

R-3 / U-I

TO THE COUNTY OF SANTA CLARA

2016 CALIFORNIA BLD'G CODE (CBC)

2016 CALIFORNIA RESIDENTIAL CODE

2016 CALIFORNIA ENERGY CODE

2016 CALIFORNIA PLUMBING CODE (CPC)

2016 CALIFORNIA MECHANICAL CODE (CMC)

2016 CALIFORNIA ELECTRICAL CODE (CEC)

2016 CALIFORNIA GREEN BUILDING CODE (CALGREEN)

AND THE CITY OF SUNNYVALE

AND THE STATE OF CALIFORNIA

BUILDING CODE: ALL APPLICABLE CURRENT CODES

SINGLE FAMILY RESIDENCE

WITH ATTACHED GARAGE.

OCCUPANCY:

CONSTRUCTION TYPE:

FIRE SPRINKLER

PROJECT DESCRIPTION

SUBDIVISION OF PARCEL TO CREATE TWO SEPARATE SINGLE FAMILY TWO STORY RESIDENCES.

PROPERTY DESCRIPTION

PROJECT ADDRESS: 1005 E. HOMESTEAD RD. SUNNYVALE, CA

ZONING DISTRICT: R-O

SUBDIVISION

1005 E. HOMESTEAD RD, SUNNYVALE, CA

TABULATION

LOT-I

ALLOWABLE FAR:

LOT SIZE = 7190 SQ. FT.

ALLOWABLE F.A.R 7190 SQ. FT. X 45% = 3235.5 SQ .FT.

PROPOSED F.A.R 3229.12 SQ. FT. = 44.9%

PROPOSED FAR.

(N) FIRST FLOOR 1812.50 SQ. FT.

1015.62 SQ. FT. (N) SECOND FLOOR

(N) GARAGE 401 SQ. FT.

TOTAL AREA 3229.12 SQ. FT.

LOT-2

ALLOWABLE FAR:

LOT SIZE = 7109 SQ. FT.

ALLOWABLE F.A.R 7109 SQ. FT. X 45% = 3199 SQ .FT.

PROPOSED F.A.R 3189.86 SQ. FT. = 44.9%

PROPOSED FAR.

(N) FIRST FLOOR 1742.39 SQ. FT.

1045.86 SQ. FT. (N) SECOND FLOOR

(N) GARAGE 401.61 SQ. FT. TOTAL AREA 3189.86 SQ. FT.

OFFICE OF COUNTY ASSESSOR —— SANTA CLARA COUNTY, CALIFORNIA 313 PAGE 35 PEACOCK-

PROJECT DATA WORKSHEET

	Existing	proposed	Required /Permitted
General Plan	low-density residential zoning districts	Same	low-density residential zoning districts
Zoning District	R-0	Same	R-0
Lot Size (SQ.FT.)	14299 SQ. FT.	Lot 1 : 7190 SQ. FT.	6000 SQ. FT.
		Lot 2 : 7109 SQ.FT.	
Lot Width	115 '	Lot 1 : 62.51'	62'
		Lot 2 : 62.51'	
Gross Floor area (SQ.FT)	3660 sq. ft. (Living 3127 sq. ft. Garage 533 sq. ft.)	Lot 1: 3229.12 SQ. FT. 2828.12 SQ. FT. Living 401 SQ. FT. Garage	45% = 3235.5 SQ.FT.
		 Lot 2: 3189.86 SQ. FT. 2788.25 SQ. FT. Living 401.61 SQ. FT. Garage 	45% = 3199 SQ.FT.
Lot Coverage	25.6%	Lot 1: 2271.5 SQ. FT. = 31.5% • First Floor: 1812.5 SQ.FT • Garage: 401 SQ.FT. • Front Covered Porch: 58 SQ. FT.	40% Max.
		Lot 2: 2227.5 SQ. FT. = 31.3% First Floor: 1742.39 SQ.FT Garage: 401.61 SQ.FT. Front Covered Porch: 83.5 sq. ft.	40% Max.
Floor Area Ratio	 3660 SQ. FT. = 25.6% First Floor: 3127SQ.FT. Garage: 553 SQ.FT. 	Lot 1: 3229.12 SQ. FT. = 44.9% • First Floor: 1812.5 SQ.FT. • Second Floor 1015.62 SQ. FT. • Garage: 401 SQ.FT. Lot 2: 3189.86 SQ. FT. = 44.9%	45% Max.
		 First Floor: 1742.39 SQ.FT. Second Floor 1045.86 SQ. FT. Garage: 401.61 SQ.FT. 	

	Existing	proposed	Required /Permitted
No of Units	1	Lot 1: 1 Lot 2: 1	1
Density (Unit /ACRE)	6	7	7
Meets 75% min?	Yes	Same	
Building Height (ft.)	17'	Lot 1: 25'-11"	30′
		Lot 2: 27'-4"	
No of story	1	Lot 1: 2 story	2
		Lot 2: 2 story	
Front Setbacks (1st Story/2nd Story)	N/A (E) To be removed	Lot 1: First: 20'-6" / Second: 26'-6"	First: 20'-0" / Second: 25'-0"
		Lot 2: First: 20'-2" / Second: 33'-4"	
Left Side Setbacks(1st Story/2nd Story facing property)	N/A (E) To be removed	Lot 1: First: 5'-0" / Second: 12'-3"	First: Combined: 12.5' (20%). Min 4'-0" Second: Combined: 18.5'
		Lot 2: First: 9'-9" / Second: 19'-2"	(20%+6'). Min 7'-0" First: Combined: 12.5' (20%). Min 4'-0"
			Second: Combined: 18.5' (20%+6'). Min 7'-0"

Right Side Setbacks(1st Story/2nd Story facing property)	N/A (E) To be removed	Lot 1: First: 11'-5" / Second: 14'-6"	First: Combined : 12.5' (20%). Min 4'-0"
			Second: Combined : 18.5' (20%+6'). Min 7'-0"
		Lot 2: First: 4'-4" / Second: 9'-9"	First: Combined : 12.5' (20%). Min 4'-0"
			Second: Combined : 18.5' (20%+6'). Min 7'-0"
Rear Setback	N/A	Lot 1: First: 32'-2" / Second: 44'-0"	First: 20'-0"
	(E) To be removed		Second: 20'-0"
		Lot 2: First: 36'-9" / Second: 41'-5"	First: 20'-0" Second: 20'-0"
Total Landscape	Unknown	Lot 1: 3681 SQ.FT. Lot 2: 4207 SQ.FT.	N/A
Landscape /Unit	Unknown	N/A	N/A
Jsable Open space	Unknown	N/A	N/A
Parking			
Covered Parking	2	2	2

SHEET INDEX.

ARCHITECTURAL

COVER SHEET/ PLANNING DATA

BUILT IT GREEN CHECKLIST

CALGREEN MANDATORY CHECKLIST SITE PLAN LOT-1

SITE PLAN LOT-2

AREA CALCULATION DIAGRAM LOT-1

AREA CALCULATION DIAGRAM LOT-2 NEIGHBORHOOD ANALYSIS

SOLAR STUDY

PRIVACY PLAN

FIRST FLOOR PLAN LOT-1 SECOND FLOOR PLAN LOT-1

A-3.Ø.1 NEW ROOF PLAN LOT-1

PROPOSED EXTERIOR ELEVATION LOT-1

PROPOSED EXTERIOR ELEVATION LOT-1

BUILDING SECTIONS LOT-1

FIRST FLOOR PLAN LOT-2

SECOND FLOOR PLAN LOT-2

NEW ROOF PLAN LOT-2

PROPOSED EXTERIOR ELEVATION LOT-2 PROPOSED EXTERIOR ELEVATION LOT-2

BUILDING SECTIONS LOT-2

<u>CIVIL</u>

BOUNDARY & TOPOGRAPHY MAP

BOUNDARY & TOPOGRAPHY MAP

TENTATIVE MAP

CONCEPTUAL GRADING AND DRAINAGE

CONCEPTUAL GRADING AND DRAINAGE CONCEPTUAL OFF-SITE IMPROVEMENT

CONSTRUCTION DETAILS

CONSTRUCTION DETAILS EROSION CONTROL

LANDSCAPE

IRRIGATION PLAN LOT-1

PLANTING PLAN LOT-1

IRRIGATION PLAN LOT-2

PLANTING PLAN LOT-2

DETAILS

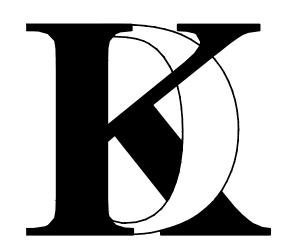
No. Date Description

Client:

1005 E. HOMESTEAD RD. SUNNYVALE, CA 94087

Project:

