ATTACHMENT 5

CIVIC SQUARE SHOPPING CENTER

RETAIL & STORAGE LOCKER FACILITY

816-818 W EL CAMINO REAL
SUNNYVALE, CA 94087

ABBREVIATIONS

&	And	F.O.S.	Face of Studs	SECT.	Section
∠	Angle	FT.	Foot or Feet	SH	Shelf
@	At	FTG.	Footing	SHT.	Sheet
℄	Centerline	FW	Fire Water	SHWR.	Shower
⌀	Diameter or Round	GA.	Gauge	SIM.	Similar
d	Penny (Nails)	GALV.	Galvanized	SPEC.	Specification
#	Pound	G.B.	Grab Bar	SQ.	Square
(E)	Existing	GI	Galvanized Iron	SST.	Stainless Steel
(N)	New	GL.	Glass	STD.	Standard
(R)	Relocated	GND.	Ground	STL.	Steel
ACC	Accessible	GR.	Grade	STOR.	Storage
A/C	Air Conditioning	GS	Galvanized Steel	STRUCT.	Structural
A.C.	Asphaltic Conc.	GYP.	Gypsum	SUSP.	Suspended
ACOUS.	Acoustical	H.B.	Hose Bibb	SYM.	Symmetrical
A.D.	Area Drain	H.C.	Hollow Core	SYS.	System
ADJ.	Adjustable	HDR.	Header	T.B.	Towel Bar
ALT.	Alternate	HDWD.	Hardwood	TEL.	Telephone
ALUM.	Aluminum	HDWR.	Hardware	TER.	Terrazzo
APPROX.	Approximate	H.M.	Hollow Metal	THK.	Thick
ARCH.	Architectural	HORIZ.	Horizontal	T.& G.	Tongue & Groove
BD.	Board	HT.	Height	T.O.C.	Top of Curb
BITUM.	Bituminous	I.D.	Inside Diameter	T.O.C.D.	Top of Concrete Deck
BLDG.	Building	INSUL.	Insulation	T.O.P.	Top of Pavement / Top of Parapet
BLK.	Block	INT.	Interior		
BLKG.	Blocking	JAN.	Janitor	T.O.R.D.	Top of Roof Deck
B.M.	Bench Mark	KIT.	Kitchen	T.O.S.	Top of Sheathing
BFP.	Backflow Preventer	LAB.	Laboratory	T.O.W.	Top of Wall
BOT.	Bottom	LAM.	Laminate	TRD.	Tread
CAB.	Cabinet	LAV.	lavatory	T.S.W.	Top of Sidewalk
C.B.	Chalk Board	LKR.	Locker	T.V.	Television
CEM.	Cement	LT.	Light	TYP.	Typical
CER.	Ceramic	MAINT.	Maintenance	U.L.	Underwriters Laboratory
C.I.	Cast Iron	MAT.	Material	U.N.O.	Unless Noted Otherwise
C.J.	Const. Joint	MAX.	Maximum	U.O.N.	Unless Otherwise Noted
C.L.	Chain Link	M.B.	Machine Bolt	V.C.T.	Vinyl Composition Tile
CLG.	Ceiling	M.D.F.	Medium Density Fiberboard	VERT.	Vertical
CLR.	Clear	MECH.	Mechanical	VEST.	Vestibule
CNTR.	Counter	MEMB.	Membrane	V.T.R.	Vent Through Roof
COL.	Column	MEZZ.	Mezzanine	V.W.C.	Vinyl Wall Covering
CONC.	Concrete	MFR.	Manufacturer	W	West
CONN.	Connection	MH.	Manhole	w/	With
CONST.	Construction	MIN.	Minimum	W.C.	Water Closet
CONT.	Continuous	MIR.	Mirror	WD.	Wood
CORR.	Corridor	MISC.	Miscellaneous	WDW.	Window
CPT.	Carpet	M.O.	Masonry Opening	W/O	Without
CTSK.	Countersunk	MTD.	Mounted	W.S.	Wood Screw
CTR.	Center	MTL.	Metal	WT.	Weight
CW.	Cold Water	MUL.	Mullion	W.W.F.	Welded Wire Fabric
DBL.	Double	N	North		
DEPT.	Department	N.I.C.	Not In Contract		
D.F.	Drinking Fountain / Douglas Fir	No. or #	Number		
DIA.	Diameter	NOM	Nominal		
DIAG.	Diagonal	N.T.S.	Not To Scale		
DIM.	Dimension	OD	Outside Diameter		
DISP.	Dispenser	O.A.	Overall		
DN.	Down	O.C.	On Center		
DR.	Door	OFF.	Office		
DS.	Downspout	OPP.	Opposite		
D.S.P.	Dry StandPipe	OPER	Operable		
DTL.	Detail	P.L.C.C.	Plastic Laminate Covered Casework		
DWG.	Drawing	PA	Planting Area		
DWR.	Drawer	PH	Panic Hardware		
EA.	Each	PLAS.	Plaster		
E.J.	Expansion Joint	PLYWD.	Plywood		
EL.	Elevation	PNL.	Panel		
ELEC.	Electrical	PR.	Pair		
ELEV.	Elevator	PT.	Point		
EMER.	Emergency	P.LAM.	Plastic Laminate		
ENCL.	Enclosure	Q.T.	Quarry Tile		
EQ.	Equal	R	Riser		
EQPT.	Equipment	R.D.	Roof Drain		
E.W.	Each Way	REF.	Reference		
EXH.	Exhaust	REFR.	Refrigerator		
EXP.	Expansion	REG.	Register		
EXT.	Exterior	REINF.	Reinforced		
F.A.	Fire Alarm	REQ.	Required		
F.D.	Floor Drain	RESIL.	Resilient		
FDN.	Foundation	R.H	Round Head		
F.E.	Fire Extinguisher	RM.	Room		
FEC	Fire Extinguisher Cabinet	R.O.	Rough Opening		
F.F.	Finish Floor	RWD.	Redwood		
F.G.	Finish Grade	S.	South		
F.H.	Flat Head	S.C.	Solid Core		
FHC	Fire Hose Cab.	SCHED.	Schedule		
FIN.	Finish				
FLASH.	Flashing				
FLR.	Floor				
FLUOR.	Fluorescent				
F.O.C.	Face of Conc.				
F.O.F.	Face of Finish				
F.O.M.	Face of Masonry				

DRAWING SYMBOL LEGEND

PROJECT NORTH

COLUMN REFERENCE GRIDS
B,23 = COLUMN DESIGNATION

ELEVATION
4 = ELEVATION DESIGNATION
A5.1 = REFERENCE DRAWING NUMBER
ARROW INDICATES DIRECTION OF VIEW

BUILDING SECTION
C = SECTION DESIGNATION
A5.2 = REFERENCE DRAWING NUMBER
ARROW INDICATES DIRECTION OF VIEW

WALL SECTION
E = SECTION DESIGNATION
A5.3 = REFERENCE DRAWING NUMBER
ARROW INDICATES DIRECTION OF VIEW

DETAIL
10 = DETAIL DESIGNATION
8.3 = REFERENCE DRAWING NUMBER

CODE ANALYSIS
LOBBY = ROOM NAME
E1 = OCCUPANCY GROUP
6 = SPACE USE - REF SPACE USE SCHEDULE
900 = FLOOR AREA - SQUARE FEET
45 = OCCUPANT LOAD (CBC TABLE 10-A)
* = OCCUPANT LOAD SIGN REQUIRED WHEN NOTED - (CBC SEC 1002.3) REF SIGNAGE SCHEDULE

LEVEL LINE, CONTROL POINT
FFE 0'-0" = ELEVATION

MATCH LINE AND AREA DESIGNATOR
SHADED PORTION IS THE SIDE CONSIDERED

CENTER LINES, FLOOR LINES AND LEVEL LINES

SECTION LINES

PROPERTY LINES, BOUNDRY LINES AND MATCH LINES

HIDDEN CONSTRUCTION FEATURE

BREAKS OF BUILDING COMPONENTS

REVISION
3 = REVISION NUMBER

GLAZED OPENING OR WINDOW TYPE

DOOR IDENTIFICATION
50 = DOOR NUMBER

REFERENCE NOTE IDENTIFICATION

WALL IDENTIFICATION
C = WALL TYPE DESIGNATION - REF SCHEDULE
4 = NOMINAL STUD OR MASONRY SIZE
2 = FIRE RATING IN HOURS
B = ADDITIONAL REMARKS - REF SCHEDULE
* = OPTIONAL CHARACTER

TOILET ACCESSORY IDENTIFICATION
3 = ACCESSORY NUMBER - REF SCHEDULE

APPLICABLE CODES

2016 BUILDING STANDARDS ADMINISTRATIVE CODE PART 1, TITLE 24 C.C.R.
2016 CALIFORNIA BUILDING CODE (CBC) PART 2, TITLE 24 C.C.R. (2015 INTERNATIONAL BUILDING CODE (IBC) W/ CALIFORNIA AMENDMENTS.
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA FIRE CODE (CFC)
2016 CALIFORNIA GREEN BUILDING CODE
2016 CALIFORNIA ENERGY CODE
SUNNYVALE MUNICIPAL CODE

PROJECT TEAM

ARCHITECT
ADAPTIVE ARCHITECTURE
CONTACT: JANICE YEH
20111 STEVENS CREEK BLVD, SUITE 270
CUPERTINO, CA 95014
(408) 865-1089

CIVIL ENGINEER
RCL STRUCTURAL ENGINEERS
570 E. EL CAMINO REAL, SUITE D
SUNNYVALE, CA 94087
(408) 463-6832

LANDSCAPE ARCHITECT
INSIDE OUT DESIGN
6000 HARWOOD AVE
OAKLAND, CA 94618
(510) 655-7674

M/E/P ENGINEER
MR ENGINEERING
39210 STATE STREET SUITE 205
FREMONT, CA 94538
(510) 509-2362

PROJECT DATA

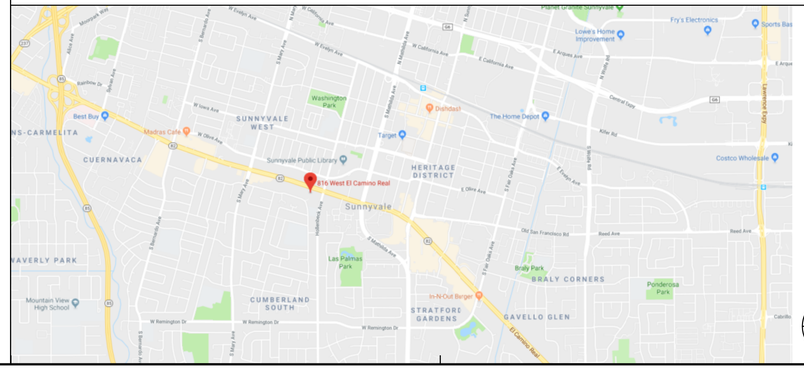
1. ASSESSOR'S PARCEL NO.:	201-21-005
2. LOT SIZE:	4.23 ACRES
3. ZONING DISTRICT:	C2 / ECR
4. GENERAL PLAN DESIGNATION:	COMMERCIAL
5. SPECIFIC PLAN:	PRECISE PLAN FOR EL CAMINO REAL
6. DESCRIPTION:	EXISITNG 1-STORY RETAIL BUILDING, FORMERLY OCCUPIED BY MICHAEL'S STORE
7. AREA OF WORK:	APPROX. 23,900 SF
8. TYPE OF OCCUPANCY:	M & S-1 OCCUPANCY
9. TYPE OF CONSTRUCTION:	V-B
10. FIRE SPRINKLERS?	FULLY SPRINKLERED
11. BUSINESS HOURS:	RETAIL: DAILY 9AM - 10PM STORAGE: M-F 9AM - 6PM SAT/SUN 9AM - 4PM

SCOPE OF WORK

THE PROJECT SCOPE OF WORK INCLUDES THE FOLLOWING MODIFICATIONS AND UPGRADES TO THE EXISTING BUILDING AND SITE:

1. INTERIOR DEMISING WALLS TO DIVIDE EXISTING RETAIL BUILDING INTO RETAIL SPACES AND A STORAGE LOCKER FACILITY.
2. SITE WORK TO INCLUDE NEW LANDSCAPE PLANTERS, RE-STRIPE EXISTING PARKING STALLS, AND A NEW TRASH ENCLOSURE.

VICINITY MAP



DRAWING INDEX

CIVIC SQUARE SHOPPING CENTER
RETAIL & STORAGE
816-818 WEST EL CAMINO REAL
SUNNYVALE, CA 94087

LICENSED ARCHITECT
Janice T. Yeh
C-33243
Ex. Date: 07/31/21
STATE OF CALIFORNIA

ADAPTIVE ARCHITECTURE
20111 STEVENS CREEK BLVD
SUITE 270
CUPERTINO, CA 95014
(408) 865-1089

NO	DATE	BY	DESCRIPTION
7	10/16/19		PLANNNIG RESUBMITTAL
6	10/3/19		PLANNING RESUBMITTAL
5	9/18/19		PLANNING RESUBMITTAL
4	8/19/19		PLANNING RESUBMITTAL
3	7/15/19		PLANNING RESUBMITTAL
2	4/17/19		PLANNING SUBMITTAL

REVISIONS

DRAWN: JY	CHECKED:
DATE:	SCALE: AS NOTED
PROJECT NUMBER:	

PROJECT INFO, DRAWING INDEX, & VICINITY PLAN

DRAWING NUMBER: A0.1

ATTACHMENT 5

* FOR THE PURPOSE OF CODE ANALYSIS, THREE OF THE LARGEST LARGEST NEW SUITES ARE ASSUMED TO BE OCCUPIED BY RESTAURANT USE. HOWEVER, ACTUAL USE AND OCCUPANCY OF EACH SUITE WILL BE DETERMINED BY FUTURE TENANTS.

NOTES

MIXED OCCUPANCY ANALYSIS

A. BUILDING ANALYSIS - ALLOWABLE AREA PER CBC TABLE 506.2

1. OCCUPANCY TYPE : A-2, B, M AND S-1

2. SPRINKLERED: YES

3. CONSTRUCTION TYPE: V-B

4. ALLOWABLE AREA CALCULATION:

- ALLOWABLE AREA WITH SPRINKLER INCREASE
  - A-2 OCCUPANCY = 24,000 SF
  - B OCCUPANCY = 36,000 SF
  - M OCCUPANCY = 36,000 SF
  - S-1 OCCUPANCY = 36,000 SF
- FRONTAGE INCREASE:
  FIRE SEPARATION DISTANCE
  > 30' ON NORTH SIDE, EAST SIDE, AND PARTIAL SOUTH SIDE

  PERIMETER 'P' = 964'
  FRONTAGE 'F' = 582'
  AREA INCREASE = (582/964-0.25) X 30/30 = 0.35
- ALLOWABLE AREA WITH FRONTAGE INCREASE

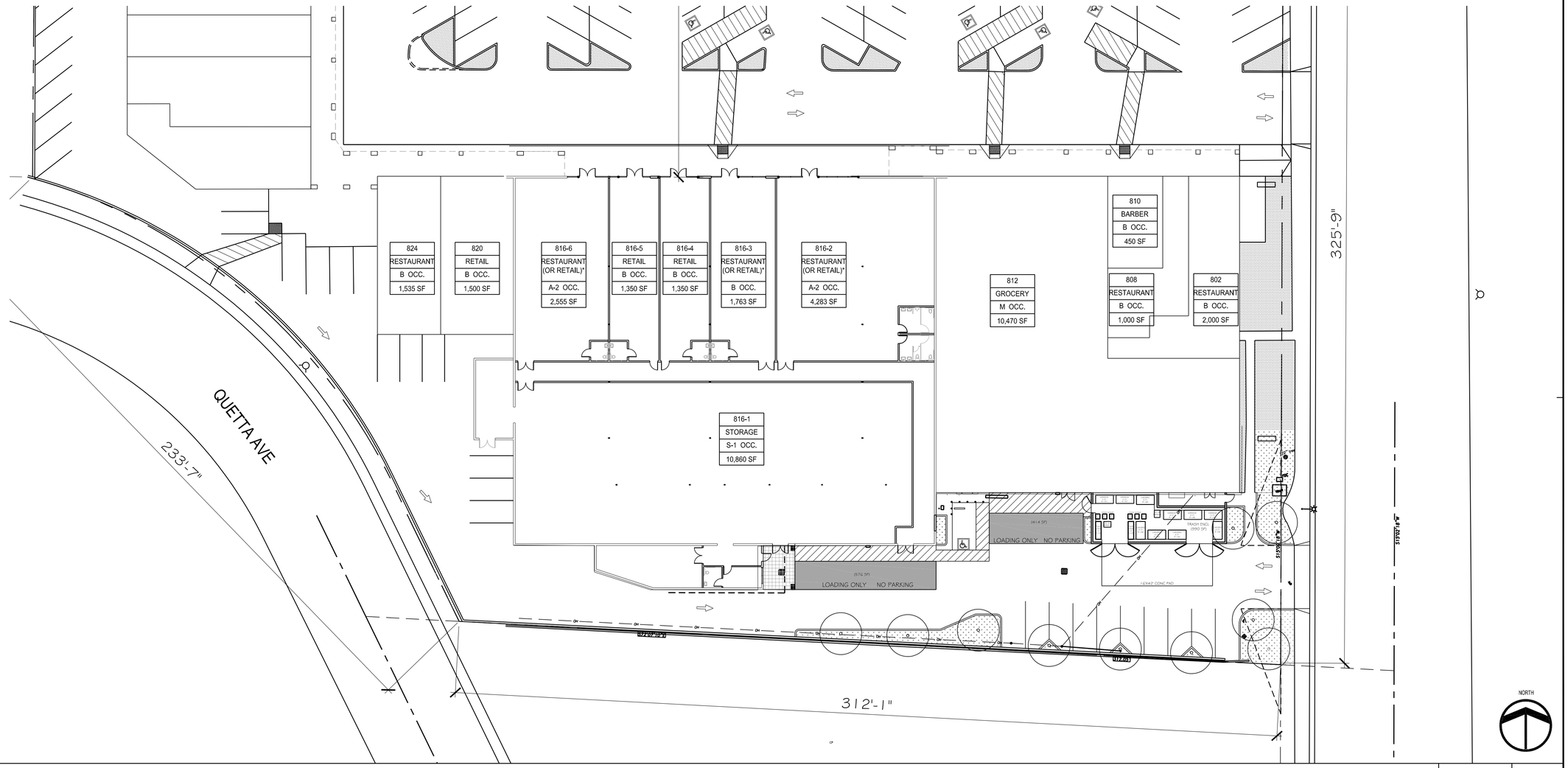
  A-2 OCCUPANCY = 24,000 X 1.35 = 32,400 SF
  B OCCUPANCY = 36,000 X 1.35 = 48,600 SF
  M OCCUPANCY = 36,000 X 1.35 = 48,600 SF
  S-1 OCCUPANCY = 36,000 X 1.35 = 48,600 SF

5. BUILDING AREA: 39,116 SF

6. ACTUAL AREA PER OCCUPANCY:
   A-2 OCCUPANCY = 6,838 SF
   B OCCUPANCY = 10,948 SF
   M OCCUPANCY = 10,470 SF
   S-1 OCCUPANCY = 10,860 SF

6. MIXED OCCUPANCY CALCULATION:
   A-2 OCCUPANCY = 6,838 / 32,400 = 0.21
   B OCCUPANCY = 10,948 / 48,600 = 0.23
   M OCCUPANCY = 10,470 / 48,600 = 0.22
   S-1 OCCUPANCY = 10,860 / 48,600 = 0.22

   TOTAL = 0.88<1



CODE ANALYSIS PLAN | 1" = 20' | 1

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3	8/19/19		PLANNING RESUBMITTAL
2	7/15/19		PLANNING RESUBMITTAL
1	4/17/19		PLANNING SUBMITTAL

REVISIONS

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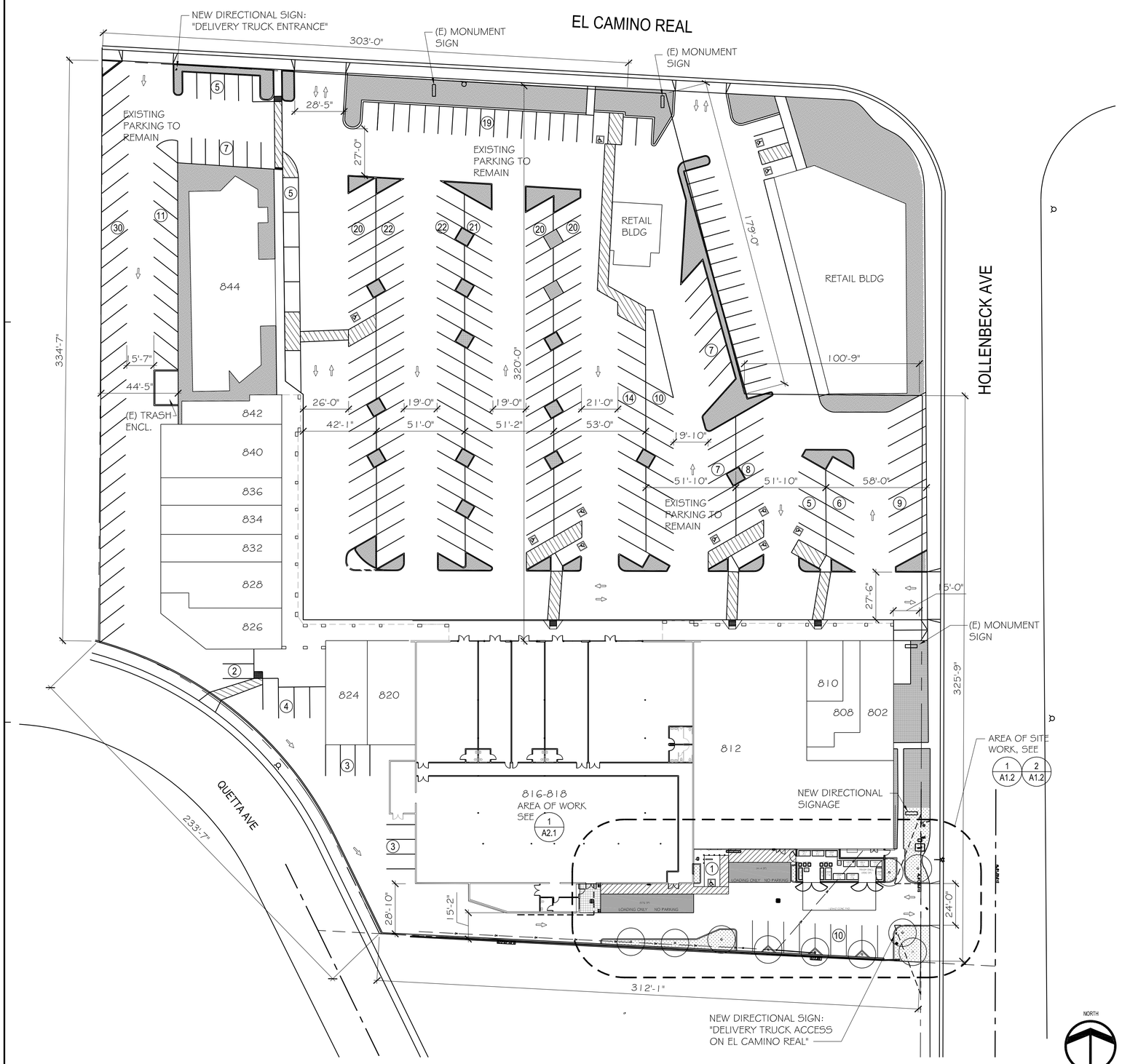
PROJECT NUMBER:	

CODE ANALYSIS PLAN

DRAWING NUMBER: A0.2



PROPOSED SITE PLAN | 1" = 30' | 1

CIVIC SQUARE PARKING PLAN WITH MIXEDUSE RETAIL
August 12, 2019

Unit	Civic Square Shopping Center Store Name	Sq.Ft.	Type of use	Parking Ratio	Factor	Required # Stalls	Proposec # Stalls Provided	Deficit/ Surplus
806	Adamsons	726	restaurant	1 per 111	0.009009	65		
802	Popeyes Chicken	2,000	restaurant	1 per 250	0.004	80		
808	Bikaner	1,000	restaurant	1 per 111	0.009009	90		
810	Civic Square Barber Shop	450	retail	1 per 250	0.004	18		
812	Trimethra Market	10,470	retail	1 per 250	0.004	419		
816	**New Retail**	**2,700**	**retail (proposed)**	**1 per 250**	**0.004**	**108**		
816	**New Restaurants**	**8,601**	**Restaurants (proposed)**	**1 per 111**	**0.009009**	**775**		
818	**New Retail Storage**	**10,868**	**(proposed)***	**1 per 1000**	**0.001**	**109**		
820	Edible Arrangements	1,500	retail	1 per 250	0.004	60		
824	Dim Sum King	1,535	restaurant	1 per 250	0.004	61		
826	Bay Fish & Chips	1,145	restaurant	1 per 111	0.009009	103		
828	Blue Max Lounge	1,700	bar (night use)	1 per 75	0.013333	227		
832	Cheese Steak Shop	1,078	restaurant	1 per 250	0.004	43		
834	Image of International Beauty Salon	1,078	retail	1 per 250	0.004	43		
836	Infinity Travel Agency	1,078	retail	1 per 250	0.004	43		
840	HobbyTown	2,120	retail	1 per 250	0.004	85		
842	Cassara	748	retail	1 per 250	0.004	30		
844	Pho Nam Vietnamese Restaurant	4,200	restaurant with fixed seating	1 per 111	0.009009	378		
	TOTAL (21 units):	52,989				2737	2614	17.3 Surplus
**	Mens Wearhouse	6,800	retail	1 per 250	0.004	272	18	
	TOTAL:	**59,789**				3009	309.0	8.1 Surplus
***	Shopping Center TOTAL:	59,789		1 per 250	0.004	2392	309.0	69.8 Surplus

* Removalof loading dock and eleven (11) parking stalls, and replacing them with two loading zones of about 1,600 sq. ft. and a 120 sq. ft. trash enclosure (combined with Popeyes), results in a reduction of the present parkingcount of 302 spaces to 291 (309 with Mens Wearhouse).
** Civic Square and Mens Wearhouse have a Reciprocal Ingress, Egress and Parking Agreement.
*** Based on total restaurant space of 38% including Take Outs — i.e. less than 40% specified by Code.

