



Project Title:  
**2ND FLOOR ADDITION  
1534 SANDPIPER COURT  
SUNNYVALE, CA 94087**

Sheet Title:  
**SITE PLAN**

Revision No.:	Date:
DESIGN REVIEW	05/30/19
Date:	5/05/2019
Drawn by:	
Checked by:	
Sheet No:	<b>A1</b>
Project No:	1534

# 2ND FLOOR ADDITION & REMODEL

## 1534 SANDPIPER COURT

### SUNNYVALE, 94087

#### PROJECT INFORMATION

ADDRESS: 1534 SANDPIPER COURT  
SUNNYVALE, CA 94087  
TELEPHONE: (408) 203-0999  
OWNER: PAVAN KUMAR GOLLA  
OCCUPANCY GROUP (S): R-3U  
TYPE OF CONSTRUCTION: V-B, NO SPRINKLER

#### PROJECT DATA

LOT SIZE = 6,594 SQ. FT.  
EXISTING FIRST FLOOR AREA = 1218 SQ. FT.  
EXISTING SECOND FLOOR AREA = 605 SQ. FT.  
EXISTING GARAGE AREA = 435 SQ. FT.  
EXISTING ADU AREA = 691 SQ. FT.

#### CODE:

CALIFORNIA FIRE CODE 2016 EDITION  
CALIFORNIA BUILDING CODE 2016 EDITION  
CALIFORNIA ELECTRICAL CODE 2016 EDITION  
CALIFORNIA MECHANICAL CODE 2016 EDITION  
CALIFORNIA PLUMBING CODE 2016 EDITION  
CALIFORNIA GREEN BUILDING CODE 2016 EDITION  
CALIFORNIA RESIDENTIAL CODE 2016 EDITION  
BUILDING ENERGY EFFICIENCY STANDARD 2016 EDITION

PROPOSED 2ND FLOOR ADDITION = 280 SQ. FT.  
TOTAL FLOOR AREA = 2800 SQ. FT.  
TOTAL GARAGE AREA = 435 SQ. FT.  
TOTAL BUILDING AREA = 3225 SQ. FT.  
BUILDING AREA COVERAGE: 49.1%

#### PUBLIC WORKS NOTE:

1. PRIOR TO ANY WORK IN THE PUBLIC RIGHT-OF-WAY, OBTAIN AN ENCROACHMENT PERMIT WITH INSURANCE REQUIREMENTS FOR ALL PUBLIC IMPROVEMENTS INCLUDING A TRAFFIC CONTROL PLAN PER THE LATEST CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS TO BE REVIEW AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS.

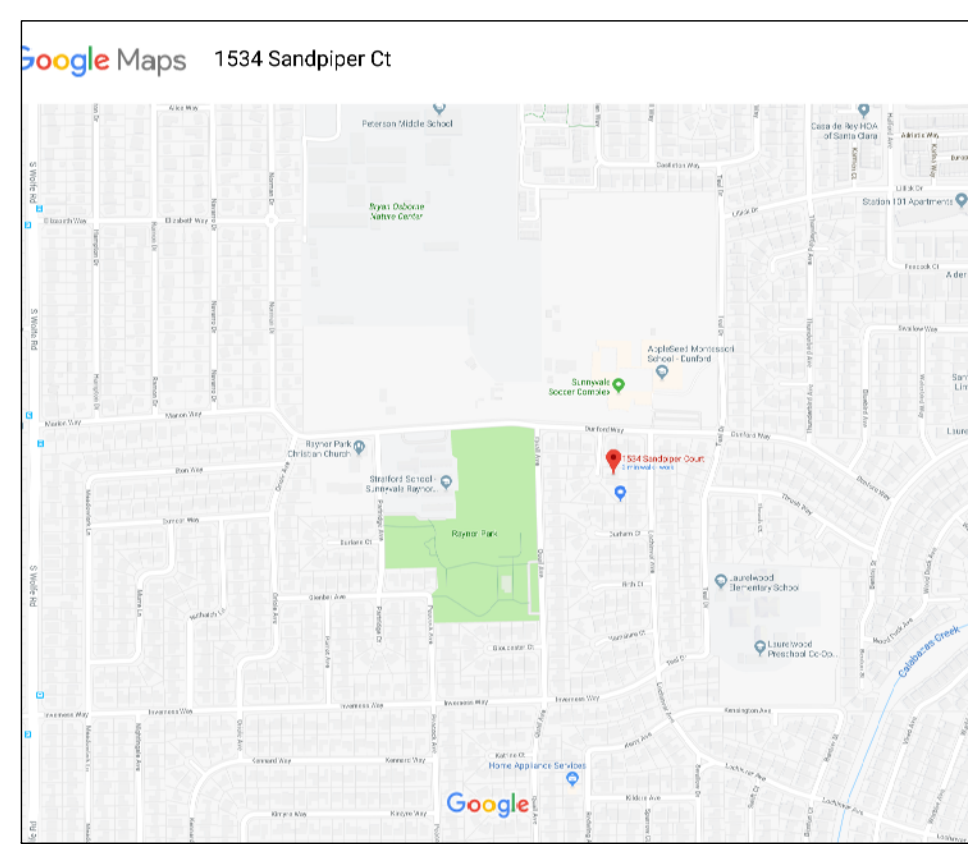
#### SCOPE OF WORK:

1. 280 SQ. FT. SECOND FLOOR ADDITION.

#### SHEET INDEX

- A1 COVER SHEET
- A2 PROPOSED FLOOR PLANS
- A3 PROPOSED ELEVATIONS
- A4 EXISTING ELEVATIONS
- A5 EXISTING FLR. PLANS, FLOOR AREA, ROOF PLAN.
- A6 STREETSCAPE ELEVATIONS
- A7 SOLAR ANALYSIS

#### VICINITY MAP



#### ABBREVIATIONS

& L @ BLDG. BLKG. BM. BOT. BTUN. CEM. CJ. CLG. CLR. COL. CONC. CONN. CONT. CTR. DBL. DET. DF. DIA. OR # DIAG. DIM. DN. DR. DWG. (E) EA. ELEV. EN. EW. EXT. FOUND. FF. FIN. FLR. FN. FTG.	AND ANGLE AT BUILDING BLOCKING BEAM BOTTOM BETWEEN CEMENT CONTROL JOINT CEILING CLEAR COLUMN CONCRETE CONNECTION CONTINUOUS CENTER DOUBLE DETAIL DOUGLAS FIR DIAMETER DIAGONAL DIMENSION DOWN DOOR DRAWING EXISTING EACH ELEVATION EDGE NAIL EACH WAY EXTERIOR FOUNDATION FINISH FLOOR FINISH FLOOR FIELD NAIL FOOTING	GALV. GEN. GYP. HORIZ. HT. INSUL. INT. MAX. MISC. (N) NO. OR # O.C. FL. PLM. PLYWD. REINF. REQ'D RM. SCHED. SECT. SHT. SIM. SPEC. SQ. FT. STL. STRUCT. U.O.N. VERT. VFT. V.I.F. W.C. WD. WP. W/O W/I	GALVANIZED GENERAL GYPSUM HORIZONTAL HEIGHT INSULATION INTERIOR MAXIMUM MISCELLANEOUS NEW NUMBER ON CENTER FLATE PARALLAM PLYWOOD REINFORCED REQUIRED ROOM SCHEDULE SECTION SHEET SIMILAR SPECIFICATIONS SQUARE FEET STEEL STRUCTURAL UNLESS OTHERWISE NOTED VERTICAL VERIFY VERIFY IN FIELD WATER CLOSET WINDOW WATERPROOF WITH FINISH WITHOUT WITH IN
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#### AGREEMENT BETWEEN OWNER AND DESIGNER/ENGINEER

- BY USE OF THESE PLANS THE OWNER AND GENERAL OR SUB CONTRACTOR HAVE AGREED TO INDEMNIFY THE DESIGNER/ENGINEER OF ALL LEGAL COST ASSOCIATED WITH ANY OWNER AND CONTRACTOR DISPUTES AND HOLD DESIGNER/ENGINEER HARMLESS.
- THE MAXIMUM DESIGNER/ENGINEER'S LIABILITY IS LIMITED TO THE FEES RECEIVED FOR SERVICE RENDERED.

#### LEGEND FOR DRAWINGS:

- NEW WORK
- HIDDEN NEW WORK
- VISIBLE EXISTING WORK TO REMAIN
- HIDDEN EXISTING WORK TO REMAIN
- EXISTING WORK TO BE REMOVED

#### NOTES

##### GENERAL:

- ALL WORK SHALL BE CONFORM TO THE 2016 EDITION CALIFORNIA BUILDING CODE (CBC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA ELECTRICAL CODE (CEC), TITLE 24 ENERGY EFFICIENCY STANDARDS 2016 EDITION, AND APPLICABLE LOCAL ORDINANCES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL THE DIMENSIONS AND EXISTING CONDITIONS THERON BEFORE COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES AND/OR POTENTIAL PROBLEMS TO THE ENGINEER PRIOR TO PROCEEDING WITH AFFECTED WORK.

##### ELECTRICAL NOTES:

- THE NEW FOUNDATION SHALL HAVE A CONCRETE ENCASED ELECTRODE (#6 AWG COPPER WIRE).
- PROVIDE AT LEAST ONE SEPARATE 20-AMP CIRCUIT AT EACH BATHROOM TO SUPPLY RECEPTACLE OUTLET(S).
- PROVIDE MINIMUM OF 2 SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCE.
- PROVIDE A 220 VOLTS, 30 AMP. DEDICATED CIRCUIT FOR DRYER AT LAUNDRY.
- PROVIDE A PERMANENT OUTLET AND LIGHT FIXTURE AT FURANCE IN ATTIC. LOCATE SWITCH AT ACCESS OPENING.
- THE FURNACE/CENTRAL HEATING EQUIPMENT SHALL HAVE A DEDICATED CIRCUIT.
- ALL LIGHTS IN CLOSET SHALL MEET THE SPACING REQUIREMENT OF CEC SECTION 410-8
- ALL RECESSED LIGHT FIXTURES SHALL BE IC RATED AND AIR TIGHT OR FIXTURES NOT IDENTIFIED FOR CONTACT WITH INSULATION SHALL HAVE ALL RECESSED PARTS SPACED AT LEAST 1/2" FROM COMBUSTIBLE MATERIAL AND 3" FROM THERMAL INSULATION.