1005 E. HOMESTEAD RD. SUNNYVALE, CA 94087



1900 CAMDEN AVENUE SAN JOSE, CA. 95124 Phone (408) 888-6662

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KHADIV-DESIGN

9/17/19 Scale: N.T.S

FK Drawn By:

2019-6 Job No:

Signature:

Sheet Title:

COVERSHEET PLANNING DATA

	NEW HOME RATING SYSTEM, VERSION 7.0							
GreenPointRATE								
The GreenPoint Rated	checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose		Points /	Achieved:		83		
The minimum requirem	ealthy, energy and resource efficient buildings in California. ents of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Commulty (2) Energy							
	Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory, E5.2, H6.1, J5.1, O1, O7. Imn A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate points. Select the appropriate		Certifica	ation Leve	el:	Silver		
dropdown and the appr The criteria for the gree	opriate points will appear in the blue "points achieved" column. In building practices listed below are described in the GreenPoint Rated New Home Rating Manual. For more information please visit			POINT	S REQ	UIRED		■Minimum Points
	code enforcement agency.			42.0	16.5	s 12.	5 00	Achieved Points
New Home Single Fam			2 3.0		6	6 12.	5 6 9.0	
	mestead Subdivision 05 E. Homestead Rd. nyvale	Points Achieved	Community	Energy	AQ/Health	Resources	Water	
	MEASURES	₫ 4	°		ssible Po			NOTES
CALGreen Yes	CALGreen Res (REQUIRED)	4				4	1	
A. SITE	Onedicoli ites (ilegolile)	4			'			
TBD	A1. Construction Footprint (Site Preservation Plan Beyond Local Ordinance OR 40% of Site Undeveloped and Undisturbed)					1		
Vos	A2. Job Site Construction Waste Diversion A2.1 75% C&D Waste Diversion (Including Alternative Daily Cover)			1	1	2		
Yes	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)	2				2		
TBD	A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility					1		
TBD	A3. Recycled Content Base Material (Minimum 25% Post-Consumer Content)					1		
TBD TBD	A4. Heat Island Effect Reduction (Non-Roof)			1	<u> </u>			
160	A5. Construction Environmental Quality Management Plan Including Flush-Out A6. Stormwater Control: Prescriptive Path				1			
Yes	A6.1 Permeable Paving Material	1					1	
TBD	A6.2 Filtration and/or Bio-Retention Features						1	
TBD	A6.3 Non-Leaching Roofing Materials						1	
TBD	A6.4 Smart Stormwater Street Design A7. Stormwater Control: Performance Path (Capture and Treat 85% of Annual Runoff Onsite)		1				3	
B. FOUNDATION	A7. Stormwater Control. Performance Path (Capute and Treat cose of Africa Runnin Orisite)						3	
TBD	B1. Fly Ash and/or Slag in Concrete (Minimum of 30%)					1		
TBD	B2. Radon-Resistant Construction				2			
TBD	B3. Foundation Drainage System					2		
TBD	B4. Moisture Controlled Crawlspace B5. Structural Pest Controls				1			
TBD	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections					1		
TBD	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation					1		
C. LANDSCAPE								
0.00%	Enter the landscape area percentage. Points capped at 6 for less than 15%.				T			
TBD	C1. Plants Grouped by Water Needs (Hydrozoning) C2. Three Inches of Mulch in Planting Beds						1	
1,00	C3. Resource Efficient Landscapes				1		- '	
TBD	C3.1 No Invasive Species Listed by Cal-IPC					1		
TBD	C3.2 Plants Chosen and Located to Grow to Natural Size (Limited Maintenance)					1		
TBD	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species						3	
	C4. Minimal Turf in Landscape							
TBD	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide					L	2	
TBD	C4.2 Turf on a Small Percentage of Landscaped Area						2	
TBD	C5. Trees to Moderate Building Temperature (at least 50% of West Facing Glazing and Walls Shaded)			1	1		1	
TBD	C6. High-Efficiency Irrigation System C7. One Inch of Compost in the Top Six to Twelve Inches of Soil (with Soil Testing)						2	
TBD	C8. Rainwater Harvesting System						3	
TBD	C9. Recycled Wastewater Irrigation System						1	
TBD	C10. Submeter or Dedicated Meter for Landscape Irrigation						2	
TBD	C11. Landscape Meets Water Budget						1	
TBD	C12. Environmentally Preferable Materials for Site C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing					1		
Yes	C13. Reduced Light Pollution (Exterior lighting fixtures shielded and directed downward)	1	1			- 1		

New Home Single Far	Version 7.0							
TBD	C14. Large Stature Tree(s)		1					
TBD	C15. Third Party Landscape Program Certification						1	
TBD	C16. Maintenance Contract with Certified Professional (Bay-Friendly Qualifed Professional or Equily.)						1	
D. STRUCTURAL F	RAME AND BUILDING ENVELOPE D1. Optimal Value Engineering							
TBD	D1.1 Joists, Rafters, and Studs at 24 Inches on Center			1		2		
Yes	D1.2 Non-Load Bearing Door and Window Headers Sized for Load	1				1		
TBD	D1.3 Advanced Framing Measures					2		
TBD	D2. Construction Material Efficiencies (Pre-assembled wall and roof framing for at least 80% of project)					1		
	D3. Engineered Lumber							
Yes	D3.1 Engineered Beams and Headers	1				1		
TBD	D3.2 Wood I-Joists or Web Trusses for Floors					1		
TBD	D3.3 Engineered Lumber for Roof Rafters					1		
TBD	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications					1		
Yes	D3.5 OSB for Subfloor	0.5				0.5		
Yes	D3.6 OSB for Wall and Roof Sheathing	0.5				0.5		
TBD	D4. Insulated Headers			1				
TBD	D5. FSC-Certified Wood D5.1 Dimensional Lumber, Studs, and Timber					6		
TBD	D5.2 Panel Products					3		
	D6. Solid Wall Systems						1	
TBD	D6.1 At Least 90% of Floors					1		
TBD	D6.2 At Least 90% of Exterior Walls			1		1		
TBD	D6.3 At Least 90% of Roofs			1		1		
TBD	D7. Energy Heels on Roof Trusses			1				
TBD	D8. Overhangs and Gutters			1		1		
	D9. Reduced Pollution Entering the Home from the Garage							
TBD	D9.1 Detached Garage				2			
TBD	D9.2 Mitigation Strategies for Attached Garage				1			
	D10. Structural Pest and Rot Controls							
TBD	D10.1 All Wood Located At Least 12 Inches Above the Soil D10.2 Wood Framing Treated With Borates or Factory-Impregnated, or Wall					1		
TBD	Materials Other Than Wood					1		
Yes	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)	2			1	1		
E. EXTERIOR	Simily records and described by	-						
TBD	E1. Environmentally Preferable Decking					1		
TBD	E2. Flashing Installation Third-Party Verified					2		
TBD	E3. Rain Screen Wall System					2		
TBD	E4. Durable and Non-Combustible Cladding Materials					1		
TBD	E5. Durable Roofing Materials						Ι	
TBD	E5.1 Durable and Fire Resistant Roofing Materials or Assembly E6. Vegetated Roof					1		
F. INSULATION	Eo. Vegetateu nooi		2	2				
	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content							
TBD	F1.1 Walls and Floors					1		
TBD	F1.2 Ceilings					1		
	F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions							
TBD	F2.1 Walls and Floors				4			
TBD	F2.1 Walls and Floors F2.2 Ceilings				1		-	
	F3. Insulation That Does Not Contain Fire Retardants				'			
TBD	F3.1 Cavity Walls and Floors				1			
TBD	F3.2 Ceilings				1			
TBD	F3.3 Interior and Exterior				1			
G. PLUMBING								
	G1. Efficient Distribution of Domestic Hot Water							
Yes	G1.1 Insulated Hot Water Pipes	1		1				
No	G1.2 WaterSense Volume Limit for Hot Water Distribution	0					1	
No	G1.3 Increased Efficiency in Hot Water Distribution	0					2	
	G2. Install Water-Efficient Fixtures		<u> </u>		ı			
Yes	G2.1 WaterSense Showerheads 1.8gpm with Matching Compensation Valve	2					2	
Yes	G2.2 WaterSense Bathroom Faucets 1.0 gpm G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No	1				-	1	
	Less Than 500 Grams 1.28gpf OR 1.1 gpf					L	2	
TBD	G3. Pre-Plumbing for Graywater System						1	
TBD TBD								-