Total Restaurants:	Sq. Ft.
Adamsons	726
Popeyes	2,000
Bikaner	1,000
Dim Sum	1,535
Bay Fish	1,145
Cheese Steak	1,078
Pho Nam	4,200
Total Present Restaurants including Take Outs:	11,684
Percent of Center	**22%**
Percent of Center with Mens Wearhouse	20%
Possible New Restaurants (Est) 3,113 to 11,301 sq.ft.)	8,601
Total	**20,285**
Percent of Center	**38%**
Percent of center with Mens Wearhouse	34%

PARKING ANALYSIS

1. TOTAL EXISTING PARKING LOT AREA (NOT IN AREA OF WORK)
   - EXISTING NORTH AND WEST PARKING LOT AREA = 102,235 SQ. FT.
   - EXISTING LANDSCAPE AREA = 11,615 SQ. FT.
2. TOTAL REAR PARKING LOT AREA = 7,707 SQ. FT.
   - TOTAL EXISTING LANDSCAPE AREA = 218 SQ. FT.
     % OF EXISTING LANDSCAPING = 2.8%
   - TOTAL PROPOSED LANDSCAPE AREA = 1,634 SQ. FT.
     % OF PROPOSED LANDSCAPING = 21.2%

LANDSCAPE AREA ANALYSIS

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			REVISIONS
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5	4/17/19		PLANNING SUBMITTAL

DRAWN: JY	CHECKED:
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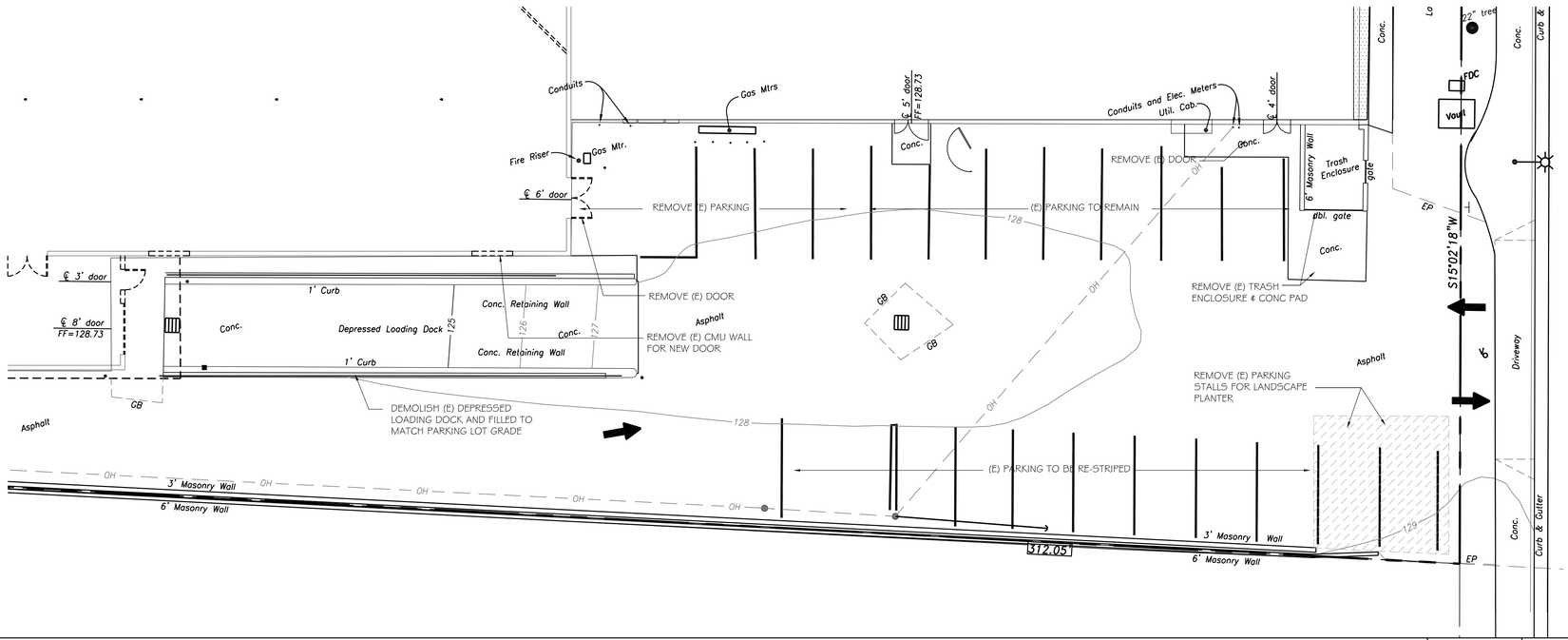
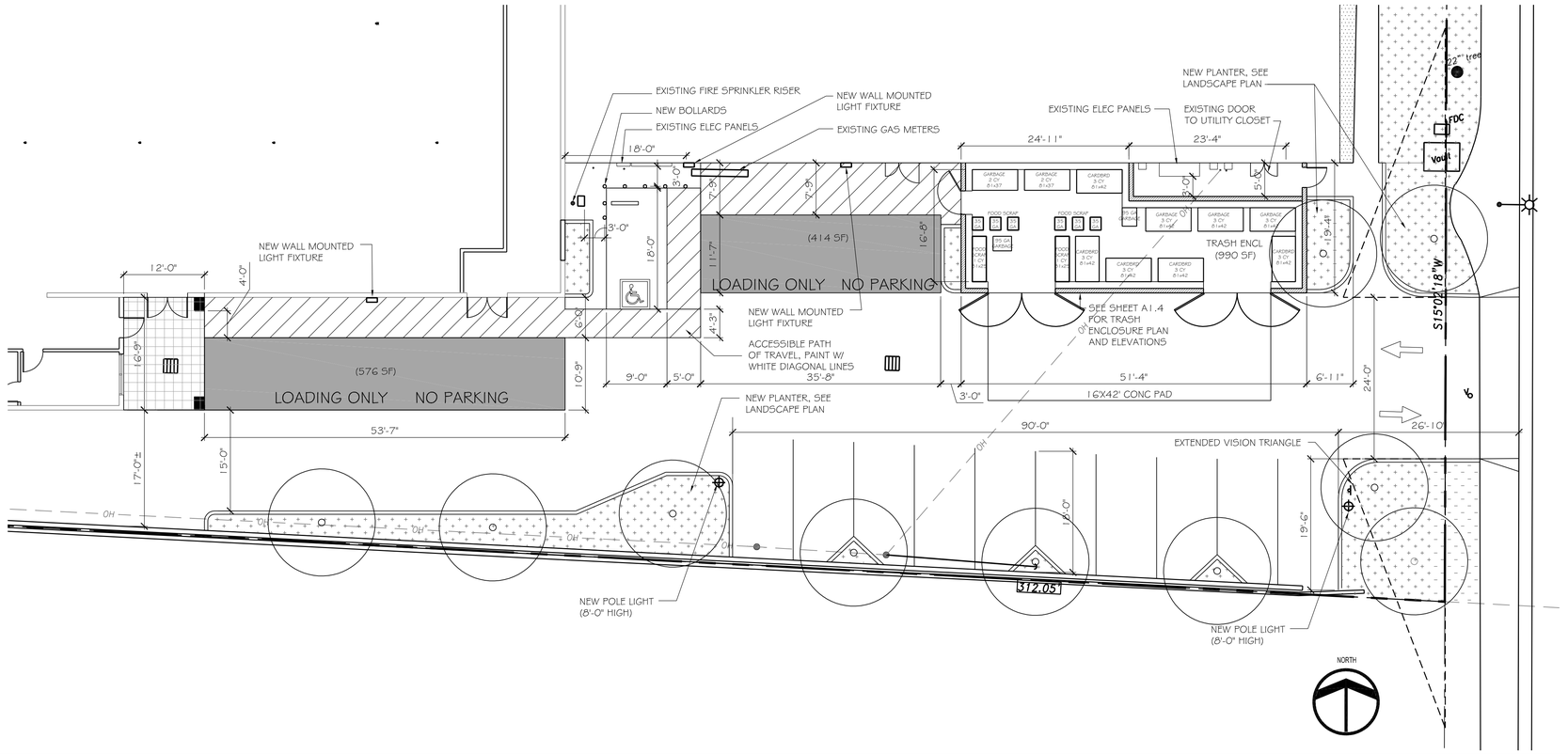
PROJECT NUMBER:	

PROPOSED SITE PLAN

DRAWING NUMBER: A1.1



ENLARGED PARKING LOT DEMO PLAN | 1/8" = 1'-0" | 2



ENLARGED PARKING LOT PLAN | 1/8" = 1'-0" | 1

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1			
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6	4/17/19		PLANNING SUBMITTAL

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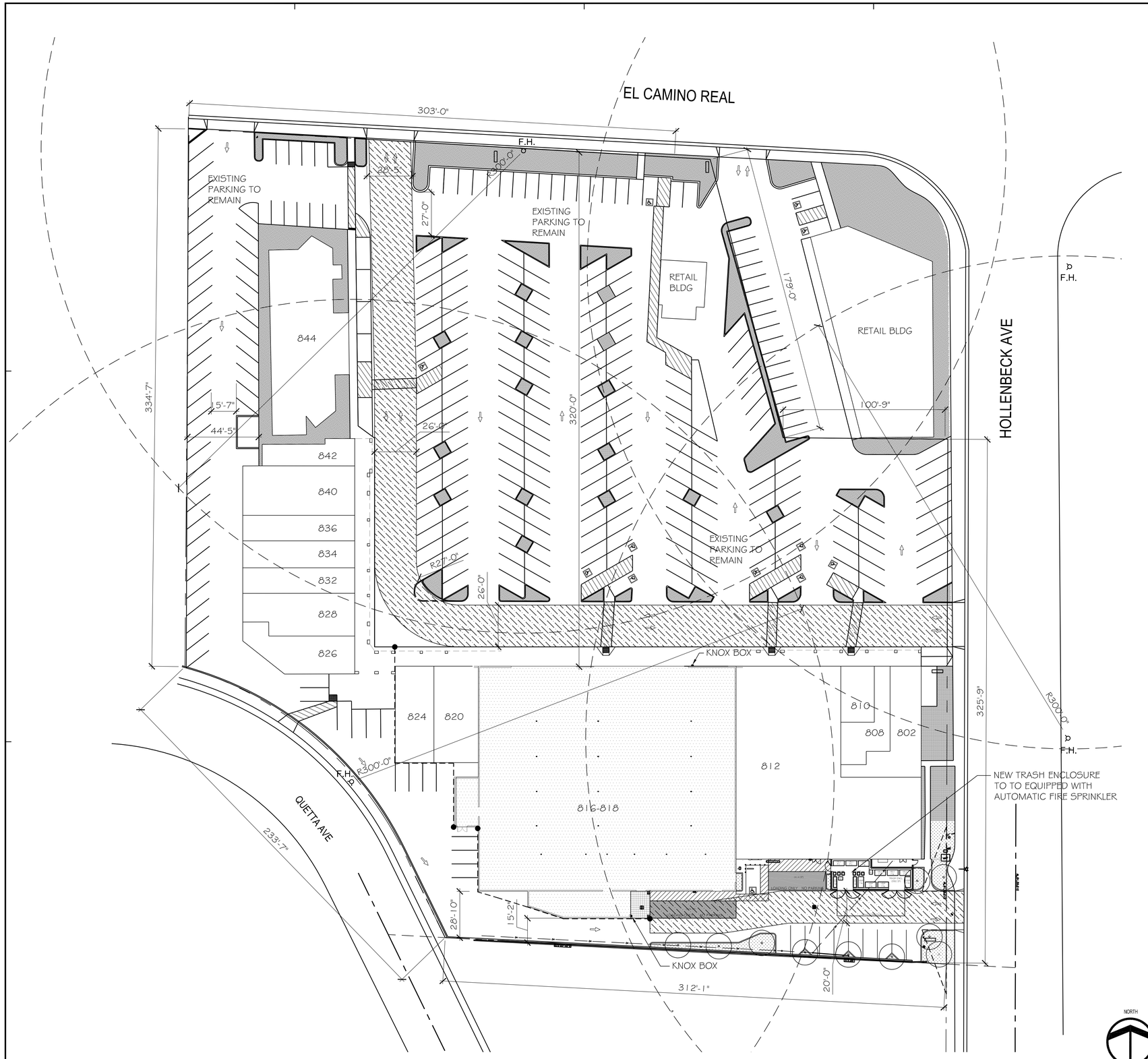
ENLARGED SITE PLAN

DRAWING NUMBER: A1.2



LEGEND

- EXISTING FIRE HYDRANT
- 300' RADIUS FROM FIRE HYDRANT
- FIRE APPARATUS ACCESS ROAD
- 150' HOSE REACH

PROPOSED SITE PLAN | 1" = 30' | 1

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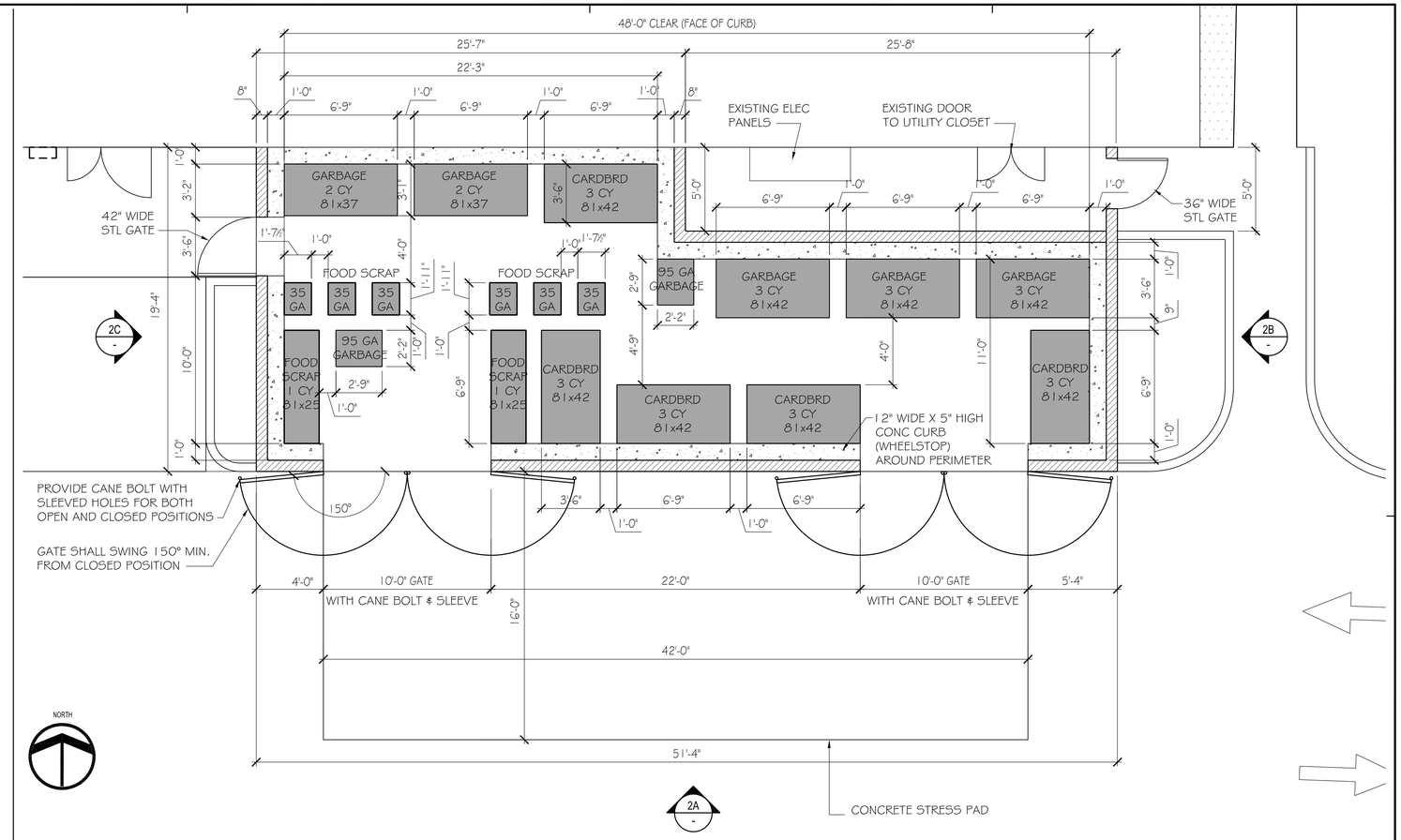
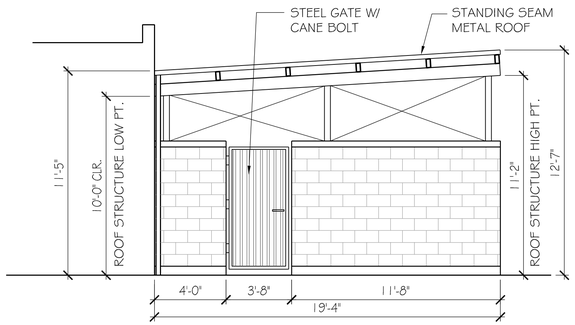
FIRE ACCESS PLAN

DRAWING NUMBER: A1.3

ATTACHMENT 5



TRASH ENCLOSURE PLAN | 1/4" = 1'-0" | 1



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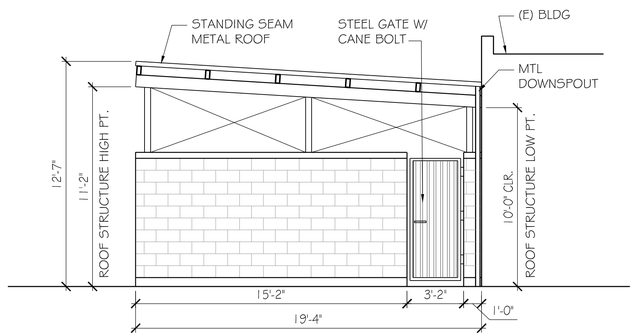

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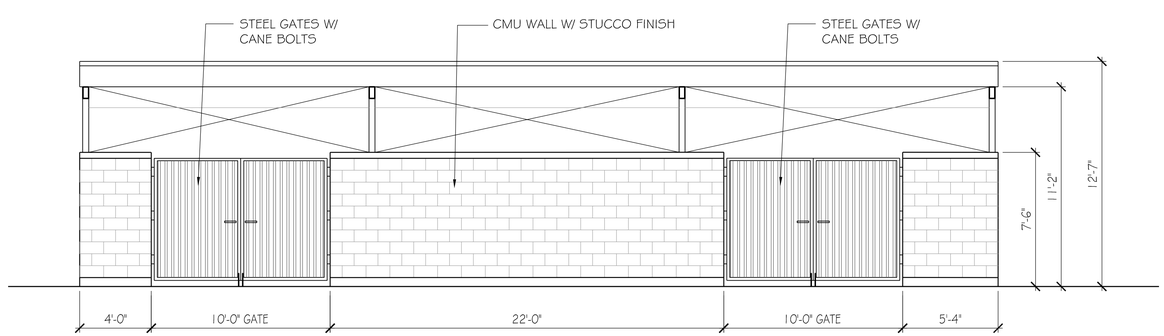


A.

TRASH ENCLOSURE ELEVATIONS | 1/4" = 1'-0" | 2

CIVIC SQUARE SHOPPING CENTER
RETAIL & STORAGE
816-818 WEST EL CAMINO REAL
SUNNYVALE, CA 94087

LICENSED ARCHITECT
Janice T. Yeh
C-33243
Ex. Date: 07/31/21
STATE OF CALIFORNIA

ADAPTIVE ARCHITECTURE
20111 STEVENS CREEK BLVD
SUITE 270
CUPERTINO, CA 95014
(408) 865-1089

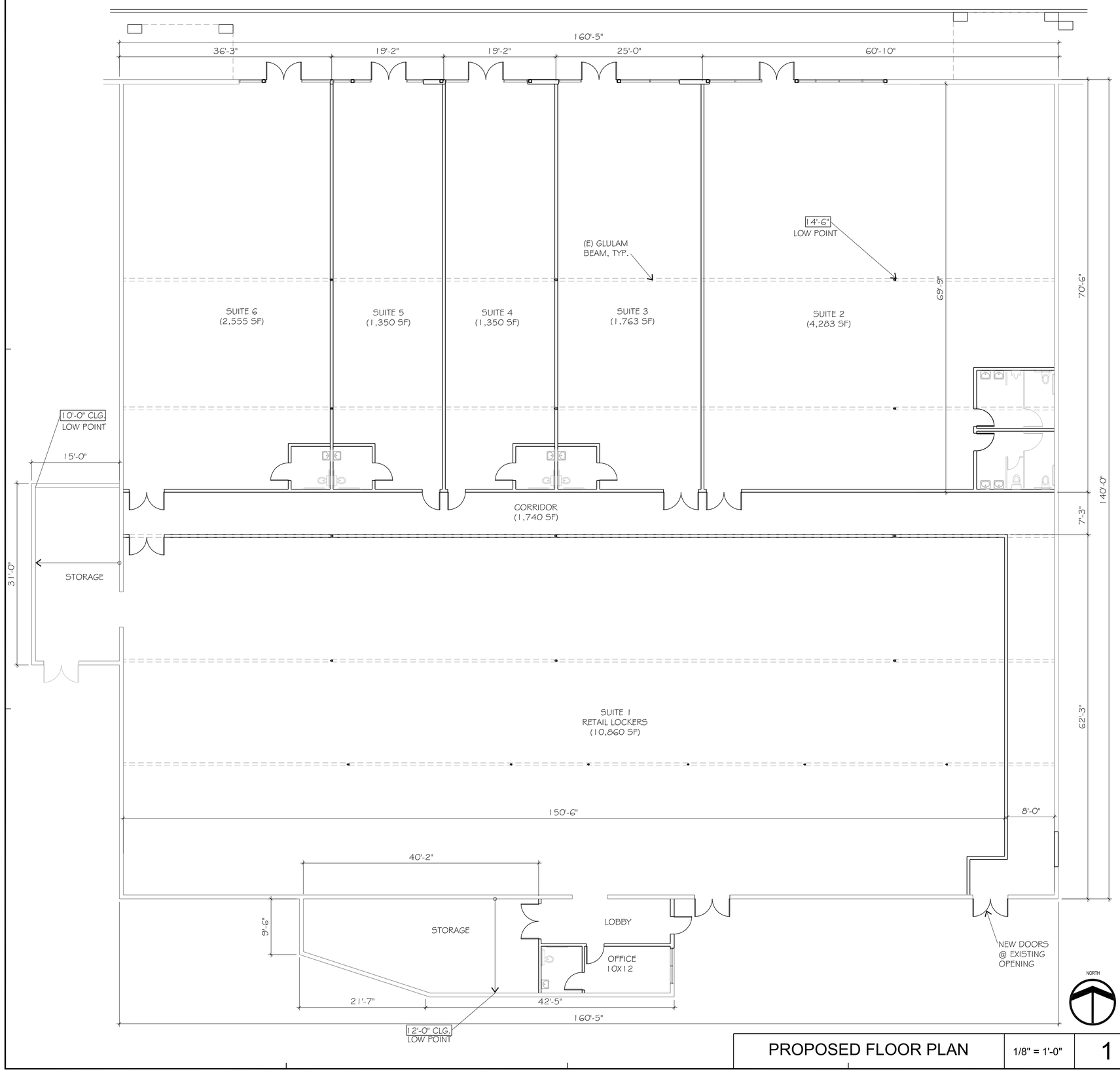
NO	DATE	BY	DESCRIPTION
7			
6	10/3/19		PLANNING RESUBMITTAL
5	9/18/19		PLANNING RESUBMITTAL
4	8/19/19		PLANNING RESUBMITTAL
3	7/15/19		PLANNING RESUBMITTAL
2	4/17/19		PLANNING SUBMITTAL

REVISIONS

DRAWN: JY	CHECKED:
DATE:	SCALE: AS NOTED
PROJECT NUMBER:	

TRASH ENCL. PLAN AND DETAILS

DRAWING NUMBER: A1.4



PROPOSED FLOOR PLAN | 1/8" = 1'-0" | 1

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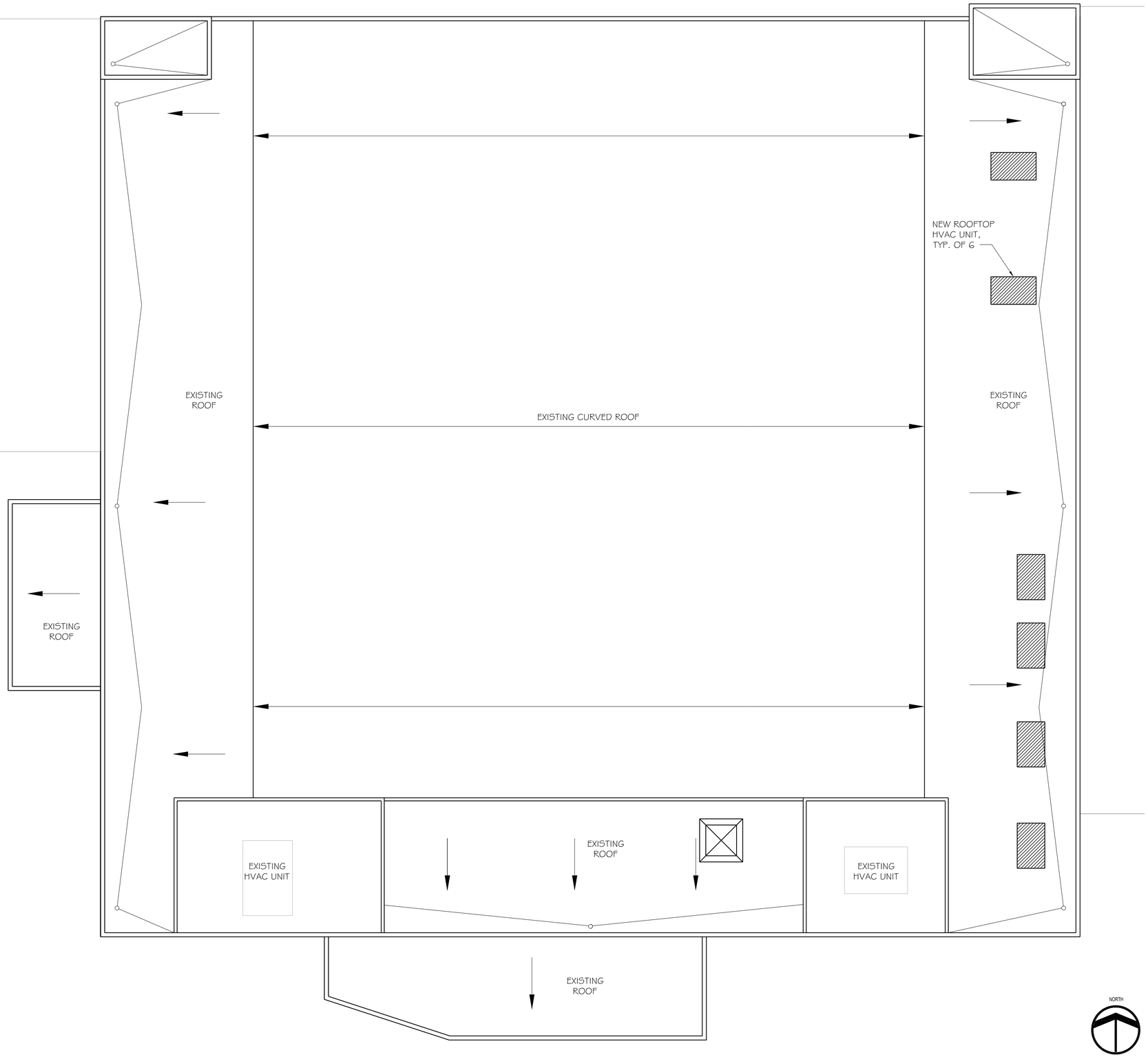
NO	DATE	BY	DESCRIPTION
	9/18/19		PLANNING RESUBMITTAL
	8/19/19		PLANNING RESUBMITTAL
	7/15/19		PLANNING RESUBMITTAL
	4/17/19		PLANNING SUBMITTAL

