

JAIN RESIDENCE

☐ PLANNING DEPARTMENT

☐ PRELIMINARY
(NOT FOR CONSTRUCTION)

☒ DESIGN REVIEW SUBMITTAL

☐ BUILDING DEPARTMENT

☐ PLAN CHECK SUBMITTAL

☐ APPROVED FOR CONSTRUCTION



ANALYSIS

GENERAL INFORMATION:

NUMBER OF STORIES: 1
ASSESSOR'S PARCEL #: 316-04-008
ZONING DESIGNATION: R-O - LOW DENSITY
LOT AREA: 8,215 S.F.
MAXIMUM COVERAGE AREA: (45%) 3,723 S.F.
MAXIMUM FAR AREA: (45%) 3,723 S.F.

FLOOR AREA:

EXISTING:
LIVING 1,609 SF
ADU 418 SF
GARAGE 402 SF
COVERED PATIO 336 SF
EXISTING FLOOR AREA 2,825 SF

PROPOSED:

LIVING (E) 1,609 SF
ADU (E) 418 SF
LIVING (P) 688 SF
GARAGE (E) 402 SF
COVERED PATIO (N) 551 SF
PROPOSED FLOOR AREA 3,614 SF

FLOOR AREA RATIO (%) 2,021 SF
EXISTING 34.1%
PROPOSED 44.4%

LOT COVERAGE:

EXISTING:
LIVING 1,609 SF
ADU 418 SF
GARAGE 402 SF
FRONT PORCH 45 SF
COVERED PATIO 336 SF
EXISTING LOT COVERAGE (34.1%) 2,810 SF

PROPOSED:

LIVING (E) 1,609 SF
ADU (E) 418 SF
LIVING (P) 688 SF
GARAGE (E) 402 SF
FRONT PORCH (E) 45 SF
COVERED PATIO (N) 551 SF
PROPOSED LOT COVERAGE (44.9%) 3,719 SF

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JF Building Design

P.O. Box 2818
Cupertino, Ca. 95015
(408) 489-3029



THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEvised SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

JF BUILDING DESIGN

REVISIONS	BY
15 MAY 18	

DATE PREPARED BY:

A New Addition/Remodel For:

Prashant Jain

on the grounds at

1713 Heron Ave, Sunnyvale, Ca 94087

NOTES

SCOPE OF WORK:

- 1.) NEW KITCHEN
- 2.) NEW LAUNDRY
- 3.) NEW PANTRY
- 4.) NEW FAMILY
- 5.) NEW SKYLIGHTS
- 6.) NEW COVERED PATIO
- 7.) REMODEL (E) BEDROOMS * 3 & 4
- 8.) NEW TANKLESS W/H
- 9.) UPGRADE ELEC SERVICE TO 300 AMP

INCORPORATE CITY'S 2016 CALGREEN CHECKLIST:

NOTES

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY CONDITIONS & DIMENSIONS BEFORE WORK BEGINS.
2. ERECT SECURITY BARRICADES TO PROTECT LOCKABLE INTEGRITY OF RESIDENCE.
3. ANY ITEMS TO BE REMOVED & DISCARDED MAY BE RETAINED AT THE OWNER'S OPTION. VERIFY INTENT BEFORE REMOVAL.
4. ALL BUILDING & GARAGES TO BE DEMOLISHED AND REMOVED.
5. ALL DRIVEWAYS, PATIOS & CONCRETE WALKWAYS TO BE REMOVED.
6. ALL HERITAGE TREES TO BE PROTECTED AS PER ARBORIST'S REPORT & CITY REQUIREMENTS.
7. ALL FENCES & PROPERTY LINES TO REMAIN.

NOTES

1.) ALL CONSTRUCTION SHALL COMPLY WITH:

- A) CALIF. BUILDING CODE 2016 EDITION
- B) CALIF. FIRE CODE 2016 EDITION
- C) CALIF. RESIDENTIAL CODE 2016 EDITION
- D) CALIF. MECH. CODE 2016 EDITION
- E) CALIF. PLUMBING CODE 2016 EDITION
- F) CALIF. ELEC. CODE 2016 EDITION
- G) CALIF. ENERGY CODE SHALL COMPLY WITH ALL T24 DOCUMENT
- H) CALIF. GREEN BLDG CODE 2016 EDITION

- 1) ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.
- 2.) ALL MECHANICAL, PLUMBING, ELECTRICAL AND SIMILAR PENETRATIONS OF THE FLOOR OR TOP PLATES SHALL BE CAULKED WITH A RESIDENTIAL RATED FIRE CAULK WITH AN ASTM E136 RATING.

* NOTE TO CONTRACTOR *

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PERSONAE

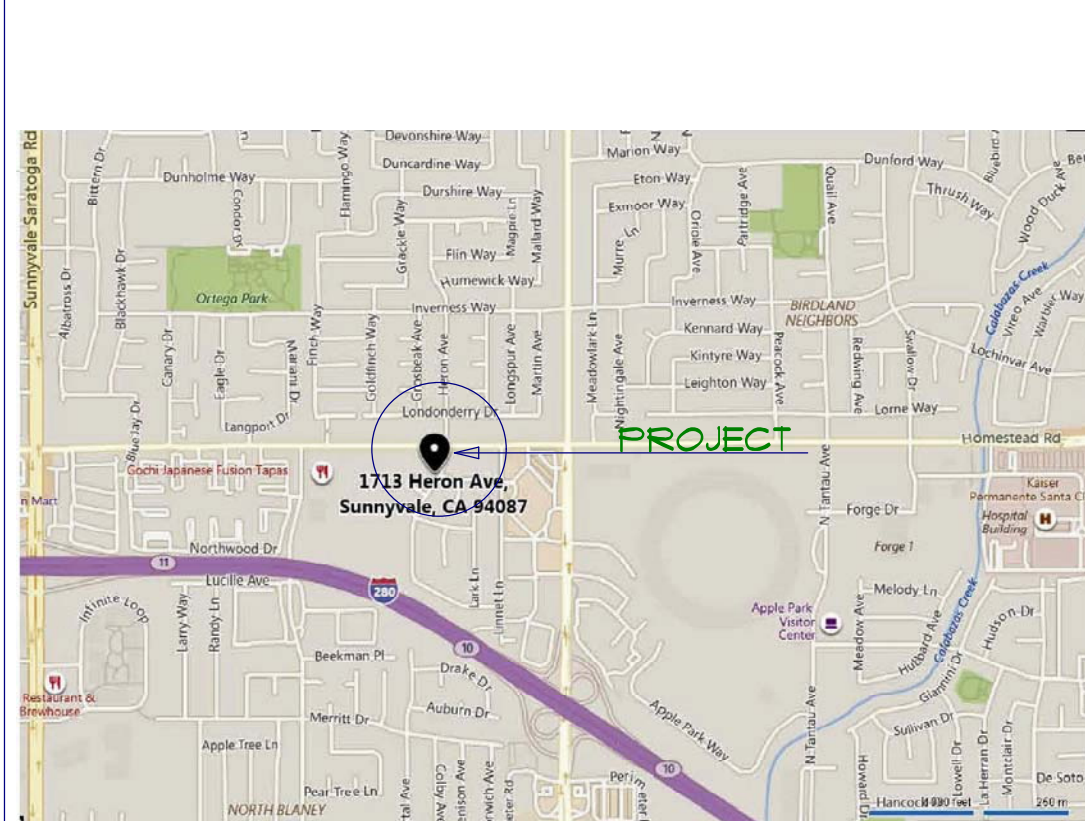
OWNER:

PRASHANT JAIN
1713 HERON AVE.
SUNNYVALE, CA. 94087
(408) 506-2626

DESIGNER & CONSULTANT:

JON C FREEL
JF BUILDING DESIGN:
P.O. BOX 2818
CUPERTINO, CA. 95015
(408) 489-3029

LOCATION MAP



DRAWN

JF

CHECKED

JF

DATE

18 OCT 18

SCALE

AS NOTED

JOB NO.