TBD	G4. Operational Graywater System						3	
TBD	G6. Thermostatic Shower Valve or Auto-Diversion Tub Spout						1	
H. HEATING, VENTI	LATION, AND AIR CONDITIONING							
	H1. Sealed Combustion Units							
TBD	H1.1 Sealed Combustion Furnace				1			
TBD	H1.2 Sealed Combustion Water Heater				2			
TBD	H2. High Performing Zoned Hydronic Radiant Heating System			1	1			
W.	H3. Effective Ductwork							
Yes	H3.1 Duct Mastic on Duct Joints and Seams	1		1				
Yes	H3.2 Pressure Balance the Ductwork System H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified	1		1				
100	H5. Advanced Practices for Cooling				1			
TBD	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms			1				
	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality			•				
TBD	H6.1 Meet ASHRAE 62.2-2010 Ventilation Residential Standards		R	R	R	R	R	
TBD	H6.2 Advanced Ventilation Standards				2			
TBD	H6.3 Outdoor Air is Filtered and Tempered				1			
	H7. Effective Range Hood Design and Installation							
Yes	H7.1 Effective Range Hood Ducting and Design	1			1			
TBD	H7.2 Automatic Range Hood Control				1			
TBD	H8. High Efficiency HVAC Filter (MERV 13+)				1			
TBD	H9 Advanced Refrigerants				1			
TBD	H10. No Fireplace or Sealed Gas Fireplace				1			
TBD	H11. Humidity Control Systems				1			
Yes	H12. Register Design Per ACCA Manual T	1		1				
I. RENEWABLE ENER								
TBD	I1. Pre-Plumbing for Solar Water Heating			1				
No 0.00%	I2. Preparation for Future Photovoltaic Installation I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)	0		1				
0.0078	Net Zero Energy Home	0		25				
TBD	I4.1 Near Zero Energy Home			2				
TBD	I4.2 Net Zero Electric			4				
TBD	I5. Energy Storage System			1				
J. BUILDING PERFO	PRMANCE AND TESTING							
Yes	J1. Third-Party Verification of Quality of Insulation Installation	1			1			
Yes	J2. Supply and Return Air Flow Testing	2		1	1			
TBD	J3. Mechanical Ventilation Testing				1			
TBD	J4. Combustion Appliance Safety Testing				1			
	J5. Building Energy Performance							
10.00%	J5.1 Home Meets or Exceeds Energy Compliance Pathway	25		25+				
Yes	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst	1		1				
TBD	J7. Participation in Utility Program with Third-Party Plan Review			1				
TBD No	J8. ENERGY STAR for Homes J9. EPA Indoor airPlus Certification			1				
1.5 unbal/0.6 bal	J10. Blower Door Testing	0		-	3			
K. FINISHES	ord. blower book resumg	3			3			
11.111101120	K1. Entryways Designed to Reduce Tracked-In Contaminants							
Yes	K1.1 Individual Entryways (Deliberate hard surface at entrances and permanent assembly for shoe storage)	1			1			
Yes	K2. Zero-VOC Interior Wall and Ceiling Paints	2			2			
TBD	K3. Low-VOC Caulks and Adhesives				1			
	K4. Environmentally Preferable Materials for Interior Finish							
TBD	K4.1 Cabinets					2		
TBD	K4.2 Interior Trim					2		
≥80%	K4.3 Shelving	2				2		
≥80%	K4.4 Doors	2				2		
TBD	K4.5 Countertops					1		
V	K5. Formaldehyde Emissions in Interior Finish Exceed CARB			ı				
Yes	K5.1 Doors	1		\dashv	1			
Yes	K5.2 Cabinets and Countertops	2			2			
Yes	K5.3 Interior Trim and Shelving K6. Products That Comply With the Health Product Declaration Open Standard	2		\dashv	2			
TBD	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion			\dashv	2			
No	K8. Comprehensive Inclusion of Low Emitting Finishes			\dashv	2			
	The semplements included to Low Limiting Finishes				1			
I FLOORING								
L. FLOORING								
L. FLOORING								

v Home Single Fam	ily Version 7.0		_					
TBD	L1. Environmentally Preferable Flooring					3		
TBD	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential				3			
TBD	L3. Durable Flooring (All flooring is hard surface)					1		
TBD	L4. Thermal Mass Flooring			1				
APPLIANCES AN								
Yes	M1. ENERGY STAR® Dishwasher M2. Efficient Laundry Appliances	1					1	
CEE Tier 3	M2.1 CEE-Rated Clothes Washer	3		1		1	2	
Yes	M2.2 Energy Star Dryer	2		2			-	
TBD	M2.3 Solar Dryer/ Laundry Lines			0.5				
<20 cubic feet	M3. Size-Efficient ENERGY STAR Refrigerator	2		2				
	M4. Permanent Centers for Waste Reduction Strategies							
TBD	M4.1 Built-In Recycling Center					1		
TBD	M4.2 Built-In Composting Center					1		
	M5. Lighting Efficiency			_	1		_	
Yes	M5.1 High-Efficacy Lighting M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant	2		2				
Yes	M6. Electric Vehicle Charging Stations and Infrastructure	1	1	-				
COMMUNITY								
	N1. Smart Development							
TBD	N1.1 Infill Site		1			1	1	
TBD	N1.2 Designated Brownfield Site		1			1	1	
TBD	N1.3 Conserve Resources by Increasing Density			2		2	-	
TBD	N1.4 Cluster Homes for Land Preservation N1.5 Home Size Efficiency		1			1	-	
	Enter the area of the home, in square feet					9		
	Enter the number of bedrooms							
	N2. Home(s)/Development Located Near Transit							
Yes	N2.1 Within 1 Mile of a Major Transit Stop	1	1					
TBD	N 2.2. Within 1/2 mile of a Major Transit Stop		2					
	N3. Pedestrian and Bicycle Access							
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services		2					
	Enter the number of Tier 1 services							
Section 1867	Enter the number of Tier 2 services							
TBD	N3.2 Connection to Pedestrian Pathways		1	-			-	
160	N3.3 Traffic Calming Strategies N4. Outdoor Gathering Places		2					
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents		1			Ι		
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community							
100	Services Services		1					
TBD	N5. Social Interaction N5.1 Residence Entries with Views to Callers			1		T		
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors		1				-	
TBD	N5.3 Porches Oriented to Street and Public Space		1					
	N6. Passive Solar Design							
TBD	N6.1 Heating Load			2				
TBD	N6.2 Cooling Load			2				
	N7. Adaptable Building							
TBD	N7.1 Universal Design Principles in Units		1		1	-	-	
TBD	N7.2 Full-Function Independent Rental Unit		1				1	
TBD	N8. Resiliency N9. 1 Viulnovability Accommon (out Adeas Fastities) Secretary 147/15. FFMA DEG. as Colomb Emphysical.			I	T .	Ι.	Т	
TBD	N8.1 Vulnerability Assessment (Cal-Adapt, Fortified Standard, HAZUS, FEMA P58, or Seismic Evaluation) N8.2 Strategies to Address Assessment Findings		1		1	1	+	
	N9. Social Equity in Community		1		 '	+ '	+	
TBD	N9.1 Diverse Workforce (Supplier Diversity or Local Hire)		1			1		
TBD	N9.2 Community Location (Disadvantaged Community)		1		1			
OTHER								
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R	
Yes	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	2		0.5		1	0.5	
Yes	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs O4. Builder's or Developer's Management Staff are Certified Green Building	2		0.5	0.5	0.5	0.5	
TBD	Professionals			0.5	0.5	0.5	0.5	
	O5. Home System Monitors							
TBD	O5.1 Energy Home System Monitors			1				

New Home Single Family	Version 7.0	_						
TBD	O5.2. Water Home System Monitors						1	
TBD	O6. Green Building Education O6.1 Marketing Green Building		2					-
TBD	O6.2 Green Building Signage		-	0.5			0.5	
	07. Green Appraisal Addendum 08. Detailed Durability Plan and Third-Party Verification of Plan Implementation		R	R	R	R	R	_
100						1		 _
	Summary							
	Total Available Points in Specific Categories Minimum Points Required in Specific Categories		31 2	74.5 25	60 6	87 6	49 6	
	Total Points Achieved	83.0	3.0	42.0	16.5	12.5	9.0	

GreenPoint Rated New Home Single Family Checklist Version 7.0

© Build It Green

NOTE: VERIFICATION BY A GREEN POINT RATER WILL BE REQUIRED DURING THE BUILDING PERMIT PHASE

No. Date Description

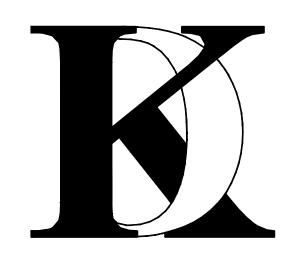
THE USE OF THESE PLANS AND SPECIFICATION SHALL BE RESTRICTED TO THE SPECIFIC SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF SHALL BE EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED; TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH KHADIV-DESIGN. WITHOUT PREJUDICE VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL INSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

Client:

1005 E. HOMESTEAD RD, SUNNYVALE, CA 94087

Project:

1005 E. HOMESTEAD RD, SUNNYVALE, CA 94087



1900 CAMDEN AVENUE SAN JOSE, CA. 95124 Phone (408) 888-6662

farnaz@khadivdesign.com

KHADIV-DESIGN

Scale:

