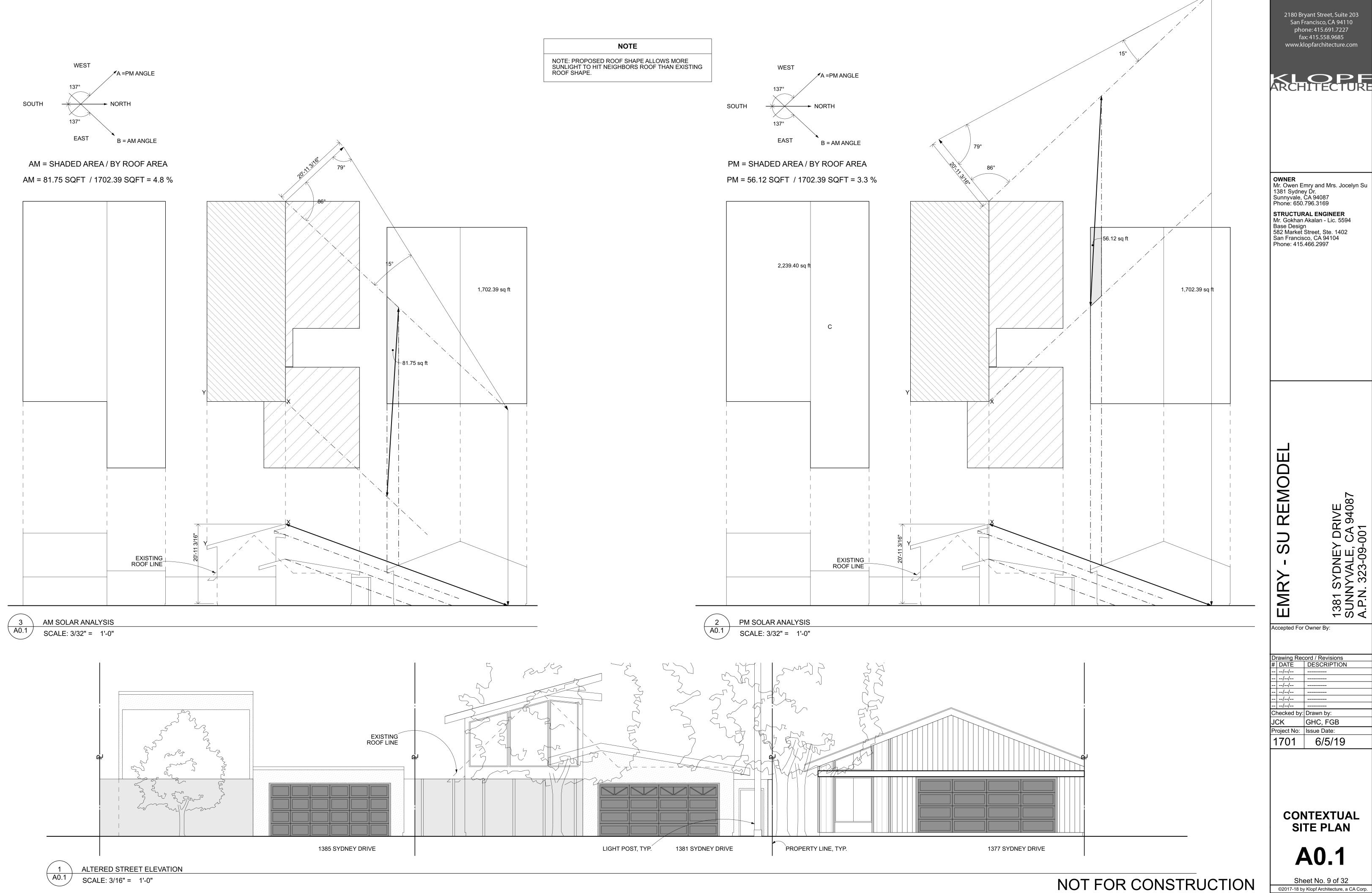
LOT COVERAGE FIRST FLOOR DIAGRAM

SCALE: 1/8" = 1'-0"

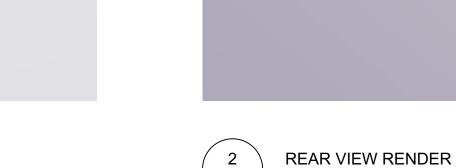
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/ DRIVE CA 94087 -001







SCALE: 1:1.31

Deep Space 2125-20

5 TRIM/ BEAM PAINT COLOR
A0.2 SCALE: 1' = 1'-0"

Marilyn's Dress 2125-60

FRONT/STREET VIEW RENDER

SCALE: 1:1.20

4 SMOOTH STUCCO PAINT FIELD COLOR
A0.2 SCALE: 1' = 1'-0"



3 DIMENSIONAL COMPOSITION TILE ROOFING
A0.2 SCALE: 1' = 1'-0"



1 FRONT/ STREET VIEW RENDER
A0.2 SCALE: 1:1.31

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EMRY - SU REMODEL

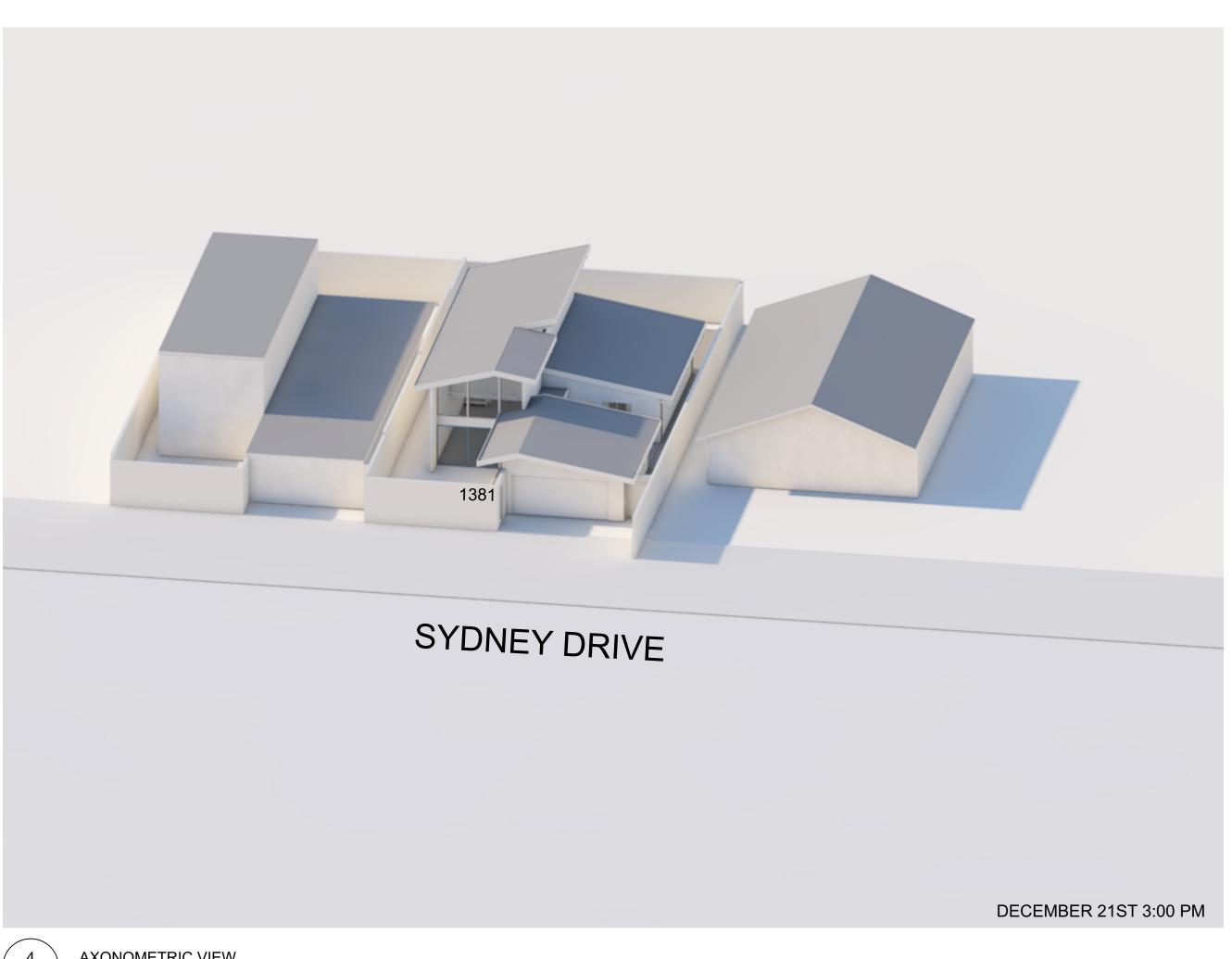
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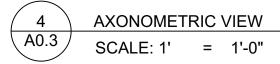
> COLORED RENDERS & MATERIALS