1821

SHEET

A1

OF

SHEETS

JF Building Design



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JF BUILDING DESIGN

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	DRAWN
	JF
	CHECKED
	JF
	DATE
	18 OCT 18
	SCALE
	AS NOTED
	JOB NO.
	1021
	SHEET

A2

OF SHEET

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SITE NOTES:

- 1.) ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING DESIGNER PRIOR TO COMMENCING.
- 2.) VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.
- 3.) CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL & INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
- 4.) CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
- 5.) GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET. (C.R.C. R401.03).
- 6.) ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.
- 7.) NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIFLINE OF ANY ORDINANCE PROTECTED TREES ON SITE.
- 8.) ADDRESS NUMBERS ON BUILDING SHALL BE CLEARLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY.
- 9.) ALL ROOF DRAINS AND/OR DOWN SPOUTS SHALL BE DRAIN SLOPE FLOW 2% AWAY FROM THE BUILDING & MAY BE COLLECTED BY DRAIN INLET CONNECTED TO PUBLIC STORM DRAIN FACILITY. IF AND ONLY IF THE DRAIN IS IN THE HOUSIDE AREA OF THE BUILDING BE DIRECTLY CONNECTED TO THE PUBLIC STORM DRAIN.
- 10.) SEWER LATERAL TO BE 4" DIA. MIN.
- 11.) CONSTRUCTION RELATED MATERIALS, EQUIPMENT, ETC. MUST BE STORED ON SITE UNLESS PERMITTED IN ADVANCE BY THE PUBLIC WORKS DEPARTMENT. THIS IS TO AVOID CAUSING SAFETY AND/OR OPERATIONAL ISSUES FOR THE MOVEMENTS OF PEDESTRIANS, CYCLIST AND VEHICULAR TRAFFIC.
- 12.) PRIOR TO ANY WORK IN THE PUBLIC RIGHT-OF-WAY, OBTAIN AN ENCROACHMENT PERMIT WITH INSURANCE REQUIREMENTS FOR ALL PUBLIC IMPROVEMENTS INCLUDING A TRAFFIC CONTROL PLAN PER THE LATEST CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS TO BE REVIEWED AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS.
- 13.) TREE PROTECTIVE FENCING TO BE INSTALLED PRIOR TO BEGINNING CONSTRUCTION & TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

FRONT YARD IMPERVIOUS LOT COVERAGE

- 1.) FRONT YARD AREA:
- A.) AREA 12X20 OR 1440 S.F.
- B.) MAX COVERAGE (50%) OR 720 S.F.
- 2.) ACTUAL COVERAGE:
- A.) DRIVEWAY 20'X 24' = 480 S.F.
- B.) WALKWAY TO FRONT DOOR (1'X18')X0.10 = 18 S.F.
- C.) PATH TO RIGHT SIDE YARD (4.5'X18')X0.10 = 7 S.F.
- TOTAL = 505 S.F.

500 SF/1,440 SF FRONT YARD AREA = 35% HARDSCAPE COVERAGE AREA

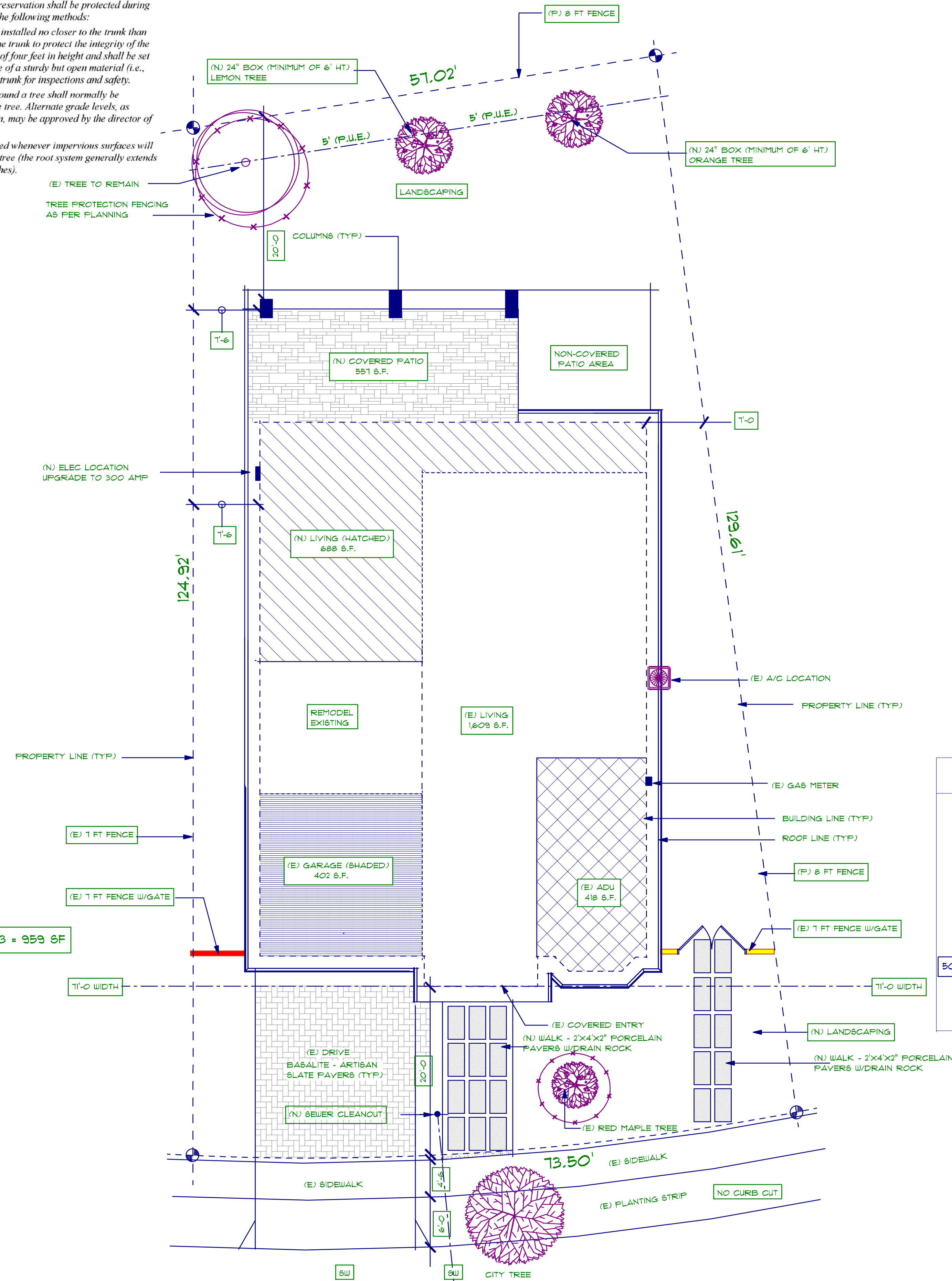
0,10 = RUNOFF COEFFICIENT

DATE: _____

PROTECTIVE FENCING

19.94.120. Tree protection during construction.
Protected trees designated for preservation shall be protected during construction of a project by use of the following methods:

- (a) Protective fencing shall be installed no closer to the trunk than the drip line, and far enough from the trunk to protect the integrity of the tree. The fence shall be a minimum of four feet in height and shall be set securely in place. The fence shall be of a sturdy but open material (i.e., chain links) to allow visibility to the trunk for inspections and safety.
- (b) The existing grade level around a tree shall normally be maintained out to the drip line of the tree. Alternate grade levels, as described in the tree protection plan, may be approved by the director of community development.
- (c) Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a tree (the root system generally extends to the outermost edges of the branches).



AREA #2 = 237 SF

$$7,079 + 237 + 959 = 8,275 \text{ SF}$$

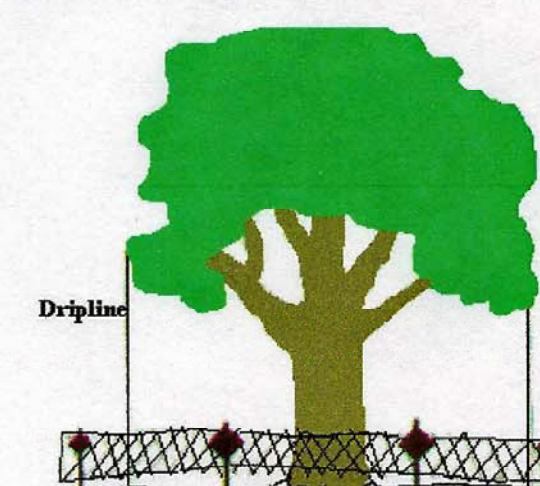
AREA #1 = 7.079 SF

1/8" LOT AREA



TREE PROTECTION ZONE

The tree protection zone is the distance from the trunk to a point that is five feet beyond the canopy of a tree protected by City Code.