Date:

FK Drawn By:

9/17/19

2019-6 Job No:

Signature:

Sheet Title:

BUILT IT GREEN CHECKLIST



CALGREEN MANDATORY CHECKLIST

RESIDENTIAL PROJECTS

THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2017

Following is a standardized checklist of the 2016 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (chapter 4). This checklist is required for all new buildings and additions/alterations that increase the building's conditioned area. The requirements shall apply only to and/or within the specific area of the addition or

CALGreen Reference	Description	Designer's Comments with Plan Sheet Reference	City Use Only Field Insp. Verification
4.1 Planning and Design	4.106.2 Storm water drainage and retention during construction. A plan is developed and implemented to manage storm water drainage during construction.	REFER TO GRADING AND DRAINAGE PLAN	Initials: ——— Date:
4.		Sheet: SHEET T-2	
Planning and Design	4.106.3 Grading and paving. Construction plans shall indicate how site grading or a drainage system will manage all surface water flows keep water from entering buildings.	REFER TO GRADING AND DRAINAGE PLAN	Initials:
4.1 Plar		Sheet: SHEET T-2	Date:
4.1 Planning and Design	4.106.4 EV Charging. Provide capability for electric vehicle charging in one- and two-family dwellings and in townhouses with attached private garages; and 12.5% of total parking spaces, as specified, for multi-family dwellings.	REFER TO FIRST FLOOR ELECTRICAL PLAN	Initials:
4.1 Plaı	specifica, for maker running awakings.	Sheet: EL-1.0	Date:
4.2 Energy Efficiency	4.201.1 Scope Building meets or exceeds the requirements of the California Building Energy Efficiency Standards	REFER TO ENERGY COMPLIANCE FORMS	Initials:
4.2 E		Sheet: T-24.1	Date:

4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (fluctest and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 Whose 14.4.4. 4.303.1.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilotts. Note: The effective flush volume of dual flush toilets is defined as the composite, average 1 lush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.125 gallons per flush. 4.303.1.3 Showerheads.				
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Sheet:	Water ency and ervation	fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the		Initials:
	4.3 Efficie Conse	,,	Sheet:	Date:
One-Stop Permit Center - City Hall - 456 W. Olive Avenue - (408) 730-7444		One-Stop Permit Center - City Hall 456 W Olive Avenue		

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4.505.2 Concrete slab foundations. Vapor retarder and capillary

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Page 3 of 5 Rev. 12/2016

	4.504.1 Covering of duct openings and protection of mechanical equipment during construction. Duct openings and other related air distribution component openings shall be covered during construction.	DOCUMENTATION BY GC	
	 4.504.2 Finish material pollutant control. 4.504.2.1 Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. 4.504.2.2 Paints and coatings. Paints, stains and other coatings shall be compliant with VOC limits. 4.504.2.3 Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. 4.504.2.4 Verification. Documentation shall be provided to verify that compliant VOC limit finish materials have been used. 4.504.3 Carpet systems. All carpet installed in the building interior 		
4.5 Environmental Quality	shall meet the testing and product requirements of one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) 3. NSFI ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold. 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.		Initials: Date:
4.5 En	 4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following: Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 201 0 (also known as Specification 01350). 		
	4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93J20 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.	Sheet:	

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Page 5 of 5

Page 4 of 5

4.5 Environments Quality	break is installed at slab-on-grade foundations. 4.503.3 Moisture content of building materials. Moisture content of building materials used in wall and floor framing is checked before enclosure.	Sheet: DETAIL SHEETS	Initials: ——— Date: ———
4.5 Environmental Quality	 4.507.2 Heating and air-conditioning system design. Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSIIACCA 2 Manual J-2011 or equivalent. 2. Size duct systems according to ANSI! ACCA 1 Manual D-2014 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent. 	REFER TO ENERGY COMPLIANCE FORMS Sheet: T-24.1	Initials: Date:
Chapter 7 Installer and Special Inspector Qualifications	 702.1 Installer Training. HVAC system installers are trained and certified in the proper installation of HVAC systems. 702.2 Special Inspection. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting. 703.1 Documentation. Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance. 	DOCUMENTATION BY GC Sheet:	Initials: Date:
		Silect.	

One-Stop Permit Center - City Hall - 456 W. Olive Avenue - (408) 730-7444 Building and Planning Division staff are available 8:00 a.m. - 12:30p.m. and 1:00pm - 5:00 p.m. www.SunnyvaleBuilding.com / www.SunnyvalePlanning.com Rev. 12/2016

4.304.1 Outdoor potable water use in landscape areas. After REFER TO LANDSCAPE December 1, 2015, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following options: 1. A local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent; or 2. Projects with aggregate landscape areas less than 2,500 square feet may comply with the MWELO's Appendix D Prescriptive Compliance Option. 1. The Model Water Efficient Landscape Ordinance (MWELO) and supporting documents are available at: www.water.ca.gov/wateruseefficiency/landscapeordinance/ 2. A water budget calculator is available at: www.water.ca.gov/wateruseefficiency/landscapeordinance/ Sheet: L-1.0 **4.406.1 Rodent proofing.** Annular spaces around pipes, electric DOCUMENTATION BY GC cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency. **4.408.1 Construction waste management.** Recycle and/or salvage DOCUMENTATION BY GC for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section 4.408.3; or 4. The waste stream reduction alternative, per Section 4.408.4. **4.410.1 Operation and maintenance manual**. An operation and DOCUMENTATION BY GC maintenance manual shall be provided to the building occupant or **4.410.2 Recycling by Occupants**. Where 5 or more multifamily DOCUMENTATION BY GC dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. **4.503.1 Fireplace**. Any installed gas fireplace shall be a direct vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local Sheet: A-2.0

One-Stop Permit Center - City Hall - 456 W. Olive Avenue - (408) 730-7444
Building and Planning Division staff are available 8:00 a.m. - 12:30p.m. and 1:00pm - 5:00 p.m. www.SunnyvaleBuilding.com / www.SunnyvalePlanning.com Rev. 12/2016 No. Date Description

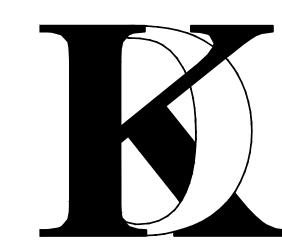
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Client:

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Project:

1005 E. HOMESTEAD RD, SUNNYVALE, CA 94087



1900 CAMDEN AVENUE SAN JOSE, CA. 95124 Phone (408) 888-6662

farnaz@khadivdesign.com

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9/17/19

2019-6

FK

Scale:

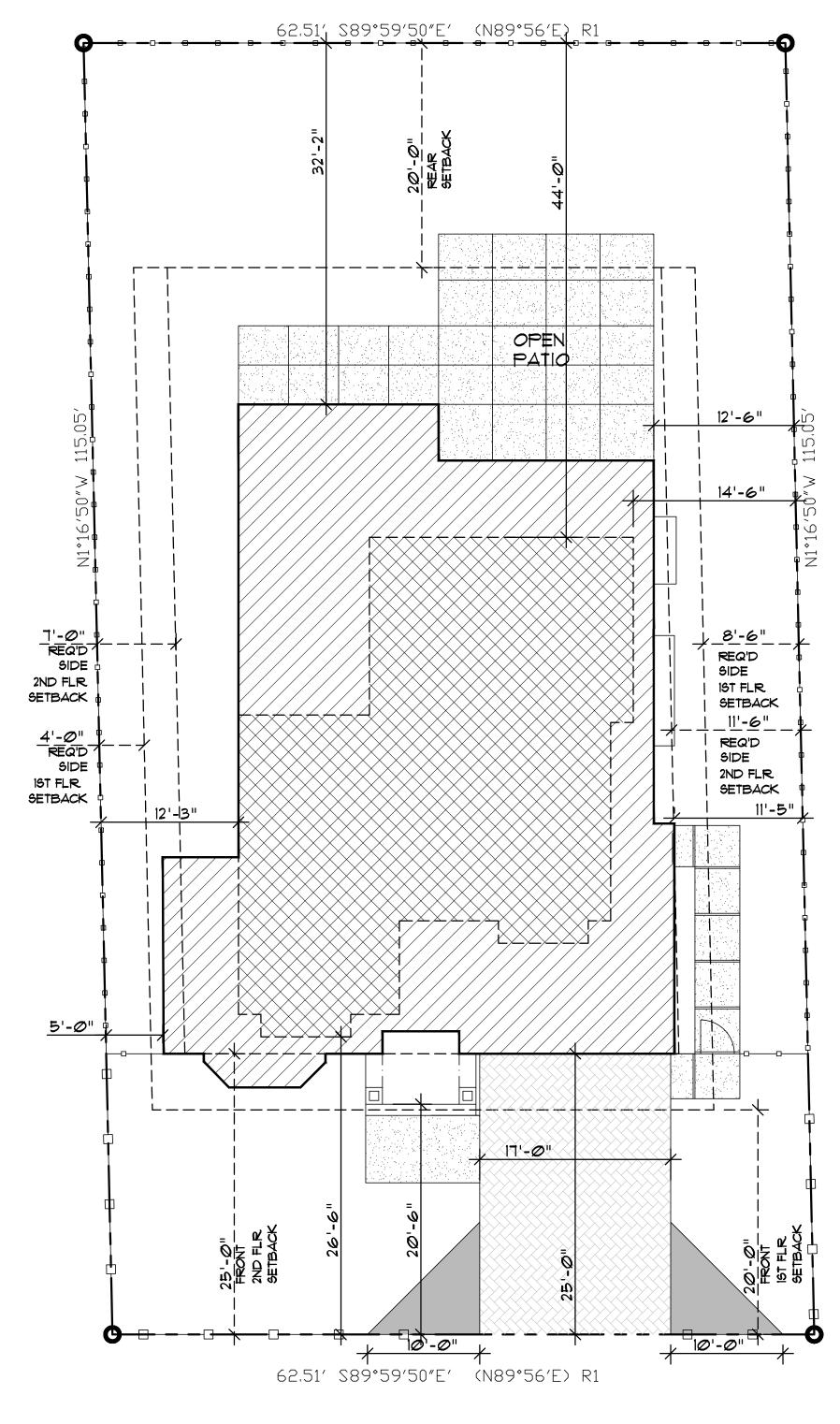
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Job No:

Signature:

Sheet Title:

CALGREEN **MANDATORY CHECKLIST**



TOP OF CURB

EL = 142.75'

HEIGHTS SHALL BE MEASURED FROM TOP OF CURB OR ADJACENT GRADE

SITE PLAN LEGEND

LOT WIDTH = 62.5'

PROPERTY LINE.

SETBACK LINE OR LINE OF EASEMENT

OUTLINE OF (N) BUILDING

PROPOSED FENCE 8'-O" MAXIMUM TYPE "A"

PROPOSED FENCE 3.5' SOLID AND 4' MAX. TYPE "B"

FOOTPRINT FIRST FLOOR

COMBINED SIDE SETBACK FOR IST FLR.

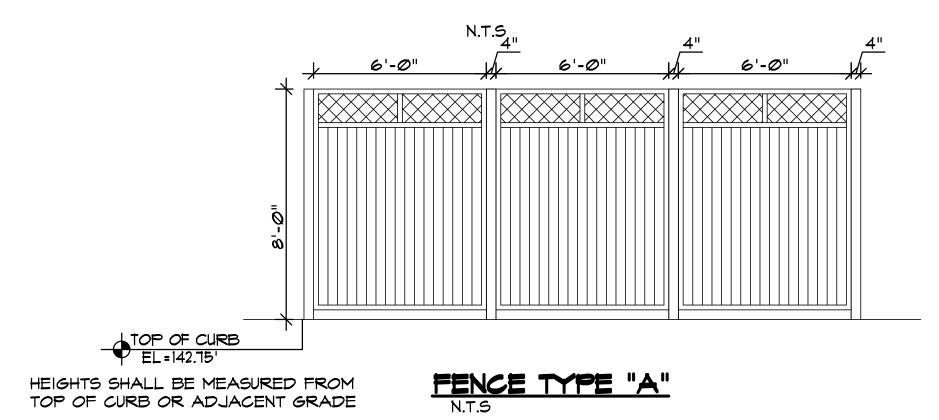
COMBINED SIDE SETBACK FOR 2ND FLR.

FOOTPRINT OF SECOND FLOOR

TRIANGLE VISION

PERVIOUS INTERLOCKING PAVER

PERMEABLE WALKWAY



NOTE:
ALL PROPOSED UTILITY LINE SHALL BE UNDERGROUND. REFER TO CIVIL DRAWINGS

SITE PLAN LOT-I

NORTH

LOT-01
1005 E. HOMESTEAD RD,
SUNNYVALE, CA

LOT-2 LOT-1

KEY PLAN

No. Date Description

BE RESTRICTED TO THE SPECIFIC SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF SHALL BE EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED; TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH KHADIV-DESIGN. WITHOUT PREJUDICE VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL INSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

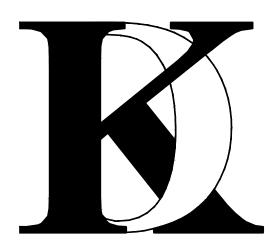
Client:

1005 E. HOMESTEAD RD, SUNNYVALE, CA 94087

Project:

LOT-1

1005 E. HOMESTEAD RD, SUNNYVALE, CA 94087



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farnaz@khadivdesign.com

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Date: 9/17/19
Scale: AS SHOWN
Drawn By: FK

Job No: 2019-6

Signature:

Sheet Title:

SITE PLAN PLANNING DATA

Sheet No.:

A-1.0.1

No. Date Description

ACCEPTANCE OF THE RESTRICTIONS.

1005 E. HOMESTEAD RD,

LOT-2

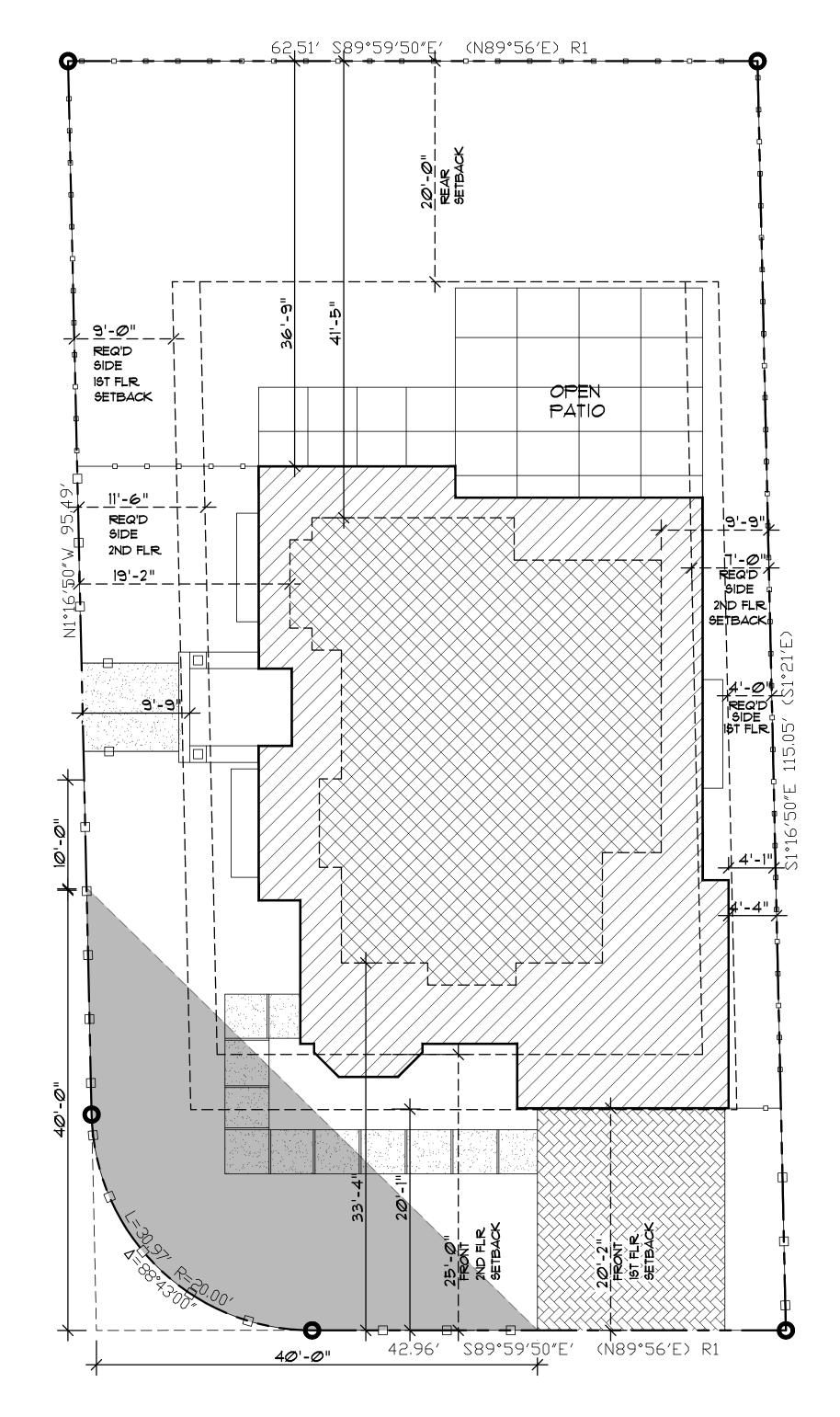
1005 E. HOMESTEAD RD,

SUNNYVALE, CA 94087

SUNNYVALE, CA 94087

Client:

Project:



COMBINED SIDE SETBACK FOR 1ST FLR.