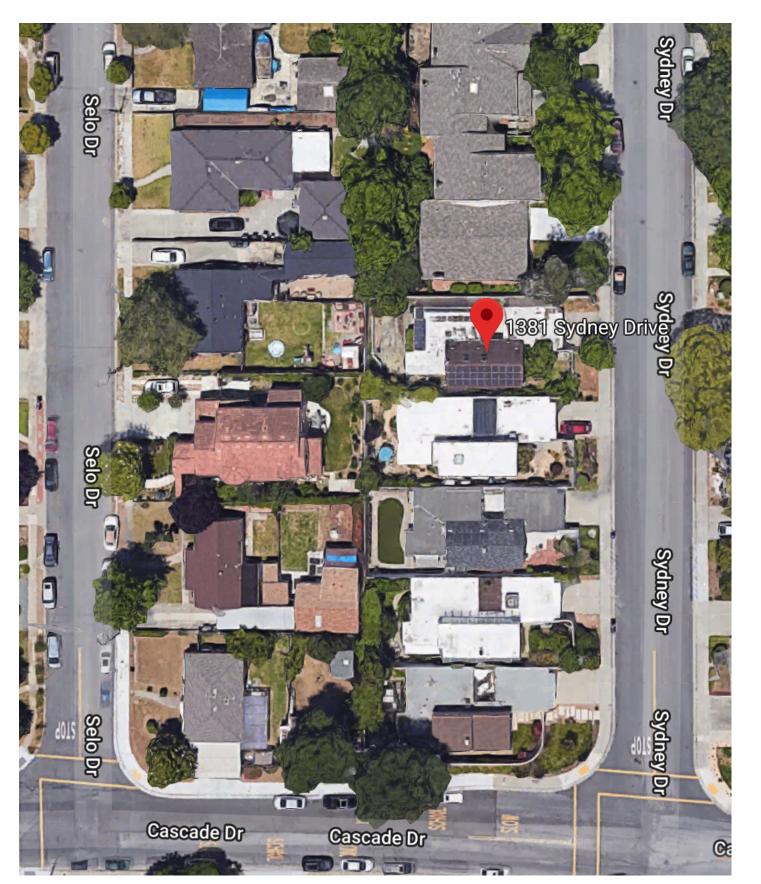
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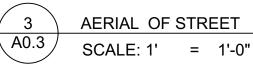
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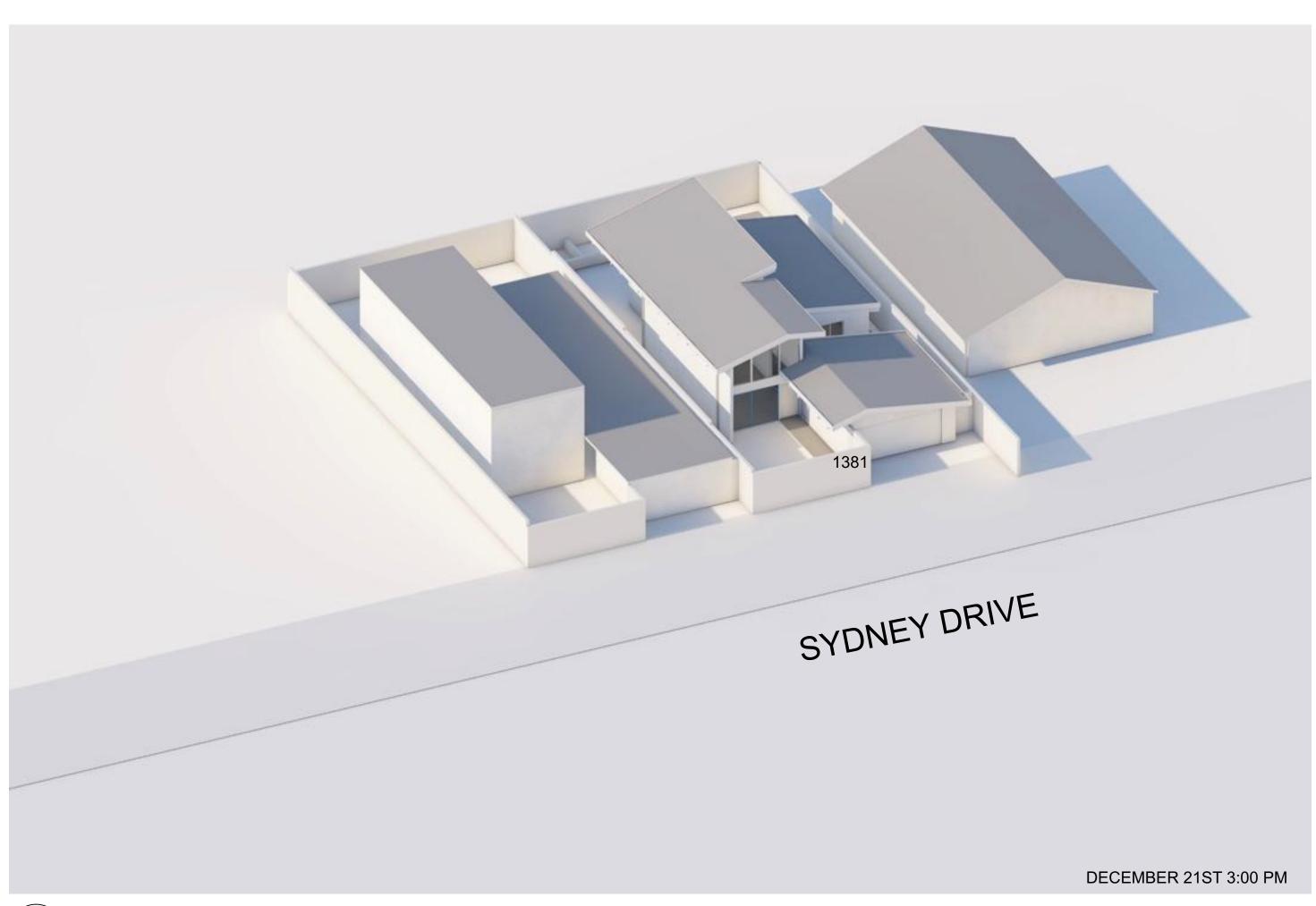
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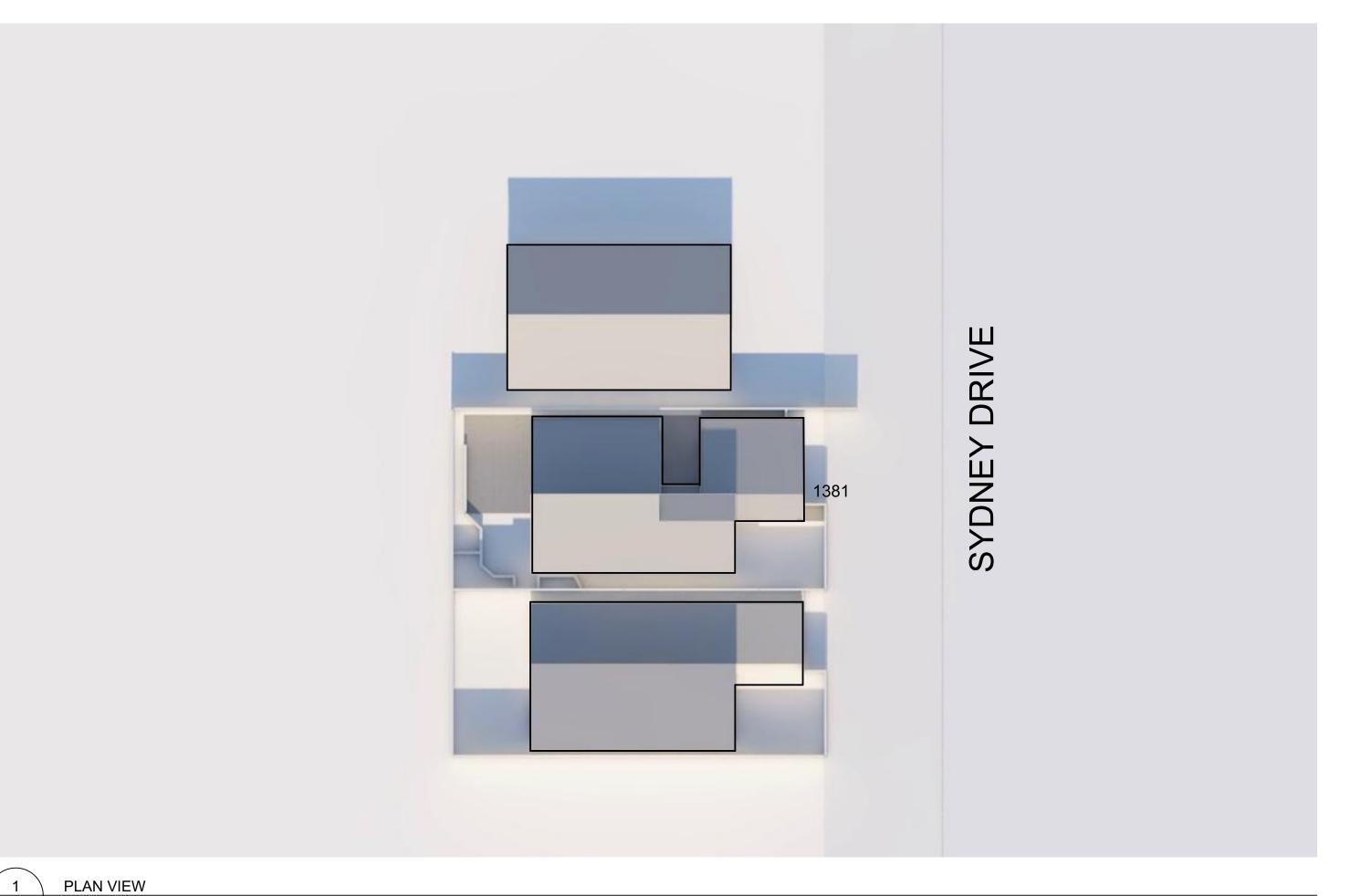