##### DESIGN BUILD NOTES:

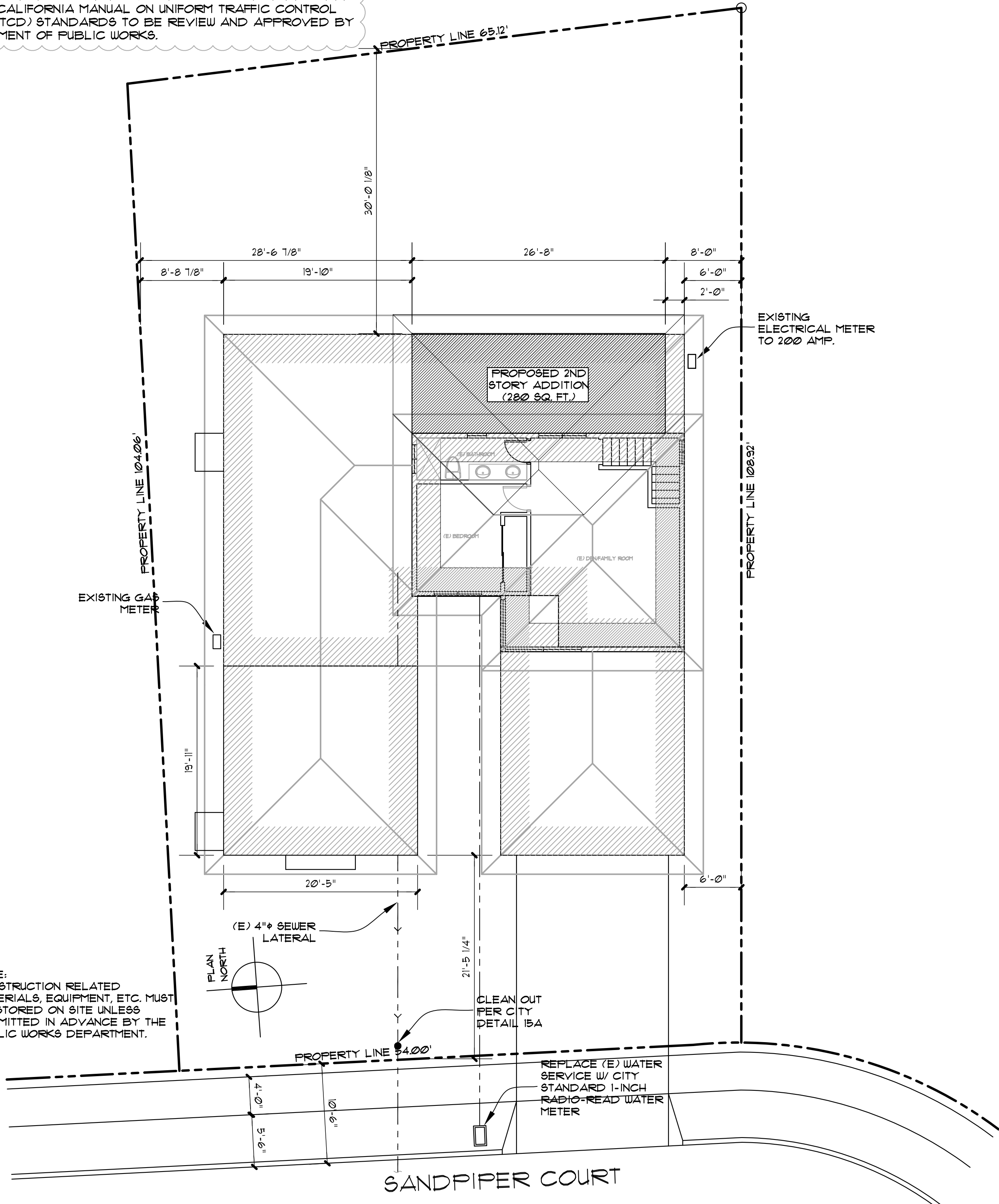
- ALL ELECTRICAL, MECHANICAL AND PLUMBING WORK TO BE DESIGN- BUILD PER ALL APPLICABLE CODES AND ORDINANCES. DESIGN-BUILD CONTRACTORS ARE RESPONSIBLE FOR THE DESIGN, FEES, PERMITS, ETC FOR THIS WORK. THE CONTRACTORS SHALL PREPARE DESIGN DRAWINGS AND OBTAIN AND PAY FOR REQUIRED PERMITS FOR DESIGN-BUILD WORK.
- PROVIDE A COMPLETE WORKING SYSTEM. THE CONTRACTORS SHALL VERIFY THE FIELD CONDITIONS AFFECTING HIS WORK PRIOR TO SUBMITTING BIDS.
- CONTRACTORS SHALL VERIFY ADEQUACY OF EXISTING SYSTEMS FOR THEIR INTENDED PURPOSE AND NOTIFY THE ARCHITECT OF CONFLICTS AND DEFICIENCIES PRIOR TO SUBMITTING BIDS.
- SEE TITLE 24 ENERGY COMPLIANCE SHEET FOR ADDITIONAL DESIGN- BUILD REQUIREMENTS.

##### MECHANICAL NOTES:

- WHEN GAS APPLIANCE IS LOCATED WITHIN AN ENCLOSED SPACE, COMBUSTION AND MAKEUP AIR ARE REQUIRED. COMBUSTION AND MAKEUP AIR SHOULD BE LOCATED WITH 12 INCHES FROM TOP AND BOTTOM OF THE SPACE. SIZED AT MINIMUM 1 SQ. INCH PER 5,000 BTU FOR THE APPLIANCE.
- AT ALL DCELLING UNITS PROVIDE 3-INCH MINIMUM WORKING SPACE ALONG EACH SIDE (WITH TOTAL OF AT LEAST 12 INCHES ON BOTH SIDES COMBINED), BACK AN TOP OF FURANCE.
- PROVIDE INSTALLATION INSTRUCTION FOR ALL LISTED EQUIPMENT TO FIELD INSPECTION AT THE TIME OF INSPECTION.
- ALL ENVIRONMENTAL AIR DUCTS (DYER, BATH RAND UTILITY FANS) SHALL BE A MINIMUM OF 3 FT. FROM PROPERTY LINE OR ANY OPENING INTO THE BUILDING AND MUST BE 3 FT. AWAY FROM DOORS, WINDOWS, OPEN SKYLIGHTS OR ATTIC VENTS.

##### PLUMBING NOTES:

- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO FIELD INSPECTOR AT THE TIME OF INSPECTION.
- PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICE ON ALL HOSE BIBB.
- WATER HEATER SHALL HAVE TEMPERATURE/PRESSURE RELIEF VALVE RUNS OUTSIDE THE BUILDING WITH THE END OF THE PIPE BETWEEN 6" TO 24" ABOVE GRADE AND POINT DOWN.
- PROVIDE 3/4"x24 GA. EARTHQUAKE STEEL STRAP AT WATER HEATER FASTED TO STUD WALL W/ 1/2" DIA. x 3" LAGSCREWS AND FLAT WASHERS. STRAPING FOR WATER HEATERS SHALL BE AT POINTS WITHIN THE UPPER AND LOWER THIRDS AND SHALL MAINTAIN A MINIMUM CLEARANCE OF 4" FROM THE WATER HEATER CONTROLS.
- SHOWER HEADS SHALL HAVE MAX. FLOW RATE OF 2.0 GPM. LAVATORY OR SINK FAUCET SHALL HAVE MAX. FLOW OF 1.2 GPM.
- SHOWER SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPS SHALL BE SET PER MANUFACTURES' INSTRUCTION TO DELIVER A MAX. WATER TEMPERATURE SETTING OF 120 F.
- THE TOILET SHALL HAVE MAX. 128 GAL. PER FLUSH.



#### SITE PLAN

SCALE: 1/8"=1'-0"

1





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**PROPOSED FLOOR PLANS**

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**WALL LEGEND**

- INDICATES NEW WALL
- INDICATES EXISTING WALL TO REMAIN
- INDICATES EXISTING WALL TO BE REMOVED

**ELECTRICAL LEGEND**

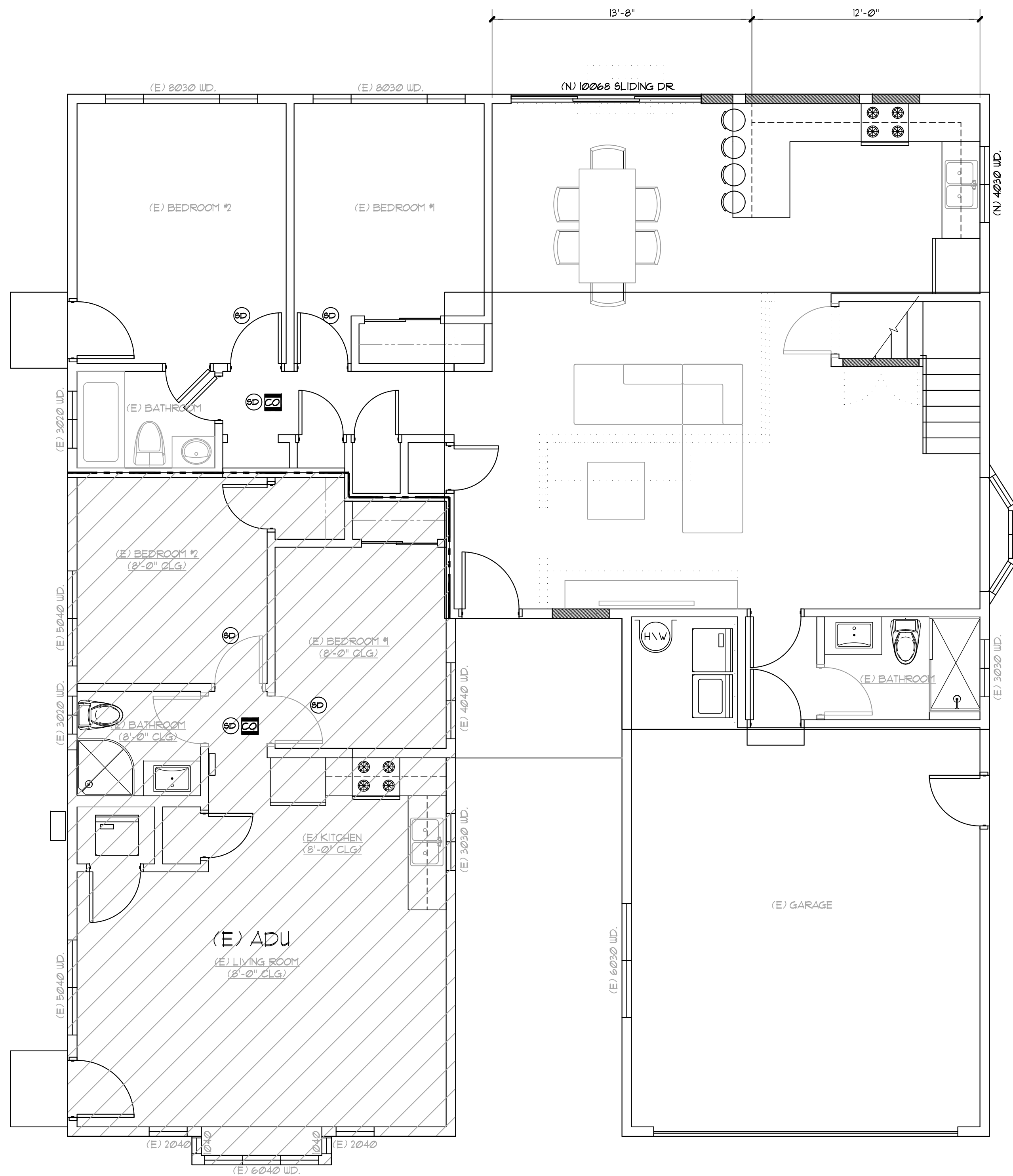
- 110V DUPLEX OUTLET
- 240V OUTLET
- WATERPROOF DUPLEX OUTLET AND GFI
- GROUND FAULT INTERRUPTER OUTLET
- CEILING MOUNTED LIGHT FIXTURE  
JA8-2016 OR JA8-2016-E COMPLIANT
- WALL MOUNTED LIGHT FIXTURE  
JA8-2016 OR JA8-2016-E COMPLIANT
- PHOTOELECTRIC SMOKE ALARM  
HOT WIRED AND INTERCONNECTED.
- DUAL SENSOR (PHOTOELECTRIC/IONIZATION)  
SMOKE ALARM
- SWITCH
- MANUAL ON VACANCY SENSOR
- 3-WAY SWITCH
- DIMMER SWITCH
- EXHAUST FAN WITH HUMIDITY CONTROL,  
SWITCHED SEPARATELY FROM LIGHTING
- TELEPHONE
- CARBON MONOXIDE (CO) ALARM  
HOT WIRED AND INTERCONNECTED.
- HEAT REGISTER