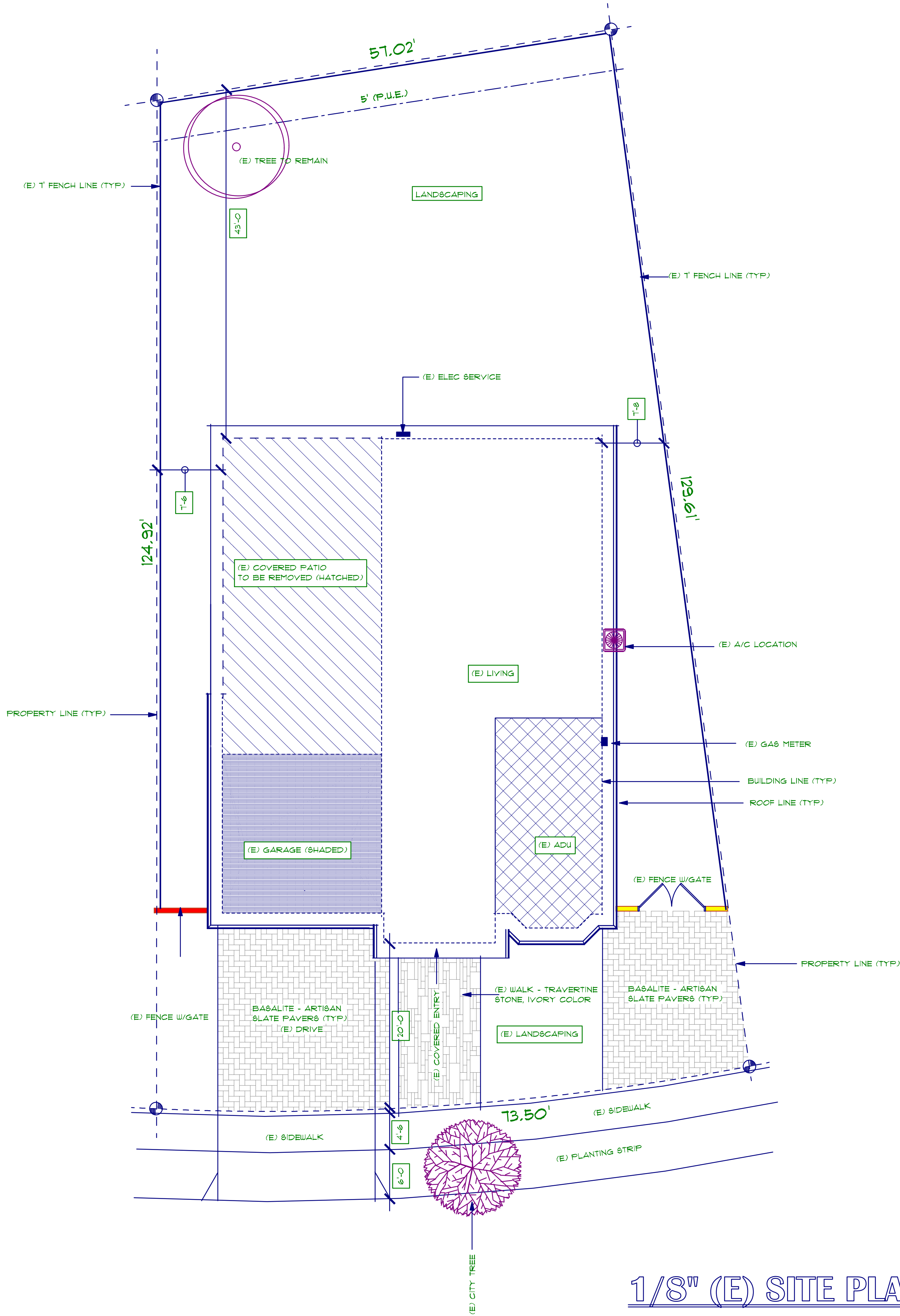
1/8" SITE PLAN - 1713 HERON AVE.



IF BUILDING DESIGN, OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY.
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP,
LOCATIONS OF THE PROPERTY LINES, EXISTING TREES & SETBACK MUST BE VARIFIED BY CONTRACTOR

• NOTE TO CONTRACTOR •

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1/8" (E) SITE PLAN - 1713 HERON AVE.



LOCATIONS OF THE PROPERTY LINES, EXISTING TREES & SETBACK MUST BE VERIFIED BY CONTRACTOR. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, JF BUILDING DESIGN, OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY.

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REVISIONS	BY

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DRAWN JF
CHECKED JF
DATE 18 OCT 18
SCALE AS NOTED
JOB NO. 1831
SHEET 8-SHEET

A2.1

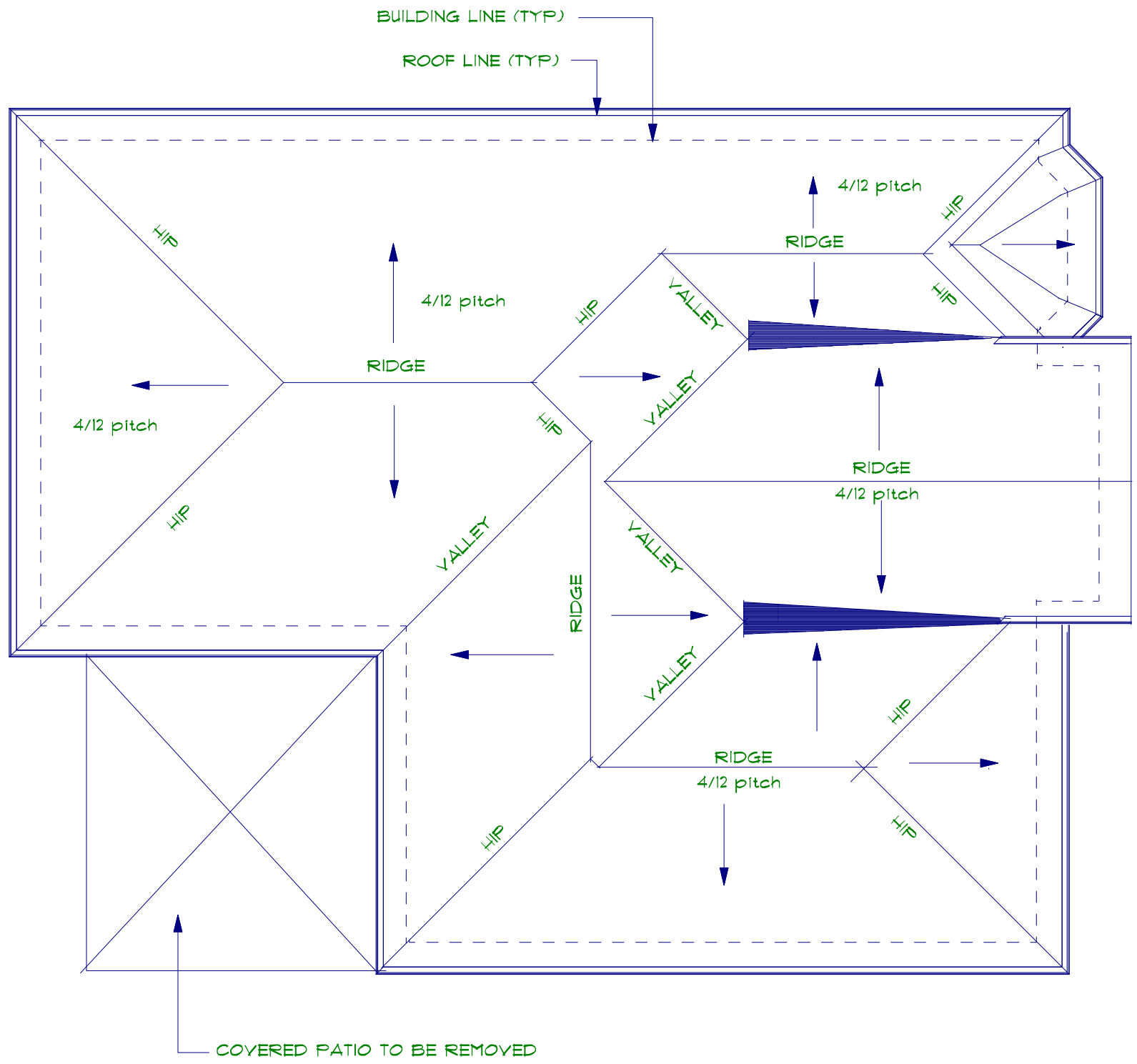
GENERAL NOTES

- CONTRACTOR SHALL VERIFY CONDITIONS & DIMENSIONS BEFORE WORK BEGINS.
- ERECT SECURITY BARRICADES TO PROTECT LOCKABLE INTEGRITY OF RESIDENCE.
- ERECT DUST BARRICADES TO MINIMIZE DISTURBANCE OF RESIDENCE, FURNISHINGS & OCCUPANTS.
- PROTECT RESIDENCE & SUSCEPTIBLE MATERIALS FROM WEATHER.
- VERIFY EXISTING STRUCTURE, PROVIDE TEMPORARY SUPPORT FOR FLOOR, CEILING & ROOF STRUCTURES AS NEEDED PRIOR TO REMOVAL OF ANY WALL, POST, OR BEAM.
- WHERE PORTIONS OF HEATING, PLUMBING, ELECTRICAL SYSTEMS, ETC., ARE DISTURBED, MAINTAIN FUNCTIONAL INTEGRITY OF THE REMAINING PART OF THE SYSTEM.
- ANY ITEMS TO BE REMOVED & DISCARDED MAY BE RETAINED AT THE OWNER'S OPTION, VERIFY INTENT BEFORE REMOVAL.
- REPAIR ADJACENT INTERIOR FINISHES TO MATCH EXISTING FINISHES, U.O.N.
- SEE FOUNDATION PLAN FOR FOUNDATION TO BE REMOVED.