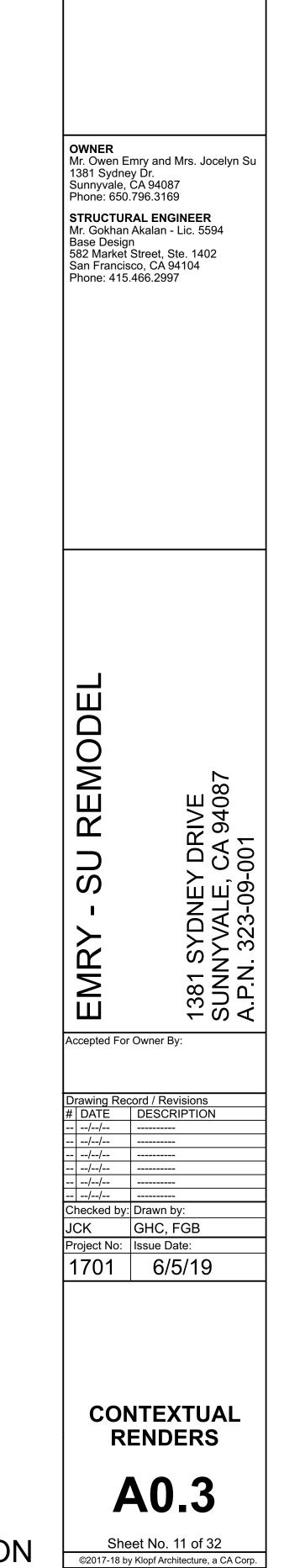


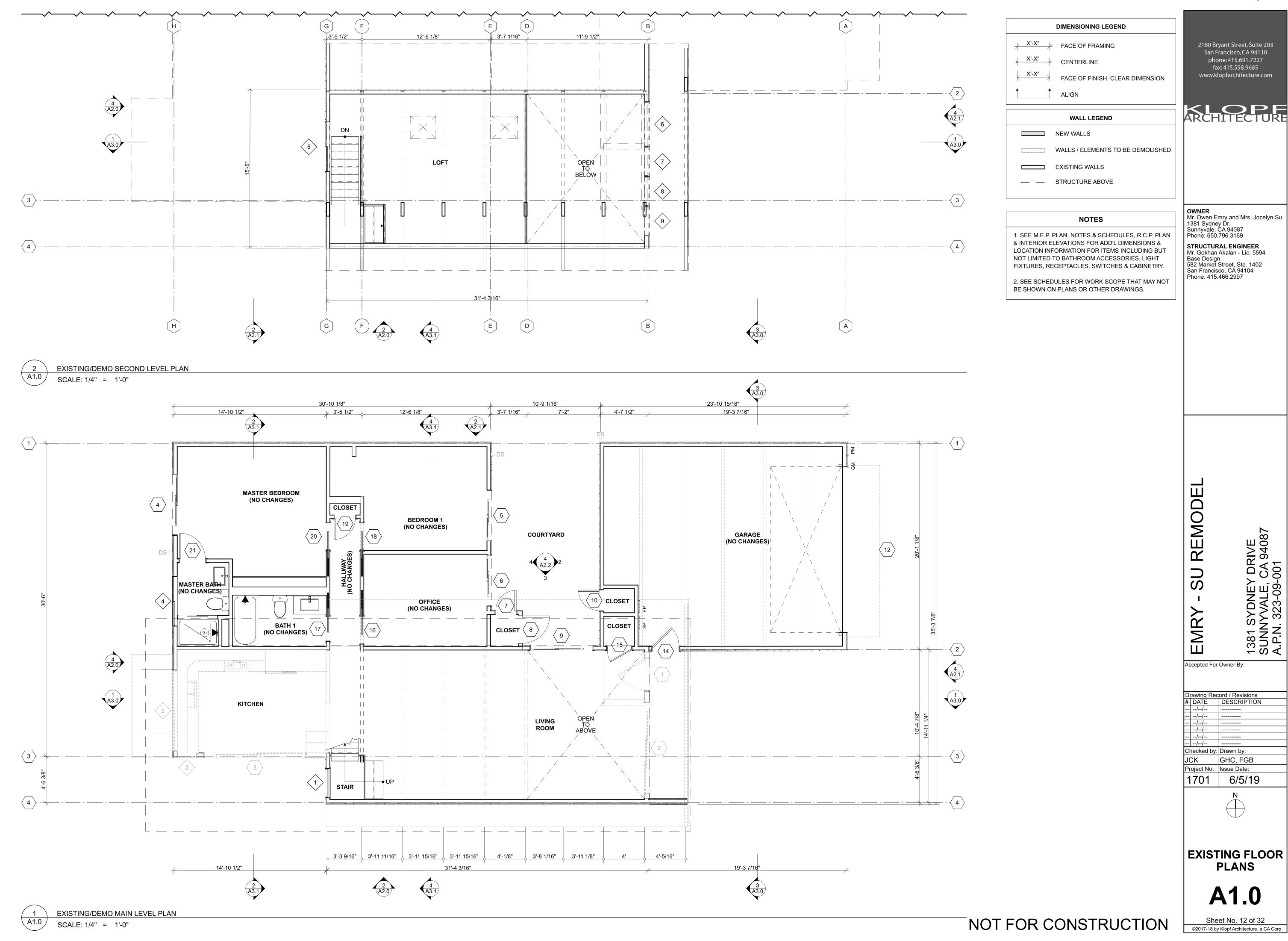


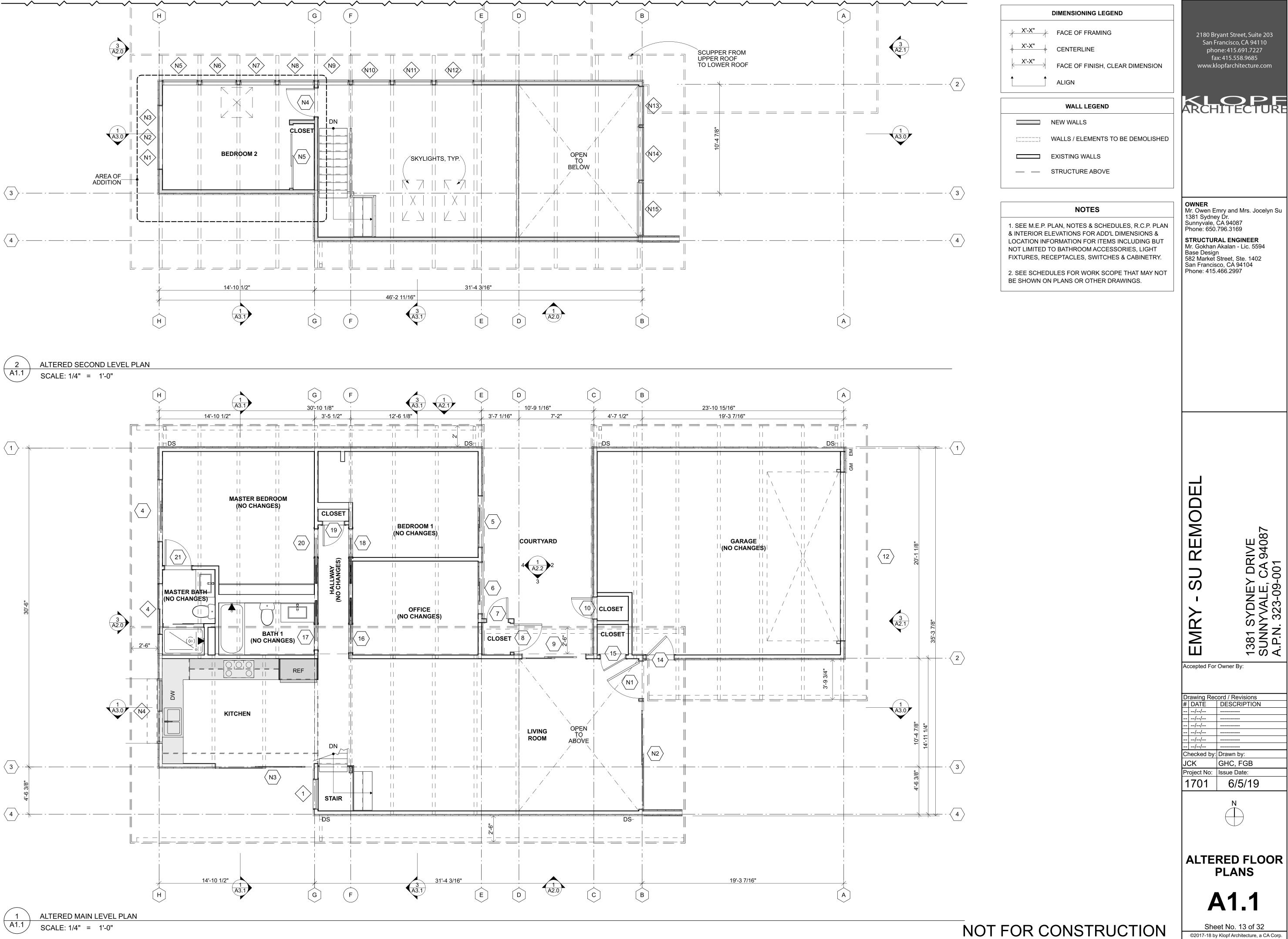


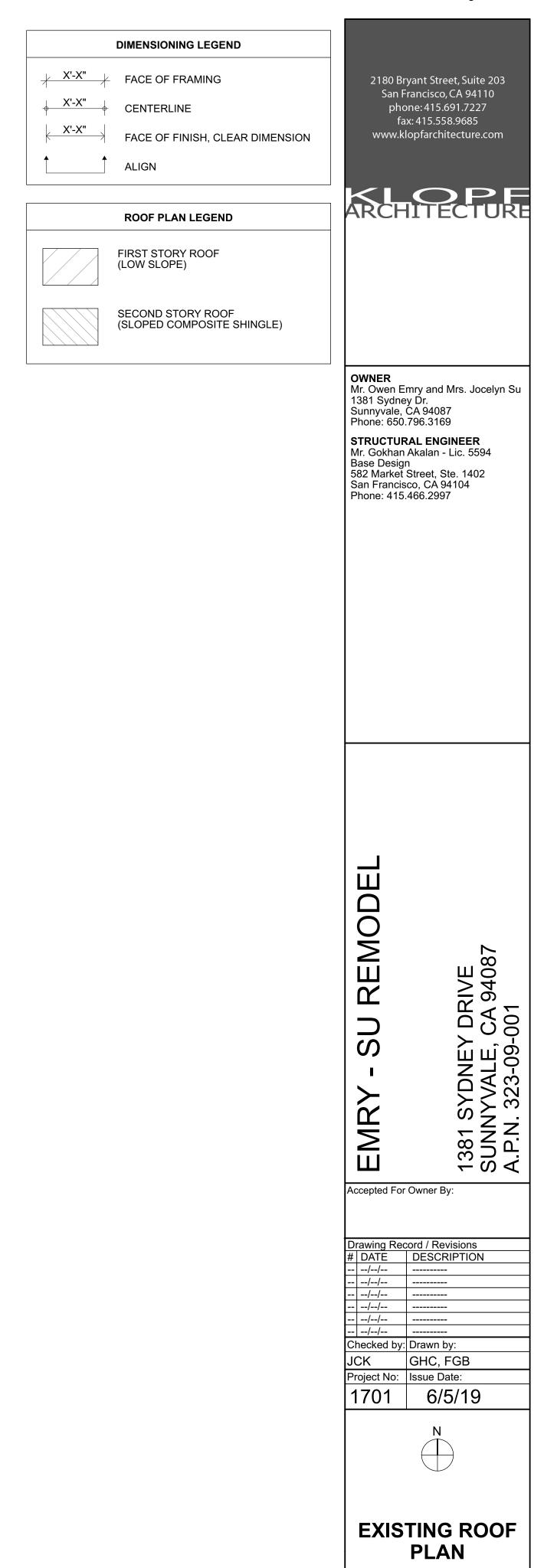
2 AXONOMETRIC VIEW
A0.3 SCALE: 1' = 1'-0"