**KEYNOTES**

- USE CEMENT BACKING BOARD AND WATERPROOF MATERIAL AT SHOWER/BATHTUB WALLS. ALSO PROVIDE CEMENTITIOUS TILE BACKING OVER WATERPROOF MEMBRANE AT TUB SURROUND WALLS THAT HAVE TILE FINISH.
- SHOWER DOOR SIZE TO HAVE A NET OPENING OF AT LEAST 22" WITH SAFETY TEMPERED DOOR TO SWING OUT.
- THRESHOLDS DIMENSIONS AT SLIDING DOOR SHALL NOT EXCEED 3/4" INCHES.
- ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DUELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR SPACES SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER.
- SMOKE DETECTOR SHALL BE HARDWIRED TO 110V W/ BATTERY BACKUP AND SHALL BE INTERCONNECTED.
- NEW WINDOW TO MEET EGRESS REQUIREMENTS PER 2016 C.R.C. SILL HEIGHT NOT TO EXCEED 44" AFF. 5.7 SQ.FT. OF OPENABLE AREA, WITH 24" NET CLEAR OPENING HEIGHT AND 20" MIN. NET CLEAR OPENING WIDTH.
- PROVIDE 1-HR RATED CONSTRUCTION ON THE UNDERSIDE OF ROOF EAVE FOR EAVE PROJECTION THAT ARE LESS THAN 5 FEET FROM PROPERTY LINE PER DETAIL 1, 8/14.
- VELUX 2'X4' SKYLIGHTS MODEL \*FC12246-0005. (IAFMO-ES ER-0193)
- VELUX 14" SUN TUNNEL TUBULAR SKYLIGHTS MODEL \*TF 014-0000. (IAFMO-ES ER-0193)
- WATER HEATER SHALL BE INSTALLED AT LEAST 18" ABOVE THE FLOOR AND BE PROTECTED FROM VEHICLE IMPACT. WATER HEATER SHALL BE STRAPPED TO WALL WITH 1-1/2" 18 GA. STEEL STRAP ANCHOR TO BLDG. STUDS WITH 3/8" LAG SCREWS AT UPPER 1/3 AND LOWER 1/3 OF TANK.
- LIGHT FIXTURES IN TUB/SHOWER ENCLOSURE SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS."

**PLUMBING NOTES:**

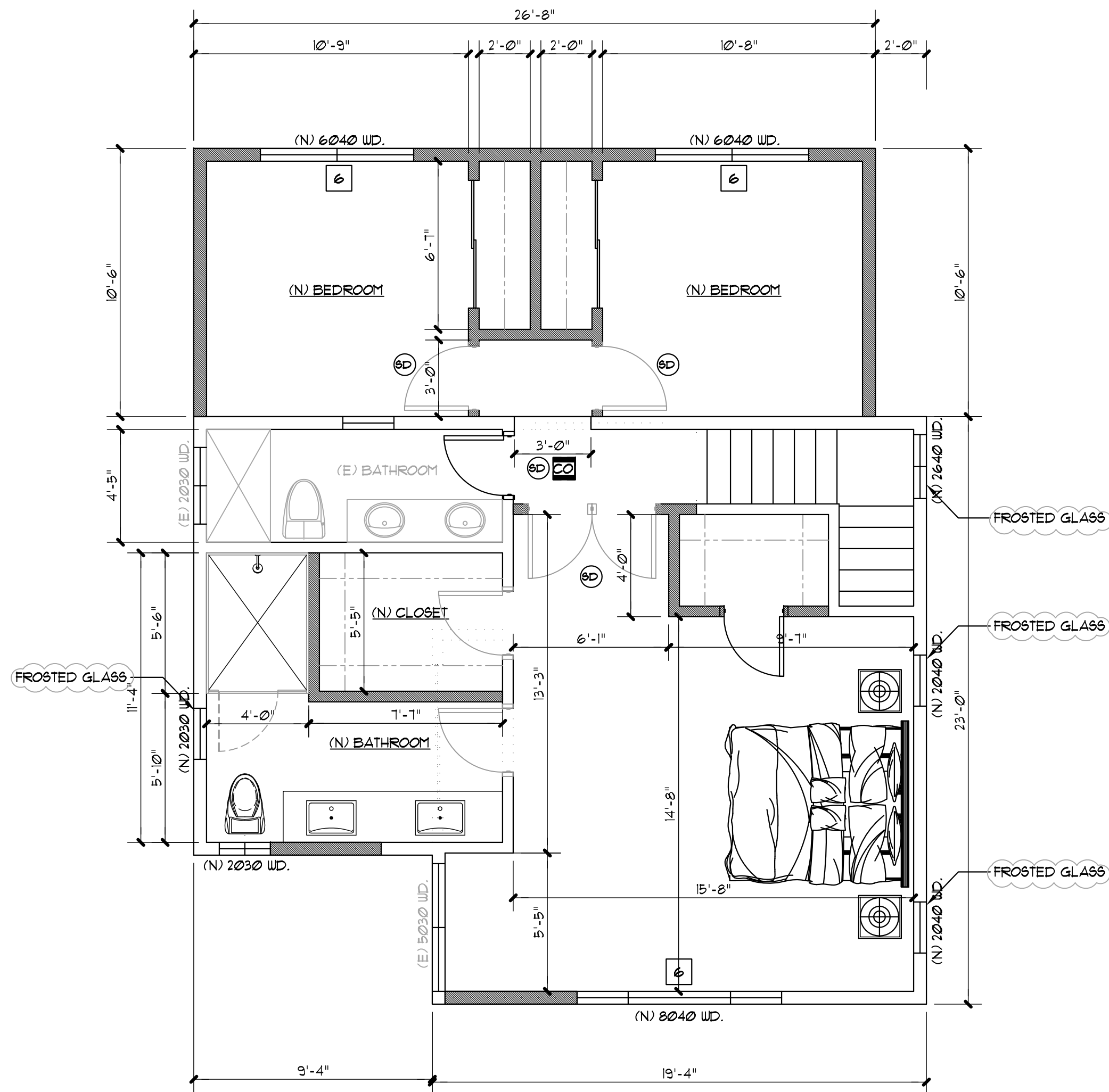
- A. NOTE THAT PIPING INSULATION SHALL BE PROVIDED FOR THE FIRST 5 FEET OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK AS WELL AS ALL HOT WATER PIPING TO THE KITCHEN. CALIFORNIA ENERGY REGULATIONS 150201.2
- B. NOTE A NON-REMOVABLE BACKFLOW PREVENTER OR BIBB-TYPE VACUUM BREAKER WILL BE INSTALLED ON ALL EXTERIOR HOSE BIBBS. CFC 603.4.1
- C. SHOWER STALLS SHALL BE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES, BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. ANY DOORS SHALL SWING OUT OF THE ENCLOSURE HAVE A CLEAR OPENING OF 22 INCHES MINIMUM. (CFC 408.5, 408.6)
- D. PROVIDE A NOTE THAT ALL SHOWER MIXING VALVES (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING AND SET AT A MAXIMUM 120° F. ALL WATER-FILLER VALVE IN BATHTUBS/WHIRLPOOLS SHALL HAVE A TEMPERATURE LIMITING DEVICE SET AT A MAXIMUM OF 120° F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS. CFC 414.0 AND 418.0

**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4"=1'-0"

**ELECTRICAL NOTES:**

- ALL INSTALLED LUMINAIRE SHALL BE HIGH EFFICACY.
- ALL LIGHTING FIXTURES SHALL BE CONTROLLED BY EITHER A DIMMER SWITCH OR BY A VACANCY SENSOR SWITCH THAT REQUIRES A MANUAL ON ACTIVATION (DOES NOT AUTOMATICALLY TURN ON) AND AUTOMATICALLY TURNS OFF WITHIN 30 MINUTES AFTER THE ROOM IS VACATED.
- IN BATHROOMS, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ON LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR AND ANY OTHER ADDITIONAL LIGHTING PROVIDED SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER.
- ALL OUTDOOR LIGHTING SHALL BE HIGH EFFICIENCY AND CONTROLLED BY PHOTOCELL AND MOTION SENSOR.
- ALL NEW BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS IN DUELLING UNIT BEDROOM, KITCHEN, FAMILY ROOMS, LIVING ROOM, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE ARC-FAULT INTERRUPTER (AFCI) PROTECTED PER CEC 210.12(B).
- IN THE BATHROOMS, LIGHTING FIXTURES LOCATED WITHIN 3' HORIZONTALLY AND 8' VERTICALLY OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD SHALL BE LISTED FOR A DAMP LOCATION, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY. CEC 410.10
- ALL NEW RECEPTACLES SHALL BE "TEMPER-RESISTANT" PER ART. 406.13 CEC 2016
- LIGHT SOURCES INSTALLED IN ENCLOSED LUMINAIRES MUST BE JA8 COMPLIANT AND MUST BE MARKED WITH "JA8-2016-E".

**PROPOSED SECOND FLOOR PLAN**

SCALE: 1/4"=1'-0"

**KITCHEN REMODEL NOTES:**

- KITCHEN DOORS LEADING FROM GARAGE SHALL BE 1 3/8" SOLID WOOD OR STEEL 4 20 MINUTE RATED, SELF-CLOSING, TIGHT FITTING, SELF-LATCHING.
- COUNTER RECEPTACLES SHALL BE GFCI PROTECTION LOCATED AT NO POINT IS MORE THAN 24 INCHES AWAY FROM A RECEPTACLE.
- RECEPTACLE REQUIRED AT ISLANDS AND PENINSULAS, 24"x12" OR LARGER.
- MINIMUM OF 100% OF TOTAL LIGHTING WATTAGES SHALL BE HIGH EFFICIENCY.
- PROVIDE MINIMUM 30 INCHES CLEARANCE REQUIRED ABOVE KITCHEN HOOD, EXCEPT WHERE 24 INCHES IS ALLOWED PER CODE OR MANUFACTURER'S SPECIFICATION.
- DOMESTIC DISHWASHING MACHINE SHALL NOT BE CONNECTED DIRECTLY TO A DRAINAGE OR FOOD WASTE DISPOSER WITH A LISTED AIR GAP.
- KITCHEN FAUCET (MAX. 18 GPM).