REVISIONS

DRAWN: JY	CHECKED:
DATE:	SCALE: AS NOTED
PROJECT NUMBER:	

PROPOSED
FLOOR PLAN

DRAWING
NUMBER: A2.1



PROPOSED ROOF PLAN | 1/8" = 1'-0" | 1

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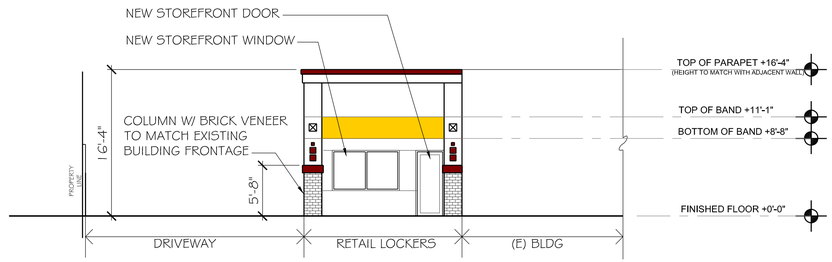
NO	DATE	BY	DESCRIPTION
5			
4			
3	9/18/19		PLANNING RESUBMITTAL
2	8/19/19		PLANNING RESUBMITTAL
1	7/15/19		PLANNING RESUBMITTAL
0	4/17/19		PLANNING SUBMITTAL

REVISIONS

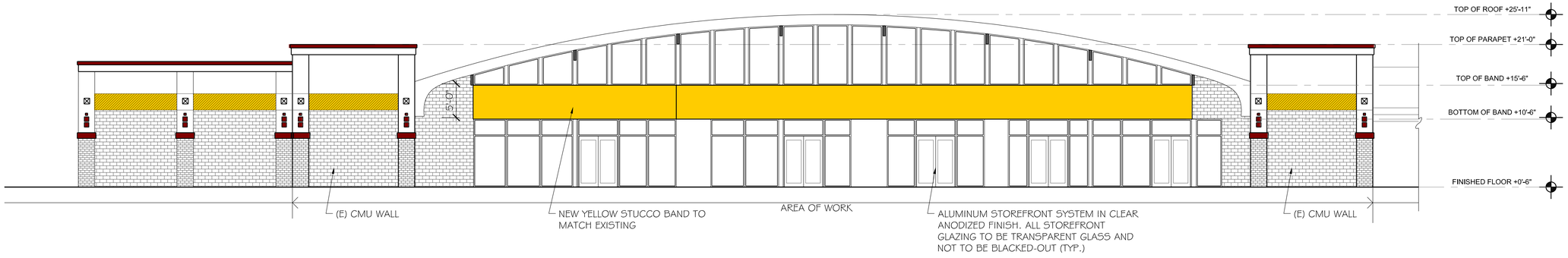
DRAWN: JY	CHECKED:
DATE:	SCALE: AS NOTED
PROJECT NUMBER:	

PROPOSED
ROOF PLAN

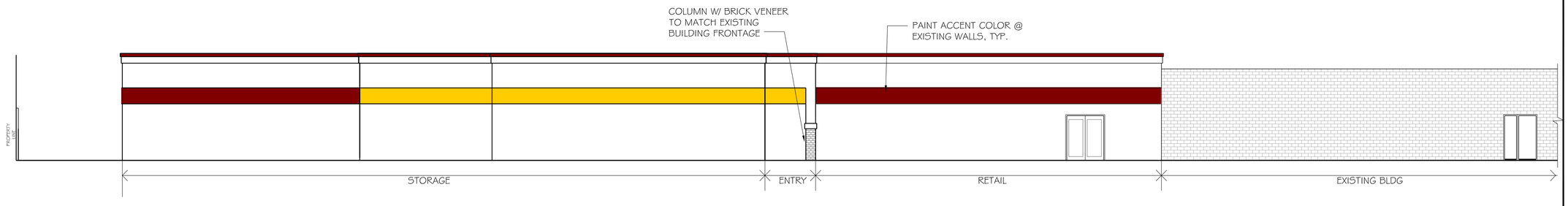
DRAWING
NUMBER: A4.1



EAST ELEVATION (STORAGE ENTRY) | 1/8" = 1'-0" | 1



NORTH ELEVATION (RETAIL FACADE) | 1/8" = 1'-0" | 2



SOUTH ELEVATION (STORAGE FACADE) | 1/8" = 1'-0" | 3

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Ren Date: 07/31/21
STATE OF CALIFORNIA

ADAPTIVE ARCHITECTURE
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SUITE 270
CUPERTINO, CA 95014
(408) 865-1089

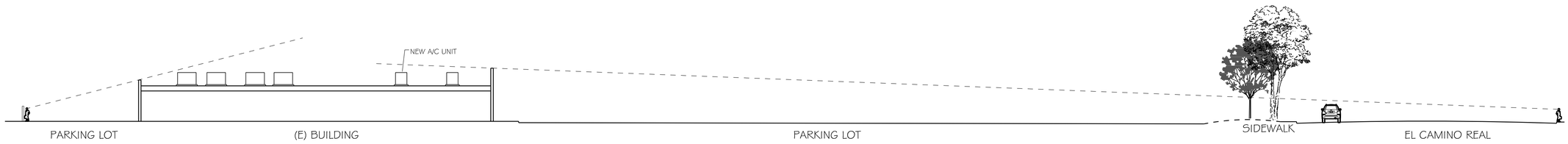
NO	DATE	BY	DESCRIPTION
5			
4			
3	9/18/19		PLANNING RESUBMITTAL
2	8/19/19		PLANNING RESUBMITTAL
1	7/15/19		PLANNING RESUBMITTAL
0	4/17/19		PLANNING SUBMITTAL

REVISIONS

DRAWN:JY	CHECKED:
DATE:	SCALE:AS NOTED
PROJECT NUMBER:	

EXTERIOR ELEVATIONS

DRAWING NUMBER: A5.1



SITE CROSS SECTION | 1/8" = 1'-0" | 1

2

3

CIVIC SQUARE SHOPPING CENTER
RETAIL & STORAGE

816-818 WEST EL CAMINO REAL
SUNNYVALE, CA 94087

LICENSED ARCHITECT
Janice T. Yeh
C-33243
Ren.Date: 07/31/21
STATE OF CALIFORNIA

ADAPTIVE
ARCHITECTURE

20111 STEVENS CREEK BLVD
SUITE 270
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(408) 865-1089

NO	DATE	BY	DESCRIPTION
1			
2			
3	9/18/19		PLANNING RESUBMITTAL
4	8/19/19		PLANNING RESUBMITTAL
5	7/15/19		PLANNING RESUBMITTAL
6	4/17/19		PLANNING SUBMITTAL

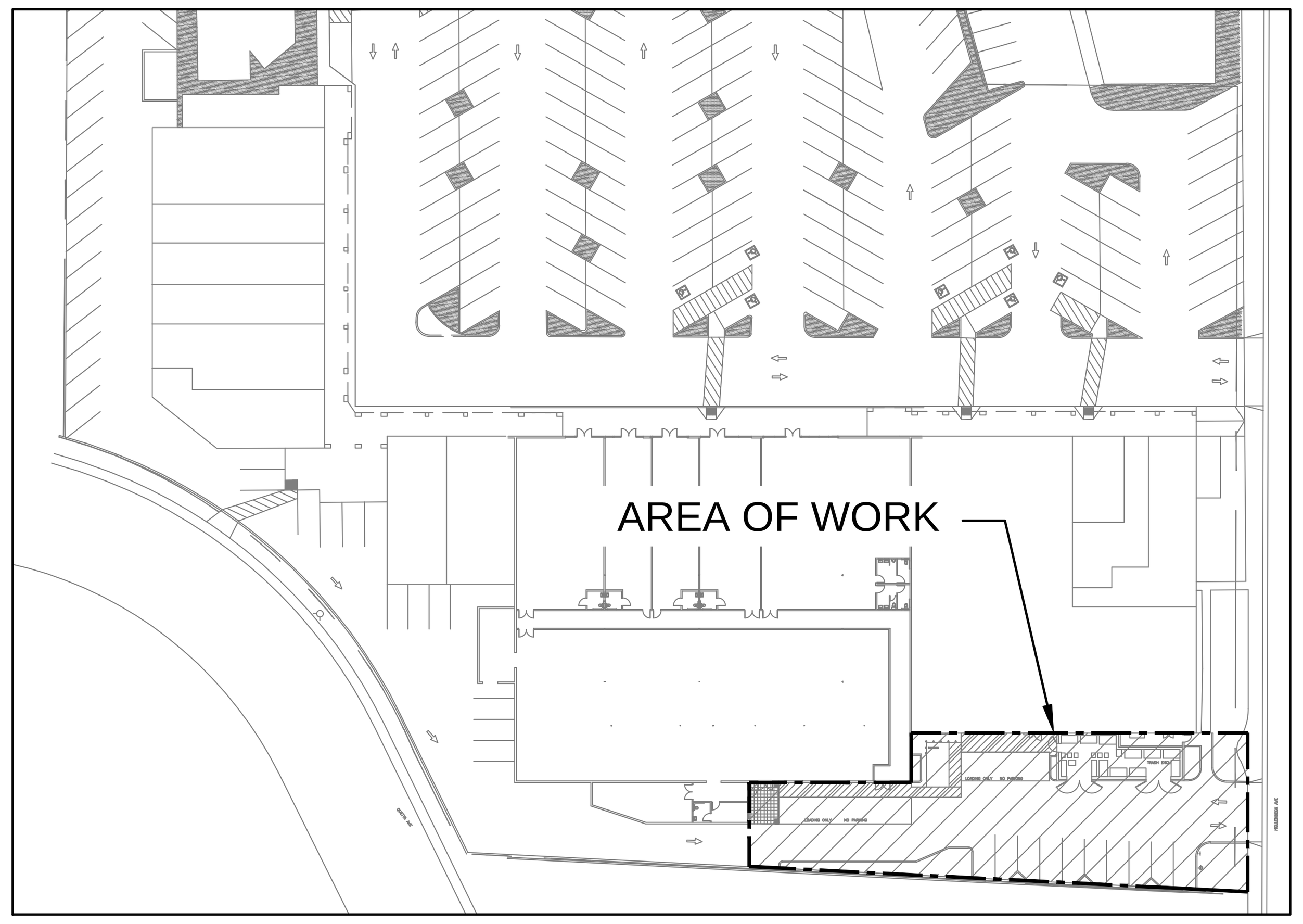
REVISIONS

DRAWN:JY	CHECKED:
DATE:	SCALE:AS NOTED
PROJECT NUMBER:	

SECTIONS

DRAWING NUMBER: A5.2

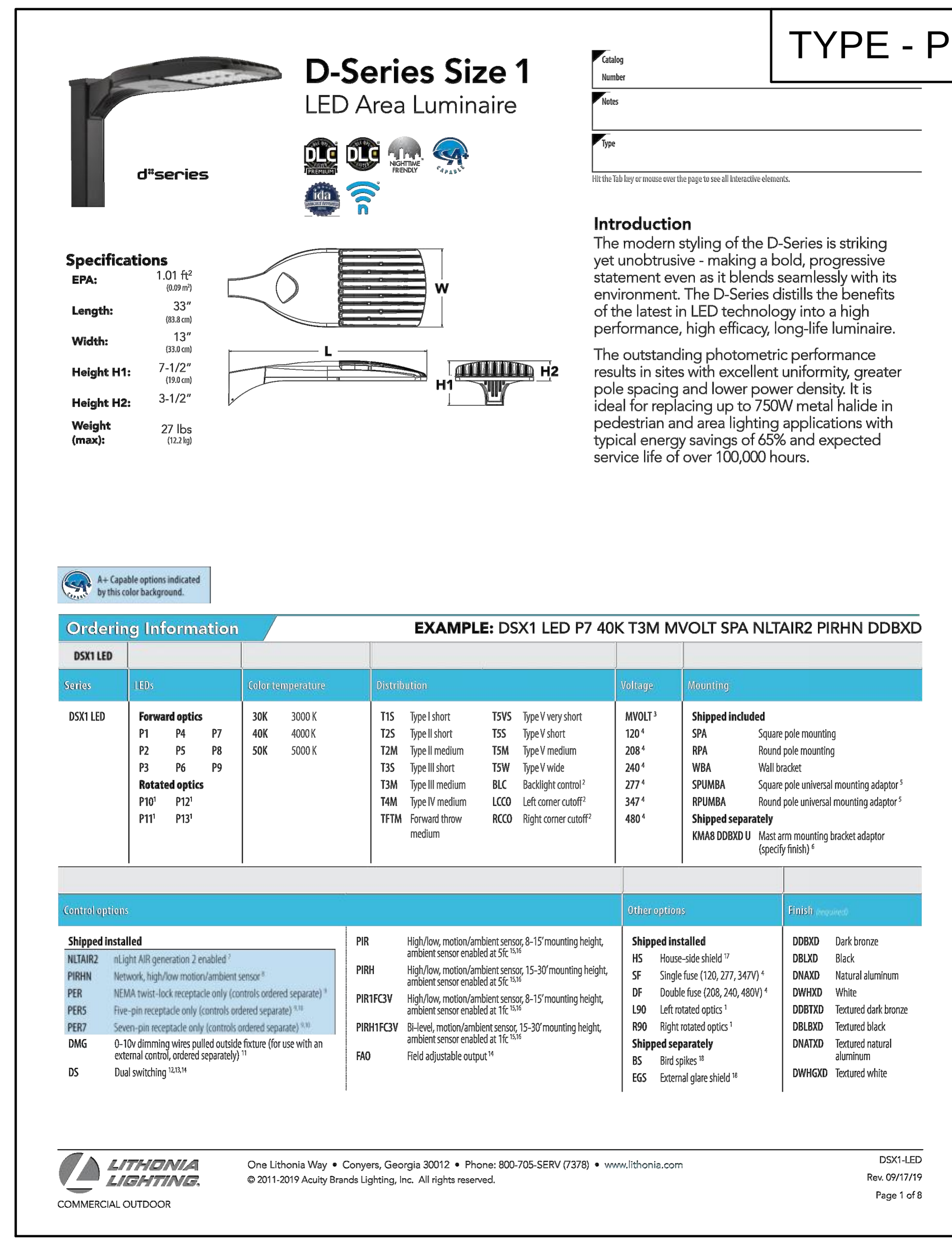
ATTACHMENT 5

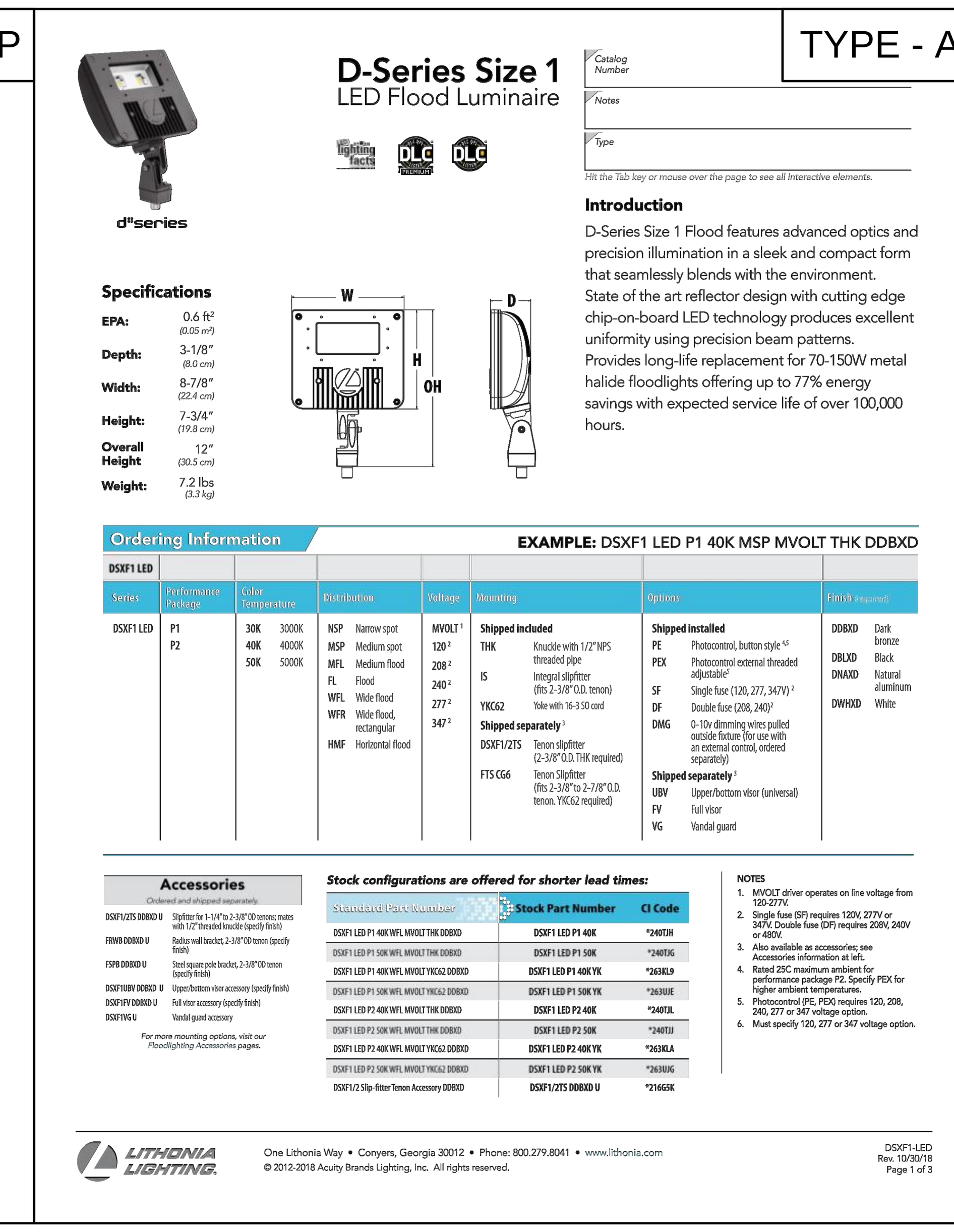


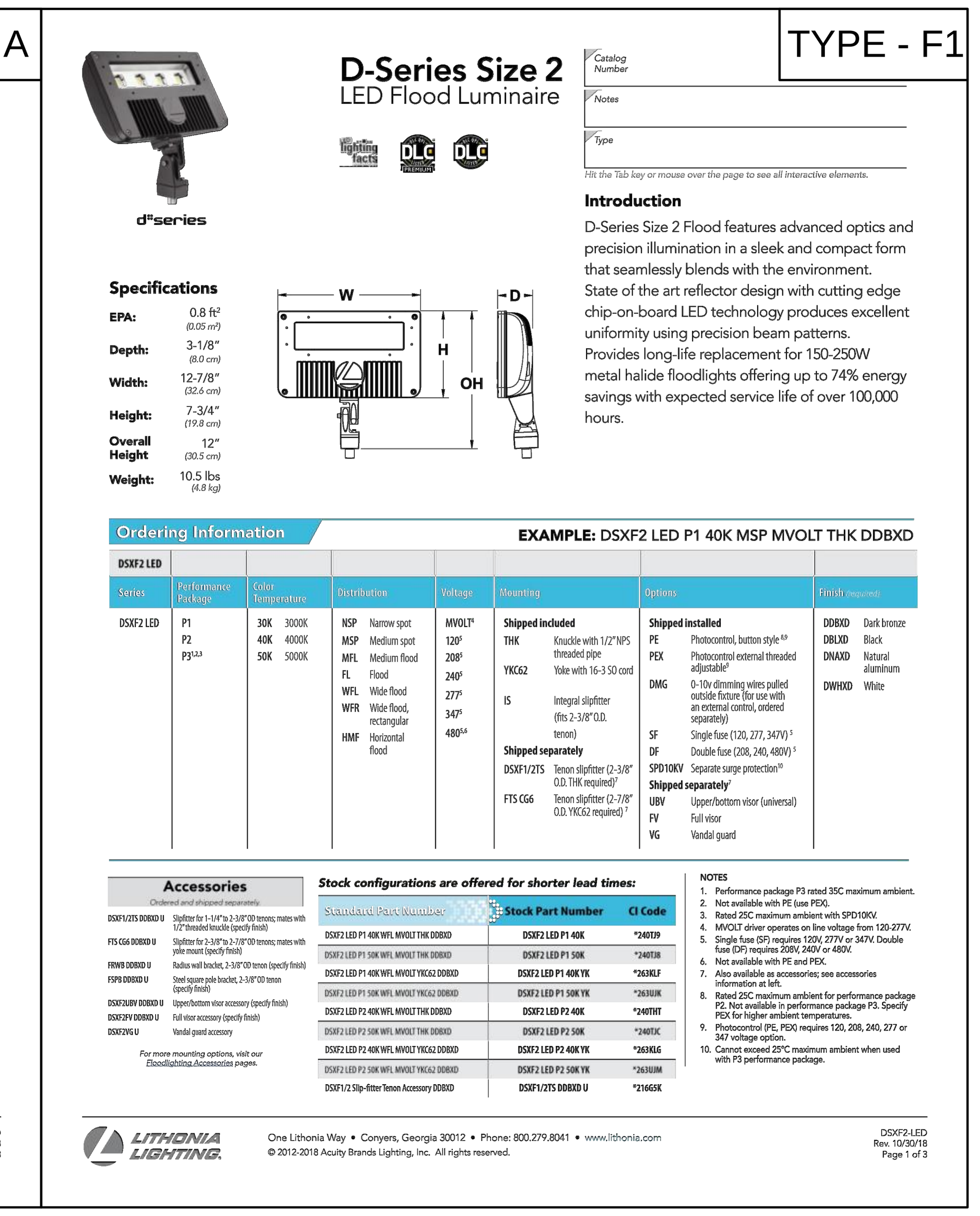
KEY PLAN

2 / E1.2

SCALE: 1/64"=1'-0"







Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	Arr. Watts
	2	Type A	SINGLE	DSXF1 LED P2 30K FL	42
	4	Type F1	SINGLE	DSXF2 LED P2 50K WFL	78
	2	Type P	SINGLE	DSX1 LED P1 50K BLC MVOLT	54

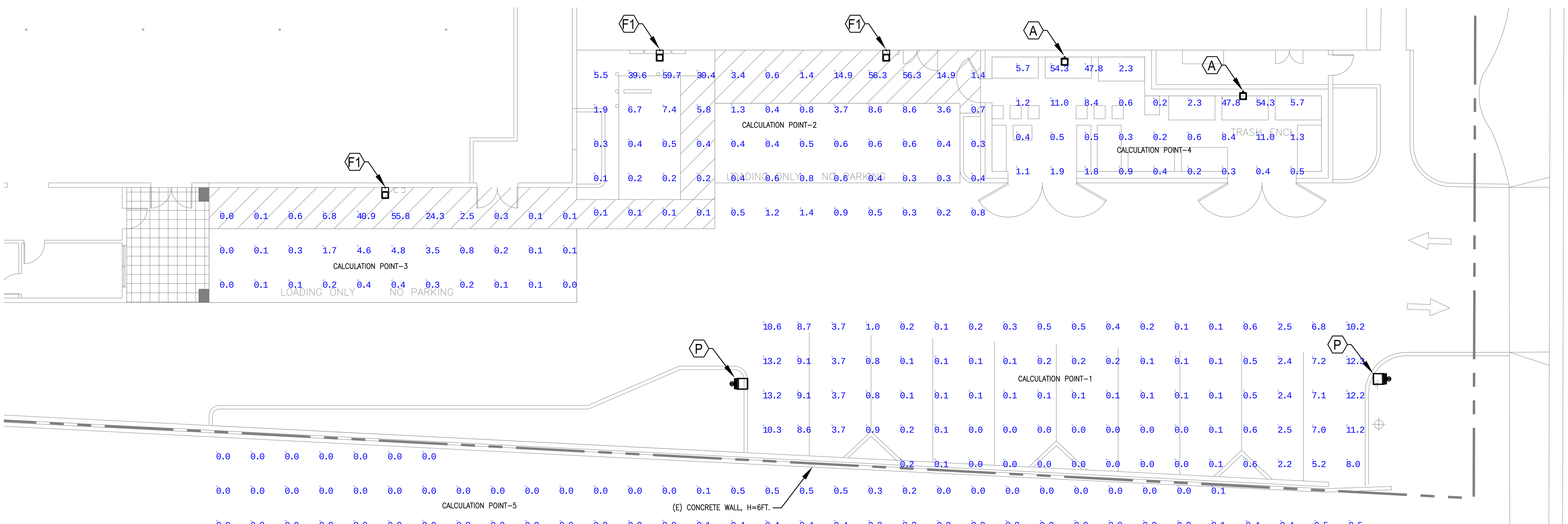
Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	2.43	13.2	0.0	N.A.	N.A.
CalcPts_2	Illuminance	Fc	5.83	59.7	0.1	58.30	597.00
CalcPts_3	Illuminance	Fc	4.53	55.8	0.0	N.A.	N.A.
CalcPts_4	Illuminance	Fc	8.78	54.3	0.2	43.90	271.50
CalcPts_5	Illuminance	Fc	0.12	0.5	0.0	N.A.	N.A.

GENERAL NOTES:

1. MR ENGINEERING, INC. DISCLAIMER:
CALCULATIONS ARE PERFORMED USING INDUSTRY-RECOGNIZED SOFTWARE, AND ARE PROVIDED FOR THE ESTIMATION PURPOSES ONLY. INPUT DATA FOR THE CALCULATIONS CORRESPONDS TO THE INFORMATION PROVIDED TO US (ASSUMPTIONS MAY BE MADE FOR INFORMATION THAT IS NOT PROVIDED). IT IS THE RESPONSIBILITY OF THOSE USING THIS SERVICE TO VERIFY THAT OUR INPUT DATA IS CONSISTENT WITH EXPECTED FIELD CONDITIONS. RESULTS OF THE LIGHTING CALCULATIONS ACCURATELY REFLECT THE INPUT DATA. HOWEVER, ACTUAL LIGHTING LEVELS WILL VARY DEPENDING ON FIELD CONDITIONS SUCH AS ROOM CHARACTERISTICS, TEMPERATURE, VOTLAGE, AND LAMP/BALLAST OUTPUT AND OTHER FACTORS. CALCULATIONS ARE ALSO SUBJECT TO THE LIMITATIONS OF THE SOFTWARE. DE TO THE ABOVE CONSIDERATIONS, MR ENGINEERING, INC CANNOT GUARANTEE THAT ACTUAL LIGHT LEVELS MEASURED IN THE FIELD WILL MATCH OUR INITIAL CALCULATIONS.