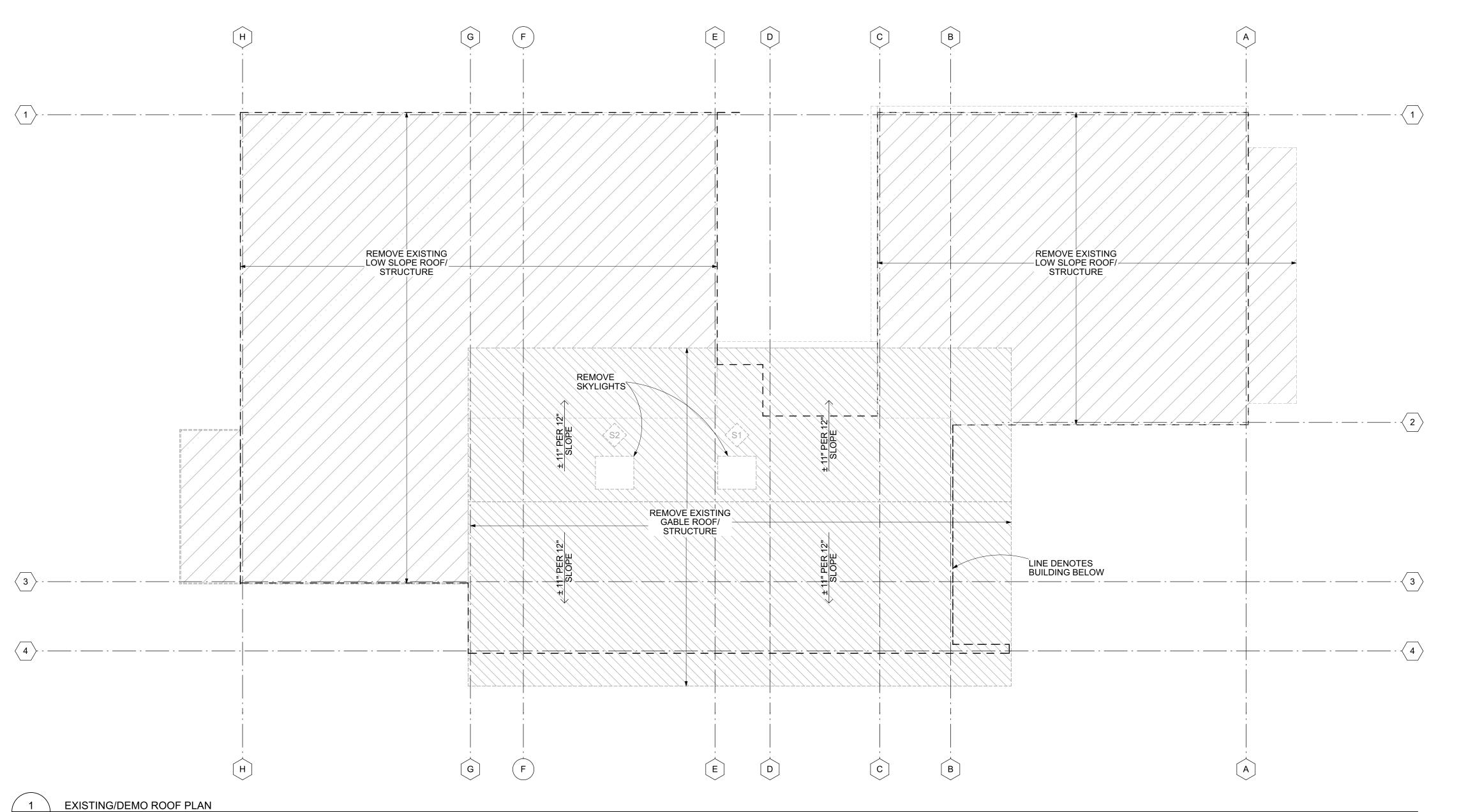






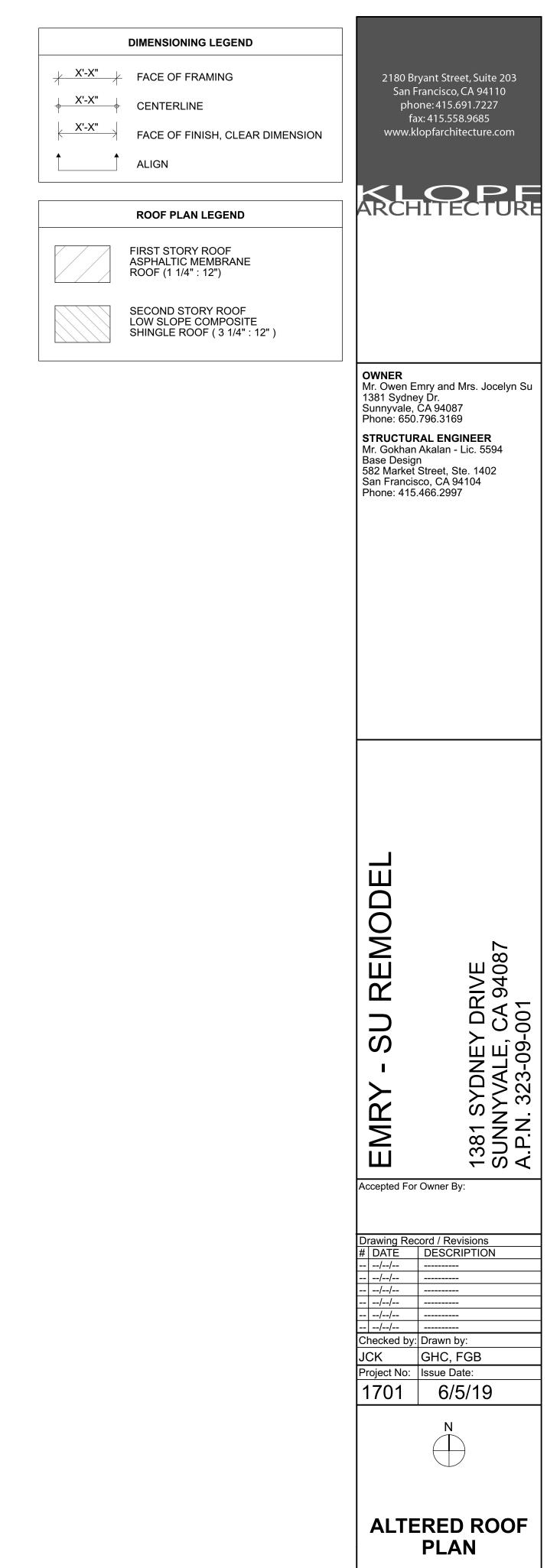


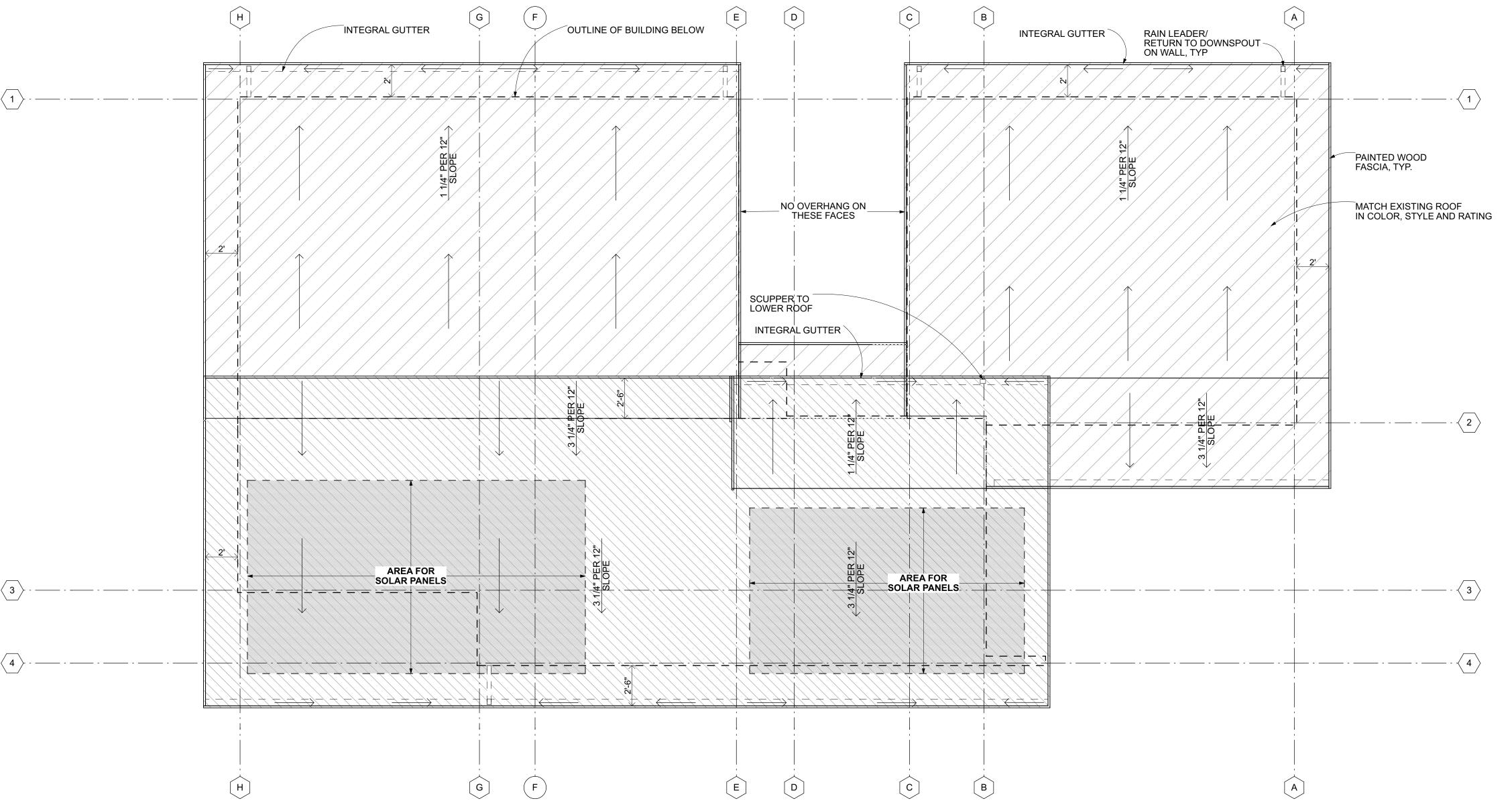




A1.3

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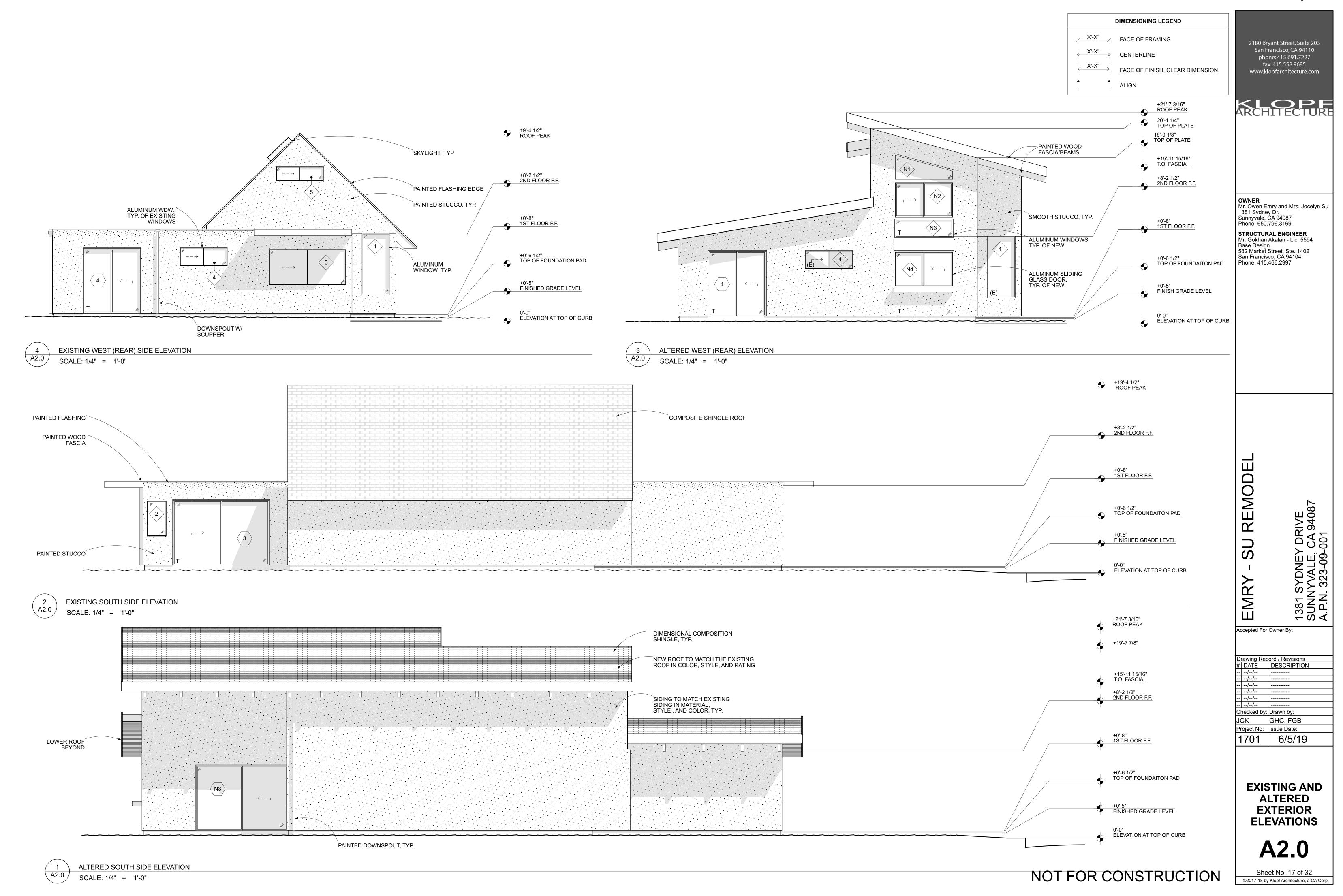


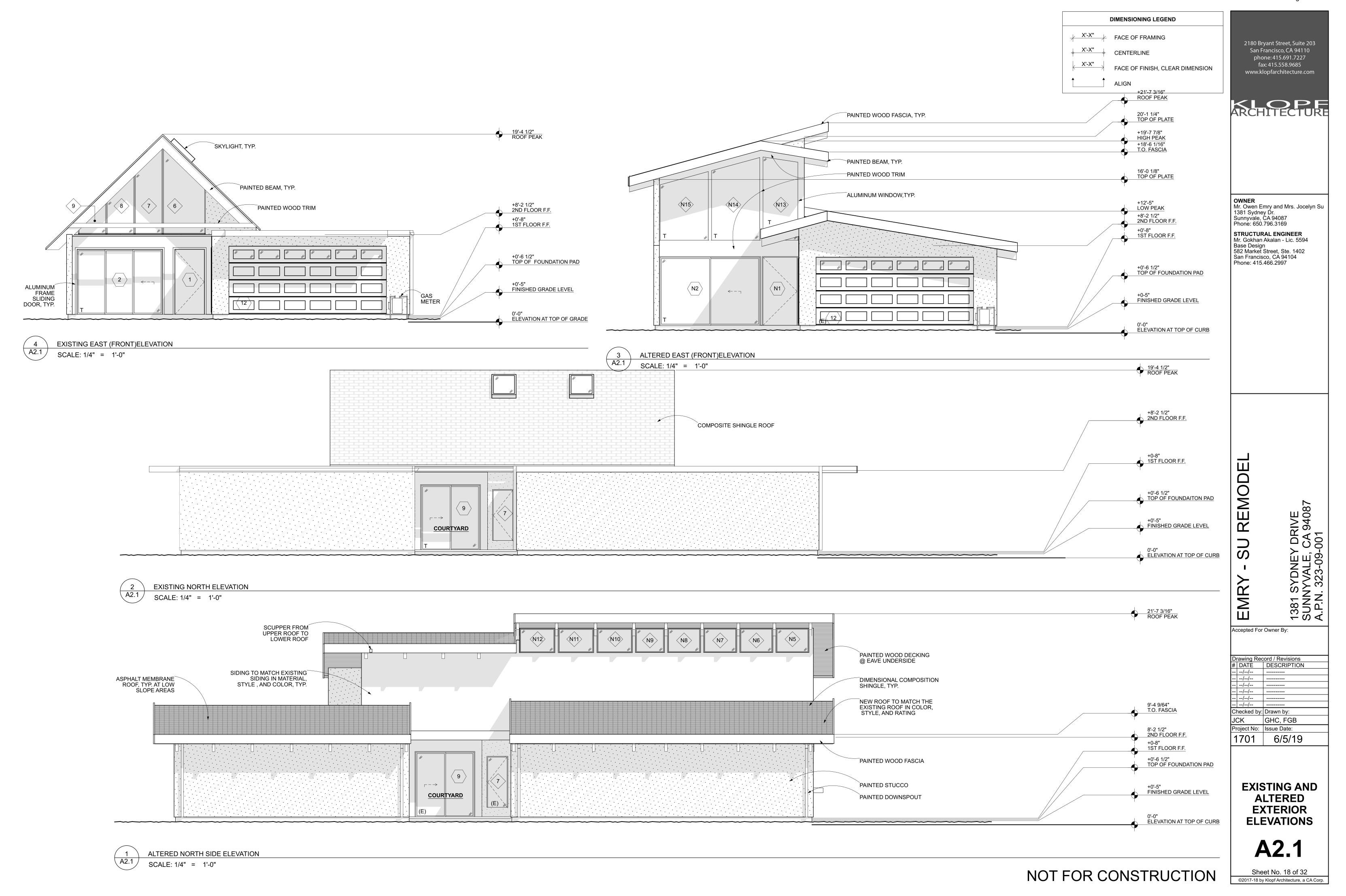


ALTERED ROOF PLAN

NOT FOR CONSTRUCTION

A1.4





DIMENSIONING LEGEND

X'-X"
FACE OF FRAMING

X'-X"
CENTERLINE
X'-X"
FACE OF FINISH, CLEAR DIMENSION
ALIGN

18'-6 1/2" (E) PEAK 2180 Bryant Street, Suite 203 San Francisco, CA 94110 phone: 415.691.7227 fax: 415.558.9685 www.klopfarchitecture.com

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1381 SYDNEY DRIVE
SUNNYVALE, CA 94087