**BATHROOM REMODEL NOTES:**

- PROVIDE WATER PROOFED MATERIAL AT SHOWER WALLS UP 72" ABOVE DRAIN INLET.
- ALL RECEPTACLES SHALL BE GFCI PROTECTED AND CONNECTED TO A DEDICATED 20 AMP'S CIRCUIT.
- LIGHTING SHALL HAVE AT LEAST ONE HIGH EFFICACY LIGHT FIXTURE. ALL OTHER LIGHTING SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSOR PER CEC SECTION 1504.6.
- PROVIDE AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQUARE FEET (1/4 OPENABLE) AND PROVIDE MECHANICAL VENTILATION IF TUB, SHOWER OR TUB/SHOWER COMBINATION PRESENT.
- SHOWER SHALL BE A MINIMUM 1024 SQUARE INCHES AND CAPABLE OF ENCOMPASSING 30 INCHES DIAMETER.
- WATER CLOSETS (MAX. 128 GPM) SHALL BE CLEAR 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT.
- SHOWER HEAD (MAX. 18 GPM) & LAV. FAUCETS (MAX. 12 GPM).
- PROVIDE INDIVIDUAL PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE/BALANCE THERMOSTATIC MIXING VALVES.

**ATTIC FURNACE NOTES:**

- PROVIDE 24" WIDE PLATFORM PATH FROM ACCESS OPENING TO FURNACE WITH A RECEPTACLE AT THE FURNACE AND A LIGHT SWITCHED FROM ACCESS OPENING.
- FURNACE IN ATTIC SHALL BE ACCESSIBLE FOR INSPECTION, SERVICES, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION NOT LESS THAN 30" IN DEPTH WITH OF AND HEIGHT OF WORKING SPACE SHALL BE PROVIDE FOR SERVICING. (CMC 304.0)
- PROVIDE A ADDITIONAL WATERTIGHT CORROSION RESISTANT METAL PAN BELOW CONDENSATE PRODUCING EQUIPMENT INSTALLED IN ATTIC. (CMC 312.2)

SHOKE ALARM NOTE:  
SHOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL BE HOT WIRED AND INTERCONNECTED.



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**PROPOSED ELEVATIONS**

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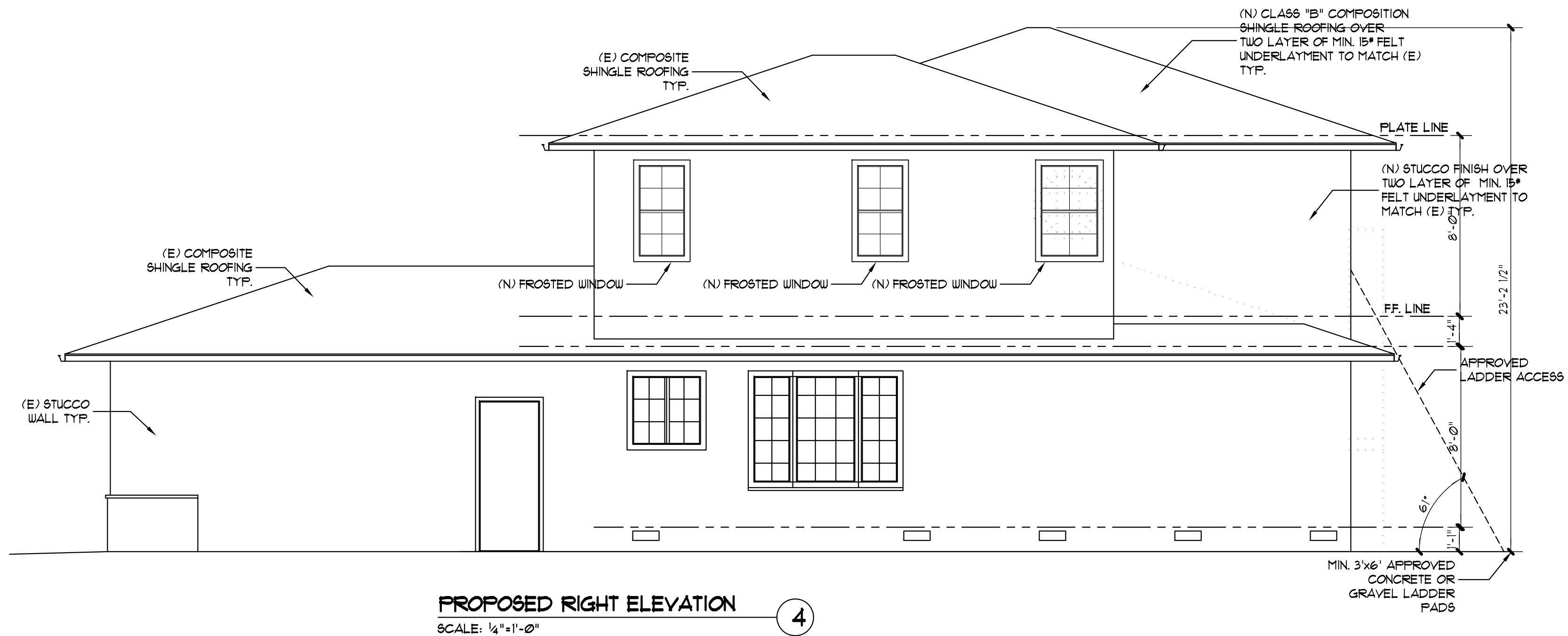
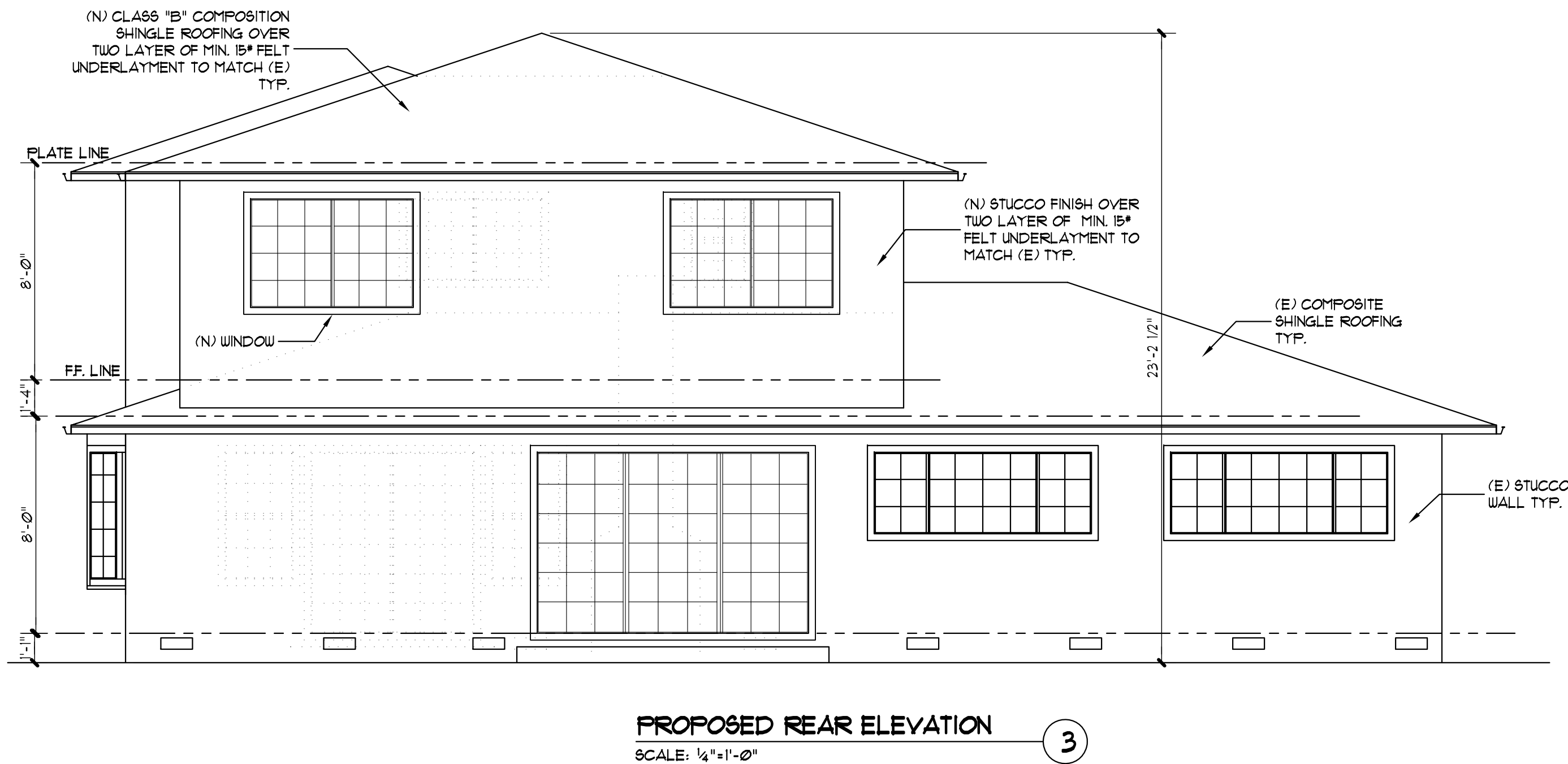
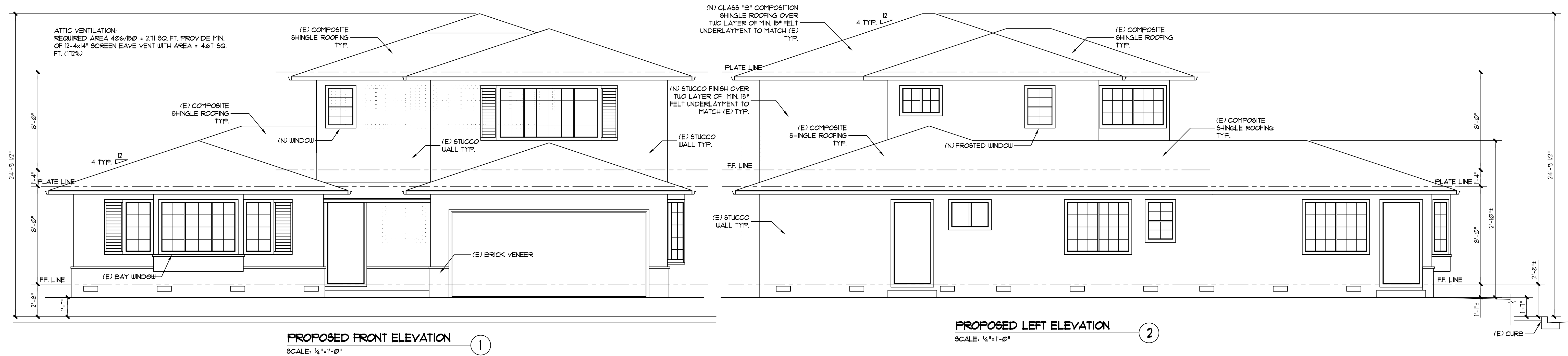
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**A3**