2. PHOTOMETRIC DATA USED AS INPUT FOR THERE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP, RATINGS. FIELD PERFORMANCE WILL DEPEND ON THE ACTUAL LAMP, BALLAST, ELECTRICAL AND SITE CHARACTERISTICS.



SITE PHOTOMETRIC PLAN - REAR PARKING AREA

1 / E1.2

SCALE: 1/8"=1'-0"

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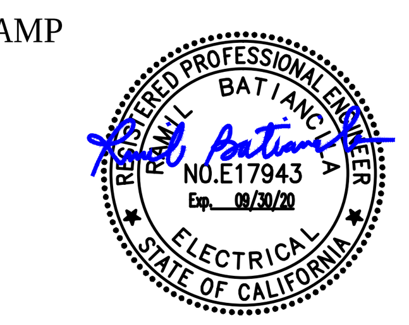
39210 State St. Ste. 106
Fremont, CA 94538
phone: (510) 449-4862
fax: (510) 509-2362
engineers@mrengcon.com
www.mrengcon.com
M+R ENGINEERING CONSULTANTS INC.

STAMP



NO	DATE	BY	DESCRIPTION
1			
2			

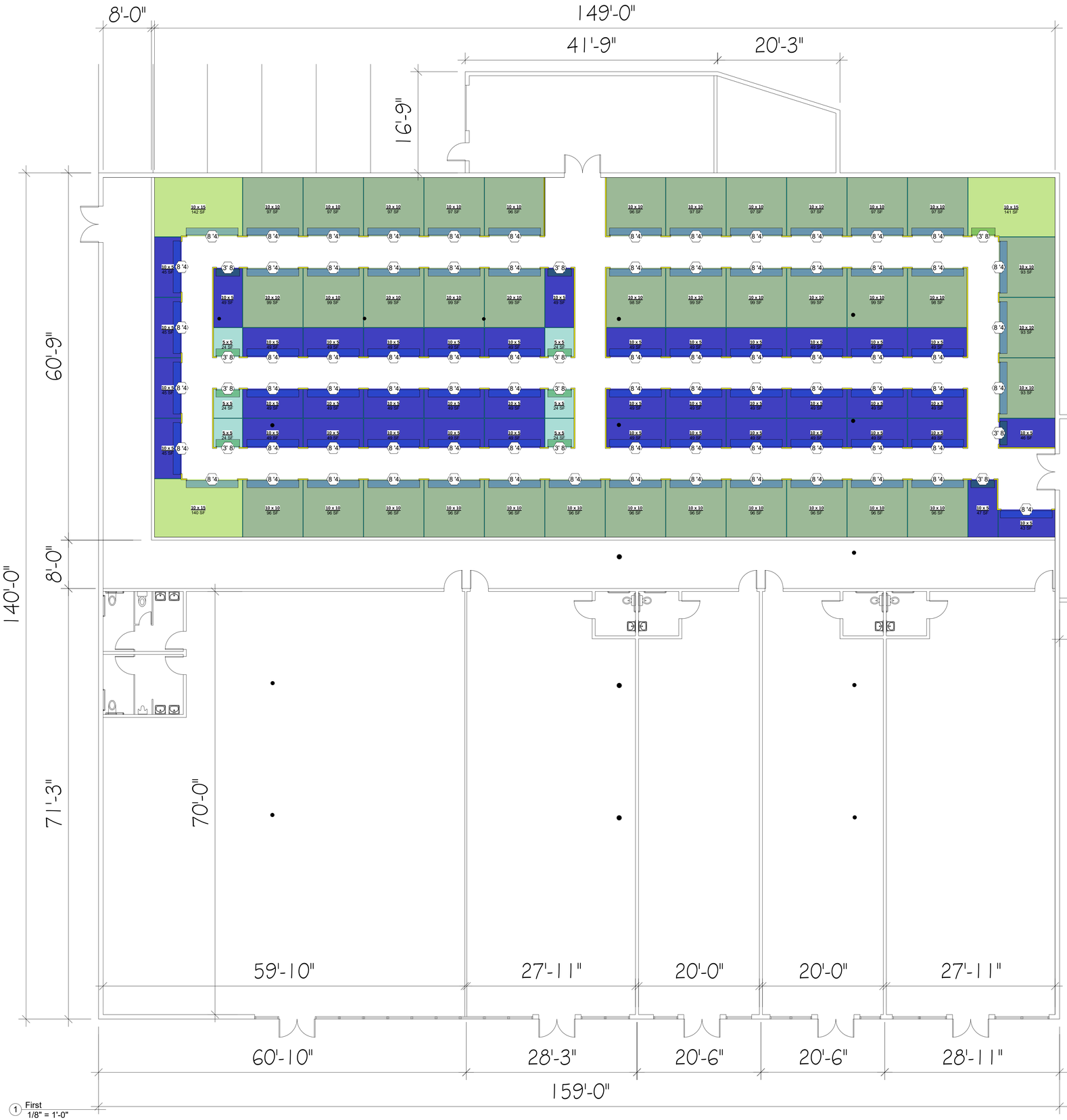
REVISIONS

DRAWN: WC	CHECKED: RA
DATE: 10.15.2019	SCALE: AS SHOWN
PROJECT NUMBER: A1903-AC333	

SITE PHOTOMETRIC PLAN - REAR PARKING AREA

DRAWING NUMBER: SP-01

ATTACHMENT 5



1 First
1/8" = 1'-0"

Total Unit Mix Schedule

Count	Name	Rent As	%
158	5 x 4 x 4	3950	64%
6	5 x 5	150	2%
42	10 x 5	2100	17%
37	10 x 10	3700	15%
3	10 x 15	450	1%
246		10350	100%

1st Unit Mix Schedule

Count	Name	Rent As	%
6	5 x 5	150	7%
42	10 x 5	2100	48%
37	10 x 10	3700	42%
3	10 x 15	450	3%
88		6400	100%

JANUS INTERNATIONAL
134 East Luke Road
Temple, Georgia 30179
(866) 562-2580 Toll-Free
(770) 562-0686
www.janusintl.com

NOTE TO CLIENT, CUSTOMER or OWNER
THIS PRELIMINARY UNIT MIX LAYOUT MAY NOT MEET SOME LOCAL OR NATIONAL BUILDING CODES. IT IS THE CUSTOMERS RESPONSIBILITY TO HAVE THE LAYOUT CHECKED BY A LICENSED ARCHITECT/ENGINEER TO VERIFY THAT IT MEETS ALL LOCAL CODES INCLUDING EGRESS. UNIT SIZES ARE NOMINAL AND ACTUAL DIMENSIONS MAY VARY DEPENDING ON BUILDING DIMENSIONS AND OBSTRUCTIONS.

Customer Sunnyvale Civic Square LLC

Proposed Self Storage

Project #

Rev #	Date

Drawn On 03.15.19
Drawn By B. Johnson
Checked By M. Hodges

J101

First Floor Unit Mix

ATTACHMENT 5

1 First Uppers
1/8" = 1'-0"

2nd Unit Mix Schedule			
Count	**Name**	**Rent As**	**%**
158	**5 x 4 x 4**	**3950**	**100%**
158		**3950**	**100%**

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134 East Luke Road
Temple, Georgia 30179
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Customer Sunnyvale Civic Square LLC

Proposed Self Storage

Project #

Rev #	Date

Drawn On 03.15.19
Drawn By B. Johnson
Checked By M. Hodges

J102

First Upper Unit Mix

GRADING NOTES

1. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASE OF THE PROJECT.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE CALIFORNIA MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
4. THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL PERMITS FROM AUTHORITIES AND REGULATORY AGENCIES HAVING JURISDICTION OVER THE SITE, AS REQUIRED, PRIOR TO BEGINNING WORK.
5. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
6. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL PLAN AND PERMIT.
7. MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING EARTH MOVING OPERATIONS.
   1. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION.
   2. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY OWNER OR AUTHORITIES HAVING JURISDICTION.
8. DO NOT CONDUCT WORK ON ADJOINING PROPERTY UNLESS DIRECTED BY ENGINEER.
9. DO NOT COMMENCE EARTH-MOVING OPERATIONS UNTIL TEMPORARY EROSION- AND SEDIMENTATION-CONTROL MEASURES ARE IN PLACE.
10. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTH MOVING OPERATION.
11. PROTECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROLS DURING EARTH MOVING OPERATIONS.
12. PROTECT SUBGRADES AND FOUNDATION SOILS FROM FREEZING TEMPERATURES AND FROST. REMOVE TEMPORARY PROTECTION BEFORE PLACING SUBSEQUENT MATERIALS.
13. EXCAVATE BY HAND TO INDICATED LINES, CROSS SECTIONS, ELEVATIONS, AND SUBGRADES. USE NARROW-TIME SPADING FORKS TO COMB SOIL AND EXPOSE ROOTS. DO NOT BREAK, TEAR, OR CHOP EXPOSED ROOTS. DO NOT USE MECHANICAL EQUIPMENT THAT RIPS, TEARS, OR PULLS ROOTS.
14. UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH COMPACTION REQUIREMENTS AND GRADE TO CROSS SECTIONS, LINES, AND ELEVATIONS INDICATED.
15. PROVIDE A SMOOTH TRANSITION BETWEEN ADJACENT EXISTING GRADES AND NEW GRADES.
16. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
17. PROPOSED FINISHED GRADE (ELEVATIONS) SHOWN HEREON ARE FINISHED PAVEMENT GRADES, NOT TOP OF CURB, UNLESS NOTED OTHERWISE.
18. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE OSHA REGULATIONS.

GRADING WORKS:

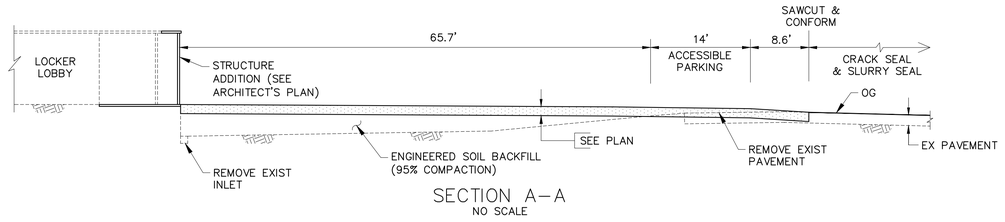
1. DEMOLISH EXISTING DEPRESSED LOADING DOCK & BACKFILL WITH SOIL AND PAVEMENT STRUCTURAL SECTION (SEE ARCHITECT'S PLAN FOR REMOVAL INFORMATION)
2. DIAGONALS STRIPING (SEE ARCHITECT'S PLAN)
3. ISA MARKING (SEE ARCHITECT'S PLAN)
4. CONCRETE WHEEL STOP (SEE ARCHITECT'S PLAN)
5. BOLLARD POSTS (SEE ARCHITECT'S PLAN)
6. AT ACCESSIBLE PARKING AND ACCESS AREA, SLOPE NOT TO EXCEED 2% IN ANY DIRECTION PER ADA STANDARDS. SEE ARCHITECT PLANS FOR STALL DIMENSIONS AND PARKING SIGN DETAILS.
7. VERTICAL CURB (SEE ARCHITECT'S PLAN)
8. REMOVE EXISTING ASPHALT/CONCRETE PAVEMENT AND BACKFILL WITH TOPSOIL (SEE LANDSCAPE'S PLAN)
9. EXISTING DRAINAGE INLET TO BE PROTECTED AND TO REMAIN IN PLACE
10. TRASH ENCLOSURE (SEE ARCHITECT'S PLAN)
11. PARKING STALL STRIPING (SEE ARCHITECT'S PLAN)
12. SEE OFFSITE IMPROVEMENT PLANS FOR SIDEWALK AND DRIVEWAY WORKS
13. NOT USED
14. REMOVE EXISTING MASONRY WALL
15. 10'x20' CONCRETE PAD (SEE ARCHITECT'S PLAN)

ABBREVIATIONS:

EXIST	EXISTING
FG	FINISHED GRADE
ISA	INTERNATIONAL SYMBOL OF ACCESSIBILITY
OG	ORIGINAL GROUND

LEGEND:

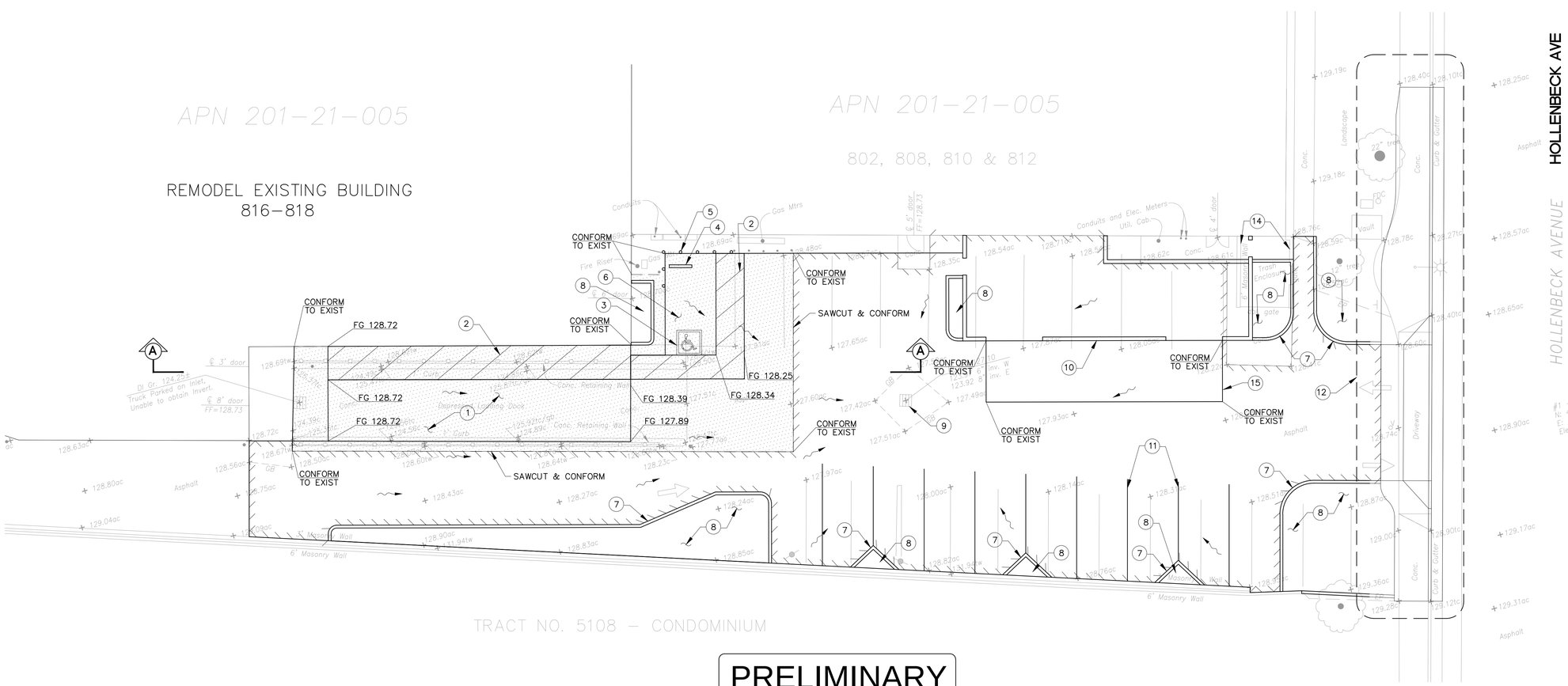
- PROPERTY LINE
- (1) GRADING WORKS REFERENCE NUMBER
- DRAINAGE FLOW DIRECTION
- PLACE 3.5" HMA (TYPE A) AND 12" AGGREGATE BASE
- CRACK SEAL AND SLURRY SEAL EXISTING PAVEMENT
- FG XXX.XX — SPOT ELEVATION



SECTION A-A
NO SCALE

Know what's below.
Call before you dig.

10 0 5 10
(IN FEET)
1 inch = 10 ft



PRELIMINARY

CIVIC SQUARE SHOPPING CENTER
RETAIL & STORAGE

816-818 WEST EL CAMINO REAL,
SUNNYVALE, CA 94087

REGISTERED PROFESSIONAL ENGINEER — No. 65491 Exp. 9-30-19 — CIVIL — STATE OF CALIFORNIA

Ryan C. LOH, PE

ADAPTIVE ARCHITECTURE
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RCL STRUCTURAL ENGINEERS, INC
P 408.463.6832
F 408.685.2038
info@rclse.com
570 E. El Camino Real Ste. D
Sunnyvale, CA 94087

NO	DATE	BY	DESCRIPTION
			REVISIONS

DRAWN:	CHECKED:
DATE: 09-13-19	SCALE:
PROJECT NUMBER: —	

GRADING & DRAINAGE PLAN

DRAWING NUMBER: C1.0

ATTACHMENT 5

UTILITY NOTES

1. UTILITY INFORMATION FROM PLANS AND MARKINGS WAS COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES SHOWN HEREIN.
2. CONTRACTOR SHALL PROTECT EXISTING UTILITIES NOT DEEMED FOR REMOVAL.
3. ALL UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, AND STANDARD DETAILS FROM CITY OF SUNNYVALE.
4. SEE THE PLUMPING PLANS FOR WATER, SANITARY SEWER, GREASE WASTE GAS LINE POINT OF CONNECTIONS TO BUILDING.
5. ALL UTILITY PIPE BEDDING SHALL BE CONSTRUCTED PER THE REQUIREMENTS OF THE CITY OF SUNNYVALE STANDARD DETAILS.
6. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE CITY. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT AND THE ENGINEER MUST BE NOTIFIED AT LEASE 48 HOURS PRIOR TO ANY WORK WITH THE PUBLIC RIGHT-OF-WAY, OR WORK IMPACTING PUBLIC UTILITIES.
7. 24 HOURS NOTICE SHALL BE GIVEN TO THE UTILITY COMPANIES, AND THE CITY OF SUNNYVALE, DEPARTMENT OF PUBLIC WORKS, BEFORE THE BEGINNING OF ANY OPERATION INVOLVING THEIR FACILITIES OR SYSTEMS.
8. THE CONTRACTOR SHALL FIELD ADJUST WATER SERVICE TO AVOID CONFLICTS WITH OTHER UTILITIES AS REQUIRED.
9. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND HAUL OFF FROM THE APPROPRIATE AUTHORITIES.
10. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE, INSTALLATION OF GAS METER.
11. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE INSTALLATION OF ELECTRICAL CONDUIT AND CONNECTION TO EXISTING POWER SOURCE.
12. CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
13. ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY CONTRACTOR.
14. COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
15. ALL WATER SERVICE SHALL BE PVC C900.
16. ALL SANITARY SEWER SERVICE SHALL BE VCP (EXTRA STRENGTH).
17. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
18. ALL ELECTRIC, TV CABLE AND TELEPHONE SERVICE LINES SHALL BE INSTALLED ACCORDING TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS AS APPLICABLE. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
19. ALL TRENCH BACKFILL TO BE COMPACTED TO A MINIMUM OF 95 PERCENT.
20. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE APPROPRIATE CALIFORNIA MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
21. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER LATERAL OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND DETERMINE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
22. THE INSTALLATION OF GREASE INTERCEPTOR SHALL CONFORM TO THE CURRENT VERSION OF CALIFORNIA PLUMBING CODE.

LEGEND:

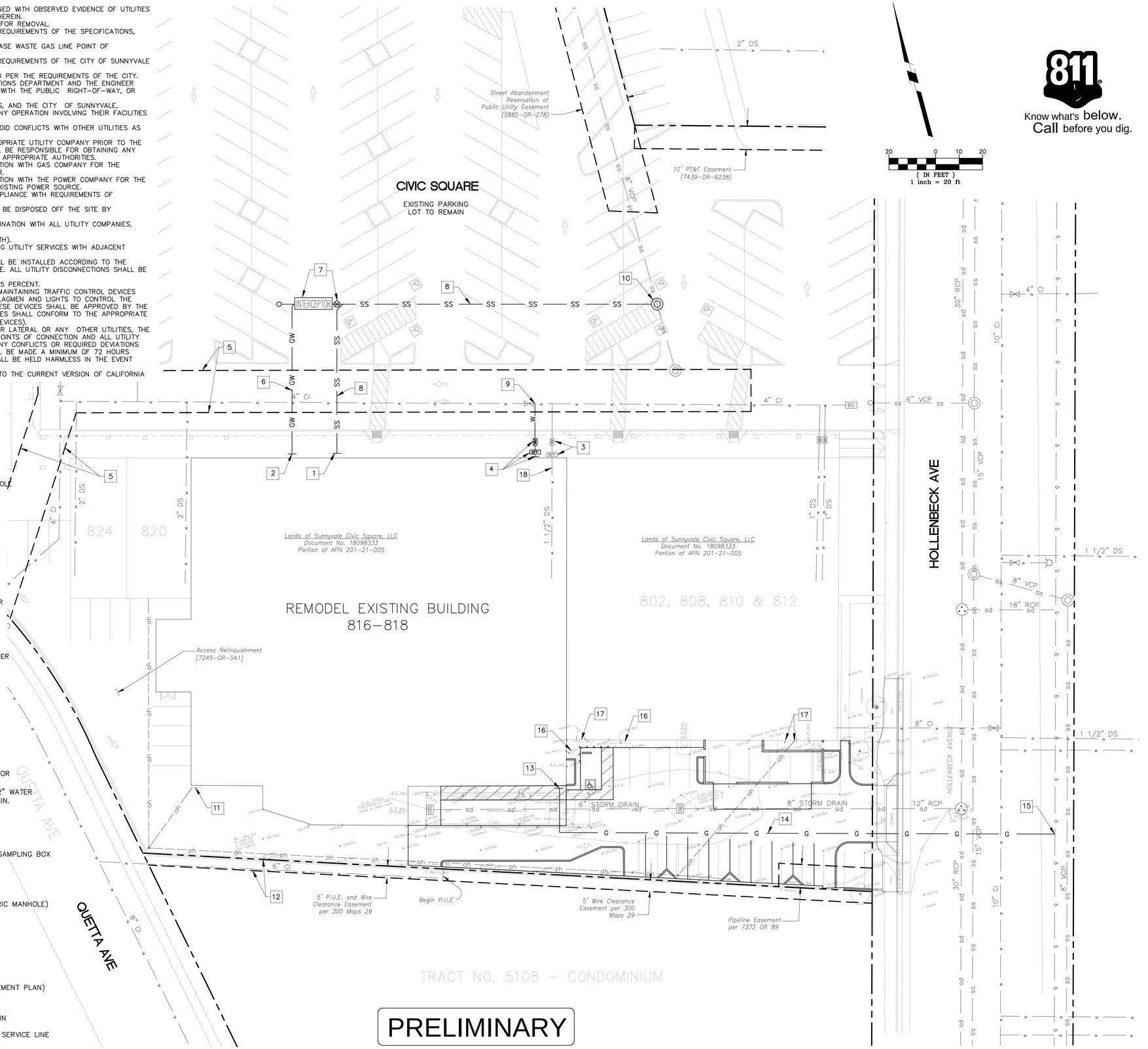
	PROPERTY LINE
	EASEMENT
w	EXISTING WATER LINE
sd	EXISTING STORM DRAIN
ss	EXISTING SANITARY SEWER
g	EXISTING GAS LINE
oh	EXISTING OVERHEAD LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING DRAINAGE INLET
	EXISTING CLEAN OUT
BO	EXISTING BLOW OFF VALVE
WM	EXISTING WATER METER
BFP	EXISTING BACKFLOW PREVENTOR
	PROPOSED CLEAN OUT
BFP	PROPOSED BACKFLOW PREVENTOR
	SAMPLING BOX
G	PROPOSED GAS SERVICE LINE
GW	PROPOSED GREASE WASTE
W	PROPOSED WATER LINE
1	UTILITY WORKS REFERENCE NUMBER

ABBREVIATIONS:

CI	CAST IRON
DS	DOMESTIC SERVICE
RCP	REINFORCED CONCRETE PIPE
SSMH	SANITARY SEWER MANHOLE
UPC	UNIFORM PLUMBING CODE

UTILITY WORKS:

1. SANITARY SEWER POINT OF CONNECTION
2. GREASE WASTE POINT OF CONNECTION
3. EXISTING 1-1/2" WATER METER & BACKFLOW PREVENTOR TO REMAIN AND TO BE PROTECTED IN PLACE
4. WATER SERVICE POINT OF CONNECTION, INSTALL 1-1/2" WATER METER, 2" SERVICE LINE C900 DR-14 (PVC) AT 30" MIN. DEPTH & BACKFLOW PREVENTOR
5. EXISTING 18' WATER MAIN EASEMENT
6. INSTALL 4" VCP GREASE WASTE
7. INSTALL GREASE INTERCEPTOR (PER UPC CODE) AND SAMPLING BOX
8. INSTALL 6" VCP SANITARY SEWER
9. "HOT TAP" TIE-IN TO EXISTING 4" WATER MAIN
10. INSTALL SSMH PER CITY DETAIL 1A (TYPE 1 CONCENTRIC MANHOLE) ON TOP OF EXISTING SEWER LINE
11. EXISTING POINT OF CONNECTION FOR ELETRIC, TV CABLE & TELEPHONE
12. 5' PUBLIC UTILITY AND WIRE CLEARANCE EASEMENTS
13. GAS SERVICE PIPE RISER AND POINT OF CONNECTION
14. INSTALL GAS SERVICE PIPE (1" MINIMUM)
15. TIE-IN TO EXISTING GAS MAIN (SEE OFF-SITE IMPROVEMENT PLAN)
16. EXISTING GAS METER TO REMAIN
17. EXISTING ELECTRIC CABINET AND METER BOX TO REMAIN
18. REPLACE EXISTING 1-1/2" SERVICE LINE WITH 2-1/2" SERVICE LINE



PRELIMINARY

811 Know what's below. Call before you dig.

CIVIC SQUARE SHOPPING CENTER RETAIL & STORAGE

816-818 WEST EL CAMINO REAL, SUNNYVALE, CA 94087

REGISTERED PROFESSIONAL ENGINEER — CHAN SIONG LOH — NO. 65491 Exp. 9-30-19 — CIVIL — STATE OF CALIFORNIA

Ryan C. LOH, PE

ADAPTIVE ARCHITECTURE
20111 STEVENS CREEK BLVD
SUITE 270
CUPERTINO, CA 95014
(408) 865-1089

RCL STRUCTURAL ENGINEERS, INC
P 408.463.6832
F 408.685.2038
info@rclse.com
570 E. El Camino Real Ste. D
Sunnyvale, CA 94087