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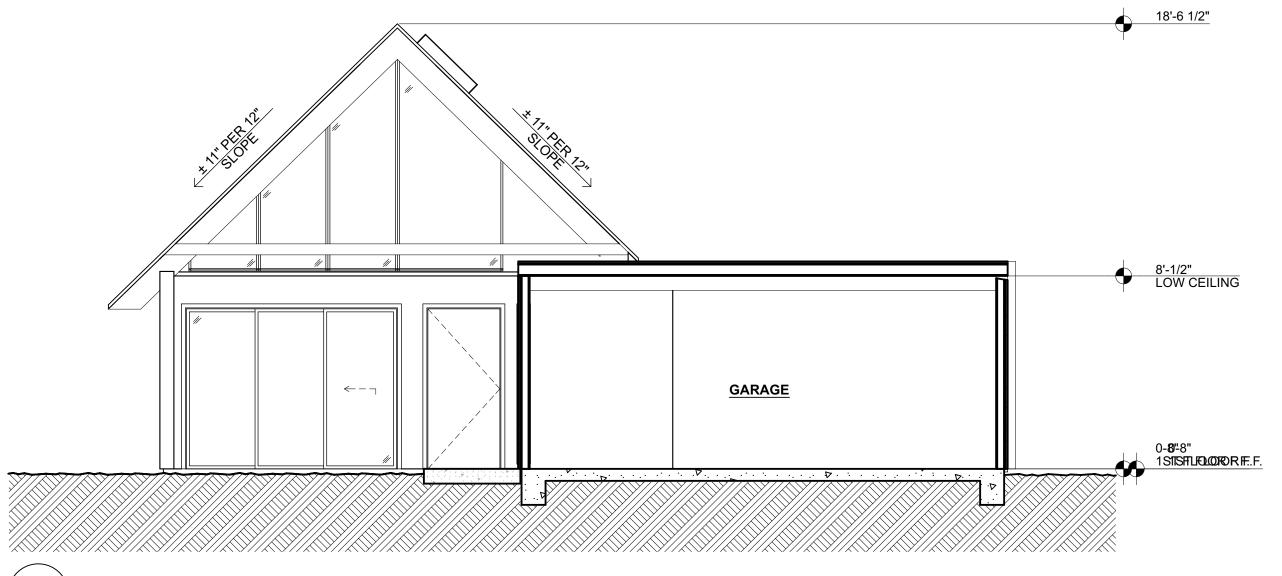
DATE DESCRIPTION
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JCK GHC, FGB

EXISTING AND

ALTERED BUILDING SECTIONS

A3.0

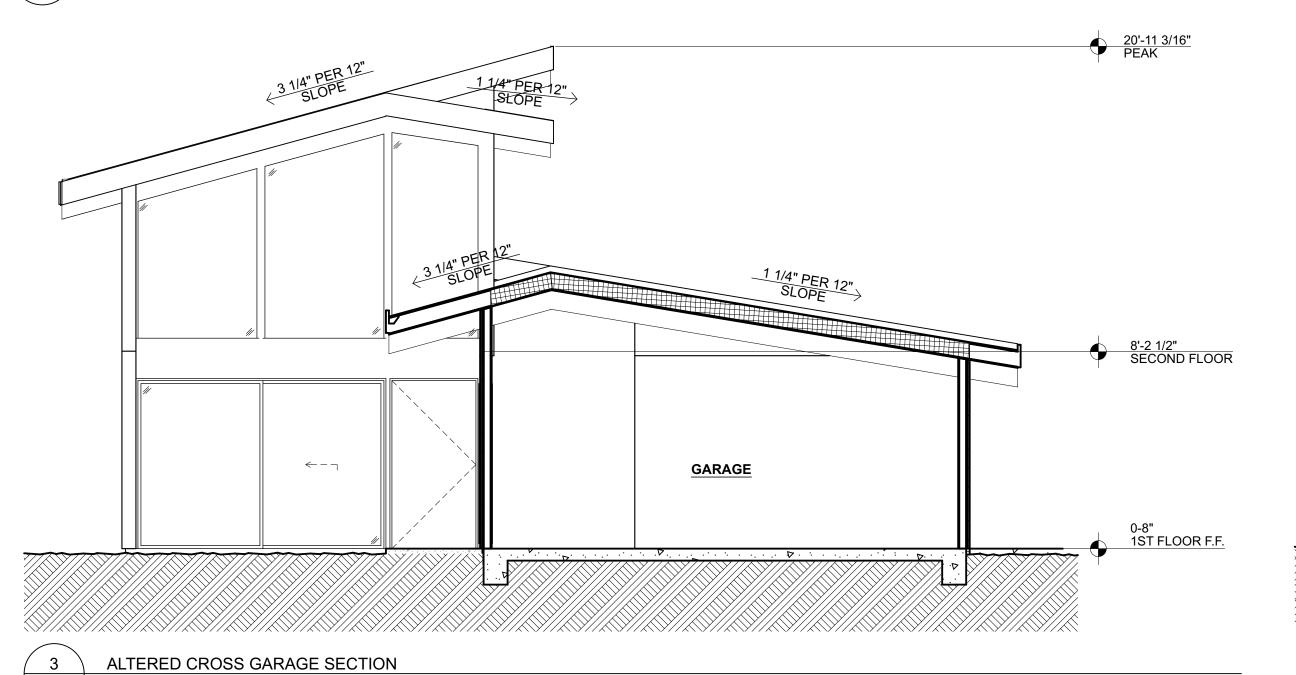
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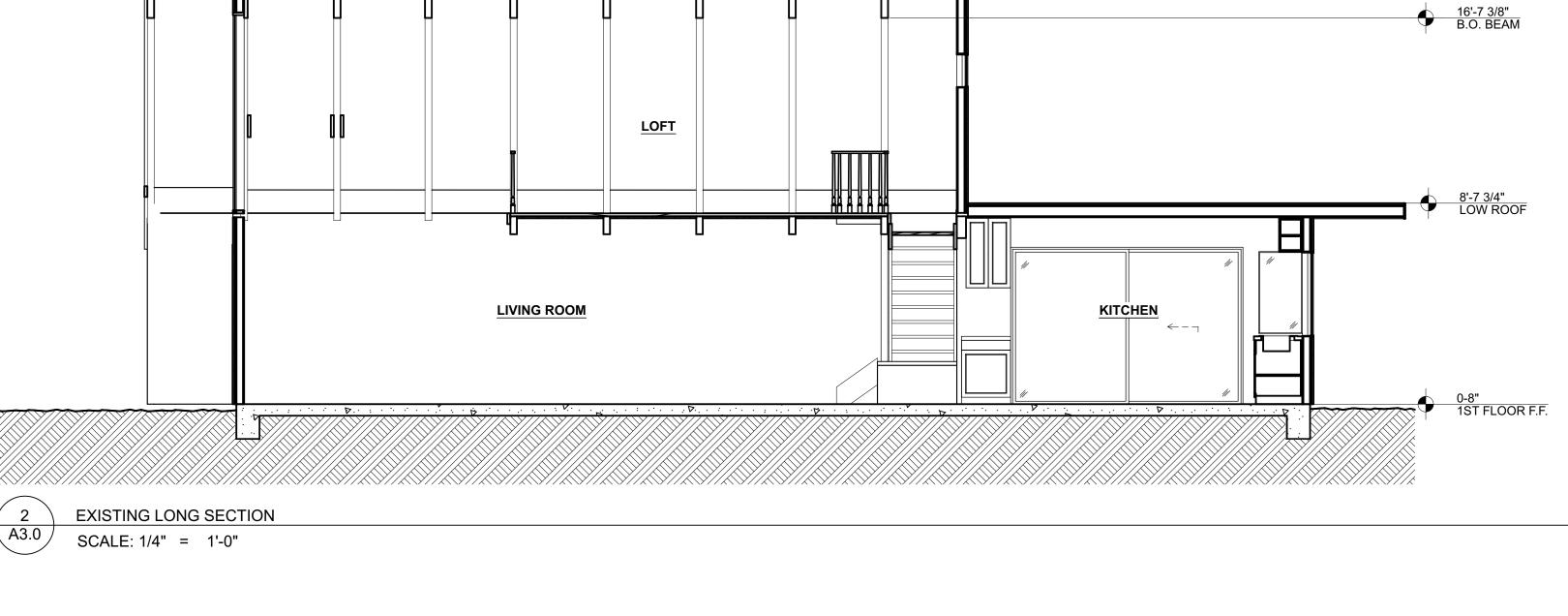


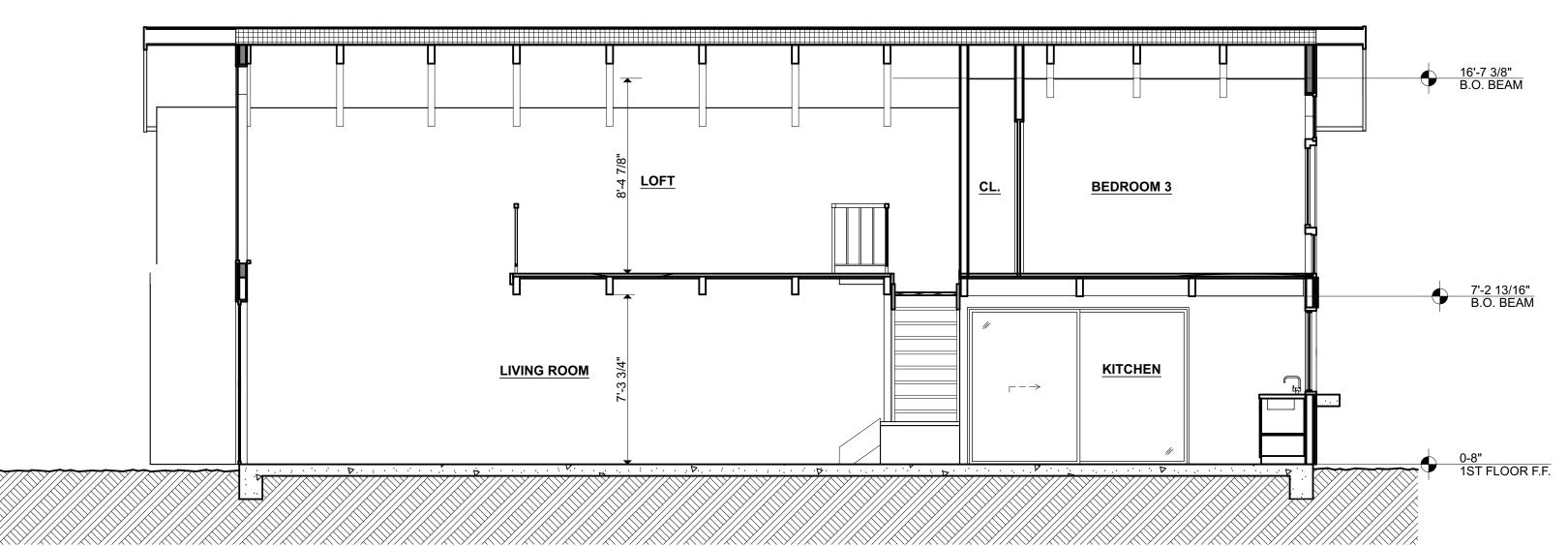
EXISTING CROSS GARAGE SECTION

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"