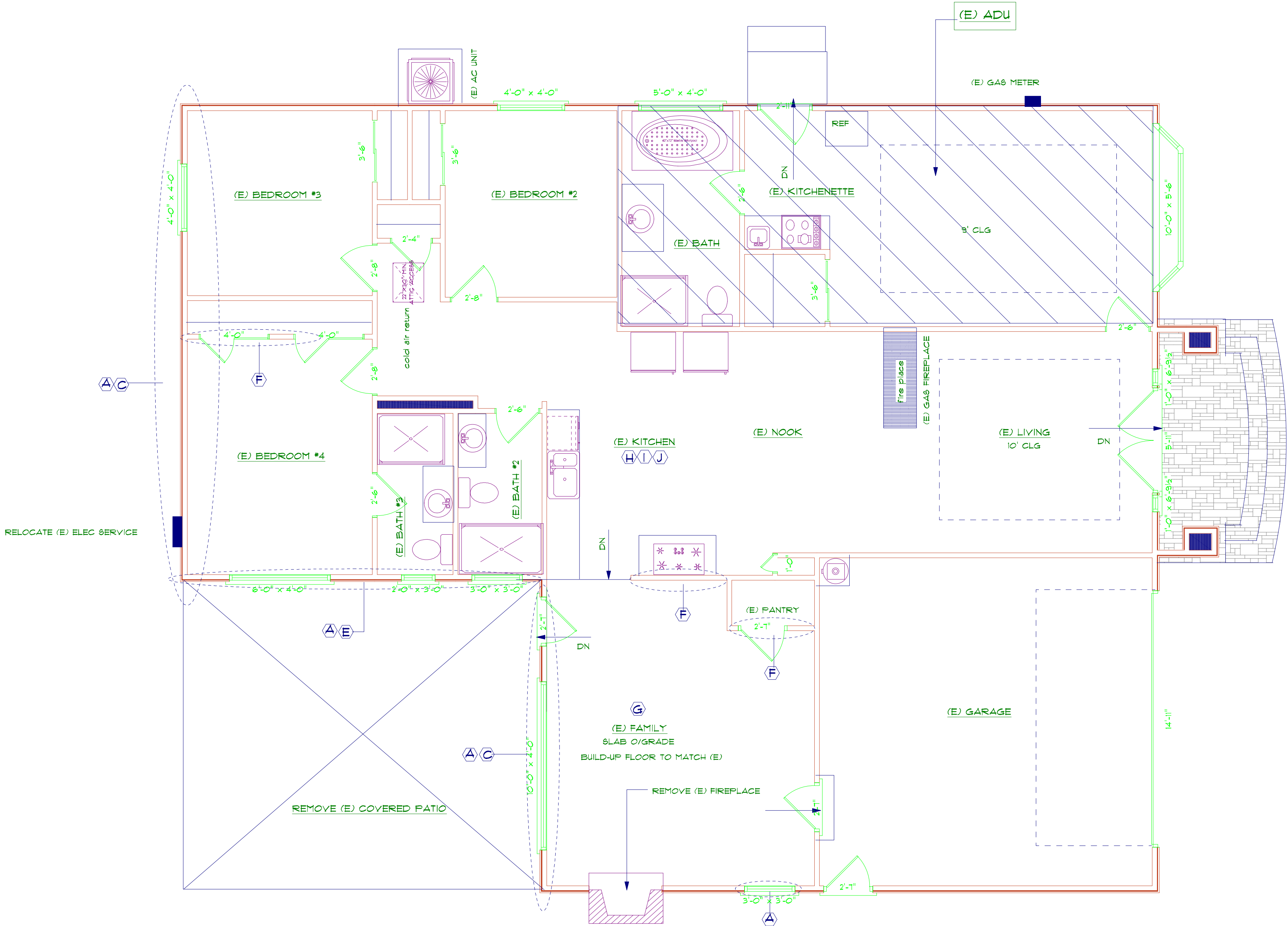
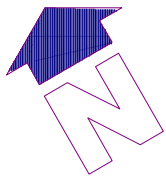
RENOVATION NOTES

- (A) REMOVE WINDOW SASH, TRIM, & FRAMES.
- (B) REMOVE DOOR(S), TRIM, & FRAMES.
- (C) REMOVE INTERIOR & EXTERIOR FINISHES. REMOVE STUDWALL.
- (D) REMOVE INTERIOR & EXTERIOR FINISHES. REMOVE STUDS & SILL PLATE. PREPARE OPENING FOR NEW DOOR.
- (E) REMOVE EXTERIOR FINISHES.
- (F) REMOVE INTERIOR STUDWALL.
- (G) REMOVE CEILING JOIST & ROOF STRUCTURE
- (H) REMOVE CABINETRY OR SHELVING.
- (I) REMOVE PLUMBING FIXTURE.
- (J) REMOVE APPLIANCE.

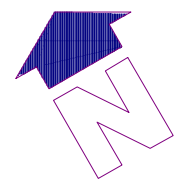
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1/8" EXISTING ROOF PLAN



1/4" EXISTING FLOOR PLAN



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REVISIONS	BY
15 MAY 19	

Prepared By: _____ Date: _____
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on the grounds at
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DRAWN JF
CHECKED JF
DATE 18 OCT 18
SCALE AS NOTED
JOB NO. 1821
SHEET

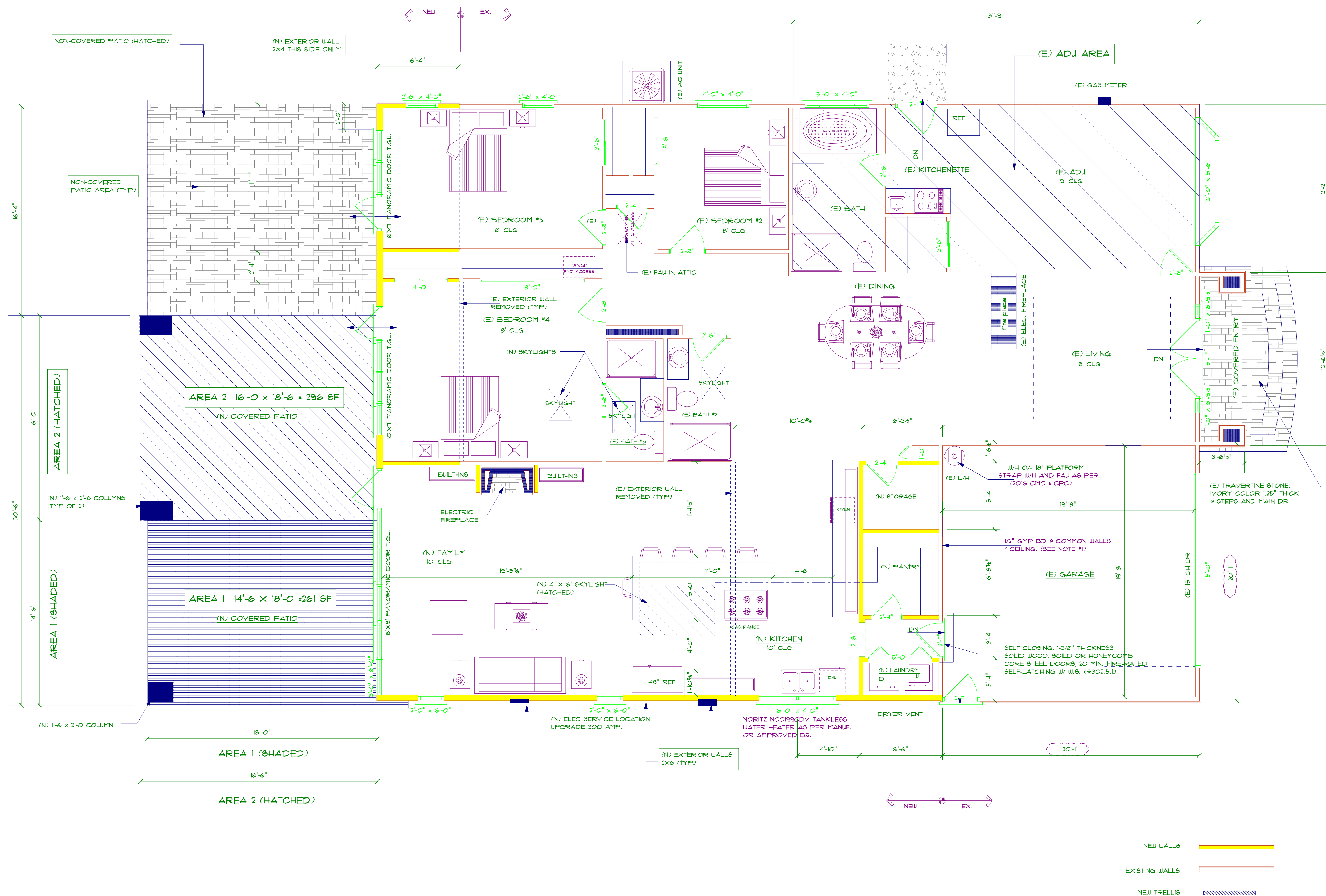
A3

* NOTE TO CONTRACTOR *

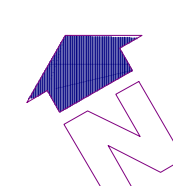
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FLOOR PLAN NOTES