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1534



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**EXISTING ELEVATIONS**

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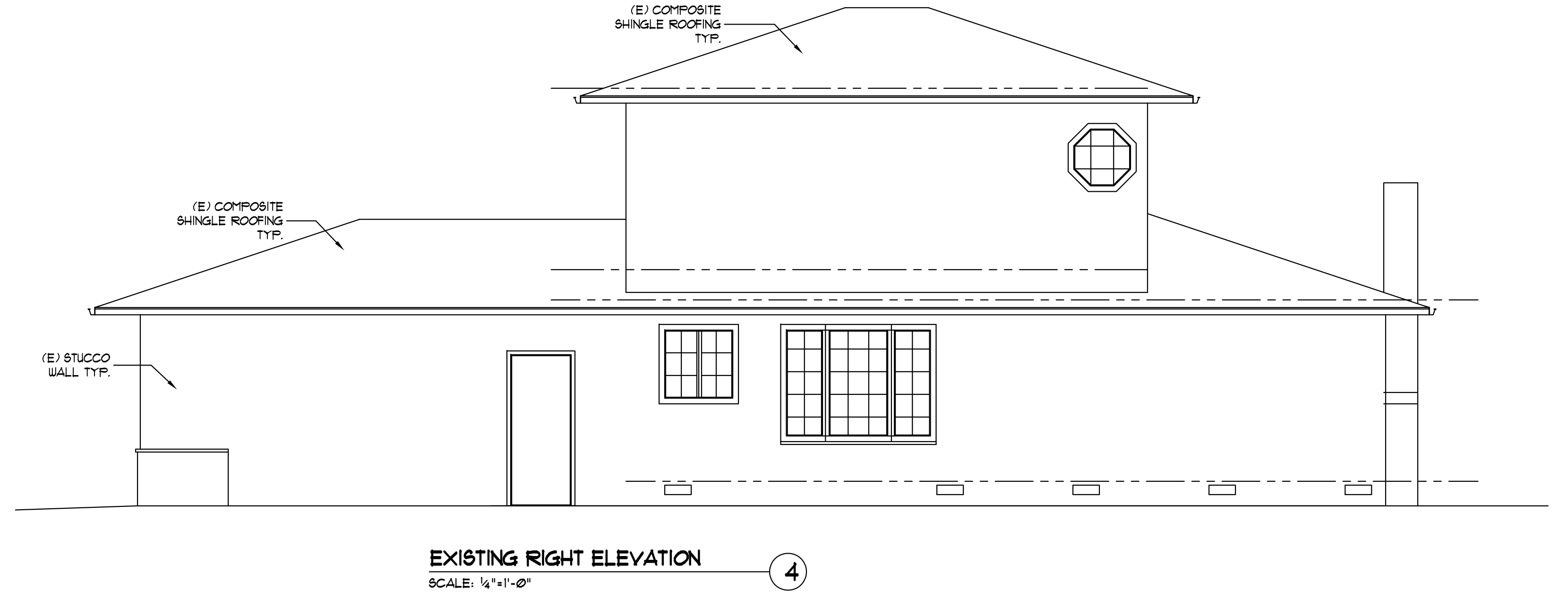
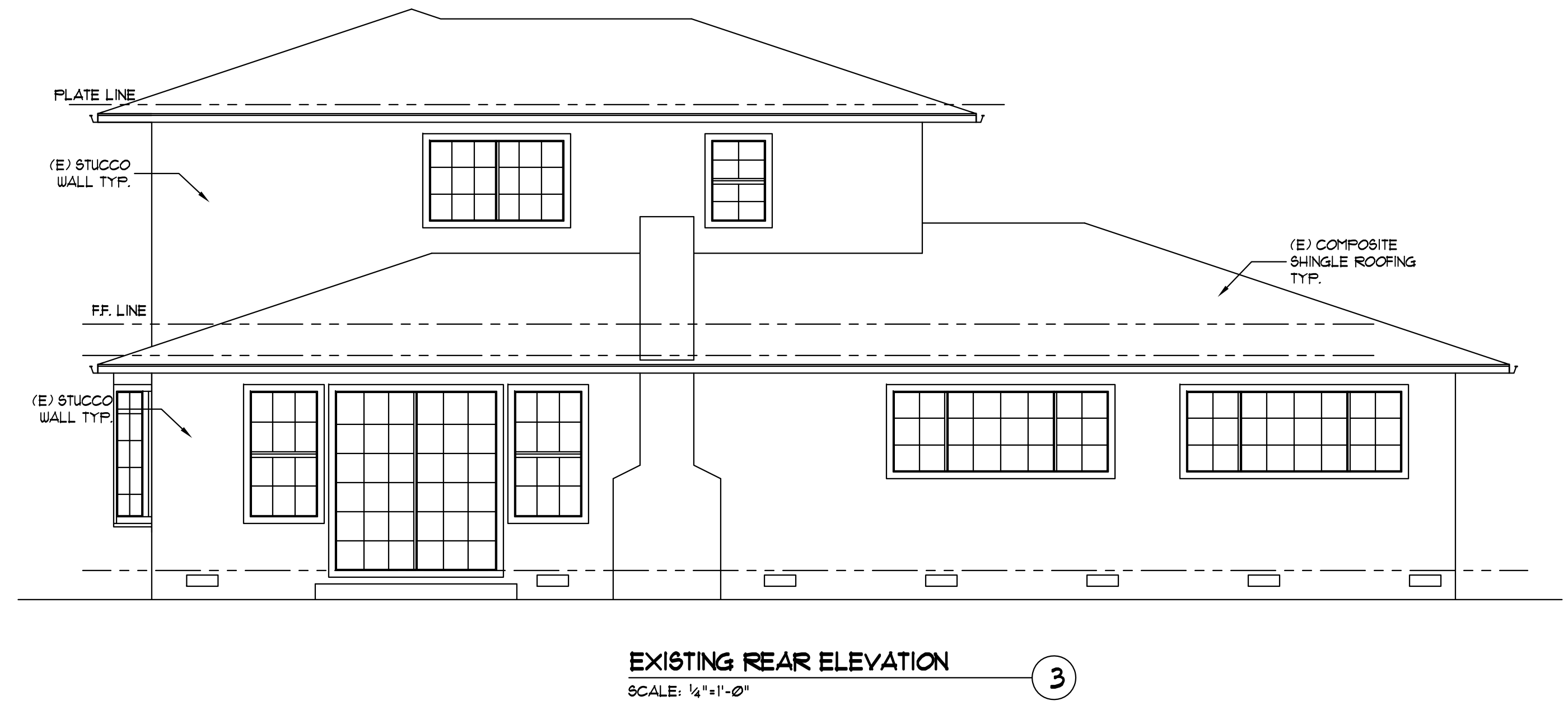
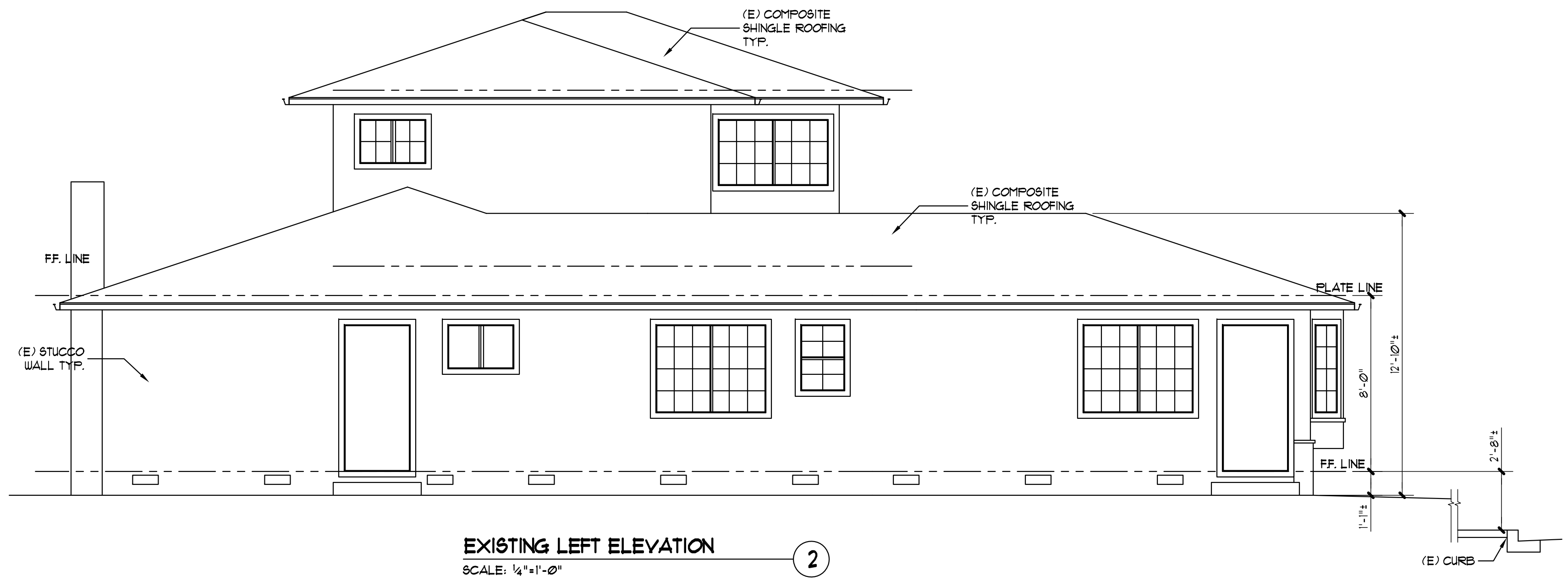
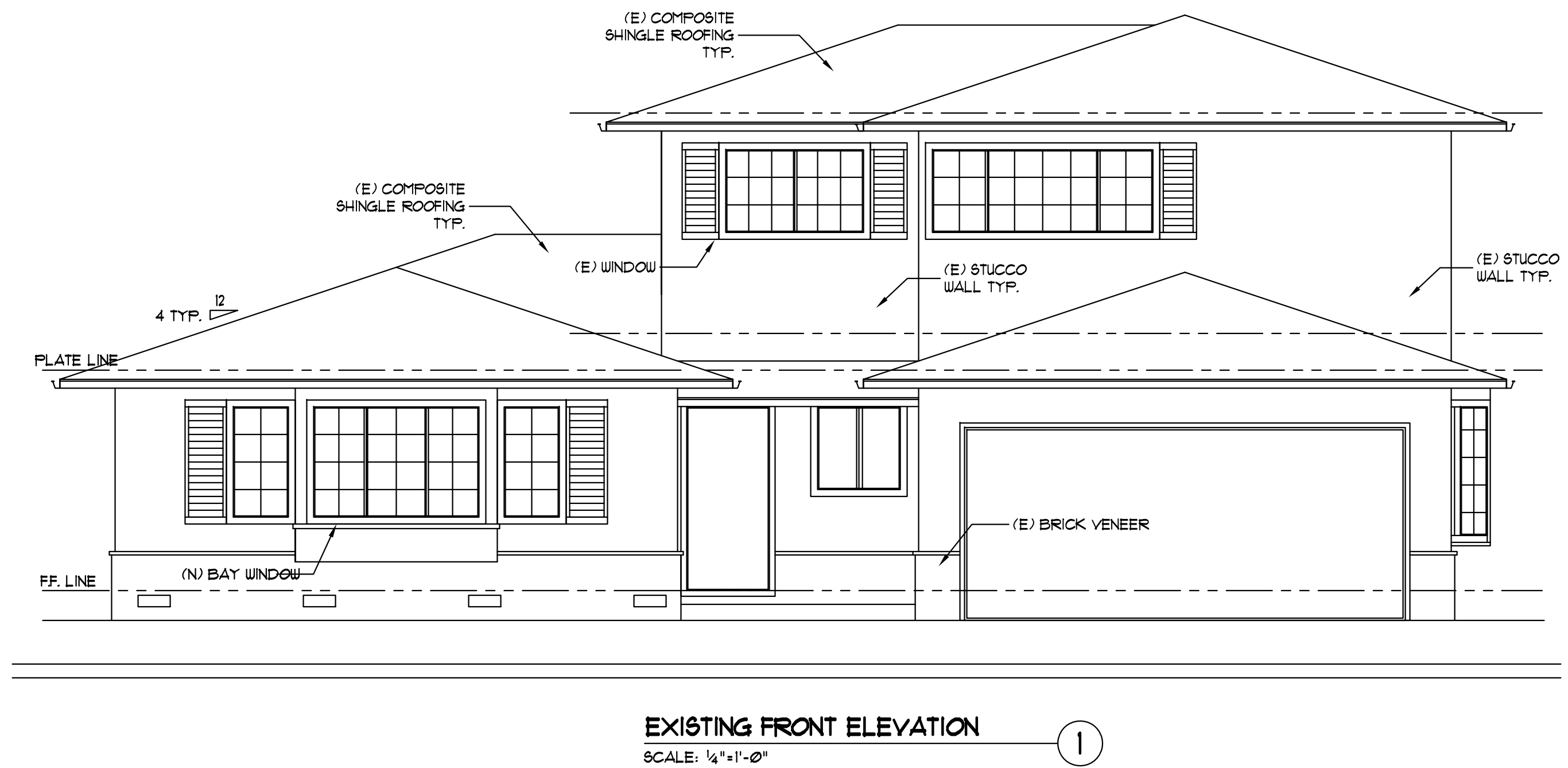
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Sheet Title:  
**EXISTING FLOOR PLANS**  
**FLOOR AREA DIAGRAM, ROOF PLAN**