NO	DATE	BY	DESCRIPTION
			REVISIONS

DRAWN:	CHECKED:
DATE: 09-13-19	SCALE:
PROJECT NUMBER: —	

UTILITY PLAN

DRAWING NUMBER: C2.0

EL CAMINO REAL

PATH OF OVERHANG

PATH OF REAR WHEEL

PATH OF FRONT WHEEL

EXISTING PARKING AISLE

EXISTING PARKING TO REMAIN

EXISTING PARKING TO REMAIN

RETAIL BLDG

RETAIL BLDG

844

842

840

836

834

832

828

826

CIVIC SQUARE SHOPPING CENTER
EXISTING PARKING LOT

HOLLENBECK AVE

HOLLENBECK AVE

PATH OF REAR WHEEL

PATH OF OVERHANG

PATH OF FRONT WHEEL

REMODEL EXISTING BUILDING

LOADING ZONE

QUETTA AVE

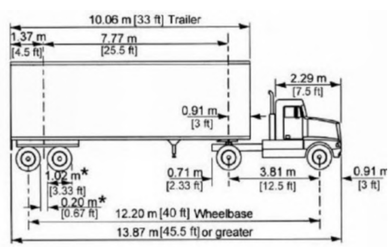
PATH OF OVERHANG

PATH OF FRONT WHEEL

PATH OF REAR WHEEL

SITE IMPROVEMENT LIMIT

DESIGN VEHICLE DIMENSIONS:



9-13-19
SCALE: 1"=30'

TURNING PATH FOR WB-40 VEHICLE

CIVIC SQUARE SHOPPING CENTER
RETAIL & STORAGE

816–818 WEST EL CAMINO REAL,
SUNNYVALE, CA 94087

REGISTERED PROFESSIONAL ENGINEER
No. 65491
Exp. 9-30-19
CIVIL
STATE OF CALIFORNIA

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Sunnyvale, CA 94087

NO	DATE	BY	DESCRIPTION
			REVISIONS

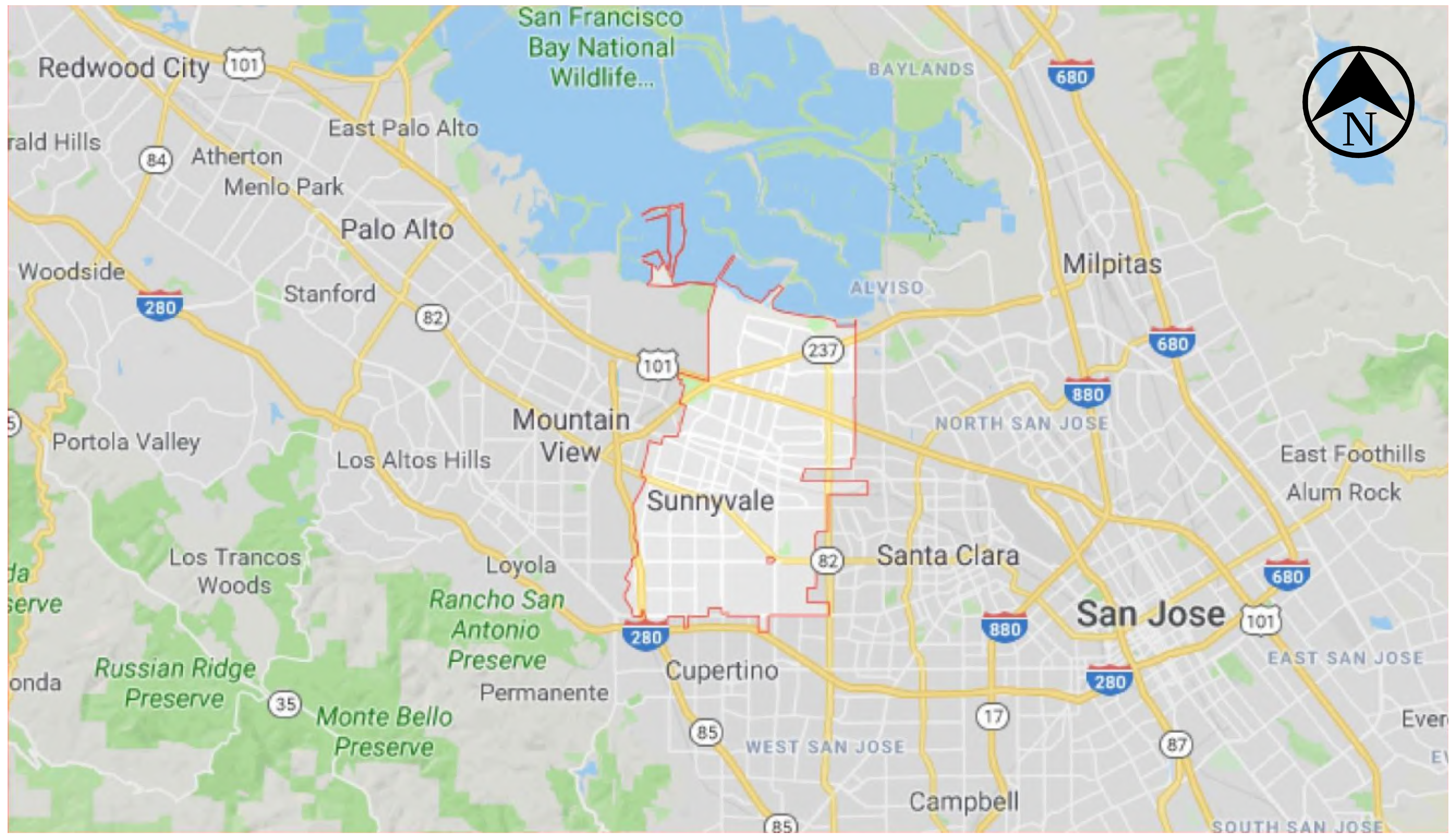
DRAWN:	CHECKED:
DATE: 08–18–19	SCALE:
PROJECT NUMBER: —	

TRUCK ACCESS PLAN

DRAWING NUMBER: C3.0

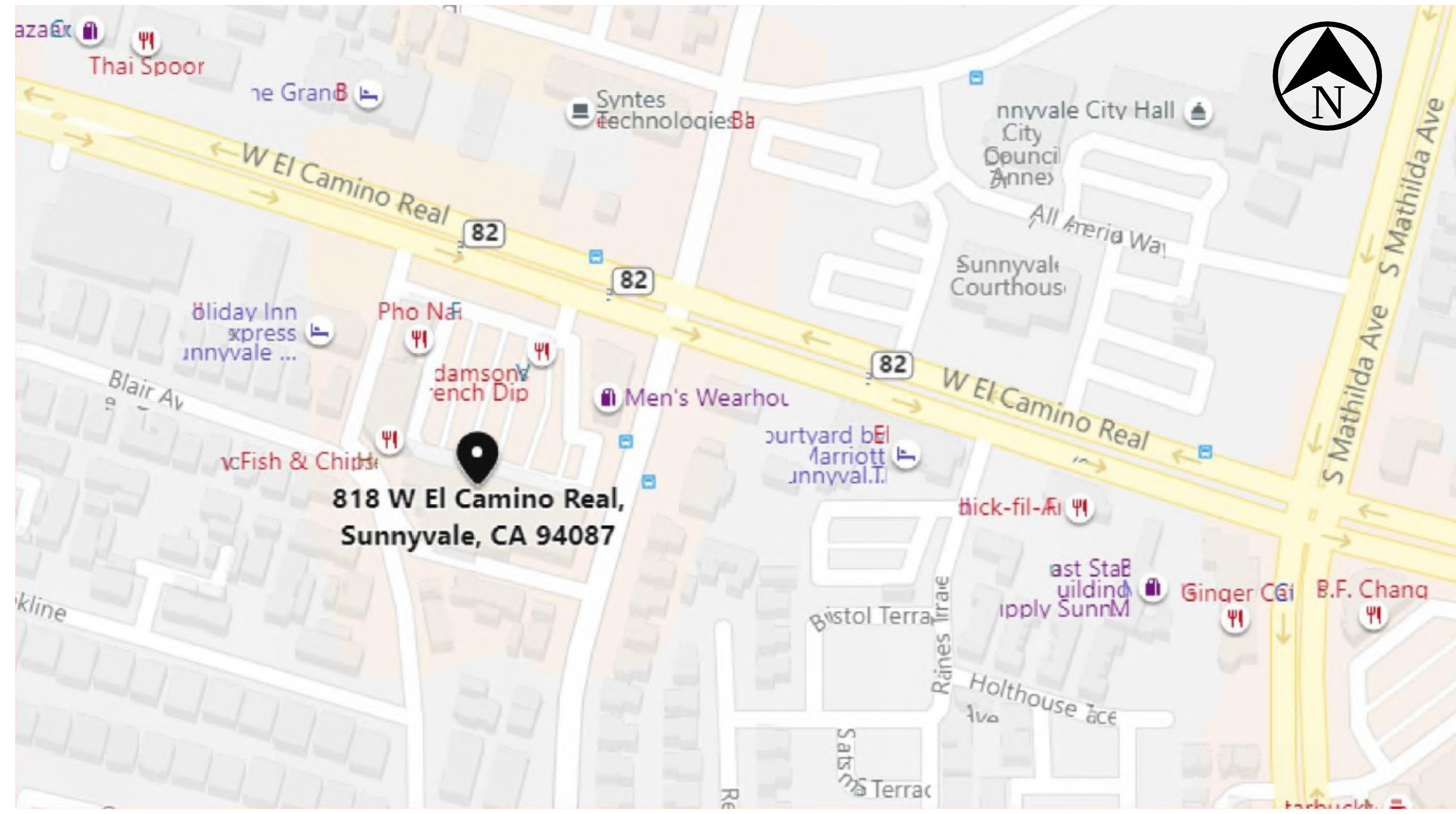
ATTACHMENT 5

OFF-SITE IMPROVEMENT PLANS
FOR
816 - 818 W EL CAMINO REAL
SUNNYVALE, CA 94087



VICINITY MAP

NOT TO SCALE



PROJECT LOCATION MAP

NOT TO SCALE

GENERAL NOTES:

1. CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY.
2. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) 1-800-227-2600 OR 811, 48 HOURS PRIOR TO START OF EXCAVATION OR DEMOLITION.
3. THE CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS INCLUDING THE PROJECT SPECIFICATIONS. THE PROJECT PLANS, AND DETAILS AND ALL OTHER TERMS AND CONDITIONS OF THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR 24 HOURS PRIOR TO REQUIRED INSPECTION.
5. IT SHALL BE THE CONTRACTOR RESPONSIBILITY TO IMMEDIATELY NOTIFY THE CITY INSPECTOR UPON DISCOVERY OF ANY FIELD CONFLICTS.
6. DUST CONTROL MEASURES, AS APPROVED BY THE ENGINEER, SHALL BE FOLLOWED AT ALL TIME DURING CONSTRUCTION OPERATIONS.
7. ANY DAMAGE TO THE EXISTING FACILITIES INCLUDING TREES, LANDSCAPING, IRRIGATION, FENCES, WALLS, SIDEWALK, EXISTING STRIPING, EXISTING GUARD RAILING AND OTHER PAVEMENT SURFACES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE UNLESS OTHERWISE NOTED ON THE PLANS.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND UTILITY STRUCTURES WITHIN, AND ADJACENT TO, CONSTRUCTION WORK AREAS TO BE TREATED. ANY DAMAGE TO UTILITIES OR UTILITY STRUCTURES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING/ REPLACING DAMAGED PAVEMENT RESULTING FROM CONSTRUCTION AND OPERATIONS.
10. LOCATIONS AND DEPTH OF UTILITY FACILITIES SHOWN ON PLANS ARE APPROXIMATE AND IT IS CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES WITH THE APPROPRIATE UTILITY AGENCIES AND EXISTING UTILITY FACILITIES SHALL BE POTHOLED AND VERIFIED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
11. TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ALL TRAFFIC CONTROL AND DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
12. THE CONTRACTOR SHALL PROVIDE FOR CONTINUOUS INGRESS AND EGRESS TO ALL PUBLIC AND PRIVATE PROPERTIES ADJACENT TO THE WORK THROUGHOUT THE PERIOD OF CONSTRUCTION UNLESS APPROVED BY THE ENGINEER.
13. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOB SITE. INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK, INCLUDING OUTSIDE OF NORMAL WORKING HOURS. EXCAVATIONS AND CONFINED SPACE ENTRIES SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF CAL/OSHA TITLE 8.
14. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE THE RIGHT OF WAY UNLESS SHOWN ON THE PLANS, OR AS DIRECTED BY THE ENGINEER.
15. THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE. AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOBSITE.
16. THE CONTRACTOR SHALL PROVIDE PROTECTION DEVICES INCLUDING BARRICADES, FENCING, WARNING SIGNS, LIGHTS, FLAGGERS OR OTHER ITEMS NECESSARY TO ENSURE PUBLIC SAFETY WITHIN THE PROJECT SITE. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

18. CONTRACTOR SHALL PRESERVE ALL SURVEY MARKERS AND MONUMENTATION. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER OF ANY EXISTING FEDERAL, STATE, COUNTY, AND PRIVATE LAND SURVEY MARKER REQUIRING RESETTING.
19. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES, PRIOR TO PERFORMING ANY WORK.
20. CONTRACTOR SHALL EXPOSE ALL POTENTIAL UTILITY CONFLICT CROSSINGS AS WELL AS CONNECTION POINTS TO EXISTING UTILITIES. HE SHALL COORDINATE WITH ENGINEER TO LOCATE AND VERIFY DEPTHS. ENGINEER SHALL THEN MAKE ANY REVISIONS TO HIS DESIGN PRIOR TO CONSTRUCTION. ALL REVISIONS MUST BE APPROVED BY THE CITY OF SUNNYVALE'S ENGINEERING DEPARTMENT.
21. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL PRIOR TO STARTING ANY WORK IN THE PUBLIC STREETS.
22. NO OPEN EXCAVATION SHALL BE LEFT UNSUPERVISED AT ANY TIME.
23. PRUNING OF TREE ROOTS & BRANCHES SHALL BE APPROVED IN ADVANCE AS DIRECTED BY THE CITY.
24. CONTRACTOR SHALL RESTORE ALL EXISTING PRIVATE AND PUBLIC IMPROVEMENTS TO THEIR EXSITING CONDITION OR BETTER. THIS INCLUDES, BUT IS NOT LIMITED TO ALL LANDSCAPING, IRRIGATION, DRIVEWAYS, AC PAVING, CONCRETE WORK AND UTILITIES UNLESS NOTED OR DIRECTED OTHERWISE BY THE CITY'S REPRESENTATIVE SMOOTH CONFORM TO EXISTING AC PAVEMENT.
25. ALL TRENCHING WITHIN THE DRIP LINE OR EXISTING TREES SHALL BE BY HAND DIGGING NOT TO DAMAGE ROOTS OVER 2 DIAMETER.
26. CONSTRUCTION OPERATIONS: NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS AUTHORIZED BY THE CONTRACTORS ARBORIST.
27. STORAGE: THE AREA UNDER THE DRIP LINE OF THE TREE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED.
28. THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.

DATUM NOTE:

1) HORIZONTAL DATUM IS ASSUMED. BEARINGS ARE BASED UPON THE MONUMENTED CENTERLINE OF HOLLENBECK AVENUE AS SHOWN ON THE MAP FOR TRACT NO. 5108, FILED FOR RECORD IN BOOK 300 OF MAPS, AT PAGES 29-32. SAID BEARING TAKEN AS NORTH 15°02'18 EAST.
2) VERTICAL DATUM IS BASED UPON CITY OF SUNNYVALE BENCHMARK NO. 70. ELEVATION TAKEN AS 123.91 (FORMER CITY DATUM) TO MATCH AN EXISTING TOPOGRAPHIC SURVEY PREPARED FOR THIS SITE IN 2007 BY OTHERS. (FOR REFERENCE, ADD 2.49 FEET TO ELEVATIONS SHOWN HEREON TO ACHEIVE THE CURRENT NAVD88 CITY DATUM).
3) CONTROL POINTS ARE SHOWN HEREON PERPETUATING THE PROJECT DATUMS.

SHEET INDEX:

PRELIMINARY

811 Know what's below. Call before you dig.

OFFSITE IMPROVEMENT PLAN FOR

816-818 WEST EL CAMINO REAL, SUNNYVALE, CA 94087

REGISTERED PROFESSIONAL ENGINEER CHAN SIONG LOH NO. 65491 Exp. 9-30-19 CIVIL STATE OF CALIFORNIA

Ryan C. LOH, PE

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Sunnyvale, CA 94087
RCL STRUCTURAL ENGINEERS, INC

NO	DATE	BY	DESCRIPTION
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△			
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△			

REVISIONS

DRAWN:	CHECKED:
DATE: 09-13-19	SCALE:
PROJECT NUMBER: -	

TITLE SHEET

SHEET 1 OF 3

CITY STANDARD NOTES

1. OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS DEPARTMENT FOR ALL OFF-SITE IMPROVEMENTS SHOWN ON THIS PLAN. SEE WEB-SITE LINK HEREIN FOR PERMIT APPLICATION DETAILS. HTTP://SUNNYVALE.CA.GOV/CIVICAX/FILEBANK/BLOBDLOAD.ASPX?BLOBID=23558
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CALTRANS STANDARD DETAILS AND SPECIFICATIONS, CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CA MUTCD) AND THE CITY'S LATEST STANDARD DETAILS AND SPECIFICATIONS, DESIGN STANDARDS AND, DESIGN AND CONSTRUCTION GUIDELINES, UNLESS OTHERWISE APPROVED BY THE CITY. SEE WEB-SITE LINK HEREIN. HTTP://SUNNYVALE.CA.GOV/BUSINESS/PLANNING/PERMIT/STANDARDS.HTM
3. NOTIFY CITY PUBLIC WORKS INSPECTOR AT (408) 730-7415 BEFORE 4 PM A MINIMUM OF 24 HOURS IN ADVANCE OF STARTING WORK AND FOR EACH INSPECTION REQUEST, INCLUDING THE FINAL INSPECTION. STREET LIGHT & TRAFFIC SIGNAL INSPECTION SHALL REQUIRE A MINIMUM OF 72 HOURS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE AGENCIES.
5. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 OR 811 AT LEAST 48 HOURS PRIOR TO STARTING WORK. CONTRACTOR SHALL RETAIN DOCUMENTATION TO VERIFY USA CONTACT.
6. TRAFFIC CONTROL SHALL BE PER CITY-APPROVED TRAFFIC CONTROL PLAN. SHORT TERM AND/OR LONG TERM TRAFFIC CONTROL PLANS ARE REQUIRED TO BE SUBMITTED AND APPROVED BY THE DIVISION OF TRANSPORTATION AND TRAFFIC PRIOR TO THE START OF ANY WORK IMPACTING THE PUBLIC RIGHT-OF-WAY. TRAFFIC CONTROL PLANS SHALL BE SUBMITTED AT THE SAME TIME AS THE ENCROACHMENT PERMIT APPLICATION. TRAFFIC CONTROL PLANS MUST BE PREPARED AND STAMPED BY PERSON TRAINED/CERTIFIED TO PREPARE TRAFFIC CONTROL PLANS AND TO COMPLY WITH CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CALIFORNIA MUTCD), LATEST EDITION A COMPLETED TRAFFIC CONTROL CHECK LIST SHALL ALSO BE SUBMITTED WITH THE ENCROACHMENT PERMIT APPLICATION.
7. APPROVAL OF PLANS DOES NOT RELIEVE THE CONTRACTOR/OWNER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS OR OMISSIONS.
8. CONTRACTOR SHALL KEEP UP-TO-DATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT LOCATION, SIZES, MATERIALS AND EQUIPMENT. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS (AS-BUILTS) SHALL BE SUBMITTED TO THE CITY PUBLIC WORKS INSPECTOR PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY.
9. CONTRACTOR SHALL COORDINATE UTILITY INFORMATION SHOWN ON THE PLANS WITH UTILITY OWNERS, INCLUDING BUT NOT LIMITED TO PG&E, WATER, CABLE, TELEPHONE AND/OR JOINT TRENCH FACILITIES, FOR LAYOUT AND DETAILS OF INSTALLATION, RELOCATION, ADJUSTMENT AND ABANDONMENT.
10. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK.
11. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND SERVICE LATERALS FROM DAMAGE DUE TO CONTRACTOR'S OPERATIONS. ANY AND ALL UTILITY SERVICE LATERALS THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE CITY PUBLIC WORKS INSPECTOR.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO POTHOLE AND/OR UNCOVER AND EXPOSE EXISTING UTILITIES AT CROSSING LOCATIONS. BACKFILL, COMPACTION, AND PAVEMENT REPAIR OF POTHOLED LOCATIONS SHALL BE DONE TO THE SATISFACTION OF THE CITY PUBLIC WORKS INSPECTOR.
13. THE EXISTING UTILITIES CROSSING THE NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSINGS (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN.
14. CONTRACTOR SHALL MAINTAIN A MINIMUM 12 INCH VERTICAL AND 4 FEET HORIZONTAL CLEARANCE TO OTHER EXISTING UTILITIES. FIVE FEET HORIZONTAL CLEARANCE MUST BE MAINTAINED WHEN WORKING NEAR NATURAL GAS LINES. WHERE 12 INCH VERTICAL MINIMUM CLEARANCES CANNOT BE MAINTAINED, USE THE FOLLOWING:
    - A. INSTALL CONCRETE SADDLE EITHER ON THE UPPER OR LOWER PIPE IN ACCORDANCE WITH APPLICABLE STANDARD DETAILS AND AS APPROVED BY THE CITY; AND
    - B. PLACE NEW PIPELINE JOINTS AT A MINIMUM 5 FEET FROM THE CENTERLINE OF THE EXISTING PIPE. THE TWO JOINTS ON EITHER SIDE OF NEW PIPELINE ARE TO BE RESTRAINED. THIS METHOD APPLIES TO THE NEW PIPELINE CROSSING BELOW AN EXISTING WATER LINE OR ABOVE AN EXISTING SEWER; AND/OR
    - C. PLACE NEW PIPELINE JOINTS AT A MINIMUM 9 FEET FROM THE CENTERLINE OF THE EXISTING PIPE. THE TWO JOINTS ON EITHER SIDE OF NEW PIPELINE ARE TO BE RESTRAINED. THIS METHOD APPLIES TO THE NEW PIPELINE CROSSING ABOVE AN EXISTING WATER LINE OR BELOW AN EXISTING SEWER.
    - D. BLANKET PROTECTION FOR PIPES OR ENCASEMENT FOR PIPES MAY BE REQUIRED AS DIRECTED AND APPROVED BY THE CITY ENGINEER.
15. ALL EXISTING UTILITY VAULTS AND/OR PULL BOXES THAT ARE LOOSE AND/OR BROKEN SHALL BE RE-SECURED AND/OR REPLACED TO THE CITY PUBLIC WORKS INSPECTOR'S SATISFACTION. ALL EXISTING AND NEW UTILITY STRUCTURES SHALL BE ADJUSTED TO FINISH GRADE.
16. VEHICLE AND PEDESTRIAN ACCESS IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS MUST BE PROVIDED AT ALL TIMES TO ALL ABUTTING PROPERTIES, EXCEPT AS APPROVED BY THE CITY PUBLIC WORKS INSPECTOR. 48 HOURS WRITTEN NOTICE MUST BE GIVEN TO THE AFFECTED PROPERTY OWNER(S) WHEN ACCESS IS AFFECTED.
17. TRENCHES DEEMED BY THE INSPECTOR TO BE CORRECTLY BACKFILLED BUT NOT PERMANENTLY PAVED MAY BE TEMPORARILY PAVED WITH CUTBACK ASPHALT UNTIL THE NEXT WORKING DAY. TRENCHES DEEMED BY THE INSPECTOR TO BE CORRECTLY BACKFILLED BUT NOT PERMANENTLY PAVED MAY BE TEMPORARILY PAVED WITH HIGH-PERFORMANCE PATCHING MATERIAL UNTIL PERMANENT PAVING IS INSTALLED. DUE TO THE INSTABILITY OF CUTBACK ASPHALT, IT IS NOT ALLOWED AS INTERIM PAVING WHILE WAITING FOR PERMANENT PAVING UNLESS PERMANENT PAVING IS DONE THE FOLLOWING WORKDAY.
18. ALL PAVING – TEMPORARY OR PERMANENT – MUST INSTALLED IN A MANNER THAT PROVIDES AN ACCEPTABLE SAFE PASSAGEWAY FOR TRAFFIC AND PEDESTRIANS (INCLUDING ADA). ASPHALT CONCRETE SHALL CONFORM TO SECTION 203 OF THE CITY STANDARD DETAILS. ASPHALT CONCRETE SHALL NOT BE PLACED WHEN THE ATMOSPHERIC TEMPERATURE IS BELOW 10°C (50°F) AND FALLING OR DURING UNSUITABLE WEATHER, AS DETERMINED BY THE INSPECTOR.
19. CONTRACTOR SHALL HOT-APPLY CRACK SEAL EMULSION TO ALL CRACKS IN PAVEMENT PRIOR TO ANY SLURRY SEAL APPLICATION.
20. STEEL PLATES MAY BE USED PER THE CITY PUBLIC WORKS INSPECTOR'S APPROVAL AND WHEN IN COMPLIANCE WITH CALTRANS SPECIFICATION TR-0157, WHICH ADDRESSES REQUIRED PLATE THICKNESS, EDGING DESIGN, PLACEMENT, AND ANTI-SKID SURFACING.
21. TRENCH BACKFILL: TYPICAL TRENCH BACKFILL SHALL BE PER APPLICABLE CITY STANDARD NUMBERS 16A-1, 16A-2, 16A-3, 16A-4, 16A-5, AND 16A-6. FOR CDF OR CLSM, THE 28-DAY COMPRESSIVE STRENGTH SHALL BE A MINIMUM OF 50 PSI AND A MAXIMUM OF 100 PSI TYPICAL TRENCH BACKFILL FOR WATER SHALL BE SAND 6" BELOW THE PIPE UP TO THE SPRING LINE OF THE PIPE FOR BEDDING. CLASS 2 AB SHALL USED FOR THE REMAINDER. CLASS 2 AB TO BE DAMPENED AND COMPACTED WITH A RAMMER OR VIBRATION PLATE TO 95% COMPACTION EVERY 12" LIFT.
22. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REPAIRS TO TRENCHES AND PAVEMENT FOR A ONE-YEAR WARRANTY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE CITY. ONE YEAR AFTER ACCEPTANCE, THE CITY WILL MAKE A FINAL INSPECTION. IF REPAIRS HAVE TO BE MADE, THE CONTRACTOR OR DEVELOPER WILL BE NOTIFIED TO MAKE REPAIRS.
23. GRADE BREAKS ON CURBS AND SIDEWALKS TO BE ROUNDED OFF (WHILE CONCRETE FINISHING WORK IS IN PROGRESS) IN FORM WORK AND FINISHED SURFACING.
24. CONTRACTOR SHALL REPLACE EXISTING CURB MARKINGS AND PAINT (OR THERMOPLASTIC) AFTER INSTALLATION OF NEW CURB AND GUTTER. CONTRACTOR SHALL REPLACE EXISTING TRAFFIC STRIPING/LEGENDS AND DETECTOR LOOPS THAT ARE DISTURBED BY CONSTRUCTION OPERATIONS TO THE CITY INSPECTOR'S SATISFACTION. ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC MATERIAL. CAT TRACKING MUST BE APPROVED BY THE CITY TRANSPORTATION ENGINEER PRIOR TO FINAL INSTALLATION OF THE STRIPING. 72 BUSINESS-HOURS ADVANCE NOTICE IS REQUIRED FOR TRAFFIC INSPECTIONS. INSPECTION SHALL BE COORDINATED THROUGH THE PUBLIC WORKS INSPECTOR.
25. CONTRACTOR IS REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ALL CONSTRUCTION MATERIALS, EQUIPMENT, STORAGE, STOCKPILING, AND STAGING MUST BE DONE ON-SITE AND THE PUBLIC RIGHT-OF-WAY/STREET MUST BE KEPT CLEAR AND FREE OF DEBRIS.
26. THE CONTRACTOR SHALL PROVIDE 24-HOUR/7-DAY CONTACT INFORMATION TO THE CITY INSPECTOR.
27. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE STATE OF CALIFORNIA BEST MANAGEMENT PRACTICES HANDBOOK FOR APPLICABLE STORM WATER RUNOFF CONTROL MEASURES AND EMPLOY ITS PROVISIONS THROUGHOUT ALL CONSTRUCTION.
28. CONTRACTOR SHALL STENCIL ALL NEW OR REPAIRED CATCH BASINS AND STORM DRAIN INLETS WITH THE NON-POINT-SOURCE "NO DUMPING" MESSAGE AS SHOWN ON THE CITY-APPROVED PLANS. THE STENCIL IS AVAILABLE FROM THE CITY'S ENVIRONMENTAL SERVICES DEPARTMENT AT (408) 730-7260.
29. ALL UNDERGROUND SERVICE ALERT (USA) MARKINGS ON CONCRETE AND ASPHALTIC PAVEMENT OR OTHER STRUCTURES SHALL BE REMOVED WHEN THEY ARE NO LONGER REQUIRED. ACCEPTABLE MEANS OF REMOVAL INCLUDE SAND BLASTING OR HIGH PRESSURE WATER BLASTING.