1. INSTALL MINIMUM 1/2" GYPSUM BOARD. CONSTRUCTION TO BE PROVIDED ON THE GARAGE SIDE FOR WALLS, 5/8" GYP BD TYPE "X" ON 2nd FLOOR & GARAGE SEPERATION CEILING, POSTS AND BEAMS OF GARAGE ADJACENT TO AND SUPPORTING THE RESIDENCE FROM FOUNDATION TO ROOF SHEATHING. APPLIED VERT. OR HORIZ. NAIL W/6d COOLER/UP WALLBOARD NAILS @ 1" OC END JOINTS ONAILING MEMBERS. STAGGER JOINTS 24" SIDE (AS PER 2016 C.R.C. SECTION R302.6 & TABLE R302.6.)
- 1.2. PROVIDE PRESSURE BALANCE VALVES FOR ALL SHOWERS AND SHOWER/TUB.
- 1.3. WATER CLOSETS SHALL HAVE MAX 1.28 GALLON/FLUSH, SHOWER HEAD TO HAVE MAX FLOW OF 2.0 GPM @ 80 PSI PER 2016 CFC SECTION 402.1.1, TABLE 4.303.2 OF 2016 CGBC
- 1.4. LAVATORY SHALL HAVE A MAX FLOW OF 1.2 GPM @ 60 PSI, MIN 0.8 GPM @ 20 PSI PER 2016 (CFC 441.2).
- 1.5. KITCHEN FAUCETS NOT TO EXCEED 18 GPM @ 60 PSI, MIN 0.8 GPM AS PER 2016 CFC SECTION 402.1.2, TABLE 4.303.2 OF 2016 CGBC
- 1.6. VERIFICATION OR REPLACEMENT OF ALL EXISTING TO REMAIN NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CLOSING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 191.101.10.2 SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENT APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE".
2. PROVIDE 1 3/8" THICK BOLD CORE DOOR W/ CLOSER FROM GARAGE TO RESIDENCE.
3. F.A.U. 4 WATER HEATER INSTALLED ON 18" HIGH WOOD PLATFORM W/ 1 1/8" PLYWOOD TOP SURFACE. INSTALL (2) SEIZMIC STRAPS ON ALL WATER HEATERS.
4. CRAWL SPACE ACCESS TO BE 18" x 24" MIN.
5. ATTIC ACCESS TO BE 30"x22" MIN.
6. TILE SHOWERS TO ACCOMMODATE 30" DIA. CIRCLE INSIDE CLEAR DIMENSION. DOOR & GLASS TO BE TEMPERED.
7. TILE FINISH ON SHOWER WALLS TO BE MIN. 1'-0" HIGH.
8. PROVIDE WATER RESISTANT GYP. BACKERS "DUROCK" OR "WONDERBOARD" ON ALL "WET" AREAS. NOTE: GREEN, PURPLE OR OTHER GYPSUM BOARD BASED TILE BACKERS IS NOT ALLOWED.
9. TOILETS TO HAVE MIN. 30" WIDE/18" FROM CENTER LINE OF FIXTURE TO WALL OR OBSTRUCTION x 24" DEEP CLEARANCE.
10. NEW EXTERIOR STUDBALLS TO BE 2 X 6 STUDS 16" O.C. W/ BATT INSULATION U.O.
11. PROVIDE 2 X SOLID BACKING FOR RAILINGS, CABINETS, SHELVEING, ACCESSORIES, ETC. AS NEEDED.
12. WINDOWS MARKED AS "ESSESS" MUST MEET (C.R.C. SECTION R310) CODE MINIMUM REQUIREMENTS. I.E. SIZE OF OPENING, SPECIAL HARDWARE, EASE OF OPERATION, ETC.
13. ALL WINDOWS AND DOORS ARE TO MATCH EXISTING SYSTEMS OR APPROVED EG.
14. ALL WINDOWS ARE TO MATCH (E) SYSTEM U.N.O.
15. ALL DOORS ARE TO BE WOOD SYSTEM SEE CUNER FOR SPECS AND FINISH U.N.O.
16. INSTALL ALL WINDOW AND DOOR AS PER MANUF.
- 16.1 ALL SKYLIGHTS ARE TO SHOW COMPLIANCE WITH (A.A.M.A./D.M.A./C.S.A 1011.5.2/ICR A440 AS PER (CRC R308.6.9.3)
- 16.2 FRENCH DOOR, SIDE LIGHT, SHOWER DOORS, WINDOWS AT 9P41 STAIRWAYS & T.G.L.
17. ALL MECHANICAL, PLUMBING, ELECTRICAL AND SIMILAR PENETRATIONS OF THE FLOOR OR TOP PLATES SHALL BE CAULKED WITH A RESIDENTIAL RATED FIRE CAULK WITH AN ASTM E136 OR E814 RATING.
18. FRONT DOOR IS OPENABLE FROM THE INSIDE OF DUELLING WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. (C.R.C. SECTION R311.2)
19. GAS FIREPLACE INSTALLATION AND USE SHALL BE IN ACCORDANCE WITH THEIR LISTING & LOCAL CODES.
20. ADDRESS NUMBERS IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE STREET OR ROUTE FROM THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH MINIMUM STROKE OF 1/2". PER (CRC R315.1)
21. T.G.L. + TEMPERED GLASS
22. MINIMUM 36" DEEP LANDING OUTSIDE ALL EXTERIOR DOORS & NOT MORE THAN 13.4" ABOVE THE THRESHOLD FOR A IN SINGLING DOORS.
23. STEPS MIN 4" MAX. 1.75"
24. ALL NEW HALLWAYS TO HAVE A MINIMUM 36 INCHES WIDE AS PER (CRC SECTION R311.6)
25. ALL EXTERIOR LIGHTS ATTACHED TO THE BUILDINGS SHALL BE HIGH EFFICACY AND BE SHIELDED OR EQUIPPED WITH SPECIAL LENSES IN SUCH A MANNER AS TO PREVENT ANY GLARE OR DIRECT ILLUMINATION ON ANY PUBLIC STREET OR OTHER PROPERTY AND PROVIDE WITH PHOTOCONTROL, CERTIFIED MOTION SENSOR COMBINATION. TO COMPLY W/SECTION 181.150(X)(13)

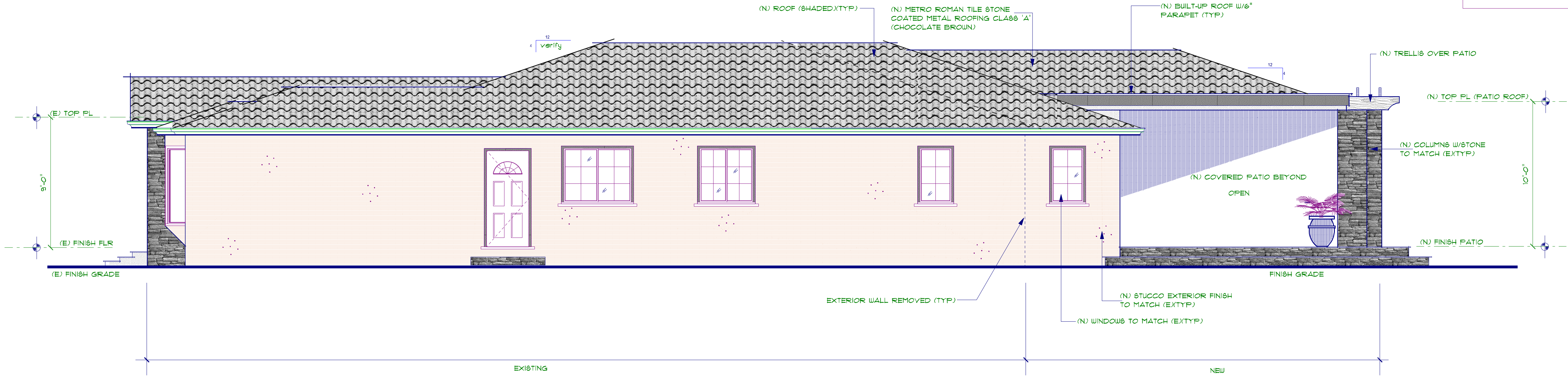


1/4" PROPOSED FLOOR PLAN



• NOTE TO CONTRACTOR •

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF JF BUILDING DESIGN, AND REQUIRE ASSISTANCE AS SOON AS POSSIBLE. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF JF BUILDING DESIGN, PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF JF BUILDING DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF JF BUILDING DESIGN.



1/4" RIGHT SIDE ELEVATION - NORTH

Exterior Elevation Notes:

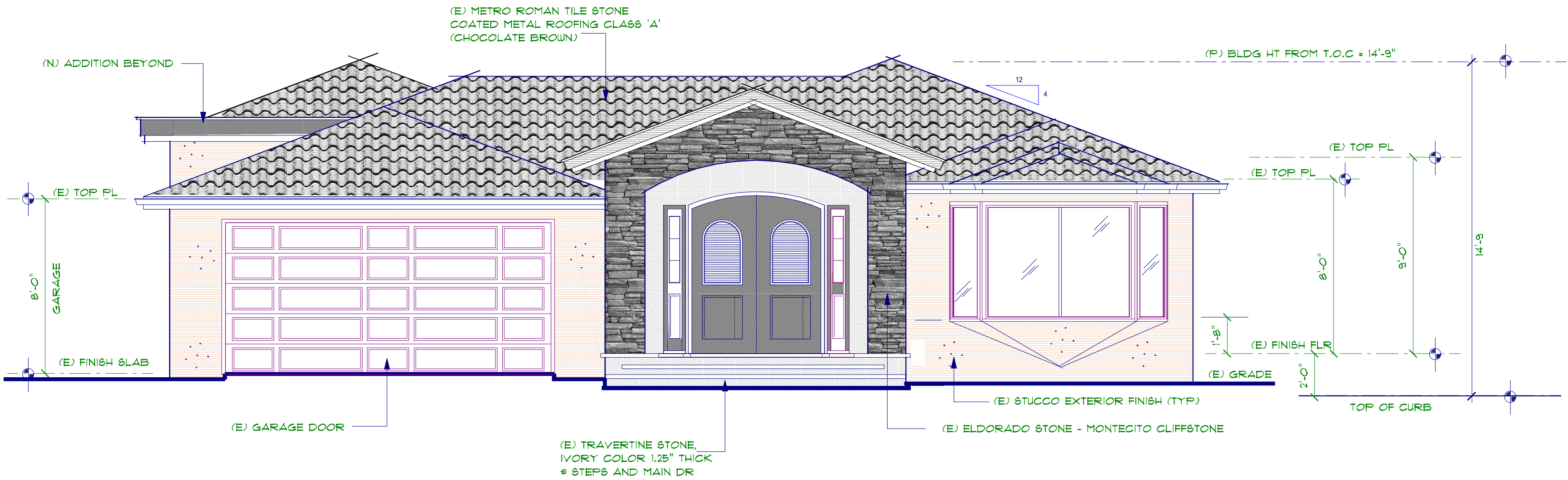
All Weather Exposed Surfaces shall have a weather-relative barrier to protect the interior wall covering. Such barrier shall be equal to that provided for the 2016 C.R.C. standards and applied directly over studs or sheathing. Barriers shall be installed horizontally, weatherboard fashion, with upper layer over lower layer not less than 2 inches where vertical joints occur lap barrier not less than 6 inches as per 2016 C.R.C.