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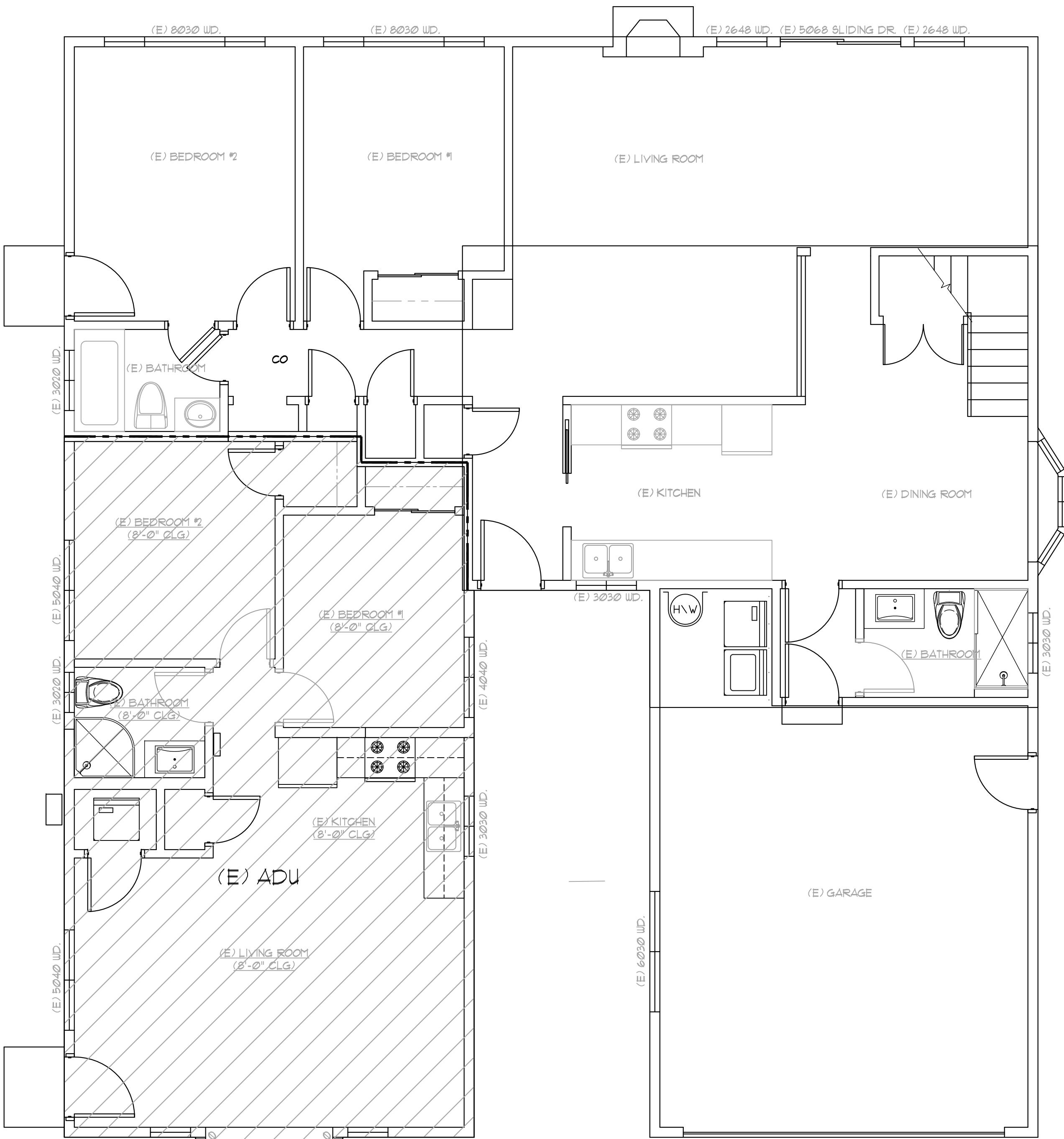
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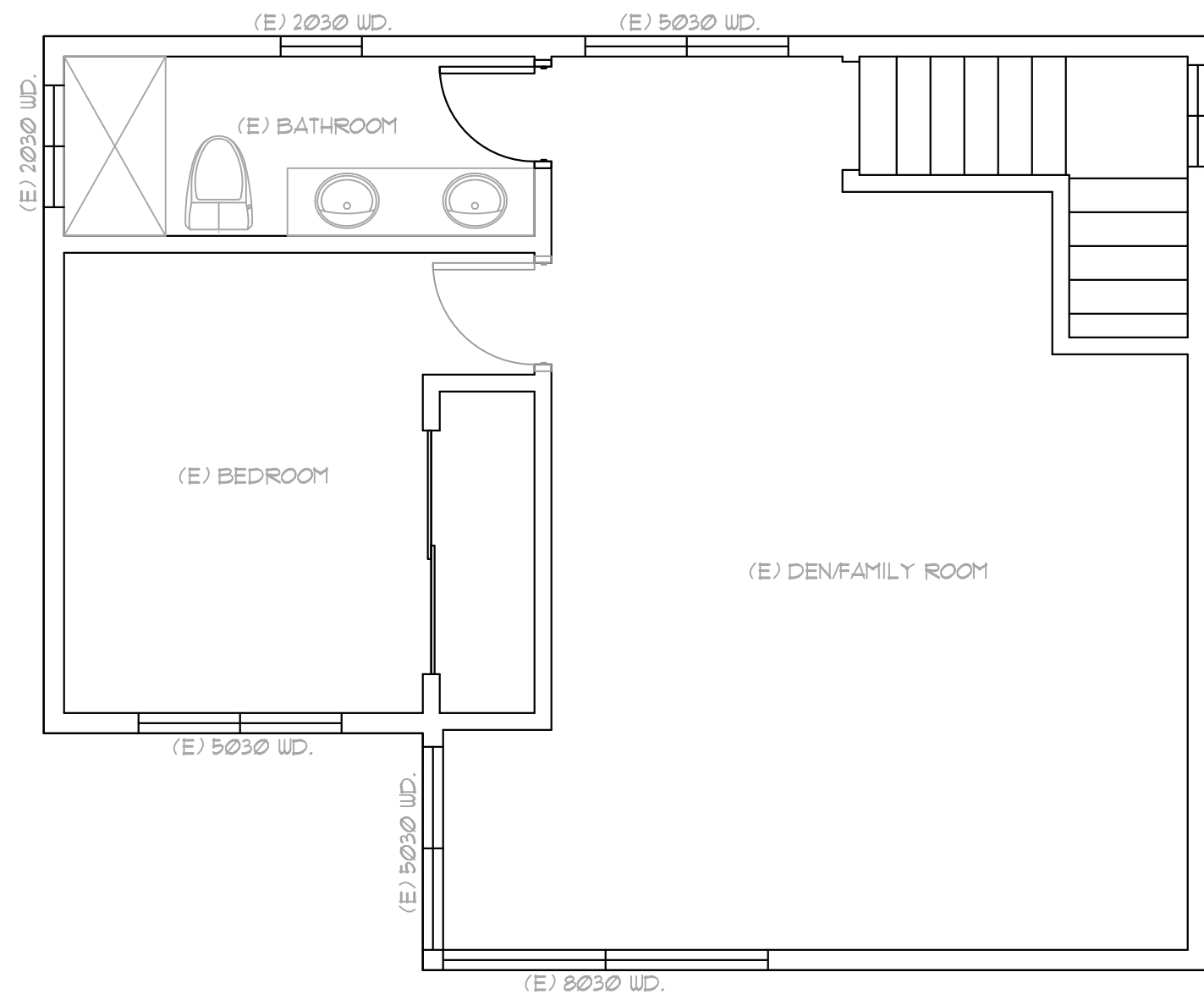
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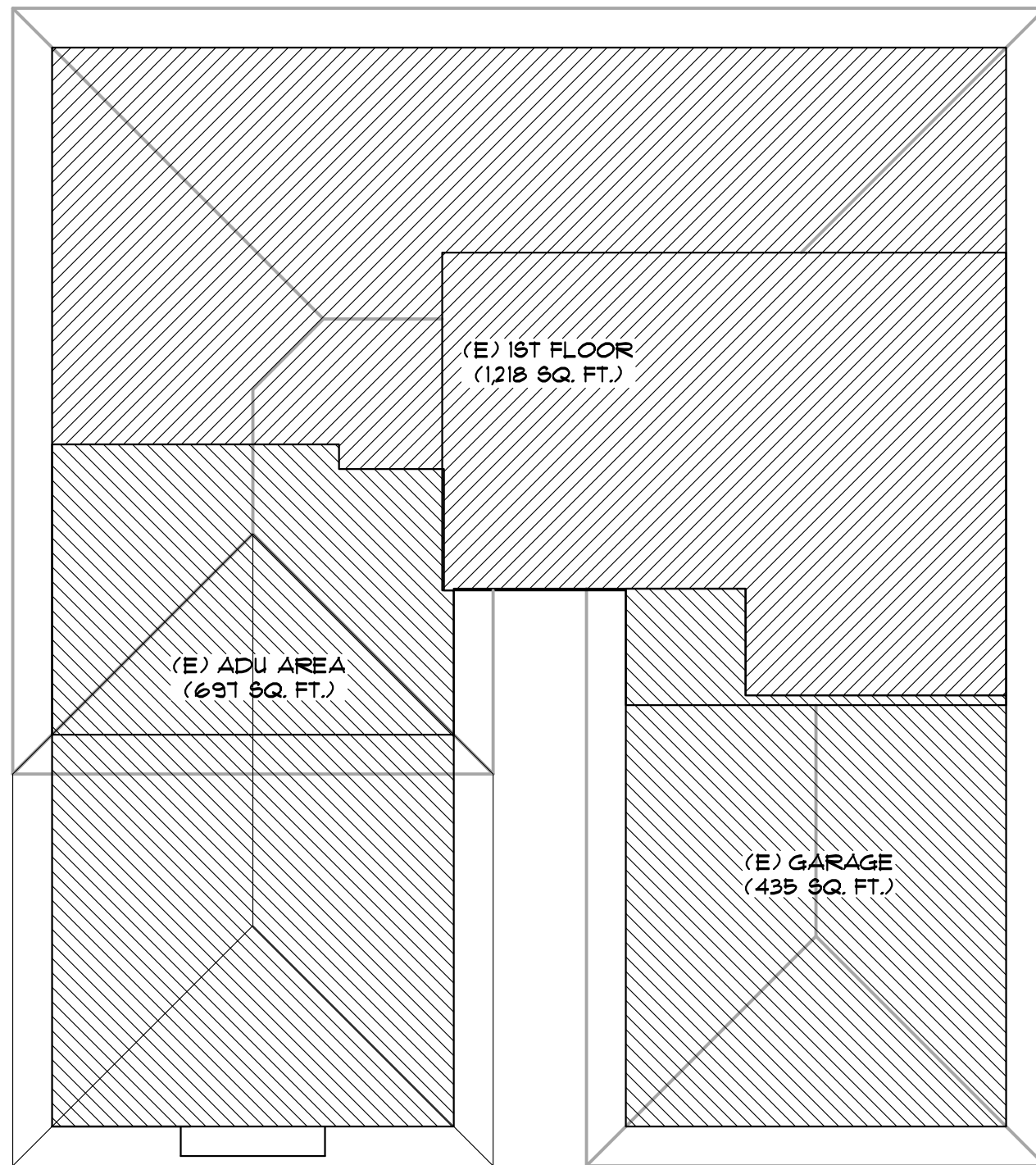
**EXISTING FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