COMBINED SIDE SETBACK FOR 2ND FLR.

SITE PLAN LEGEND

PROPERTY LINE. SETBACK LINE OR LINE OF EASEMENT OUTLINE OF (N) BUILDING PROPOSED FENCE 8'-0" MAXIMUM TYPE "A" PROPOSED FENCE 3.5' SOLID AND 4' MAX. TYPE "B" FOOTPRINT FIRST FLOOR

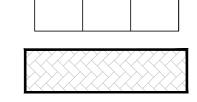
LOT WIDTH = 62.5' $62.5' \times 20\% = 12.5'$

12.5' + 6 FEET = 18.5'

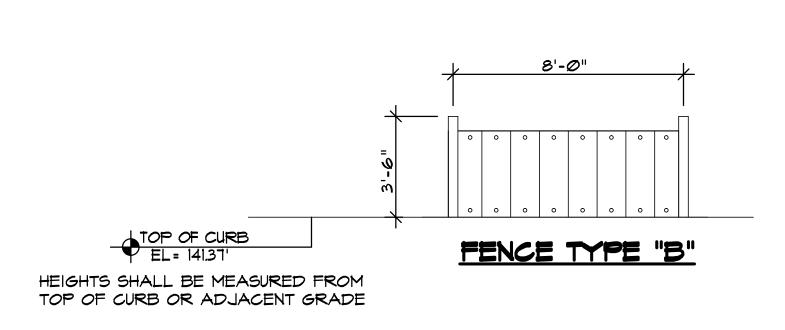
FOOTPRINT OF SECOND FLOOR

TRIANGLE VISION

PERMEABLE WALKWAY



PERVIOUS INTERLOCKING PAVER



TOP OF CURB

EL = 141.37' HEIGHTS SHALL BE MEASURED FROM

FENCE TYPE "A"

NOTE:

TOP OF CURB OR ADJACENT GRADE

LOT-2

KEY PLAN

LOT-1

9/17/19 Scale: AS SHOWN

1900 CAMDEN AVENUE

SAN JOSE, CA. 95124

Phone (408) 888-6662

farnaz@khadivdesign.com

KHADIV-DESIGN

Drawn By: FK

2019-6 Job No:

Signature:

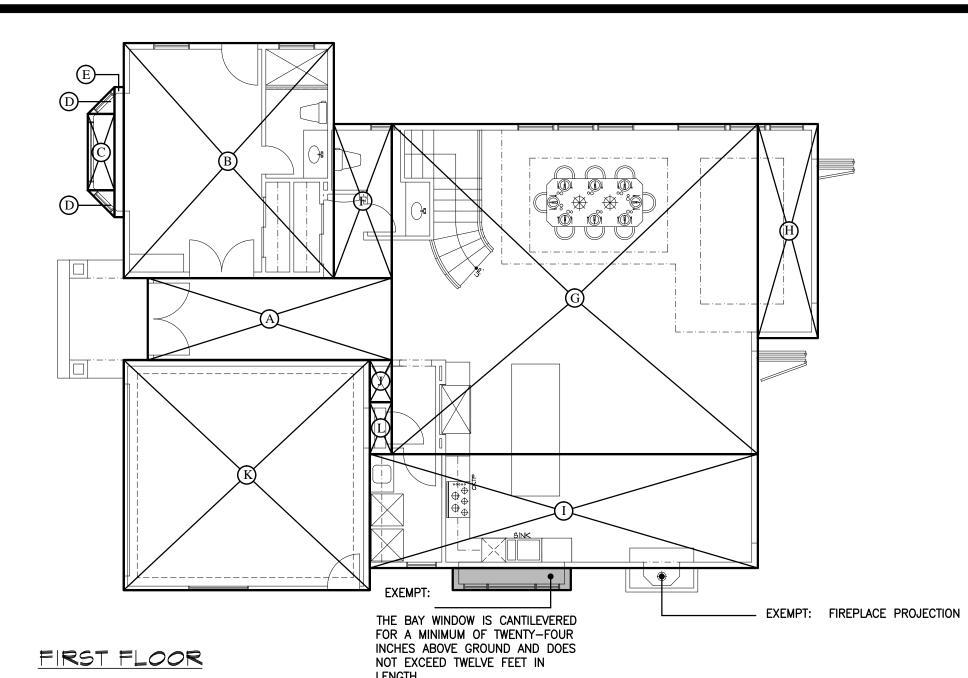
Sheet Title:

SITE PLAN PLANNING DATA

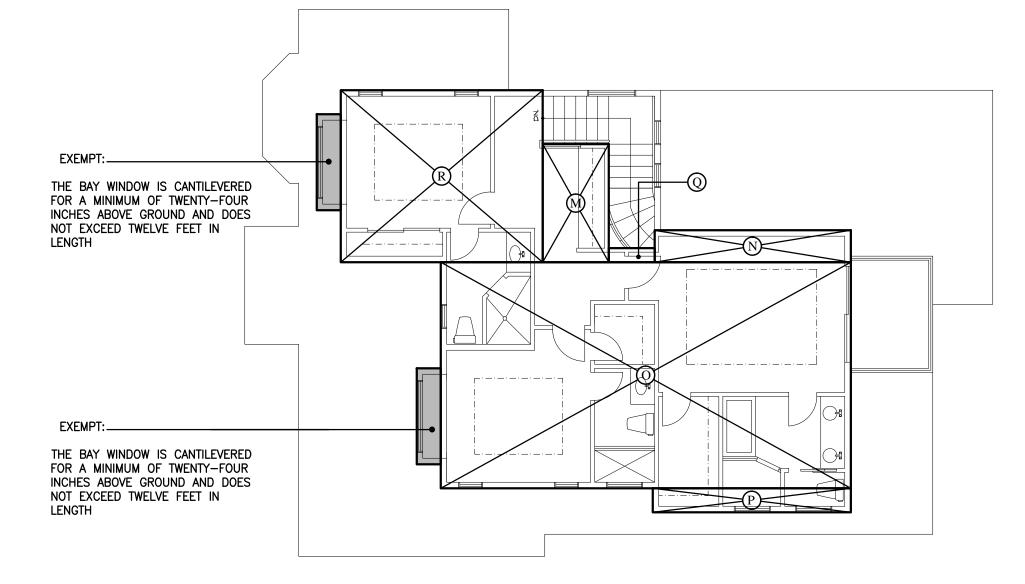
Sheet No.:

SITE PLAN LOT-2 1/8"=1'-0"