Exterior finish, where applicable, shall minimum 1/8" standard 3 coat application cement plaster (stucco) over layer of paper back metal or wire lath with drip screened at base. Weather-relative barriers shall be installed under described lath as described above, and when applied over wood base sheathing shall include 2 layers of grade D Paper. As per 2016 C.R.C. Note: Paperback stucco wire is equivalent to 1 layer of grade d paper

Flash all exterior openings exposed to the weather with sheet metal or approved waterproof paper. Extend at least 3" under building paper behind exterior wall covering. All penetrations shall be thoroughly caulked and sealed as per 2016 C.R.C.

NOTE:

A WEEP SCREED SHALL BE PROVIDED @ THE FOUNDATION PLATE LINE ON ALL WALLS COVERED WITH EXTERIOR PLASTER. THE SCREED SHALL BE PLACED A MIN. 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS. 2016 C.R.C. (TYP @ CEMENT PLASTER)



1/4" FRONT ELEVATION - EAST

JF Building Design

P.O. Box 2818
Cupertino, Ca. 95015
(408) 489-3029



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JF BUILDING DESIGN

REVISIONS	BY
15 MAY 19	

A New Addition/Remodel For:
Prashant Jain
on the grounds at
1713 Heron Ave, Sunnyvale, Ca 94087

DRAWN JF
CHECKED JF
DATE 18 OCT 18
SCALE AS NOTED
JOB NO. 1821
SHEET 6

A5

• NOTE TO CONTRACTOR •

THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL NOT SCALE ANY DIMENSIONS FOR CONSTRUCTION PURPOSES. IN THE EVENT A DIMENSION IS REQUIRED THAT DOES NOT OCCUR ON THE DRAWINGS AND/OR A DIMENSION ERROR IS FOUND ON THE DRAWINGS, THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS WILL NOTIFY THE OFFICE OF JF BUILDING DESIGN AND REQUEST ASSISTANCE AS SOON AS POSSIBLE. THE CONTRACTOR AND/OR SUPPLIER OF MATERIALS SHALL BE SOLELY RESPONSIBLE FOR THE RESULTS OF ERRORS, DISCREPANCIES AND OMISSIONS WHICH THE CONTRACTOR AND/OR MATERIAL SUPPLIER FAILED TO NOTIFY THE OFFICE OF JF BUILDING DESIGN PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK. NO DEVIATION FROM THE PLANS IN ANY WAY SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF JF BUILDING DESIGN. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS OR OTHER DOCUMENTS PROVIDED BY THE OFFICE OF JF BUILDING DESIGN.



1/4" REAR ELEVATION - WEST

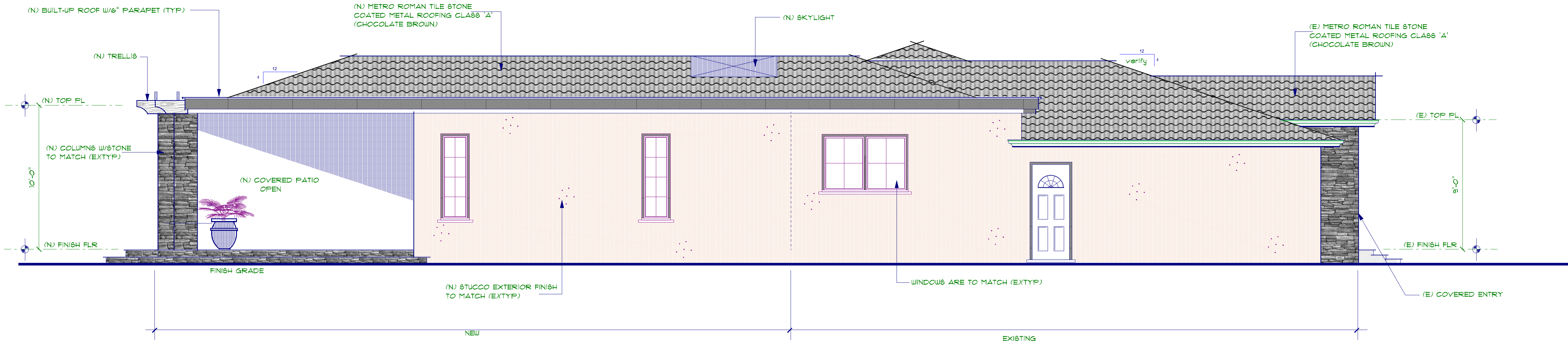
Exterior Elevation Notes:

All Weather Exposed Surfaces shall have a weather-resistive barrier to protect the interior wall covering. Such barrier shall be equal to that provided for the 2016 C.R.C. standards and applied directly over studs or sheathing. Barriers shall be installed horizontally, weatherboard fashion, with upper layer over lower layer not less than 2 inches where vertical joints occur lap barrier not less than 6 inches as per 2016 C.R.C.

Exterior finish, where applicable, shall minimum 1/8" standard 3 coat application cement plaster (stucco) over layer of paper back metal or wire lath with drip screened at base. Weather-resistive barriers shall be installed under described lath as described above, and when applied over wood base sheathing shall include 2 layers of grade D Paper. As per 2016 C.R.C. Note: Paperback stucco wire is equivalent to 1 layer of grade d paper

Flash all exterior openings exposed to the weather with sheet metal or approved waterproof paper. Extend at least 3" under building paper behind exterior wall covering. All penetrations shall be thoroughly caulked and sealed as per 2016 C.R.C.

NOTE:
A WEEP SCREED SHALL BE PROVIDED @ THE FOUNDATION PLATE LINE ON ALL WALLS COVERED WITH EXTERIOR PLASTER. THE SCREED SHALL BE PLACED A MIN. 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS. 2016 C.R.C. (TYP @ CEMENT PLASTER)



1/4" LEFT SIDE ELEVATION - SOUTH

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JF BUILDING DESIGN	
REVISIONS	BY
15 MAY 18	

A New Addition/Remodel For:

Prashant Jain

on the grounds at
1713 Heron Ave, Sunnyvale, Ca 94087

DRAWN JF
CHECKED JF
DATE 18 OCT 18
SCALE AS NOTED
JOB NO. 1801
8-SHEET

JF Building Design

P.O. Box 2818
Cupertino, Ca. 95015
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JF BUILDING DESIGN

REVISIONS	BY

A Revised Existing Exterior Finishes For:

Prashant Jain

on the grounds at
1713 Heron Ave, Sunnyvale, Ca 94087

PREPARED BY: DATE:

DRAWN

JF

CHECKED

JF

DATE

18 OCT 18

SCALE

AS NOTED

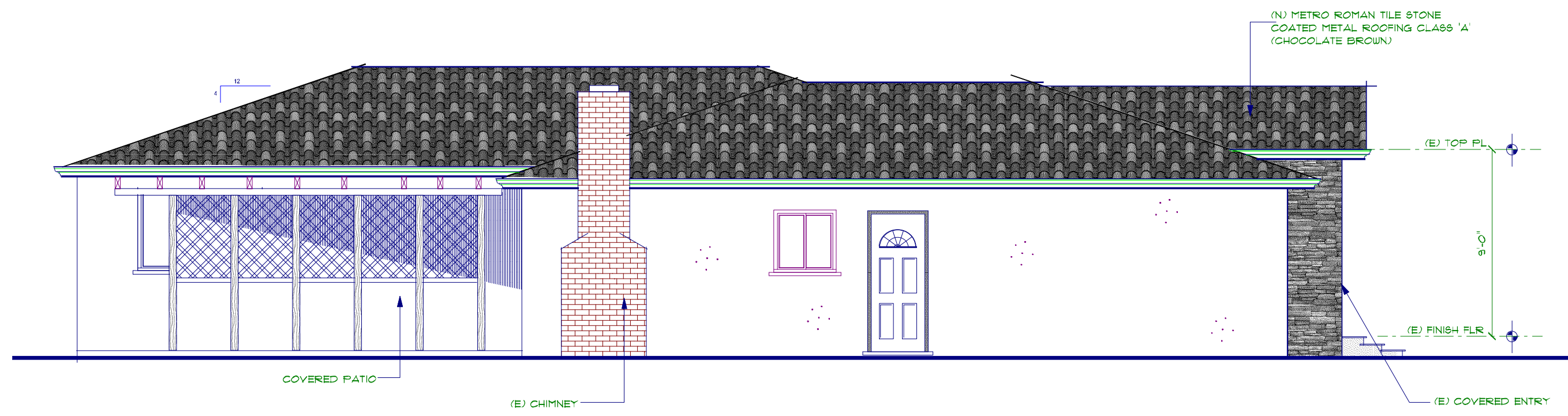
JOB NO.