ALTERED LONG SECTION

SCALE: 1/4" = 1'-0"

DIMENSIONING LEGEND											
X'-X"	FACE OF FRAMING										
X'-X"	CENTERLINE										
X'-X"	FACE OF FINISH, CLEAR DIMENSION										
	ALIGN										



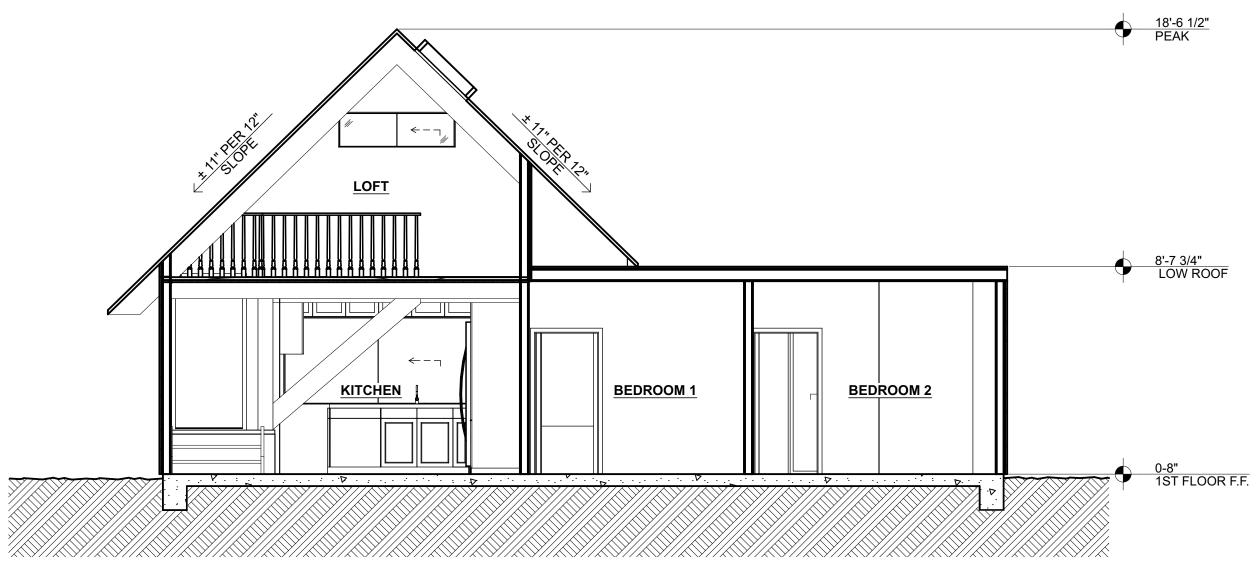
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SU REMODEL

EMRY

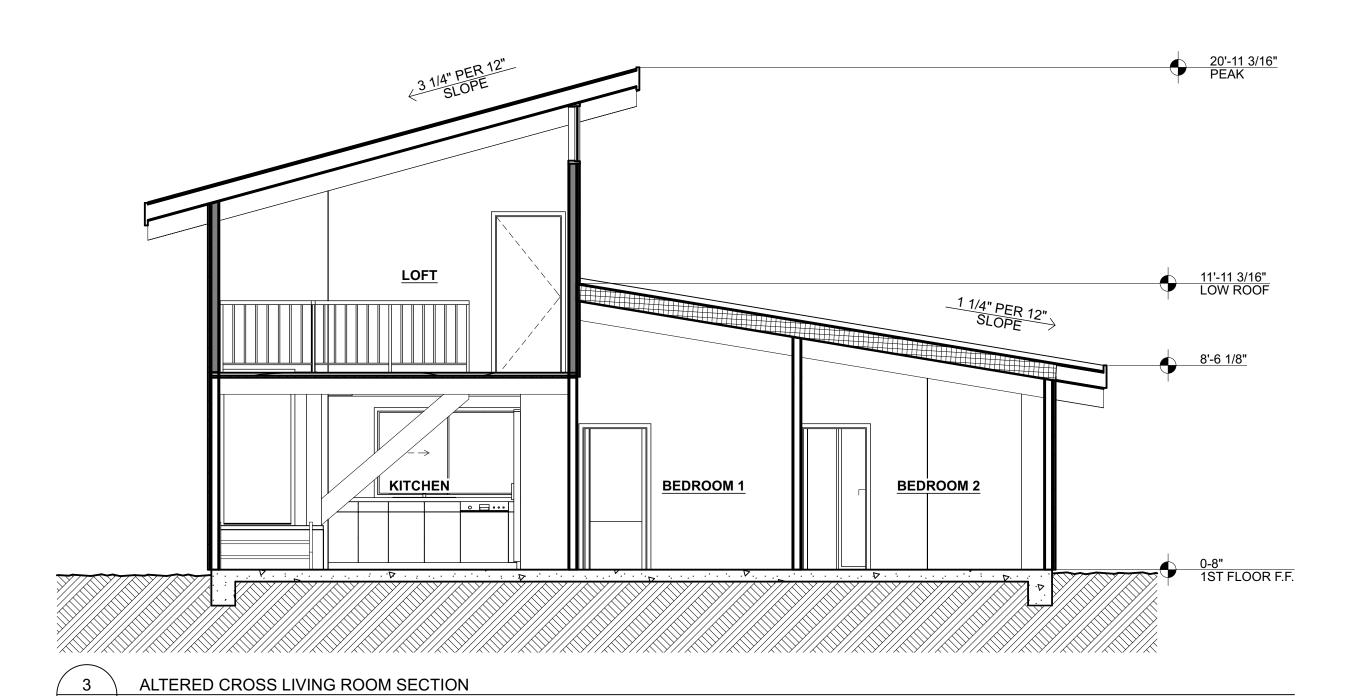
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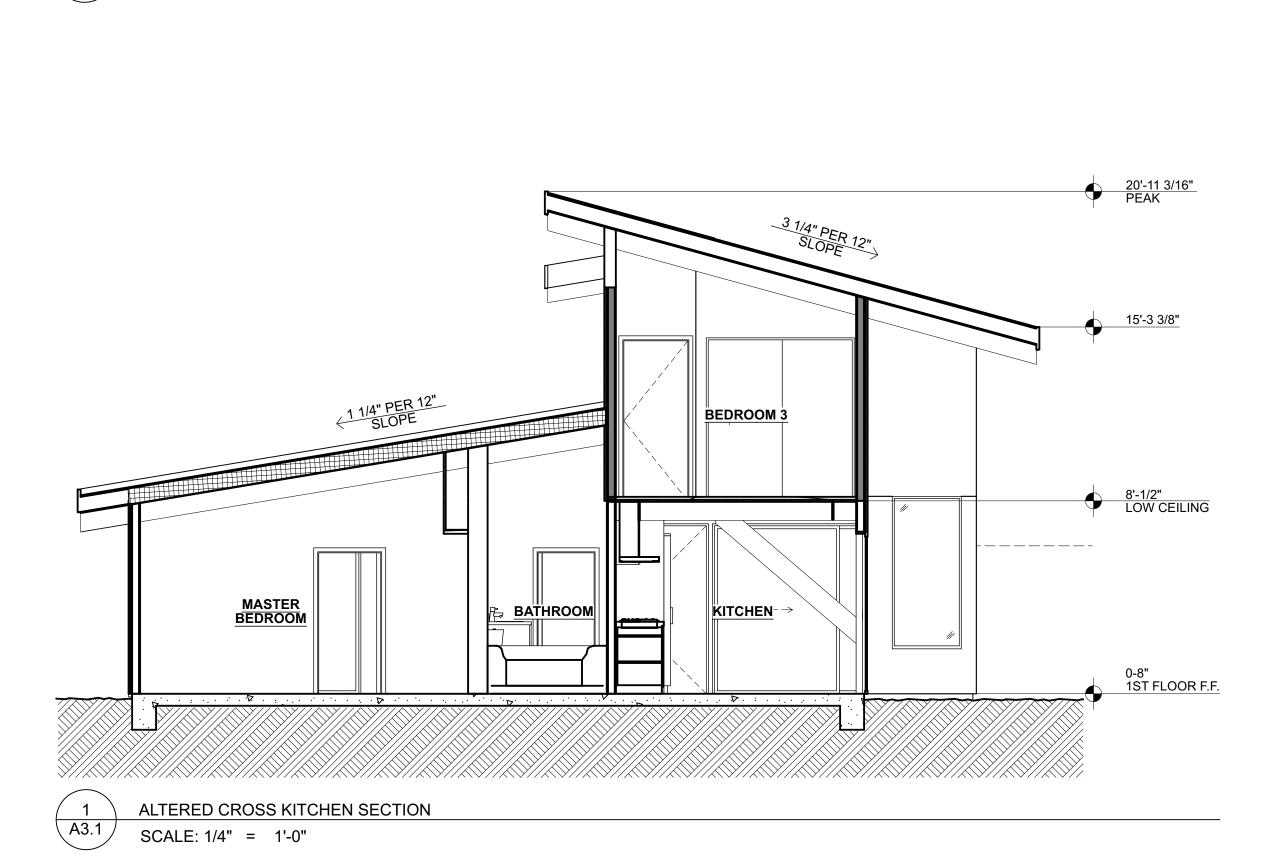


4 EXISTING CROSS LIVING ROOM SECTION

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"





MASTER BETROOM

PEAK

PE

Checked by: Drawn by:

JCK GHC, FGB

Project No: Issue Date:

1701 6/5/19

EXISTING AND ALTERED BUILDING SECTIONS

A3.1

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EMR

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Checked by:	Drawn by:				
JCK	GHC, FGB				
Project No:	Issue Date:				
1701	6/5/19				