1



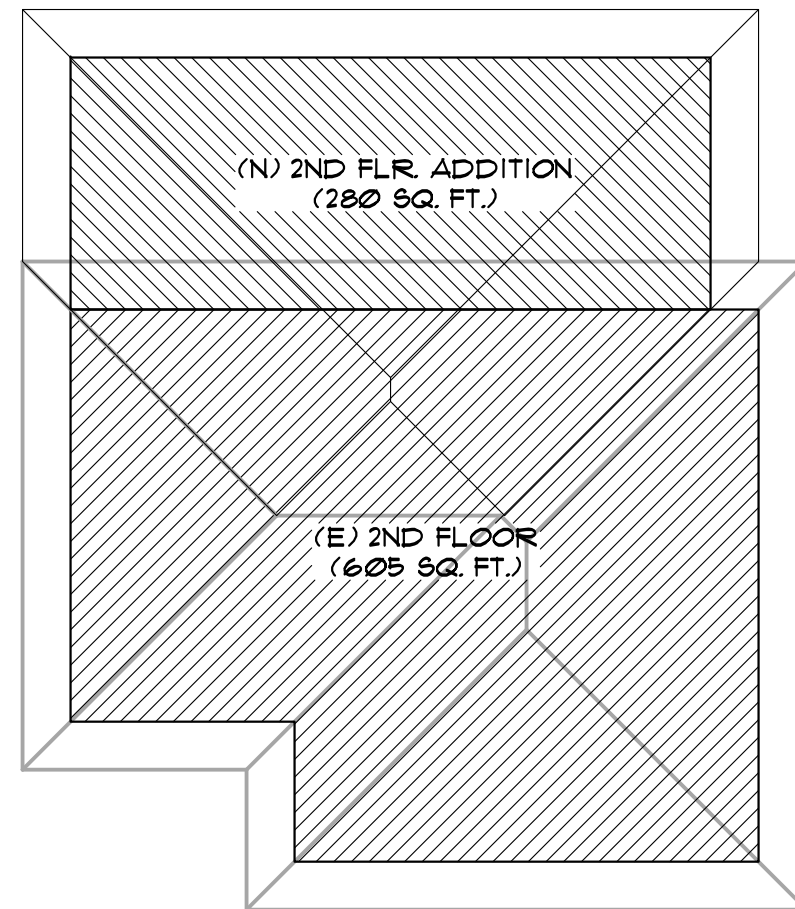
**EXISTING SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

2



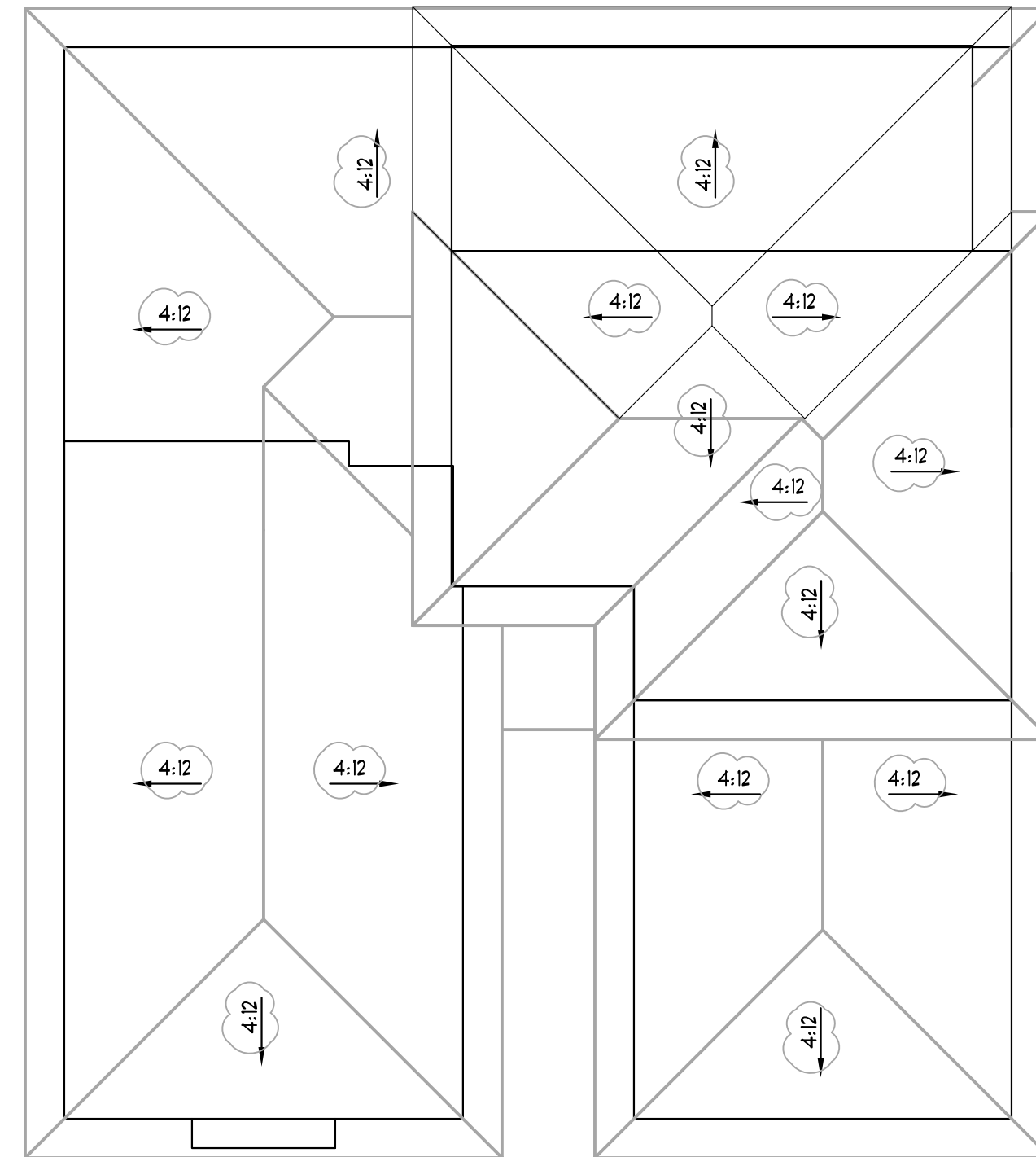
**FIRST FLOOR AREA DIAGRAM**  
SCALE: 1/8"=1'-0"

3



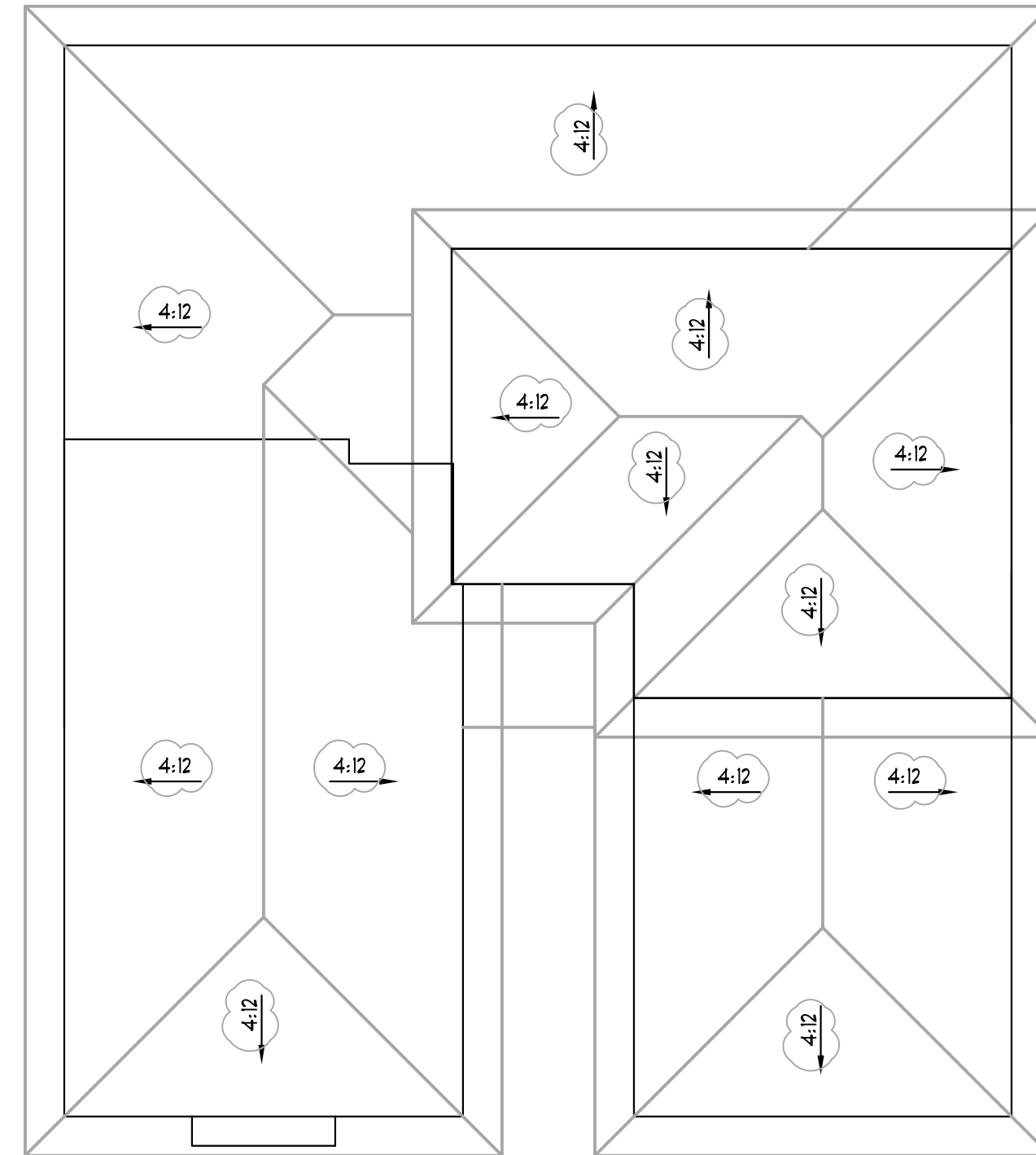
**SECOND FLOOR AREA DIAGRAM**  
SCALE: 1/8"=1'-0"