1821

SHEET

A6.1

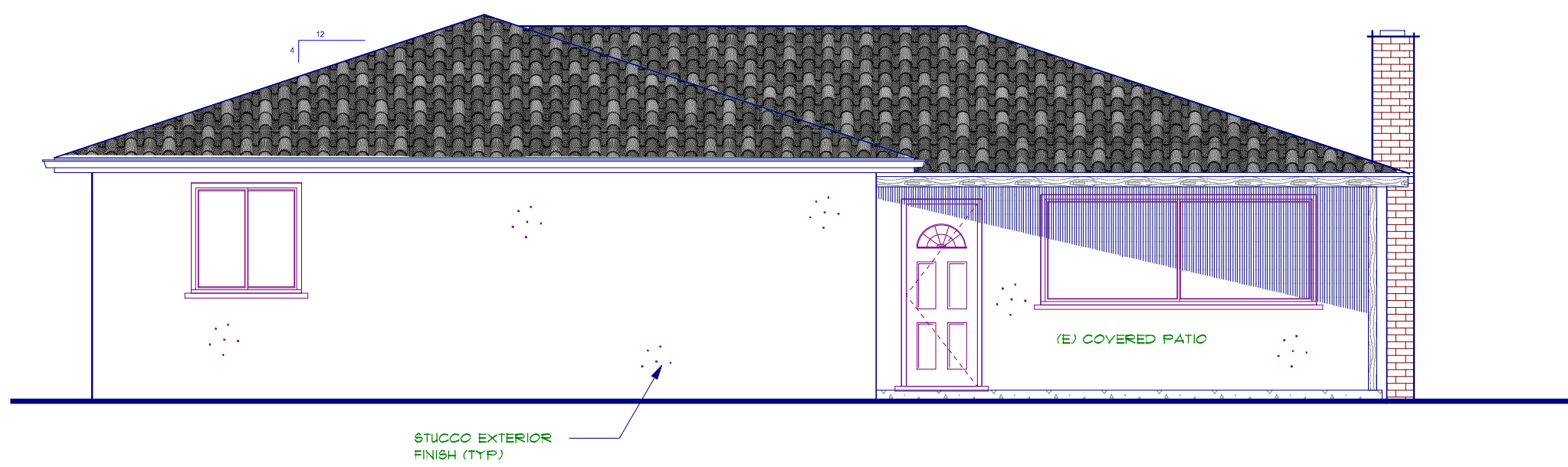
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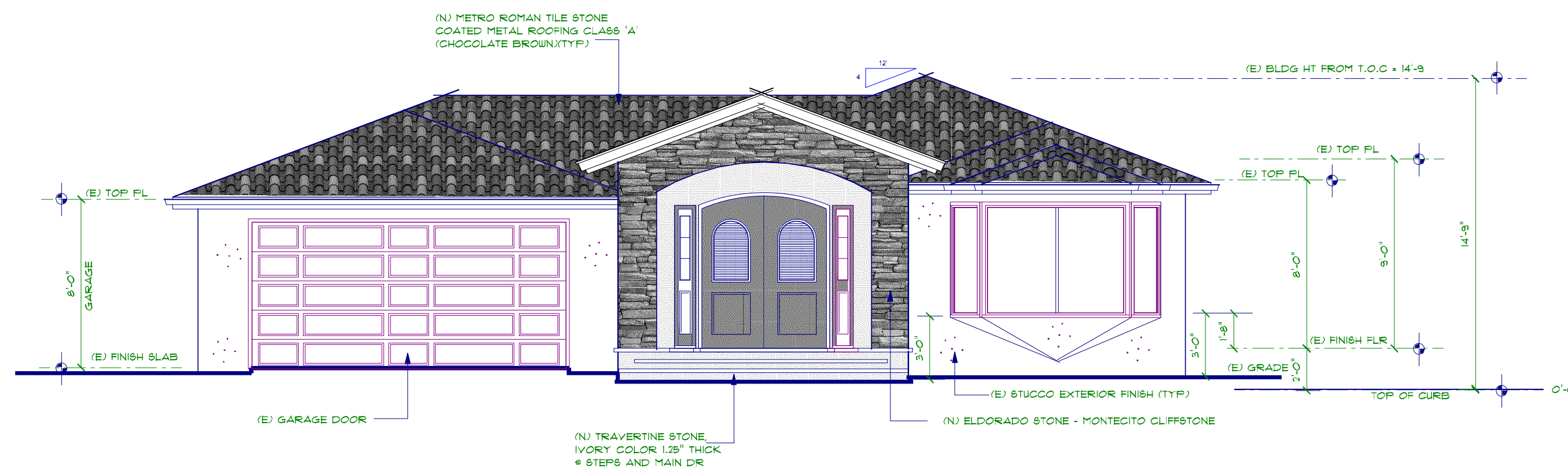
(E) LEFT SIDE ELEVATION



(E) RIGHT SIDE ELEVATION



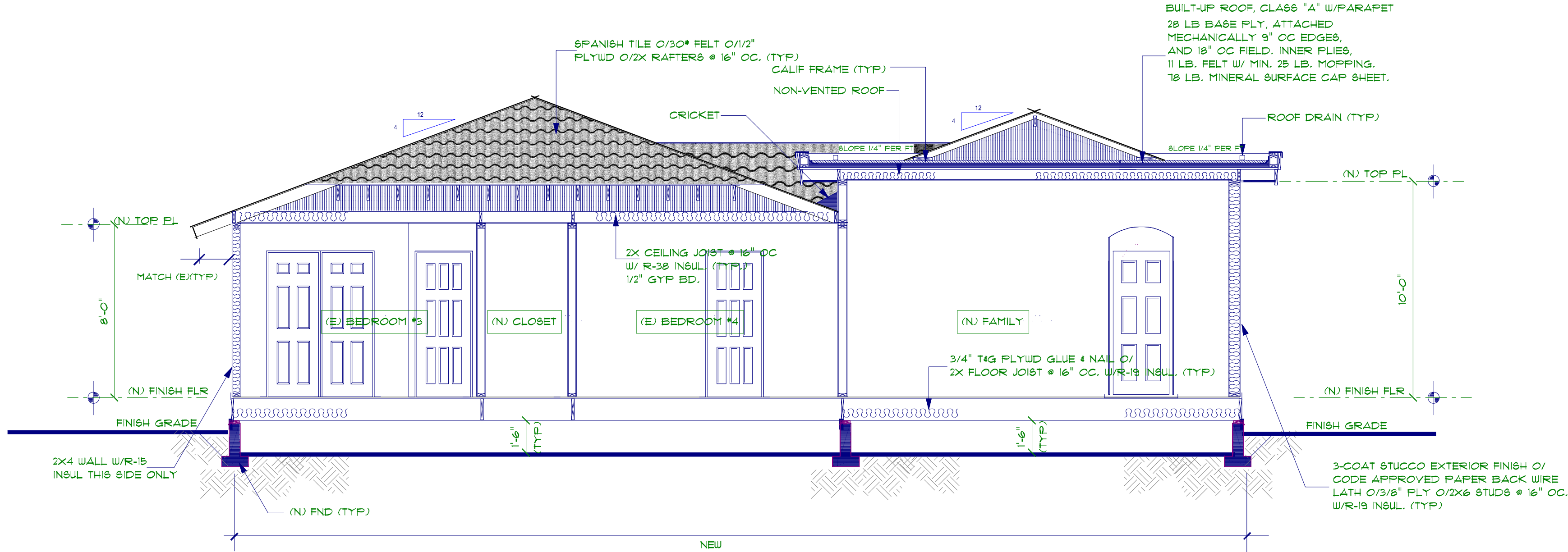
(E) REAR ELEVATION



(E) FRONT ELEVATION

* NOTE TO CONTRACTOR *

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Exterior Elevation Notes:

All Weather Exposed Surfaces shall have a weather-resistant barrier to protect the interior wall covering. Such barrier shall be equal to that provided for the 2016 C.R.C. standards and applied directly over studs or sheathing. Barriers shall be installed horizontally, weatherboard fashion, with upper layer over lower layer not less than 2 inches where vertical joints occur lap barrier not less than 6 inches as per 2016 C.R.C.