CONSTRUCTION NOTES:

1. REMOVE EXISTING DRIVEWAY
2. CONSTRUCT 24' WIDE DRIVEWAY APPROACH PER CITY DETAIL 6C-1
3. SAWCUT & CONFORM
4. EXISTING ELECTROLIER TO REMAIN & TO BE PROTECTED IN PLACE
5. CONSTRUCT 6' WIDE SIDEWALK PER CITY DETAIL 9C AND CURB & GUTTER PER CITY DETAIL 15C (TYPE II CURB 24" GUTTER PAN)
6. REMOVE EXISTING SIDEWALK AND CURB & GUTTER
7. EXISTING UTILITY BOXES AND RISER TO REMAIN & TO BE PROTECTED IN PLACE
8. EXISTING TREES TO REMAIN & TO BE PROTECTED IN PLACE & REFER TO CITY DETAIL 9C-5A FOR SIDEWALK INSTALLATION NEXT TO EXISTING TREE
9. RELOCATE EXISTING SIGN
10. GAS SERVICE PIPE (BY PG&E)
11. TIE-IN TO EXISTING GAS MAIN (BY PG&E)
12. CONSTRUCT VERTICAL CURB PER CITY DETAIL 15C (TYPE I-6)
13. REMOVE EXISTING PAVEMENT
14. REMOVE EXISTING TREE, STUMP AND ROOTS.
15. REMOVE EXISTING YELLOW CURB PAINT (LENGTH = 51'±)

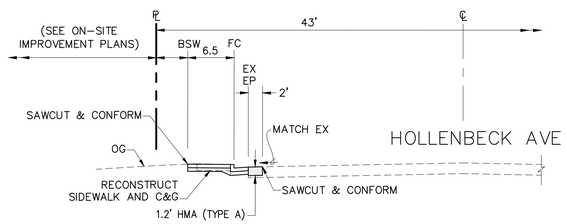
LEGEND:

	PROPERTY LINE
	EASEMENT
w	EXISTING WATER LINE
sd	EXISTING STORM DRAIN
ss	EXISTING SANITARY SEWER
g	EXISTING GAS LINE
oh	EXISTING OVERHEAD LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING DRAINAGE INLET
	EXISTING CLEAN OUT
BO	EXISTING BLOW OFF VALVE
WM	EXISTING WATER METER
RP	EXISTING BACKFLOW PREVENTOR
	PROPOSED CLEAN OUT
RP	PROPOSED BACKFLOW PREVENTOR
	SAMPLING BOX
G	PROPOSED GAS SERVICE LINE
GW	PROPOSED GREASE WASTE
W	PROPOSED WATER LINE
1	CONSTRUCTION REFERENCE NUMBER
FL XXX.XX	SPOT ELEVATION

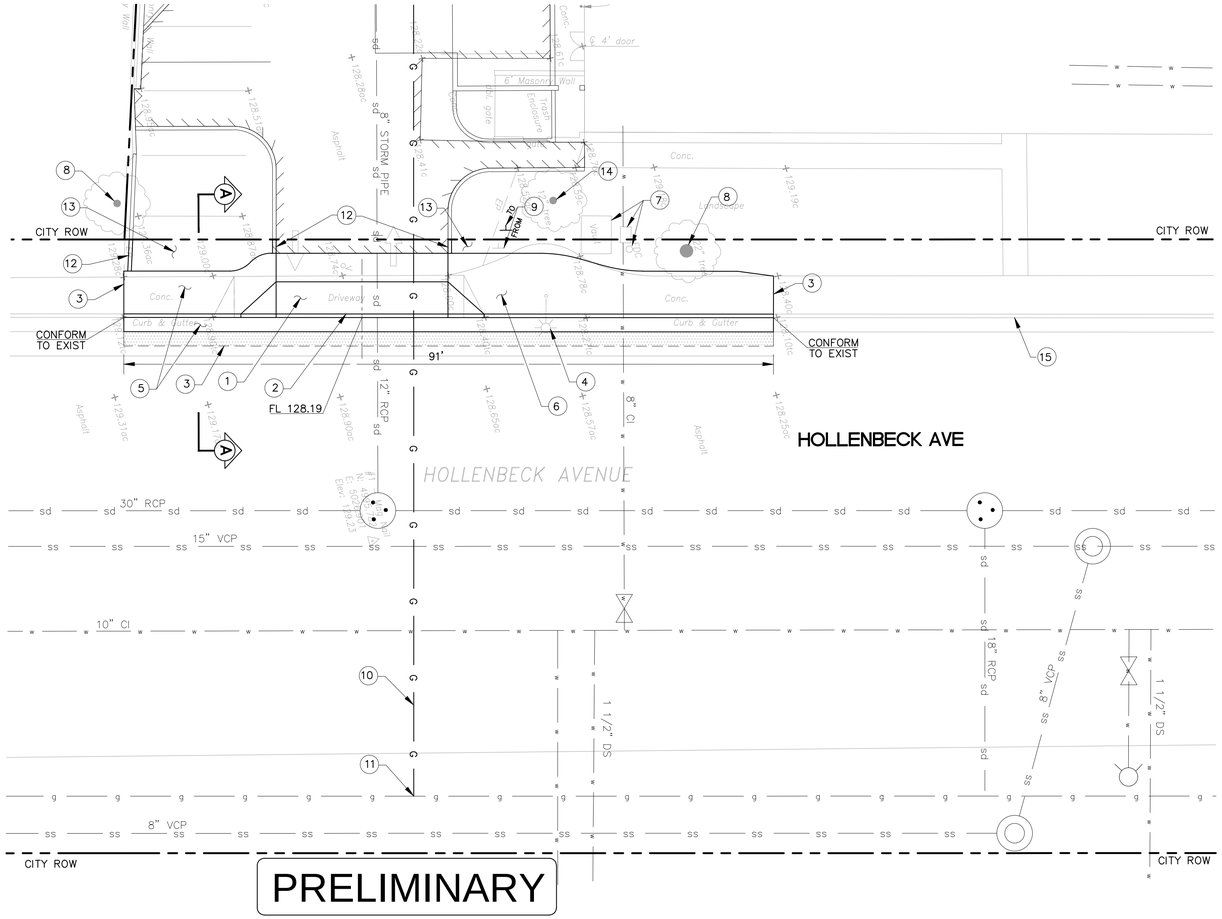
811 Know what's below. Call before you dig.

ABBREVIATIONS:

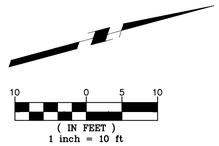
BSW	BACK OF SIDEWALK
CI	CAST IRON
DS	DOMESTIC SERVICE
EP	EDGE OF PAVEMENT
EXIST/EX	EXISTING
FC	FACE OF CURB
FG	FINISHED GRADE
FL	FLOW LINE
HMA	HOT MIX ASPHALT
ISA	INTERNATIONAL SYMBOL OF ACCESSIBILITY
OG	ORIGINAL GROUND
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT OF WAY



SECTION A-A
NO SCALE



PRELIMINARY



OFFSITE IMPROVEMENT PLAN FOR 816-818 WEST EL CAMINO REAL, SUNNYVALE, CA 94087

REGISTERED PROFESSIONAL ENGINEER — GIAN SIONG LOH — NO. 65491 Exp. 9-30-19 — CIVIL — STATE OF CALIFORNIA

Ryan C. LOH, PE

ADAPTIVE ARCHITECTURE
20111 STEVENS CREEK BLVD
SUITE 270
CUPERTINO, CA 95014
(408) 865-1089

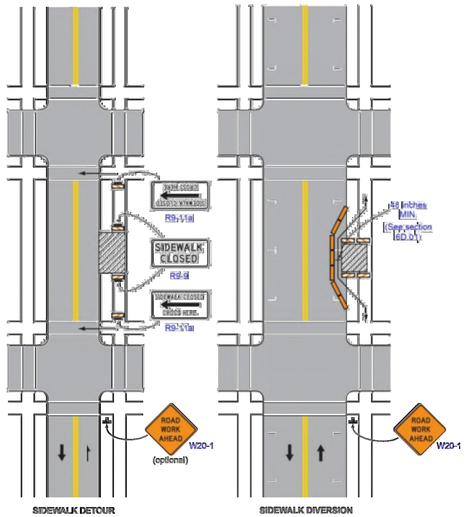
RCL STRUCTURAL ENGINEERS, INC
P 408.463.6832
F 408.685.2038
info@rclse.com
570 E. El Camino Real Ste. D
Sunnyvale, CA 94087

NO	DATE	BY	DESCRIPTION
			REVISIONS

DRAWN:	CHECKED:
DATE: 09-13-19	SCALE:
PROJECT NUMBER: –	

PLAN & SECTION

Figure 6H-28. Sidewalk Detour or Diversion (TA-28)



Typical Application 28

Note: See Tables 6H-2 and 6H-3 for meaning of the symbols and/or letter codes used in this figure.

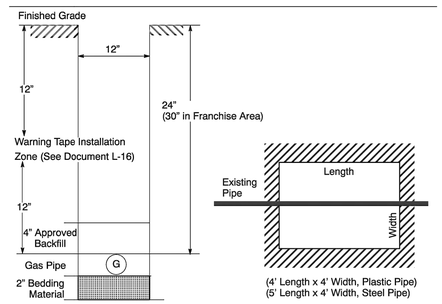


Figure 2-2
Gas-Only Service Trench

(4' Length x 4' Width, Plastic Pipe)
(5' Length x 4' Width, Steel Pipe)

Figure 2-3
Typical Gas Bell Hole–Plan View

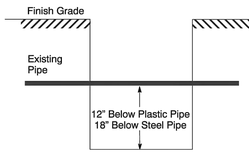


Figure 2-4
Typical Bell Hole Depth–Profile View

Notes in reference to Figure 2-2, Figure 2-3, and Figure 2-4.

1. All dimensions are the minimum required amounts.
2. For Figure 2-2, "Gas-Only Service Trench," soil compaction must meet PG&E's and any applicable federal, state, county, and local requirements.
3. Some jobs may require bell holes with larger dimensions and trench shoring.

PRELIMINARY

811 Know what's below. Call before you dig.

ATTACHMENT 5

OFFSITE IMPROVEMENT PLAN FOR

816–818 WEST EL CAMINO REAL,
SUNNYVALE, CA 94087

REGISTERED PROFESSIONAL ENGINEER
GIAN SIONG LOH
NO. 65491
Exp. 9-30-19
CIVIL
STATE OF CALIFORNIA

Ryan C. LOH, PE

ADAPTIVE ARCHITECTURE
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P 408.463.6832
F 408.685.2038
info@rclse.com
570 E. El Camino Real Ste. D
Sunnyvale, CA 94087

NO	DATE	BY	DESCRIPTION

REVISIONS

DRAWN:	CHECKED:
DATE: 09-13-19	SCALE:
PROJECT NUMBER: —	

DETAILS

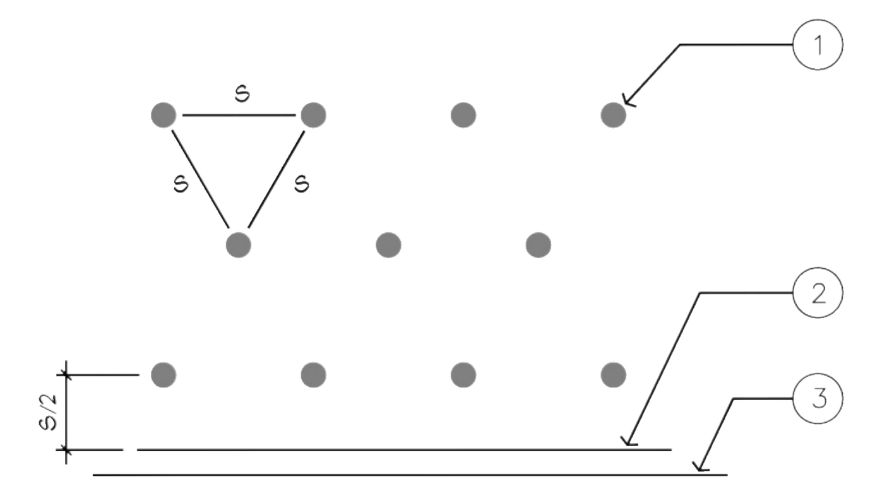
SHEET 3 OF 3

Suggested Plant List

Symbol	Latin Name	Common Name	Size	Spacing	Quantity	Water Use	Notes
Trees							
CO	Cercis occidentalis 'multi-branched'	Western redbud	15 gal	as shown	3	VL	Native accent at entry
PC	Pistachia chinensis	Chinese pistache	24" box	as shown	7	L	Parking lot shade tree
Shrubs & Grasses							
BC	Bergenia cordifolia	Heartleaf bergenia	1 gal	18" o.c.	6	M	Shade tolerant flowering accent
BT	Berberis thunbergii a. 'Crimson Pigmy'	Crimson Pigmy Japanese barberry	1 gal	30" o.c.	10	M	Vibrant accent shrub
CA	Calamagrostis x a. 'Karl Foerster'	Karl Foerster reed grass	1 gal	24" o.c.	20	M	Tall accent grass at trash enclosure
CB	Cordyline b. 'Sprilecpink'	Electric Pink cordyline	1 gal	3'-0" o.c.	3	M	Evergreen planter box accent
CS	Ceanothus 'Skylark'	Skylark california lilac	5 gal	5'-0" o.c.	17	L	Native entry accent
HQ	Hydrangea quercifolia	Oakleaf hydrangea	5 gal	as shown	2	M	Accent plant at trash enclosure
LC	Loropetalum chinensis 'Black Pearl'	Black Pearl Chinese fringe	1 gal	4'-0" o.c.	8	L	Foundation plant at retaining wall
LL	Lomandra longifolia 'Breeze'	Breeze dwarf mat rush	1 gal	3'-0" o.c.	25	L	Foundation plant at retaining wall
PG	Pittosporum 'Golf Ball'	Golf ball pittosporum	5 gal	3'-0" o.c.	40	L	Foundation plant at retaining wall
Vines & Groundcover							
AE	Arctostaphylos 'Emerald carpet'	Emerald carpet manzanita	1 gal	4'-0" o.c.	16	L	Native groundcover
FP	Ficus pumila	Creeping fig	1 gal	10'-0" o.c.	24	M	Climbing vine to accent walls
MP	Myoporum parvifolium 'Putah Creek'	Creeping myoporum	1 gal	6'-0" o.c.	7	L	Flowering gc in parking lot planters
SC	Sutera cordata 'White'	White bacopa	1 gal	1'-6" o.c.	9	M	Trailing planter box accent

Planting Notes

1. All work shall be performed by persons familiar with planting work and under the supervision of a qualified plant foreman.
2. Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect (LA).
3. In case of discrepancies contact LA for clarification.
4. Plant locations are to be adjusted in the field as necessary to screen utilities, but not to block windows or impede access.
5. The LA reserves the right to make substitutions, additions or deletions in the planting scheme as they feel necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary.
6. Contractor to locate plantings (still in container) per plan and notify LA to be approved on site prior to planting.
7. Remove all nursery stakes from rootball at time of planting.
8. Parking lot trees shall be matching in size and shape.
9. Branching heights of parking lot trees shall be 6' minimum above finish grade.
10. SOIL PREPARATION: The landscape contractor shall be responsible for finishing grading and all planting area drainage. Positive drainage away from building as per city codes shall be maintained. No low spots, which hold standing water, will be accepted. The Landscape Contractor shall incorporate soil preparation amendment into planting areas as noted below. Where rototilling is not possible, incorporate soil amendments into top 6 inches with hand tools. After installation of irrigation system, all planting areas are to be fine graded to within 2 inches and slightly mounded away from edges of top of planter, curb, walk, header, etc. and raked smooth with all rocks and debris over 1 inch in diameter removed.
11. SOIL PREPARATION AMENDMENTS & BACKFILL SOIL MIX: The Landscape Contractor shall amend existing soil, by rototilling, 6 cu. Yd. CCW 'Super Humus' compost and 15 lbs. organic balanced fertilizer 'Phyta-Grow' Pre-Plant Plus 7-5-7 per 1000 sq. ft. available from California Organics (or equal) into the top 6 inches of soil in all planting areas. (or equal) Pit Planting Mix: for trees and shrubs mix 1/3 organic amendment, 2/3 amended topsoil as noted above.
12. TREE PLANTING: The trees are to be planted as per detail on plan. Trees shall typically be located a minimum of 4'-0" from curbs, walks, headers, building, overheads, and other trees within the project. Backfill shall be the 'Pit Planting Mix' as noted above. All trees shall receive organic fertilizer 'Phyta Grow' Pre-Plant Plus 7-5-7 available from California Fertilizer Company Inc. (or equal) for *24" box trees: 2½ cup*, for *15 gallon trees: 1 cup*. Thoroughly water trees immediately after planting.
13. SHRUB PLANTING: The shrubs shall be spotted as per plan and the locations approved prior to the digging of the holes. Shrub backfill shall be the 'Pit Planting Mix' as noted in 'Backfill Soil Mix.' All shrubs shall receive 'Phyta Grow' Pre-Plant Plus 7-5-7 available from California Fertilizer Company Inc. (or equal) for *5 gallon shrubs: ½ cup*, for *1 gallon shrubs: ¼ cup*. Thoroughly water shrubs immediately after planting. Do not plant any plant within 2'-0" of any building wall, unless a vine or otherwise noted.
14. MULCHING: Mulch all planting areas having a slope less than 2:1 with a 3 inch minimum depth of recycled wood fiber, UV stabilized, dyed-colorfast black with a PH of no higher than 5.0. and free of noxious weeds and foreign materials.
15. MAINTENANCE: The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, repair/tightening of stakes and ties, restoration of basins, provision of supplemental water by hand (in addition to irrigation system) as necessary. No pre-emergence herbicides shall be applied- hand remove weeds. Only organic fertilizers shall be applied such as those specified above. Install per manufacturer's recommendations. At the end of the 90 day maintenance period, all areas are to be weed free and all plant material is to be in a healthy, thriving condition. Integrated pest management practices shall be implemented.
16. SUBSTITUTIONS: Requests for substitutions of plant varieties shall be made to the Landscape Architect within 15 days after signing of contract.
17. GUARANTEE: All construction, trees and shrubs by the Landscape Contractor and/or his subcontractors shall be guaranteed for one (1) year after beginning of maintenance period. The contractor shall replace, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition; within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The Contractor shall not be held liable for the loss of plant materials during the guarantee period due to vandalism, accidental caused or acts of neglect by others than the Contractor and his agents and employees.



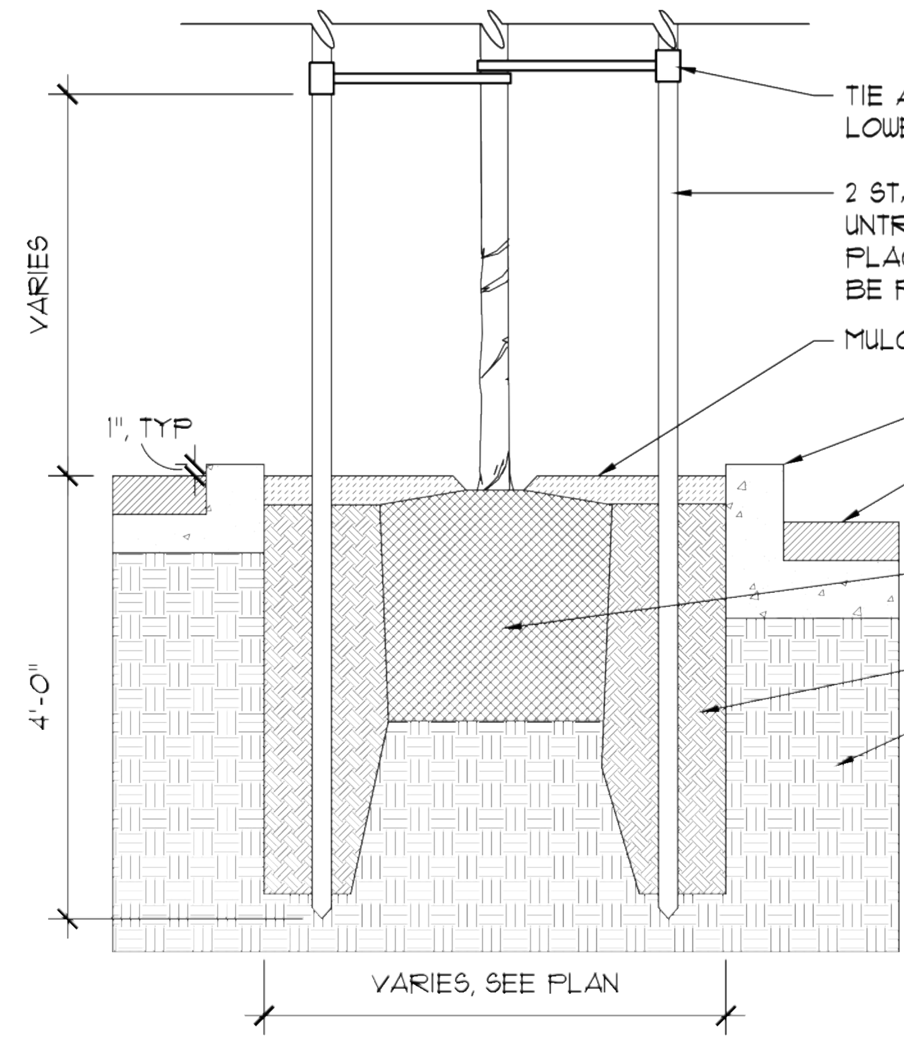
1. PLANTING LOCATION
2. BACK OF CURB
3. FACE OF CURB

NOTES:

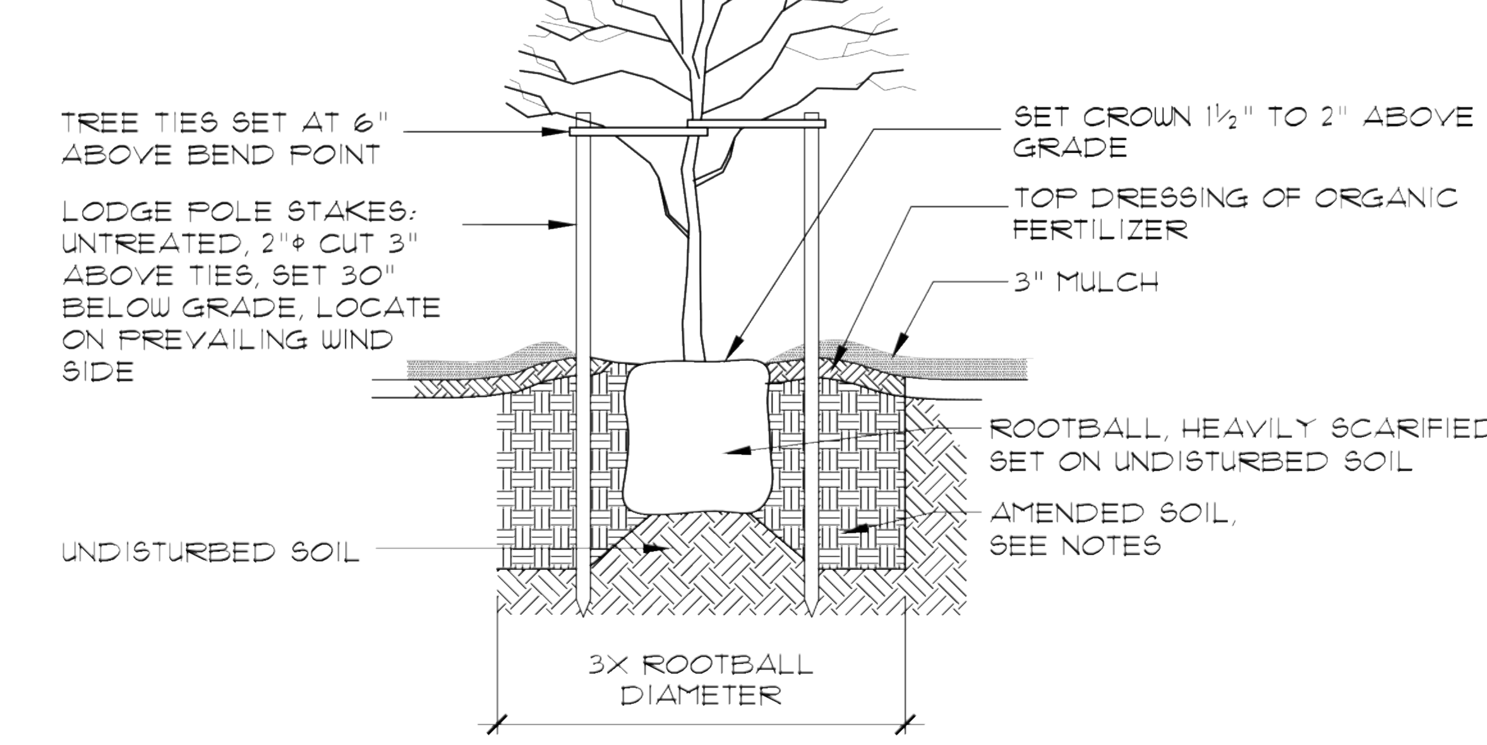
A. S = PLANT SPACING DISTANCE ON CENTER
B. FOR USE AS A GUIDE FOR SHRUBS AND GROUNDCOVER WHEN PLANTS ARE SPACED EQUIDISTANT FROM EACH OTHER.