4



**PROPOSED ROOF PLAN**  
SCALE: 1/8"=1'-0"

5



**EXISTING ROOF PLAN**  
SCALE: 1/8"=1'-0"

6



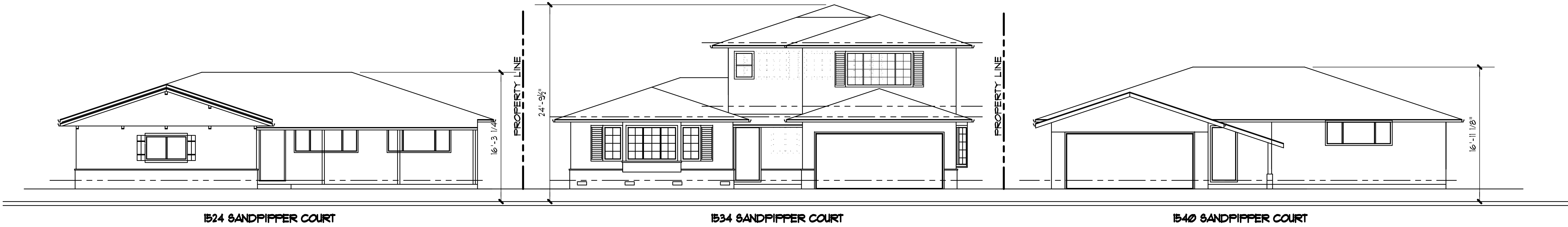
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STREETSCAPE ELEVATIONS

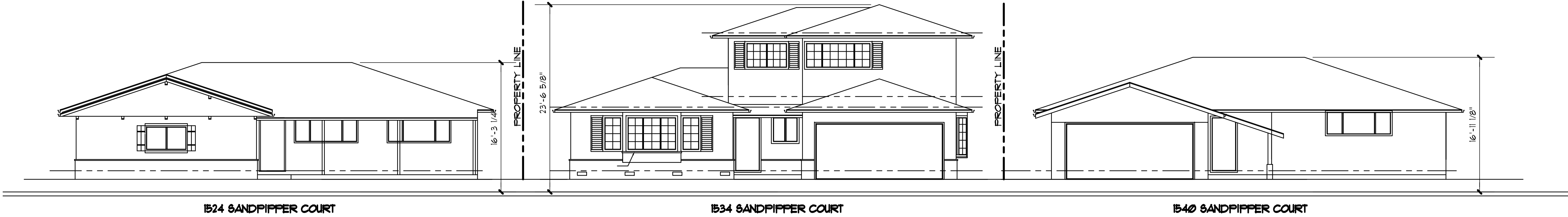
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PROPOSED STREETSCAPE ELEVATION

SCALE: 1/8"=1'-0"

1



EXISTING STREETSCAPE ELEVATION

SCALE: 1/8"=1'-0"

1



Project Title:

2ND FLOOR ADDITION  
1534 SANDPIPER COURT  
SUNNYVALE, CA 94087

Sheet Title:

SOLAR ANALYSIS

Revision No.:	Date:
DESIGN REVIEW	05/30/19

Date:

5/05/2019

Drawn by:

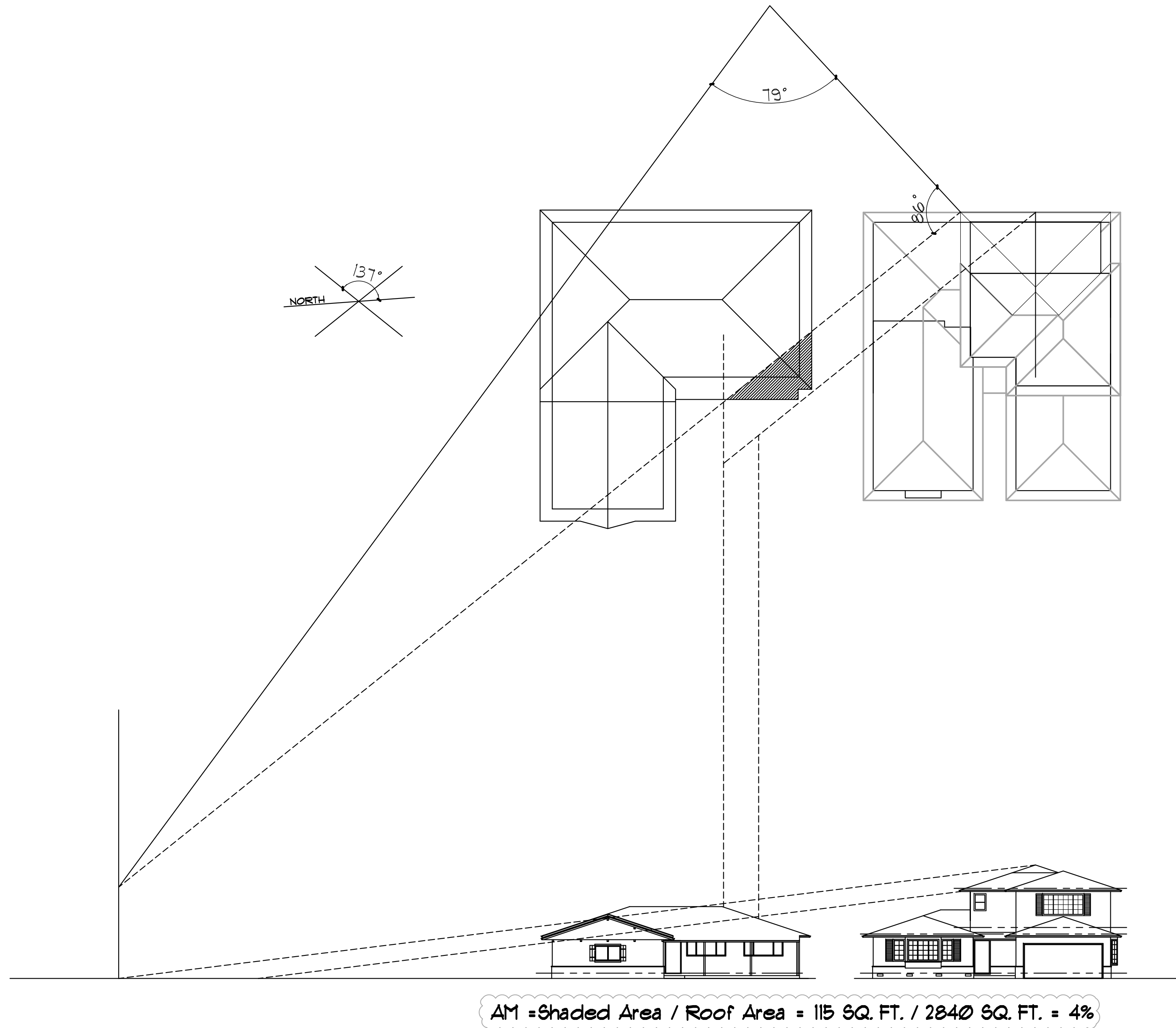
Checked by:

Sheet No:

A7

Project No:

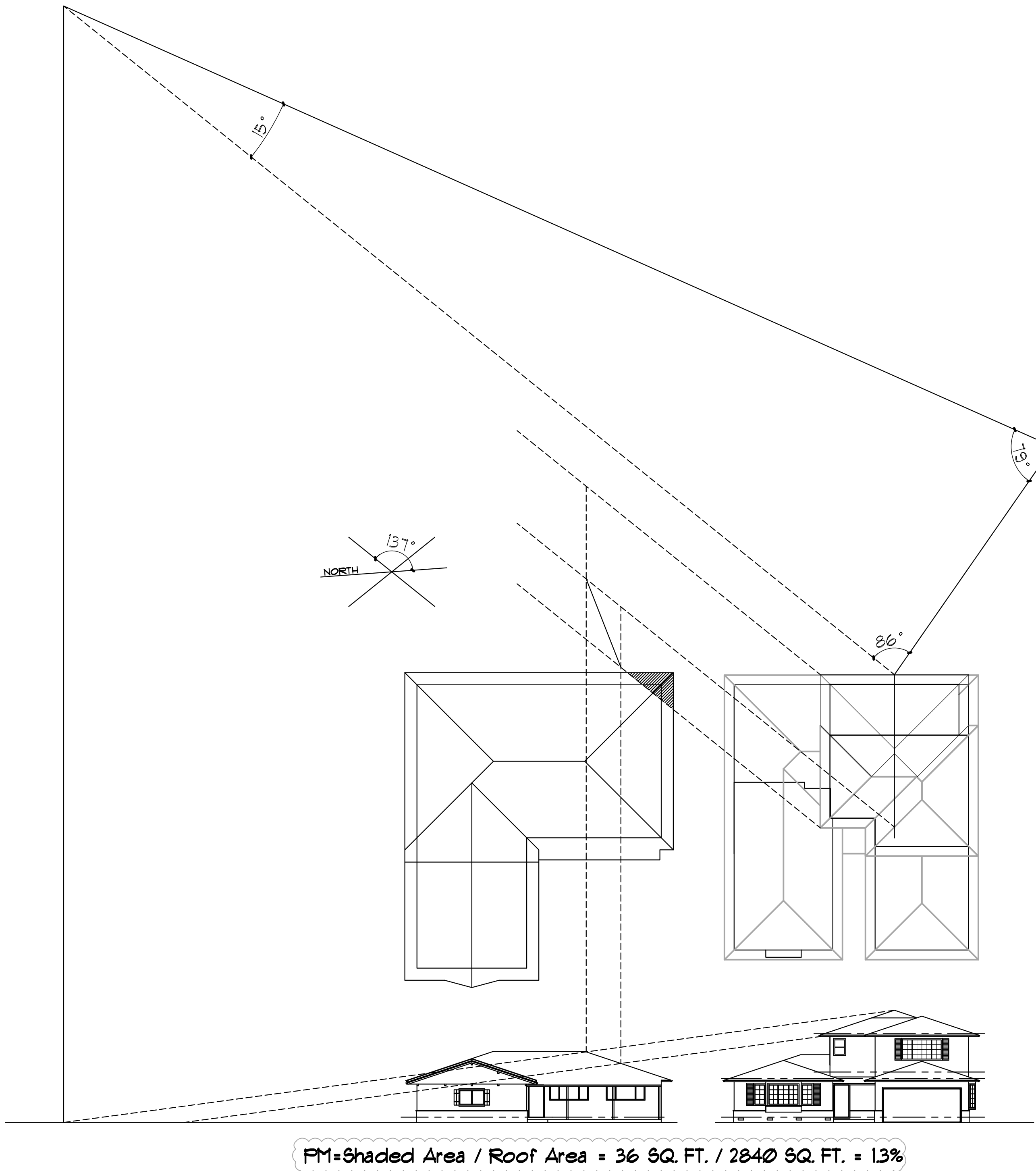
1534



AM SOLAR ANALYSIS

SCALE: NONE

1



PM SOLAR ANALYSIS

SCALE: NONE

2