Exterior finish, where applicable, shall minimum 7/8" standard 3 coat application cement plaster (stucco) over layer of paper back metal or wire lath with drip screened at base. Weather-resistant barriers shall be installed under described lath as described above, and when applied over wood base sheathing shall include 2 layers of grade D Paper. As per 2016 C.R.C. Note: Paperback stucco wire is equivalent to 1 layer of grade d paper

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NOTE:

A DEEP SCREED SHALL BE PROVIDED @ THE FOUNDATION PLATE LINE ON ALL WALLS COVERED WITH EXTERIOR PLASTER. THE SCREED SHALL BE PLACED A MIN. 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS. 2016 C.R.C. (TYP) @ CEMENT PLASTER)

1/4" SECTION (A)

SECTIONS ARE FOR DIAGRAMATIC PURPOSES ONLY.
SEE CONSTRUCTION/STRUCTURAL DRAWINGS FOR ALL MATERIALS, FRAMING AND CONNECTIONS

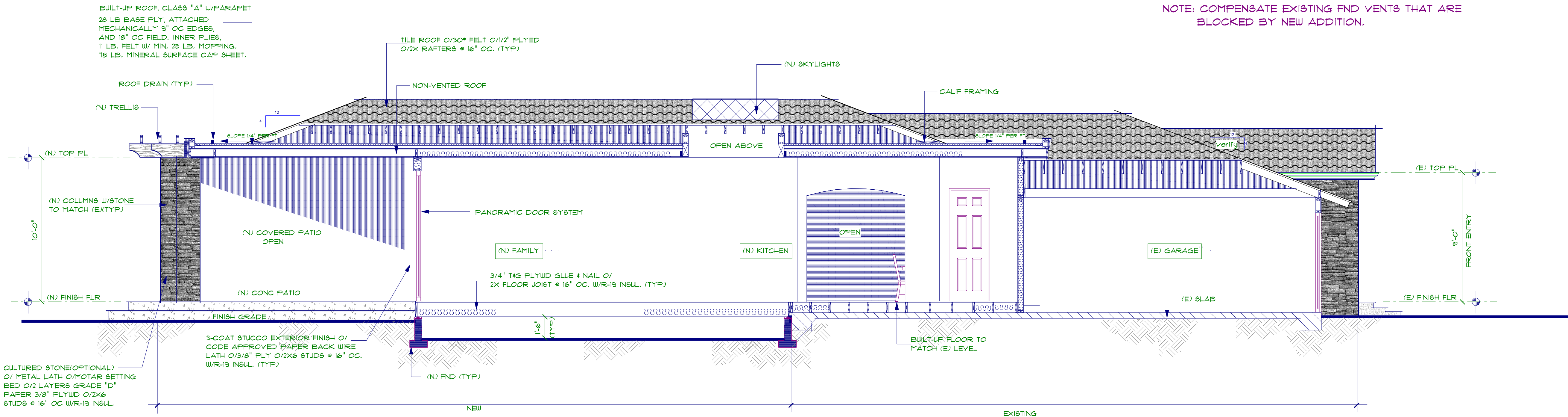
FOUNDATION VENTILATION CALC'S:

537 S.F./ 150 / .43 = 8 VENTS SPACED EQ.
FOR CROSS VENTILATION. USE 6"X 14" SCREENED
FND VENTS OR APPROVED EQ.

FND VENTS SHOULD BE SPACED FOR
EACH 8 TO 10 FEET OF FOUNDATION WALL

6"x 14" = 64.90 S.I. OF NET FREE AIR

NOTE: COMPENSATE EXISTING FND VENTS THAT ARE
BLOCKED BY NEW ADDITION.



1/4" SECTION (B)

SECTIONS ARE FOR DIAGRAMATIC PURPOSES ONLY.
SEE CONSTRUCTION/STRUCTURAL DRAWINGS FOR ALL MATERIALS, FRAMING AND CONNECTIONS

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JF BUILDING DESIGN

REVISIONS	BY
15 MAY 18	

A New Addition/Remodel For:

Prashant Jain

on the grounds at

1713 Heron Ave, Sunnyvale, Ca 94087

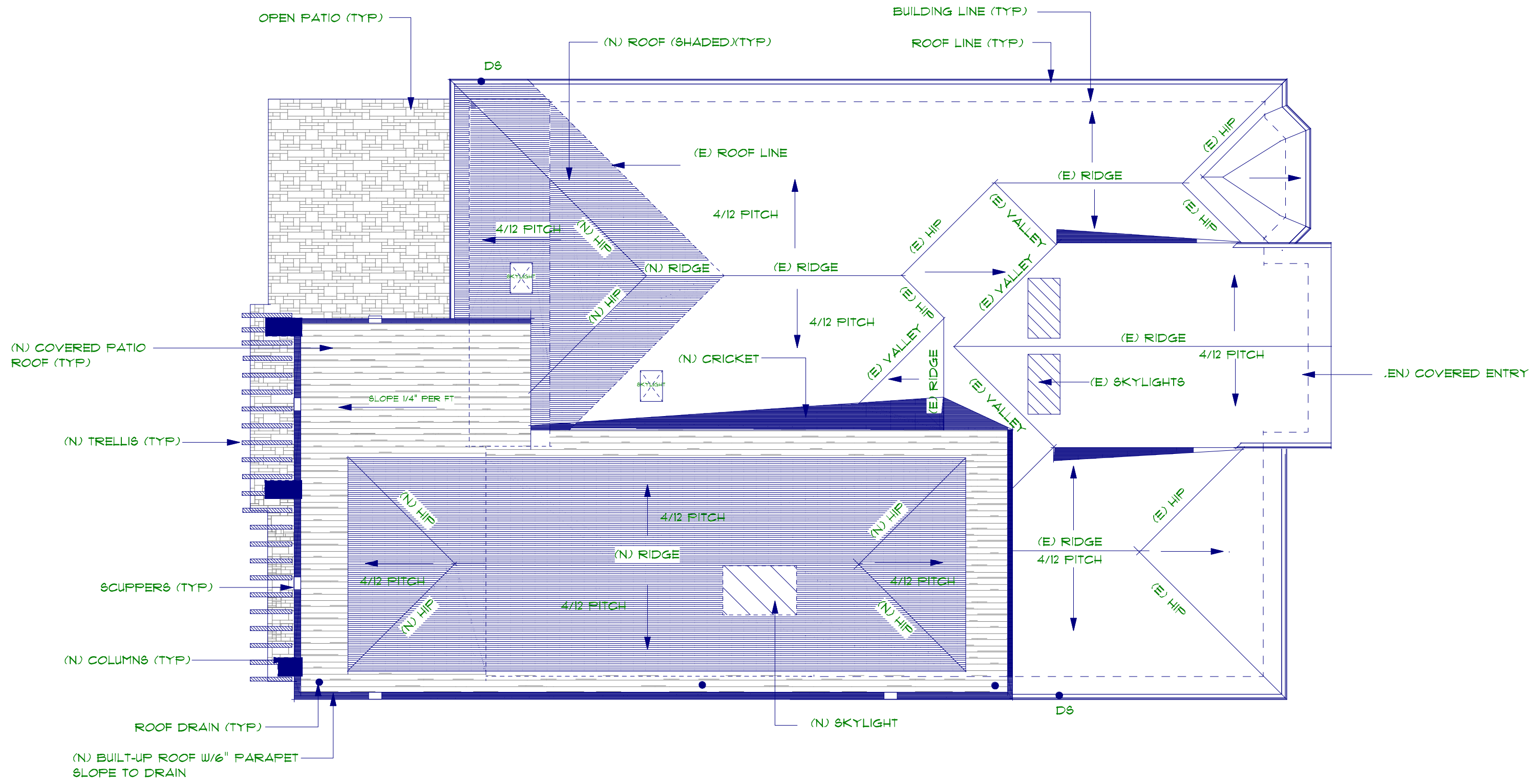
PREPARED BY: DATE:

DRAWN	JF
CHECKED	JF
DATE	18 OCT 18
SCALE	AS NOTED
JOB NO.	1801
SHEET	8-SHEET

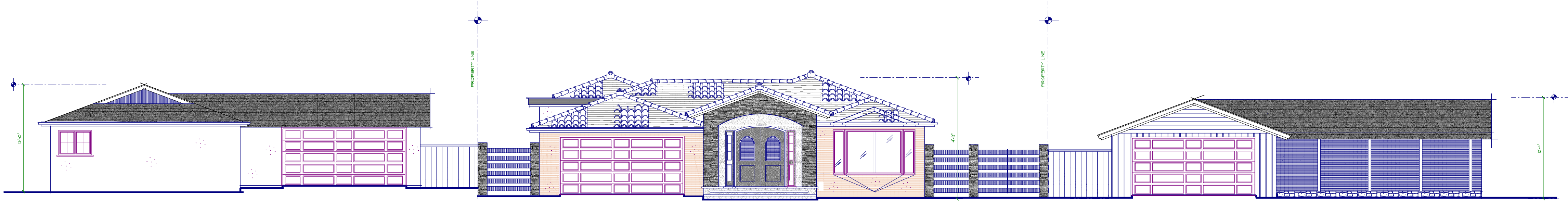
A7

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1/8" PROPOSED ROOF PLAN



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JF BUILDING DESIGN

REVISIONS	BY
15 MAY 19	

PERPREARED BY: _____ DATE: _____

A New Addition/Remodel For:

Prashant Jain

on the grounds at

1713 Heron Ave, Sunnyvale, Ca 94087

DRAWN	JF
CHECKED	JF
DATE	18 OCT 18
SCALE	AS NOTED
JOB NO.	1821
SHEET	A8
OF	SHEETS