PLANT QUANTITY CHART	
SPACING	# OF PLANTS/S.F.
6" o.c.	4.60
12" o.c.	1.15
18" o.c.	.512
24" o.c.	.290
30" o.c.	.185
36" o.c.	.116
48" o.c.	.072
5'-0" o.c.	.046
6'-0" o.c.	.032

3 PLANT SPACING
N.T.S.



2 TREE PLANTING @ TRI. PARKING ISLANDS
3/4"=1'-0"



1 TREE PLANTING + STAKING
NTS

Area calculations

Total Landscape: 1558 SF

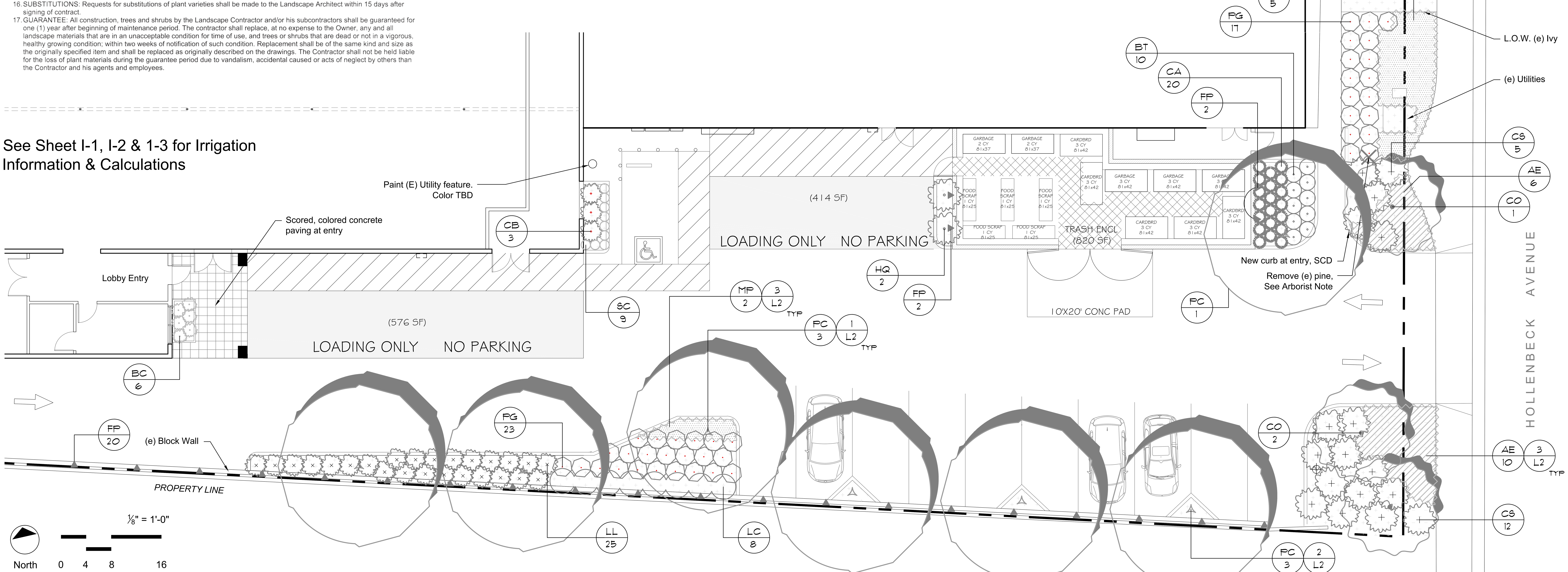
Rehabilitated:	384 SF
Proposed:	1174 SF

Landscape Water Use*:

Low :	199 SF	87.2%
Medium:	1359 SF	12.8%

*See addt'l WELO calculations included with Irrigation Plans

See Sheet I-1, I-2 & 1-3 for Irrigation Information & Calculations



FOR PERMIT REVIEW - NOT FOR CONSTRUCTION

INSIDEOUT
architecture | interiors | landscape
6000 HARDWOOD AVE
OAKLAND CA 94618
510 655 7674
aboutinsideout.com

LICENSED LANDSCAPE ARCHITECT
John Pennell Phillips - No. 5602
Signature
03-31-2020
Renewal Date
09-6-2019
Date
STATE OF CALIFORNIA

ISSUES:

4.17.19	Planning Application Submittal
8.19.19	Planning Resubmittal
9.6.19	Planning Resubmittal

Civic Square Storage

816-818 W El Camino Real
Sunnyvale CA 94087

TITLE:

Detailed Planting Plan, Planting List & Notes, & Irrigation Notes

SCALE: 1/8" = 1'-0"

DATE: See Issues Above

DRAWING NO:

L-1

Irrigation System Maintenance Procedures

While the system is deigned to operate automatically, a regular maintenance schedule is necessary to prevent and address failures in the system as well as ensure that the system operates in a manner that meets or exceeds the MAWA values provided.

Any broken or malfunctioning irrigation system components should be replaced with the same components, or an equal or superior equivalent.

Upon completion of the project, the following measures should be performed by property management at intervals noted below:

Weekly:
During weekly landscape maintenance operations, the maintenance personnel should look for signs of runoff, erosion, and plant die off due to irrigation system failures. If issues are detected, they should be brought to the attention of the maintenance supervisor and property management for timely correction.

All overhead spray heads shall be inspected to ensure clear operation and in order to identify and repair any damaged equipment.

Monthly:
All irrigation and master valves shall be visually inspected by a property management representative while the valve is under operating conditions. All control valves and filters should be visually inspected and cleaned as required and in accordance with manufactures specifications. All leaks shall be promptly reported to a landscape maintenance representative so that the valve may be repaired or replaced in a timely fashion with the minimum amount of leaking water exposed to open air.

All Root Watering Systems are to be visually inspected to insure that all locking grates are being reasonably kept free of debris. All grates that are not kept reasonably free of debris are to be reported to a landscape maintenance representative. All Root Watering Systems that have their locking grates damaged or missing are to be reported to a landscape maintenance representative so that the locking grate may be repaired or replaced in a timely fashion.

MAINTENANCE LOG
Keep a log of all inspections and maintenance performance on the irrigation system (Updated copy to be provided to Property Manager on a monthly basis)

Overall Landscape Maintenance Procedures

At a minimum, the following items should be addressed on a regular basis as required per city code:

Weekly
Pruning, weeding and maintenance of turf areas should be done on a weekly basis

Monthly
Dead, dying and diseased vegetation should be replaced with equivalent plant material w/ similar hydrozone requirements, provided that the replaced vegetation does not result in mixing higher water use plants with low water use plants in the same hydrozone.

Invasive plant species should be eradicated as required.

Plant material should be maintained in order to avoid obstruction of motorists views.

Annually
Mulch should be replenished in order to maintain appropriate soil moisture levels.

Soil amendments consistent with the agronomic soils report for this project should be applied in the manner prescribed in order to support and maintain healthy plant growth.

Lawns should be fertilized in a manner consistent with best management practices

IRRIGATION NOTES

DIAGRAMMATIC PLAN
THIS SYSTEM IS DIAGRAMMATIC. ALL PIPE, VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS AND JOINT TRENCHES WHEREVER POSSIBLE.

SPRINKLER ADJUSTMENT REQUIRED
THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND PREVENT OVERSPRAY ONTO WALKS AND ROADWAYS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS. CONTRACTOR TO USE PRESSURE COMPENSATING SCREENS WHEN RADIUS IS REDUCED MORE THAN FIFTY PERCENT (50%).

INSTALL NECESSARY CHECK VALVE IN HEADS THAT EXHIBIT TENDENCIES FOR LOW HEAD DRAINAGE.

INSTALL ALL HEADS A MINIMUM OF 18" AWAY FROM BUILDING WALLS & A MINIMUM OF 12" AWAY FROM ALL STUCCO SURFACES.

FIELD CONDITIONS
DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS INDICATED ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR GRADE DIFFERENCES EXIST AND SHOULD BE BROUGHT TO THE ATTENTION OF THE CONTRACTING OFFICER. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS REQUIRED.

SWING JOINTS
INSTALL ALL HEADS WITH DOUBLE OR TRIPLE SWING JOINTS, USING STREET ELLS, AS PER DETAIL.

MINIMUM PRESSURE AND MAXIMUM GALLONS REQUIRED
THE SPRINKLER SYSTEM DESIGN IS BASED ON A MINIMUM OPERATIONAL PRESSURE AND A MAXIMUM DEMAND AT THE POINT OF CONNECTION, AS NOTED ON THE PLAN. BEFORE INSTALLING THE SYSTEM, CHECK POINT OF CONNECTION AND IMMEDIATELY NOTIFY CONTRACTING OFFICER IF PRESSURE IS NOT AS NOTED OR THE REQUIRED GALLONS PER MINUTE IS NOT AVAILABLE.

WATER LINE UNDER PAVING
ALL MAINLINE UNDER PAVING SHALL BE INSTALLED 24" DEEP. ALL LATERAL LINES UNDER PAVING SHALL BE SCH 40 PVC AND INSTALLED 24" DEEP.

SYSTEM COVERAGE
THE IRRIGATION CONTRACTOR IS TO ADJUST HEAD LOCATIONS IN THE FIELD IN ORDER TO GUARANTEE 100% COVERAGE. CONTRACTOR TO CONTACT THE CONTRACTING OFFICER PRIOR TO ANY MAJOR CHANGE(S) RESULTING IN ADDITIONAL COST TO THE OWNER.

COMPLIANCE STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

JOHN PENNELL PHILLIPS — 9-6-19 DATE

IRRIGATION LEGEND

SYMBOL	MFG.	MODEL NO.	DESCRIPTION	RAD	GPM	PSI	PR
	HUNTER	(2) PROS-06-PRS30-CV-PCN25	TREE BUBBLER SYSTEM	1'	0.25 (0.5)	1.0	30
	HUNTER	(2) RR18-T RISER WITH HEB-40 EMITTER & HE-DIFF DIFFUSER CAP	POINT SOURCE EMITTER SYSTEM	1'	0.1 (0.2)		30
	HUNTER	HDL-06-18-500-CV (SPACE DRIPLINES 18" O.C.)	DRIP LINE SYSTEM	18"	.5 Per 100 S.F.	0.43	30
	HUNTER	HDL-06-18-500-CV (SPACE DRIPLINES 18" O.C.)	DRIP LINE SYSTEM	18"	.5 Per 100 S.F.	0.43	30

DRIP IRRIGATION NOTES

THE CONTRACTOR WILL NEED TO FIELD LOCATE HUNTER PLD-ARV AIR RELIEF VALVE KIT (SEE DETAIL) AT THE HIGHEST LOCATIONS ON EACH DRIP LINE SYSTEM

AT THE EXHAUST HEADER OF DRIP SYSTEM, THE CONTRACTOR SHALL INSTALL HUNTER PLD-BV FLUSH VALVE W/ BALL VALVE AND A HUNTER ECO-INDICATOR AT EACH DRIP SYSTEM AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT (SEE DETAILS).

- NIBCO T-580 BALL VALVE - LINE SIZE.
- HUNTER, QUICK COUPLER, HQ-22DLRC WITH LOCKING CAP.
- HUNTER ICZ-101-40 1" CONTROL ZONE KIT WITH PVC BALL VALVE FOR FLOW 2.0 TO 20 GPM. PROVIDE TUCOR LD-050 TWO WIRE DECODER.
- HUNTER ICV-101G-S-AS-ADJ SERIES REMOTE CONTROL VALVE - SIZE INDICATED. PROVIDE TUCOR LD-050 TWO WIRE DECODER.
- SURGE ARRESTOR LOCATION WITHIN THE REMOTE CONTROL VALVE BOX PER DETAIL. PROVIDE TUCOR SP-100 DECODER
- PLANTER IRRIGATION LOCATION - SEE DETAIL
- POTABLE LATERAL LINE — PVC SCH. 40 LATERAL LINE- 12" COVER IN PLANTING AREAS, 24" COVER UNDER PAVING. - SIZES INDICATED.
- MAINLINE - INSTALL 18" COVER IN PLANTING AREAS, 24" COVER UNDER PAVING - SIZES INDICATED. Mainlines (pressurized) 1 1/2 inch and smaller shall be Schedule 40 solvent-weld P.V.C.. Mainlines (pressurized) 2 inch through 3 inch shall be Class 315 solvent-weld P.V.C., with thrust blocks per detail.
- PVC SCH 40 WIRE SLEEVE - SIZE AND LOCATION PER CONTRACTOR
- PVC SCH 40 MAIN AND LATERAL LINE SLEEVE 2x DIA. OF PIPE. - PROVIDE SLEEVES UNDER ALL PAVING OR WALL FOOTING.

NOTE:SEE IRRIGATION SYSTEM INFORMATION FOR INDIVIDUAL VALVE PRECIPITATION RATES AND OPERATING PSI AS REQUIRED BY CODE.

- INDICATES HYDROZONE
- INDICATES STATION NUMBER
- INDICATES CONTROLLER (MATCH TO EXISTING)
- INDICATES GPM
- INDICATES VALVE SIZE
- INDICATES STATION S.F.

CONTROLLER NOTE

CONTRACTOR TO FIELD VERIFY THE LOCATION OF EXISTING IRRIGATION CONTROLLER. CONTRACTOR TO FIELD VERIFY OPERATION OF EXISTING CONTROLLER. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF NOT OPERATING PROPERLY WITH THE NEW IRRIGATION SYSTEM IN THIS PACKAGE. CONTRACTOR TO INSTALL HYBRID 3D-6 BY TUCOR INTO EXISTING CONTROLLER PER MFG. SPEC. TO PROVIDE 2-WIRE SYSTEM TO THE NEW IRRIGATION SYSTEM. CONTRACTOR TO FIELD VERIFY THE NEAREST EXISTING REMOTE CONTROL VALVE FROM THE PROJECT SITE TO START THE 2-WIRE PATH FOR THE NEW IRRIGATION SYSTEM. REFER TO DETAIL 2, SHEET I-3.0.

POINT OF CONNECTION NOTE

CONTRACTOR TO FIELD VERIFY THE LOCATION OF EXISTING WATER METER FOR EXISTING IRRIGATION SYSTEM.

AVAILABLE PRESSURE:	65 PSI (ASSUMED)
DESIGN PRESSURE FOR NEW SYSTEM:	57.1 PSI
MAXIMUM DEMAND OF NEW SYSTEM:	6.5 GPM

IRRIGATION INSTALLATION NOTE:
CONTRACTOR TO VERIFY OPERATION OF EXISTING POINT OF CONNECTION ELEMENTS LISTED BELOW AND REPLACE AS REQUIRED IF NOT OPERATING PROPERLY WITH NEW IRRIGATION DESIGN PROVIDED IN THIS PACKAGE. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT PRIOR TO REPLACING ANY POINT OF CONNECTION ELEMENTS LISTED BELOW.
- CONTROLLER
- REDUCED BACKFLOW PREVENTION DEVICE
- WYE STRAINER
- MASTER VALVE
- FLOW SENSOR
- ANY OTHER EXISTING EQUIPMENTS AT POINT OF CONNECTION.

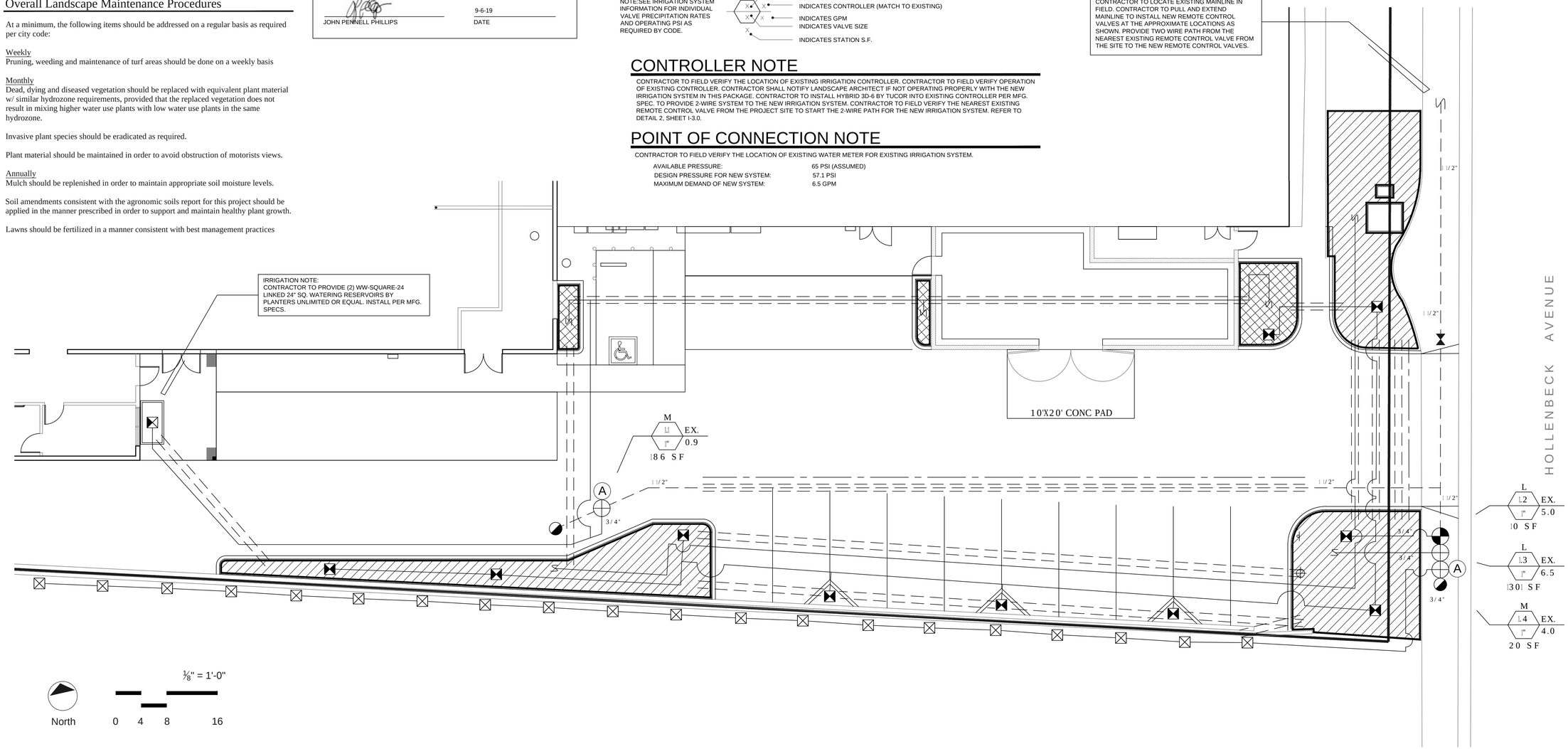
CONTRACTOR TO PERFORM THE WATER PRESSURE TEST ON EXISTING MAINLINES AS PER SPECIFICATIONS TO ENSURE THE QUALITY OF THE EXISTING MATERIAL. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IF MAINLINES/LATERAL LINES DO NOT MEET REQUIRED SPECIFICATIONS FOR NEW IRRIGATION DESIGN IN THIS PACKAGE.

CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY OF THE EXISTING IRRIGATION SYSTEM TO REMAIN DUE TO DAMAGE DURING CONSTRUCTION.

NOTE:
THIS PROJECT IS CONNECTED TO OR WILL DISRUPT AN EXISTING LANDSCAPE AND IRRIGATION AREA. PRIOR TO ANY NEW CONSTRUCTION, A JOINT INSPECTION AND DOCUMENTATION OF THE EXISTING AREA'S CONDITION SHALL OCCUR WITH THE NEW WORK CONTRACTOR, CITY INSPECTOR AND A MAINTENANCE REPRESENTATIVE. THE RESPONSIBILITY OF THE EXISTING LANDSCAPE DURING CONSTRUCTION AND 90-DAYS MAINTENANCE PERIOD TO BE DETERMINED BY OWNER/DEVELOPER. THE EXISTING IRRIGATION SYSTEM SHALL BE ADJUSTED AS NEEDED AND ANY DAMAGED LANDSCAPING REPLACED TO THE SATISFACTION OF THE OWNER.

NOTE:
NEW IRRIGATION SYSTEM IN THIS PACKAGE MUST BE CONNECTED TO THE EXISTING CONTROLLER BY INSTALLING HYBRID 3D-6 BY TUCOR AND OPERATED PRIOR TO FINAL INSPECTION.

INSTALLATION NOTE:
CONTRACTOR TO LOCATE EXISTING MAINLINE IN FIELD. CONTRACTOR TO PULL AND EXTEND MAINLINE TO INSTALL NEW REMOTE CONTROL VALVES AT THE APPROXIMATE LOCATIONS AS SHOWN. PROVIDE TWO WIRE PATH FROM THE NEAREST EXISTING REMOTE CONTROL VALVE FROM THE SITE TO THE NEW REMOTE CONTROL VALVES.



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510 655 7674
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LICENSED LANDSCAPE ARCHITECT — JOHN PENNELL PHILLIPS — 3002 — Signature 03-31-2020 Renewal Date 09-6-2019 Date — STATE OF CALIFORNIA

ISSUES:

4.17.19	Planning Application Submittal
8.19.19	Planning Resubmittal
9.6.19	Planning Resubmittal

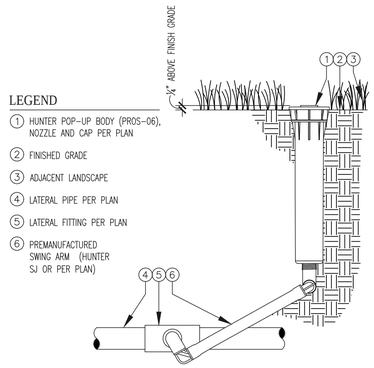
Civic Square Storage

816-818 W El Camino Real
Sunnyvale CA 94087

TITLE:
Irrigation Plan, Notes & Legend

SCALE: 1/8" = 1'-0"
DATE: See Issues Above

DRAWING NO:
I-1



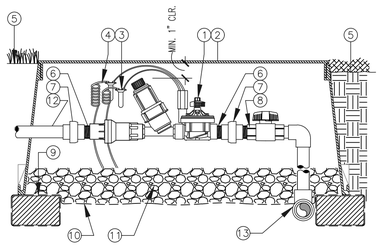
LEGEND

1. HUNTER POP-UP BODY (PROS-06), NOZZLE AND CAP PER PLAN
2. FINISHED GRADE
3. ADJACENT LANDSCAPE
4. LATERAL PIPE PER PLAN
5. LATERAL FITTING PER PLAN
6. PREMANUFACTURED SWING ARM (HUNTER SJ OR PER PLAN)

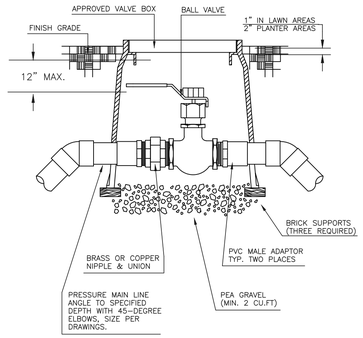
I. TREE BUBBLER POP UP HEAD

LEGEND

1. HUNTER REMOTE CONTROL VALVE (ICZ) WITH FILTER REGULATOR
2. IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
3. WATERPROOF CONNECTORS (2)
4. 18"–24" COILED WIRE TO CONTROLLER
5. FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
6. SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
7. PVC SLIP X FPT UNION
8. ISOLATION VALVE, SIZE AND TYPE PER PLAN
9. BRICK SUPPORTS (4)
10. FILTER FABRIC – WRAP TWICE AROUND BRICK SUPPORTS
11. 3/4" WASHED GRAVEL – 4" MIN. DEPTH
12. IRRIGATION LATERAL
13. MAINLINE LATERAL AND FITTINGS

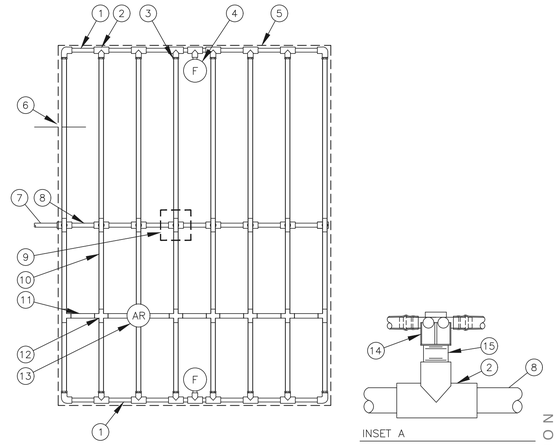


F. CONTROL ZONE KIT



NOTES:
1. PLACE PEA GRAVEL PRIOR TO INSTALLATION OF VALVE BOX.
2. BALL VALVE SHALL BE INSTALLED IN SHRUB AREAS UNLESS OTHERWISE APPROVED

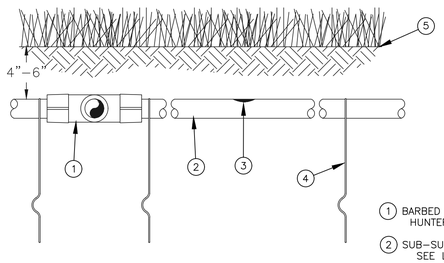
C. BALL VALVE



1. PVC EXHAUST HEADER
2. PVC SCH 40 TEE OR EL (TYPICAL)
3. BARB X MALE FITTING
4. FLUSH POINT (TYPICAL) – SEE LEGEND FOR SPEC.
5. PERIMETER OF AREA
6. PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"–4" FROM PERIMETER OF AREA
7. PVC SUPPLY PIPE FROM DRIP CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
8. PVC SUPPLY MANIFOLD
9. CONNECTION FROM SUPPLY MANIFOLD TO DRIPLINE (TYPICAL)– SEE INSET A
10. SUB–SURFACE DRIPLINE: – SEE LEGEND FOR SPEC.
11. BLANK DRIP TUBING
12. BARB X BARB INSERT TEE OR CROSS
13. ½" AIR RELIEF VALVE – SEE LEGEND FOR SPEC.
14. BARB X FEMALE FITTING
15. ¾" PVC NIPPLE, LENGTH AS NECESSARY

NOTES:
1. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH RECOMMENDED BY MANUFACTURER.
2. AIR RELIEF VALVE INSTALLED IN VALVE BOX AT OPTIMAL HIGHEST POINT FROM CONTROL ZONE KIT. MULTIPLE AIR RELIEF VALVES MAY BE NEEDED TO ACCOMMODATE DIFFERENCES IN GRADE.
3. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.
4. PRESSURE INDICATOR TO BE INSTALLED AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT IN CLEAR VIEW WHEN POPPED UP.
5. FLUSH POINT TO BE INSTALLED AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT TO ALLOW FOR MAXIMUM DEBRIS FLUSH IN SYSTEM.