DOOR/WINDOW/ **SKYLIGHT** SCHEDULES AND **NOTES**

A5.0

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	EXISTING WINDOW SCHEDULE										
MARK	NOM	M. SIZE	ASSM	EDM	GLS	ELIMINA	TE	REPL	۸۵Ε	NOTES	
IVIAIN	W	Н	ASSIVI	FIXIVI.	GLS	LLIMINA	'-	NEFL	ACL	NOTES	
1	2'-10"	6'-4"	F	AL							
2	1'-10"	3'-6"	F	AL		YES					
3	7'-10"	3'-7 1/2"	G	AL		YES					
4	4'-10"	1'-10"	GL	AL							
5	4'-10"	1'-5 1/4"	G	AL							
6	4'-4 1/4"	8'-10 15/16"	FS	AL		YES				IRREGULAR SHAPE	
7	2'-10 1/4"	8'-10 15/16"	FS	AL		YES				IRREGULAR SHAPE	
8	2'-10 1/4"	6'-1 1/8"	FS	AL		YES				IRREGULAR SHAPE	
9	2'-10 1/4"	3'-3 1/4"	FS	AL		YES				IRREGULAR SHAPE	
	N	EW WINDOW	SCHEL	DULE - E	BEFORE	ORDER	ING, S	SEE FLO	OOR PL	ANS & EXT. ELEVS. FOR MORE INFORMATION	
MARK	R.O	. SIZE	ASSM	N	IATERIA	ALS	CASING		BUG	HARDWARE GROUP/ NOTES	
	W	Н	ASSIVI	FRM.	SASH	GLS.	INT.	EXT.	SCR	TIANDWANE GROUP/ NOTES	
			_								

	NEW WINDOW SCHEDULE - BEFORE ORDERING, SEE FLOOR PLANS & EXT. ELEVS. FOR MORE INFORMATION											
MARK	ARK	. SIZE	ASSM	MATERIALS			CASING		BUG	HARDWARE GROUP/ NOTES		
INIAIN	W	Н	ASSIVI	FRM.	SASH	GLS.	INT.	EXT.	SCR	HANDWANE GROOF/ NOTES		
N1	6'-1 1/2"	2'-10 1/16"	F	AL		I,E				IRREGULAR SHAPE, SEE ELEVATIONS		
N2	6'-1 1/2"	3'-9 1/2"	G	AL		I,E						
N3	6'-1 1/2"	2'	F	AL		I,E			YES			
N4	6'-1 1/2"	3'-8 3/4"	G	AL		I,E						
N5	3'-4 11/16"	2'-6"	F	AL		I,E						
N6	3'-4 5/8"	2'-6"	F	AL		I,E						
N7	3'-4 5/8"	2'-6"	F	AL		I,E						
N8	3'-4 5/8"	2'-6"	F	AL		I,E						
N9	2'-11 3/4"	2'-6"	F	AL		I,E						
N10	3'-7 9/16"	2'-6"	F	AL		I,E						
N11	3'-7 9/16"	2'-6"	F	AL		I,E						
N12	3'-7 9/16"	2'-6"	F	AL		I,E						
N13	3'-8 9/16"	8'-9 3/16"	F	AL		I,E				IRREGULAR SHAPE, SEE ELEVATIONS		
N14	5'-1"	8'-8 9/16"	F	AL		I,E				IRREGULAR SHAPE, SEE ELEVATIONS		
N15	5'-15/16"	7'-3 5/16"	F	AL		I,E	·			IRREGULAR SHAPE, SEE ELEVATIONS		

	EXISTING SKYLIGHT SCHEDULE										
MARK	NOM. SIZE		ASSM	FRM.	CLC	DEMOLITION, IF ANY		NOTES			
INIARK	W	Н	ASSIVI	SM FRM. GLS.		ELIMINATE	REPLACE	INOTES			
S1	3'	2'-6"				YES					
S2	3'	2'-6"				YES					

	EXISTING DOOR SCHEDULE											
MARK	NOM	. SIZE	FRM. THK. CORE GLS. DEMOLITION, IF ANY		N, IF ANY	NOTES						
IVIARN	W	Н	MAT'L	I ITK.	CORE	GLS.	ELIMINATE	REPLACE	NOTES			
1	3'	6'-8"	W	1 3/4"	SC		YES					
2	8'-9"	6'-8"	AL	1 1/4"	GL		YES					
3	9'-10"	6'-8"	AL	1 1/4"	GL		YES					
4	5'-10"	6'-8"	AL	1 1/4"	GL							
5	4'-10"	6'-8"	AL	1 1/4"	GL							
6	4'-10"	6'-8"	AL	1 1/4"	GL							
7	2'	5'-2"	W	1 3/4"	SC							
8	2'-8"	6'-5"	W	1 3/4"	HC							
9	6'	6'-8"	W	1 1/4"	GL							
10	2'	5'-2"	W	1 3/4"	HC							
11	2'-9"	6'-2"	W	1 3/4"	SC				SITE WALL DOOR NOT ON THE PLAN			
12	16'-2"	7'		1 3/4"								
13	3'	6'-8"	М	1 3/4"	НМ				SITE WALL DOOR NOT ON THE PLAN			
14	2'-7"	6'-5 1/2"	W	1 3/4"	SC							
15	2'-4"	6'-8"	W	1 1/4"	SC							
16	2'-7"	5'-10 1/2"	W	1 1/4"	SC							
17	2'-4"	5'-10 1/2"	W	1 1/4"	SC							
18	2'-7"	5'-10 1/2"	W	1 1/4"	SC							
19	2'	6'-8"	W	1 1/4"	SC							
20	2'-7"	5'-10 1/2"	W	1 1/4"	SC							
21	2'-6"	6'-8"	W	1 1/4"	SC							

		NEW DO	OR SCHED	ULE - BEF	ORE OR	DERING	G, SEE F	LOOR P	LANS &	EXT. EL	EVS. FOR MORE INFORMATION
MADIZ	NOM SIZE		FRM.	EL		CASING		BUG	LIADDWADE COOLD / NOTES		
MARK N1	W	Н	MAT'L	THK.	CORE	MAT'L	GLS.	INT.	EXT.	SCR.	HARDWARE GROUP / NOTES
N1	3'-6"	7'	W	1 3/4"	SC	W					
N2	10'-3"	7'	AL	1 1/4"	S/R	G	I,E,T			Υ	
N3	9'-4 7/16"	6'-8"		1 1/4"							
N4	2'-8"	6'-8"	W	1 3/8"	SC	W					
N5	6'	6'-8"	W	1 3/8"	SC	W					BYPASS CLOSET DOOR

WINDOW, DOOR AND SKYLIGHT NOTES

1. ALL PREFAB WINDOWS AND DOORS SHALL BE SIZED FOR 2X4 CONSTRUCTION.

2. SEE 1/A5.0 FOR TYPICAL WINDOW FLASHING PROCEDURE. 1/A5.0 SHALL ALSO APPLY TO DOOR HEAD AND JAMB FLASHING.

3. CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR DIMENSIONS TWO WEEKS PRIOR TO ORDERING/MANUFACTURING WINDOW AND/OR DOOR ASSEMBLIES. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.

4. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO ORDERING/MANUFACTURING WINDOW AND/OR DOOR ASSEMBLIES. 5. FOR HARDWARE ORIENTATION SEE DRAWINGS. FOR HARDWARE SEE SPECIFICATIONS.

6. INSULATE ALL GAPS BETWEEN ROUGH FRAMING AND WINDOW/DOOR FRAMES.

7. DIMENSIONS OF (E) WINDOWS AND DOORS ARE APPROXIMATE AND BASED ON NOMINAL SIZES AS OBSERVED BY ARCHITECT. 8. CONTRACTOR SHALL NOTE REQUIRED MINIMUM U-VALUES OF WINDOWS AND DOORS ON FORM CF-1R OF TITLE 24 ENERGY CERTIFICATES. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY. 9. SLEEPING ROOMS SHALL HAVE AT LEAST ONE WINDOW WITH THE SILL BELOW 44" A.F.F. AND THAT MEETS OR EXCEEDS THE

FOLLOWING DIMENSIONS: CLEAR OPENABLE AREA OF 5.7 S.F., CLEAR OPENABLE WIDTH OF 20", AND CLEAR OPENABLE HEIGHT OF 24". BOTTOM OF CLEAR OPENING SHALL NOT BE GREATER THAN 44" MEASURED FROM FINISHED FLOOR. 10. DOORS FROM GARAGE TO HOUSE SHALL BE 20-MINUTE FIRE-RATED SELF-CLOSING, SELF-LATCHING DOORS WITH SMOKE GASKET

11. SKYLIGHT MANUFACTURER & MODEL TO BE VELUX FCM (FIXED CURB MOUNT) AND VCM (VENTING CURB MOUNT); SIZE

VARIES; IAPMO-ES EVALUATION REPORT #0199.

KEY FOR INTERPRETING WINDOW & SKYLIGHT ASSEMBLIES (ASSM.):	KEY FOR INTERPRETING DOOR CORES (CORE):	KEY FOR INTERPRETING WINDOW, DOOR, FRAME MATERIALS (MAT'L.):	
A - AWNING B - PREFAB POP-OUT/BAY C - CASEMENT D - DOUBLE HUNG F - FIXED FS - FIXED FIELD STOP G - GLIDING H - HOPPER J - JALOUSIE O - OPERABLE	GL - MTL. FRAME SLIDING GLASS DOOR G - GARAGE HC - HOLLOW CORE HM - HOLLOW METAL L - LOUVER SC - SOLID CORE S/R - STILE AND RAIL R - ROLL-UP	AL - ALUMINUM C - ALUMINUM WITH WOOD VENEER FI - FIBERGLASS G - GLASS S - STEEL V - VINYL W -WOOD WC - SOLID WOOD W/ ALUMINUM CLADDI	PO PO M CO

DF-DOUGLAS FIR WOOD VENEER O-OAK P-PINE M-MAHOGANY CS-COMPOSITE WC - SOLID WOOD W/

WINDOW, DOOR, FRAME & CASING

H - HIGH PERFORMANCE (INSULATED, LOW E) I - DOUBLE-GLAZED INSULATED LS - LAMINATED SAFETY OB - OBSCURED S - SINGLE PANE ALUMINUM CLADDING T - TEMPERED

PG-PAINT GRADE

KEY FOR INTERPRETING

FR - 3/4-HOUR FIRE RATED CLEAR WITH NO MUNTINS OR WIRES

GLASS TYPES (GLS.):

E - LOW E