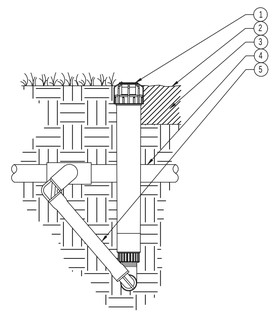
A. DRIP LINE LAYOUT



1. BARBED PLD FITTING TEE: HUNTER PLDTEE
2. SUB–SURFACE DRIPLINE: SEE LEGEND FOR SPEC.
3. INLINE DRIP EMITTER
4. TIE DOWN STAKE – SEE NOTE 1.
5. FINISH GRADE OR SHRUB BED WITH MULCH

NOTES:
1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE–DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
3. INSERTION PLOW AND TRENCHED INSTALLATIONS DO NOT REQUIRE TIE DOWN STAKES.

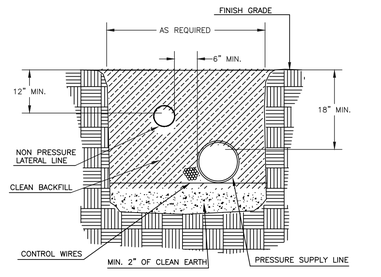
J. SUB-SURFACE DRIP LINE



LEGEND:

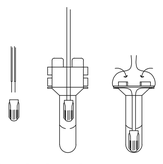
1. PRESSURE INDICATOR
2. FINISHED GRADE
3. ADJACENT MULCH
4. PVC LATERAL PIPE
5. SWING JOINT

G. PRESSURE INDICATOR



NOTES:
1. BELOW PAVED AREAS A MINIMUM OF 6" LAYER OF CLEAN FILL SAND SHALL BE INSTALLED ABOVE AND BELOW PIPING.
2. PROVIDE MINIMUM COVER OF 24" ON PRESSURE SUPPLY LINES 3" AND LARGER.

D. TYPICAL TRENCHING

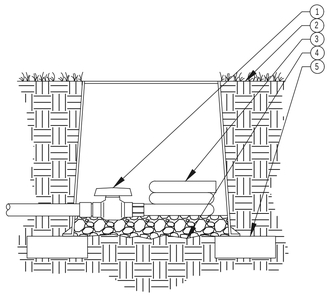


WIRE SPLICE STEPS

1. STRIP WIRES 1/2" TO 5/8". USING LINEMANS PLIERS OR OTHER STYLE TOOL, TWIST ENDS TOGETHER MIN 3 TIMES. INSERT INTO SCOTCHLOK ELECTRICAL CONNECTOR AND ROTATE CLOCKWISE UNTIL ADDITIONAL FORCE IS REQUIRED.
2. INSERT THE SPLICE INTO THE GEL-FILLED INSULATOR TUBE. PUSH PAST THE LOCKING FINGERS TO HOLD THE SCOTHLOK CONNECTOR IN PLACE.
3. POSITION WIRE CHANNELS AND SNAP INSULATOR TUBE COVER CLOSED.

* WIRE CONNECTORS TO BE DBR/Y-6 BY 3M OR EQUAL FOR TWO WIRE CABLE.

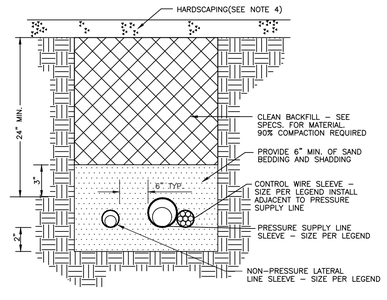
K. WIRE CONNECTOR



LEGEND:

1. BALL VALVE
2. FINISHED GRADE
3. IRRIGATION HOSE (LENGTH AS NECESSARY)
4. FILTER FABRIC
5. BRICK

H. FLUSH VALVE



NOTES:
1. ALL SLEEVES TO BE SCH 40 PVC.
2. EXTEND ALL SLEEVES 12" BEYOND EDGE OF HARDSCAPING AT BOTH ENDS.
3. ROUTE SLEEVING AROUND HANDICAP RAMPS.
4. PIPING UNDER PAVEMENT SUSCEPTIBLE TO TRAFFIC LOADS REFER TO CITY STANDARDS. (24" MIN. TO 36" MAX DEPTH TO TOP OF PIPE BELOW HARDSCAPE SURFACE.

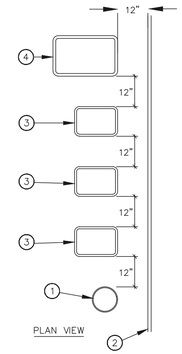
E. TYPICAL SLEEVING

VALVE BOX LABELING NOTE:

HEAT BRAND ALL VALVE BOX COVERS IN 2" HIGH LETTERS PER EQUIPMENT LOCATED WITHIN VALVE BOXES.
LABEL "BV" FOR ALL BALL VALVES
LABEL "QCV" FOR ALL QUICK COUPLING VALVES
LABEL "MV" FOR ALL MASTER VALVES
LABEL "VALVE STATION" FOR ALL CONTROL VALVES
LABEL "FM" FOR ALL FLOW MASTER VALVES
LABEL "AR" FOR ALL AIR RELIEF VALVES
LABEL "FV" FOR ALL FLUSH VALVES

LEGEND – USE CARSON VALVE BOXES.
1. 10" DIAMETER CIRCULAR VALVE BOX.
2. EDGE OF LAWN, WALK, FENCE, CURB, ETC.
3. 14" x 19" RECTANGULAR VALVE BOX.
4. 20" x 30" RECTANGULAR VALVE BOX.

NOTES
A. CENTER VALVE BOX OVER VALVE TO FACILITATE SERVICING OF VALVE.
B. SET VALVE BOXES 2" MAXIMUM ABOVE GRADE IN MULCH COVER OR GROUNDCOVER/SHRUB AREAS – SET FLUSH WITH FINISH GRADE IN TURF AREAS.
C. SET VALVE BOX AND VALVE ASSEMBLY IN GROUND–COVER/SHRUB AREA WHERE POSSIBLE – INSTALL IN TURF ONLY IF THERE IS NO ADJACENT GROUND–COVER.
D. SET VALVE BOXES PARALLEL TO ONE ANOTHER AND PERPENDICULAR TO EDGE.
E. AVOID HEAVY COMPACTION OF SOIL AROUND VALVE BOXES TO PREVENT THEIR DEFORMATION/COLLAPSE.



B. VALVE BOX INSTALLATION

FOR PERMIT REVIEW - NOT FOR CONSTRUCTION

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LICENSED LANDSCAPE ARCHITECT
Signature
03-31-2020
Renewal Date
09-6-2019
Date
STATE OF CALIFORNIA

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Civic Square Storage

816-818 W El Camino Real
Sunnyvale CA 94087

TITLE:

Irrigation Details

SCALE: -

DATE: See Issues Above

DRAWING NO:

I-2

IRRIGATION CALCULATIONS & SCHEDULES

Data

Reference Evapotranspiration (Eto) Amounts:

Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
1.50	1.80	2.80	3.80	5.20	5.30	6.20	5.60	5.00	3.20	1.70	1.00

Total Yearly Eto: 43.00 inches

Irrigation System Information:

Station	Plant Factor	Irr Type	sq ft area	ppt	Efficiency	GPM	Run Days	Cycle/Day
EX 1.1	0.5	Drip - 18"	186	0.43	81%	0.90	3	3
EX 1.2	0.2	Bubbler	10	1.00	75%	5.00	3	1
EX 1.3	0.2	Drip - 18"	1,301	0.43	81%	6.50	3	2
EX 1.4	0.5	Emitter	20	1.00	81%	4.00	3	2

Establishment Irrigation Schedule

Station	Run Days per week	Cycles (Start times)	Minutes per Cycle											
			Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
EX 1.1	3	3	4	5	8	11	15	15	18	16	14	9	5	3
EX 1.2	3	1	2	3	4	6	8	8	10	9	8	5	3	2
EX 1.3	3	2	3	3	5	7	9	9	11	10	9	6	3	2
EX 1.4	3	2	3	3	5	7	10	10	11	10	9	6	3	2

Established Irrigation Schedule

Station	Run Days per week	Cycles (Start times)	Minutes per Cycle											
			Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
EX 1.1	3	3	4	4	7	9	12	13	15	13	12	8	4	2
EX 1.2	3	1	2	2	4	5	7	7	8	7	7	4	2	1
EX 1.3	3	2	2	3	4	5	7	8	9	8	7	5	2	1
EX 1.4	3	2	2	3	4	6	8	8	10	9	8	5	3	2

California Water Efficient Landscape Worksheet - Civic Square in Sunnyvale - Exisiting POC

Reference Evapotranspiration (ET_o)		43	Project Type		Non-Residential		0.45
Hydrozone # / Planting Description[a]	Plant Factor (PF)	Irrigation Method[b]	Irrigation Efficiency (IE)[c]	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)[d]
Regular Landscape Areas							
HZ 1 - DRIP - MOD.	0.5	Drip	0.81	0.62	186	115	3061
HZ 2 - BUBBLER - LOW	0.2	Overhead	0.75	0.27	10	3	71
HZ 3 - DRIP - LOW	0.2	Drip	0.81	0.25	1,301	321	8564
HZ 4 - EMITTER - MOD.	0.5	Drip	0.81	0.62	20	12	329
			0.75	0.00		0	0
			0.75	0.00		0	0
			1	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			1	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
			0.75	0.00		0	0
				Totals	1517	451	12025
Special Landscape Areas							
	[redacted]			1		0	0
				1		0	0
				1		0	0
				1		0	0
				Totals	0	0	0
						ETWU Total	12025
						Maximum Allowed Water Allowance (MAWA)[e]	18199

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	451
Total Area	1517
Average ETAF	0.30

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas	
Total ETAF x Area	451
Total Area	1517
Average ETAF	0.30

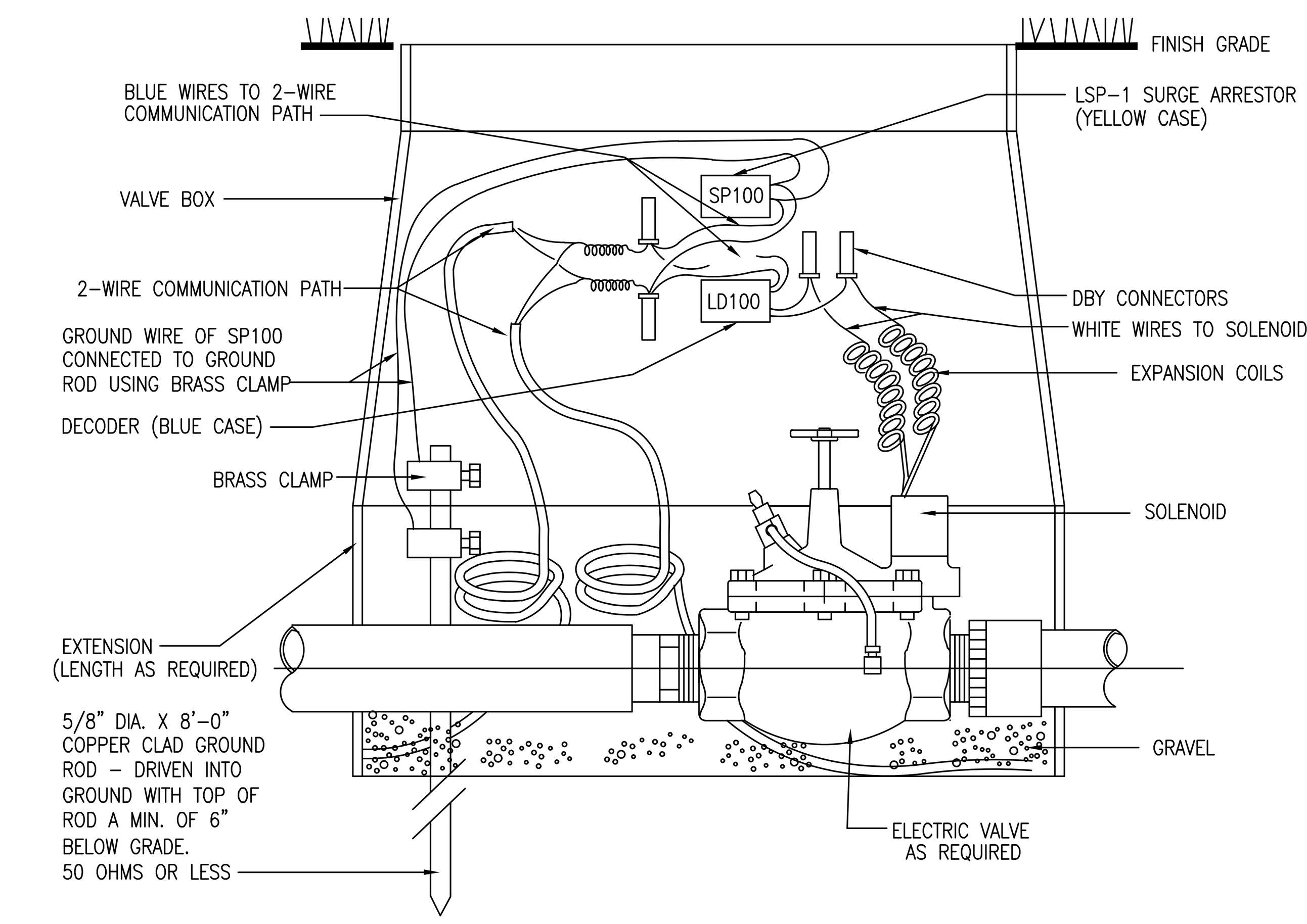
Total Landscape Area in this pacakge: 1,517 SQ. FT.

PRESSURE LOSS CALCULATIONS

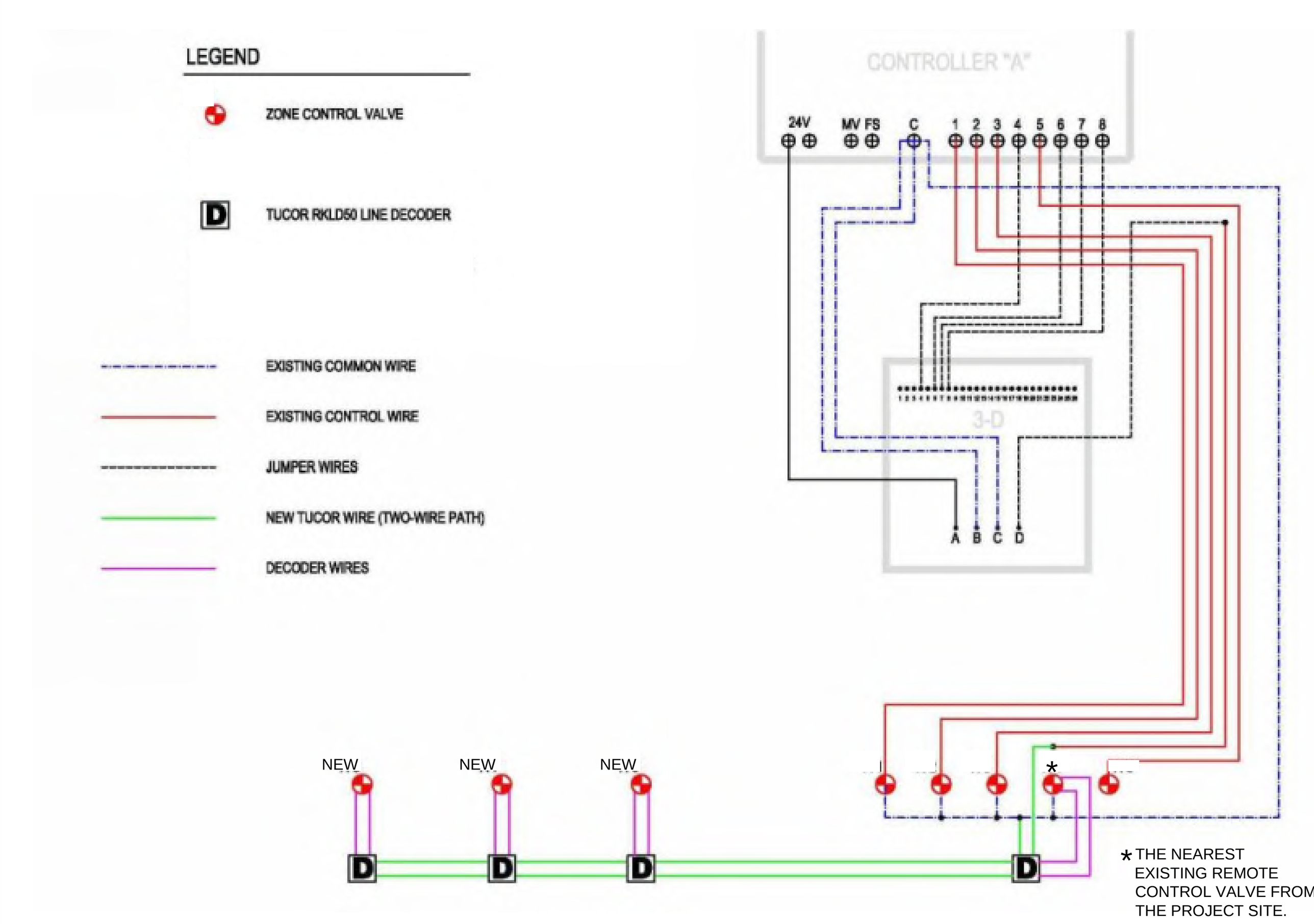
WATER METER	EXISITING		
STATIC PRESSURE	65 PSI (ASSUMED)		
SOURCE OF INFORMATION	–		
PHONE NUMBER	–		
DATE OF INFORMATION	–		
REMOTE CONTROL VALVE #	EX 1.3	SIZE	1"
MAXIMUM DEMAND	6.5 G.P.M.		

QTY.	SIZE	ITEM	P.S.I. LOSS
	–	WATER METER	0.6
	EXISTING	BACKFLOW PREVENTER	12.0
	EXISTING	WYE STRAINER	0.3
	EXISTING	FLOW SENSOR	1.0
	EXISTING	MASTER VALVE	1.5
	1 1/2"	BALL VALVE	1.0
	1 1/2"	MAIN LINE (100')	0.2
	1"	R.C.V. ASSEMBLY	3.0
		LATERAL LINE LOSS	(5.0 MAX)
		FITTING LOSS (10%)	2.5
(0')		ELEVATION CHANGE (0')	0.0
PRESSURE TO OPERATE HEADS:			30
TOTAL PRESSURE REQUIRED:			57.1
LOWEST STATIC PRESSURE AVAILABLE:			65.0
RESIDUAL PRESSURE:			7.9

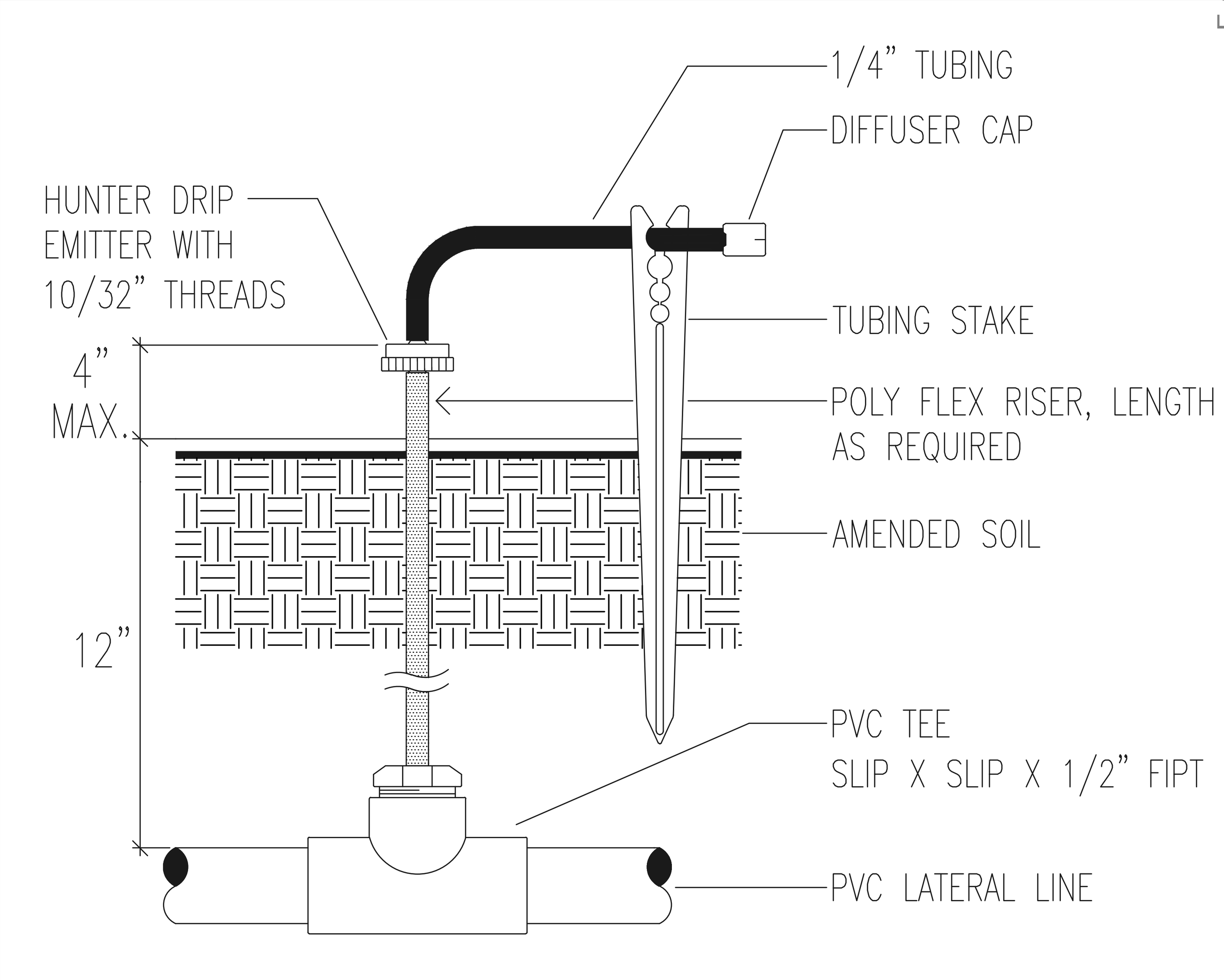
NOTE:
CONTRACTOR TO FIELD VERIFY STATIC PRESSURE AT POC PRIOR TO CONSTRUCTION.
CONTRACTOR IS RESPONSIBLE TO NOTIFY LANDSCAPE ARCHITECT IF THE ACTUAL STATIC PRESSURE IS LOWER THAN INFORMATION PROVIDED ABOVE.



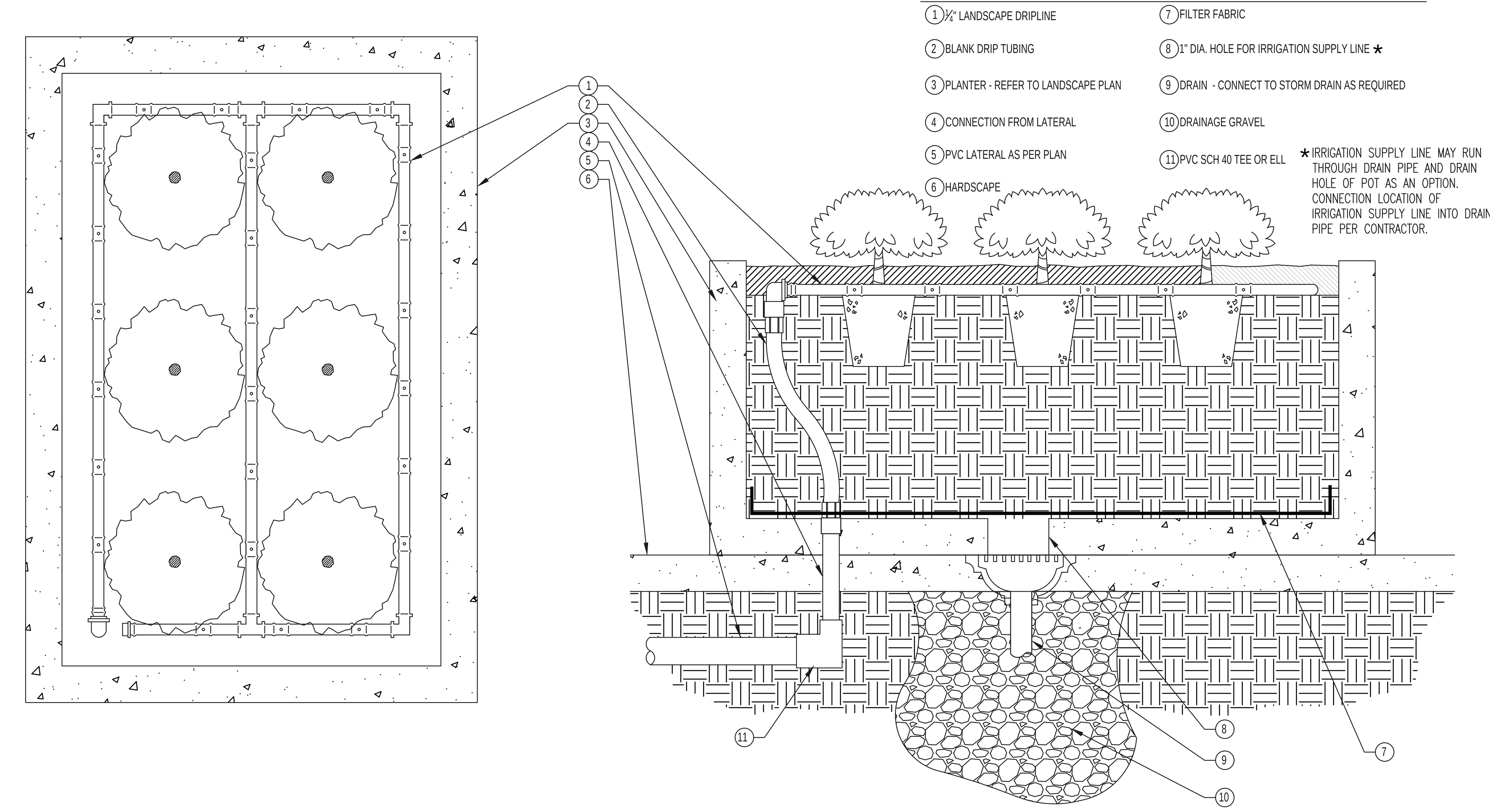
A. SURGE PROTECTOR



B. HYBRID 3D SCHEMATIC DIAGRAM



C. POINT SOURCE EMITTER



D. PLANTER IRRIGATION

FOR PERMIT APPLICATION

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LICENSED LANDSCAPE ARCHITECT
John Pennell Phillips - No. 5602
Signature
03-31-2020
Renewal Date
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STATE OF CALIFORNIA

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TITLE:

Irrigation Notes, Calcs. & Sched.

SCALE: -

DATE: See Issues Above

DRAWING NO:

I-3