LOT-02 1005 E. HOMESTEAD RD, SUNNYVALE, CA

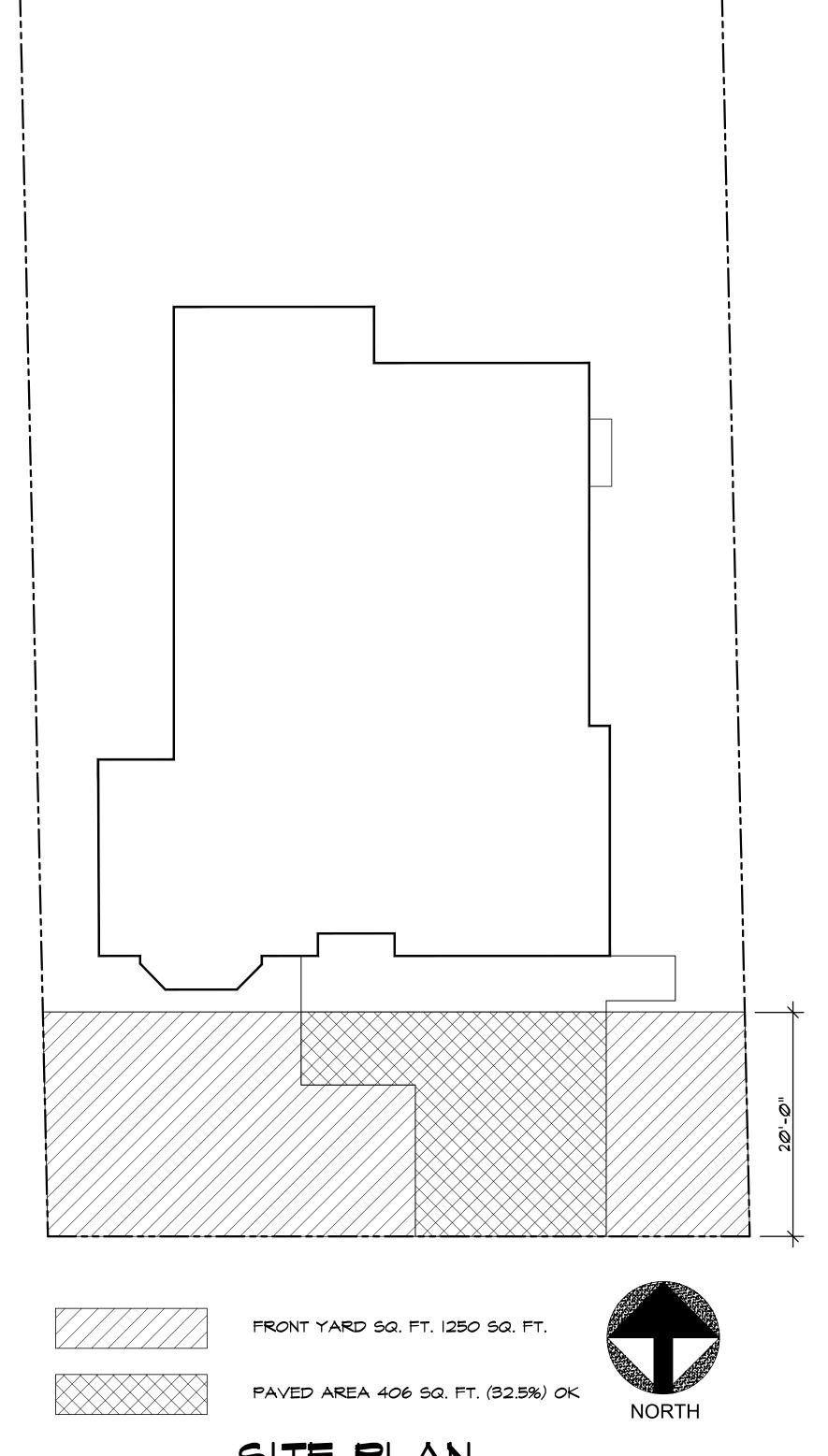


FIRST FLOOR	DIMENSIONS	AREA	SQ. FT.
A	20'-4" × 6'-10"	138.95	SQ. FT.
В	17'-6" × 19'-7"	342.6	SQ. FT.
C	6'-4" × 2'-3"	14.20	SQ. FT.
D	(2'-2" × 2'-2")/2 × 2	5.00	SQ. FT.
E	10'-10" × 9"	8.30	SQ. FT.
F	4'-10" × 12'-10"	62.0	SQ. FT.
6	30'-6" × 27'-6"	838.75	SQ. FT.
H	5'-0" × 17'-10"	89.1	SQ. FT.
1	32'-4" × 9'-6"	307.2	SQ. FT.
J	1'-10" × 3'-6"	6.4	SQ. FT. SQ. FT.
TOTAL F.A.R		1812.50	SQ. FT.
GARAGE	DIMENSIONS	AREA	SQ. FT.
K	20'-6" × 19'-2"	393	SQ. FT.
L	4'-4" × 1'-10"	8	SQ. FT.
TOTAL		401	SQ. FT.



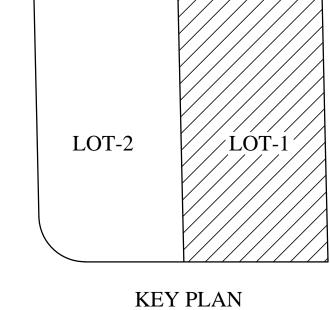
SECOND FLOOR

SECOND FLOOR	DIMENSIONS	AREA	SQ. FT.
M	5'-6" × 9'-10"	50.00	SQ. FT.
N	16'-4" × 2'-8"	43.5	SQ. FT.
0	3'-10" × 1'-2"	4.45	SQ. FT.
P	16'-6" × 2'-0"	33.00	SQ. FT.
Q	34'-2" × 18'-10"	643.47	SQ. FT.
R	6'- 0" X 4'-4"	241.2	SQ. FT.
SUB TOTAL AREA		1015.62	SQ. FT.



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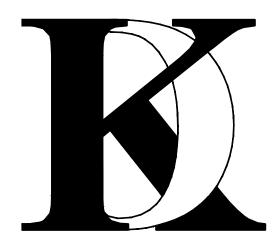
Client:

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Job No: 2019-6

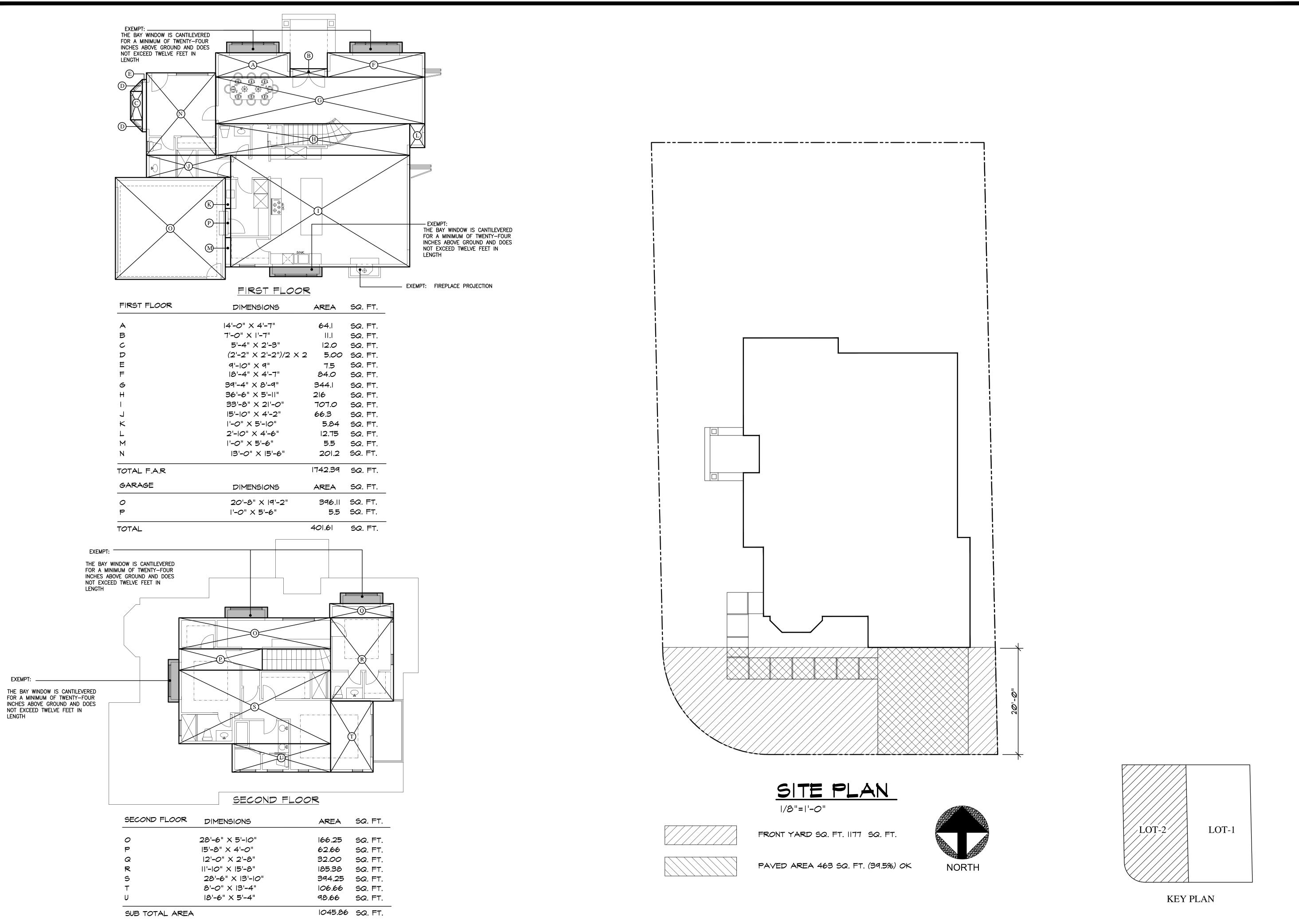
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AREA CALCULATION DIAGRAM

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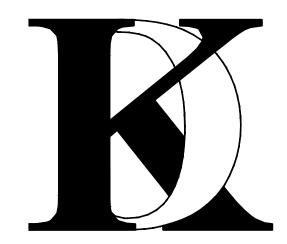
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Project:

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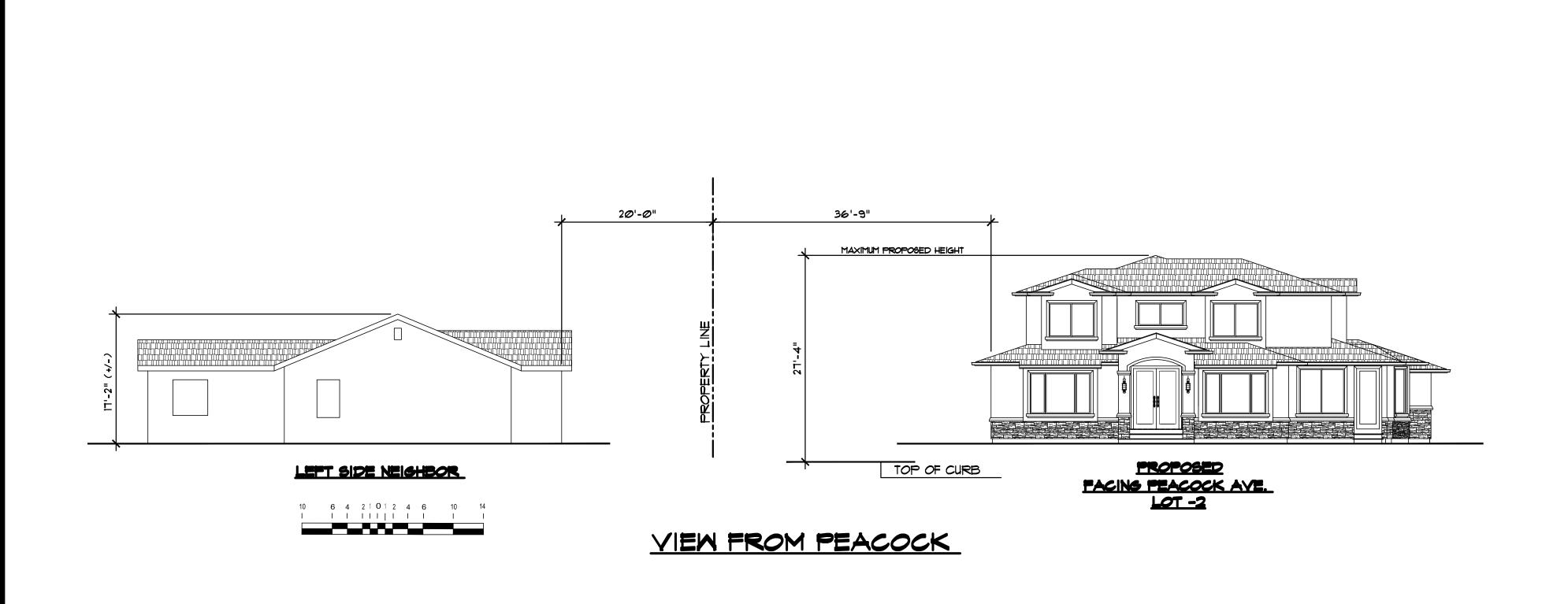
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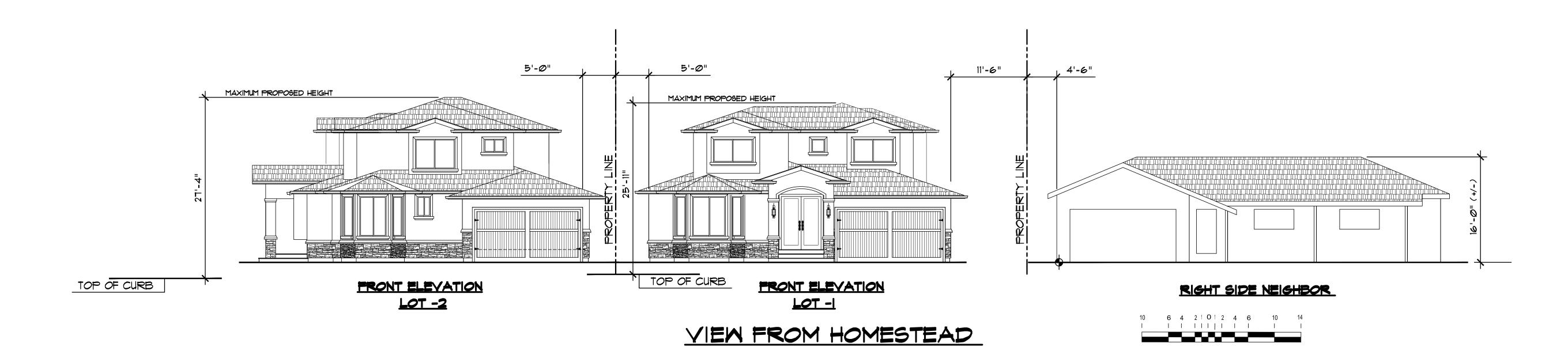
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A-1.1.2





SCHEMATIC





LEFT SIDE NEIGHBOR

<u>Existing</u>

FACING PEACOCK AVE.



FACING PEACOCK AVE.





<u>Existing</u>

FACING HOMESTEAD RD.



RIGHT SIDE NEIGHBOR

No. Date Description

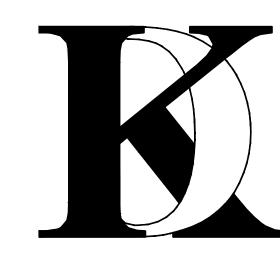
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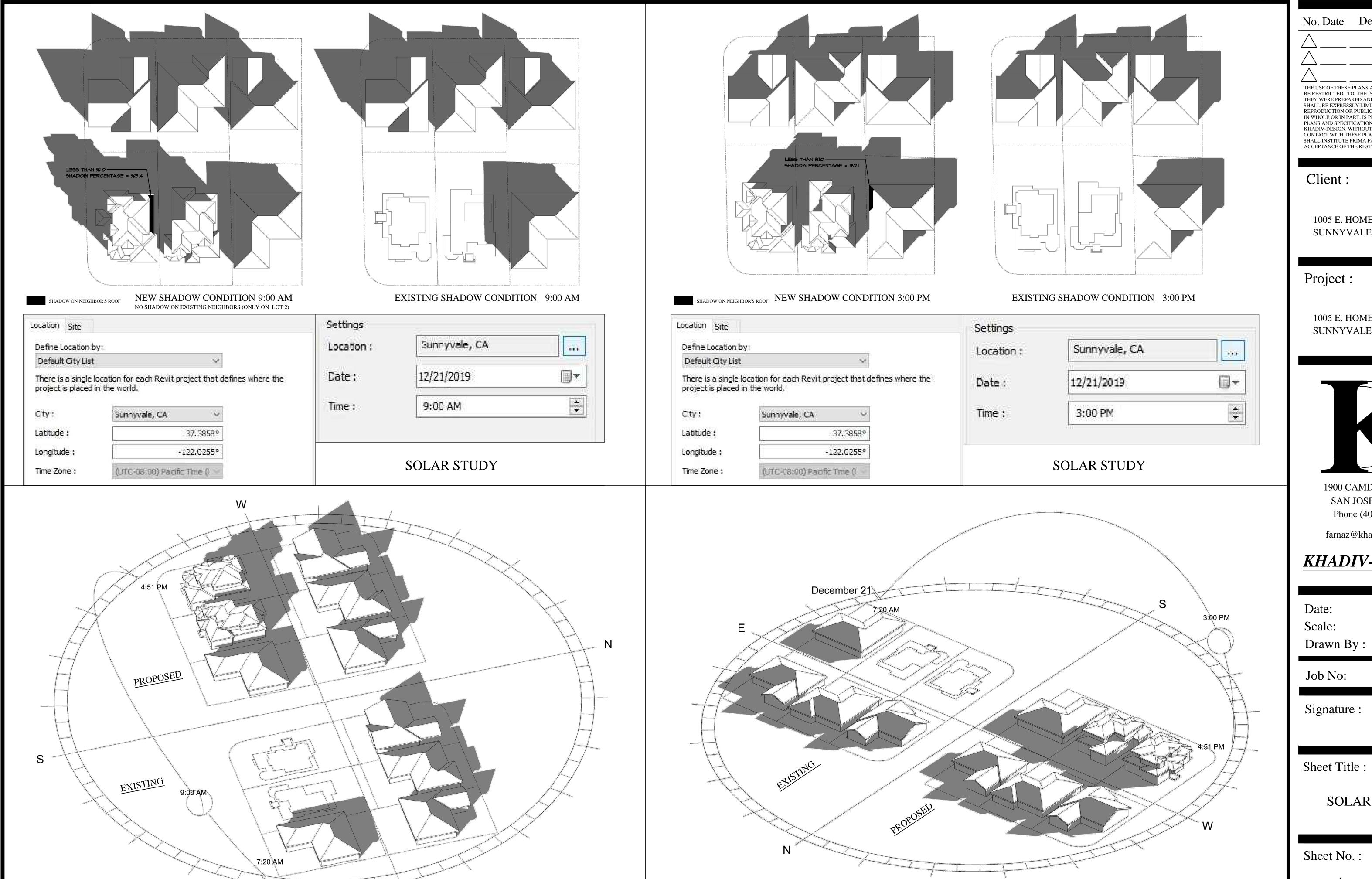
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NEIGHBORHOOD ANALYSIS

Sheet No.:

A-1.2



December 21

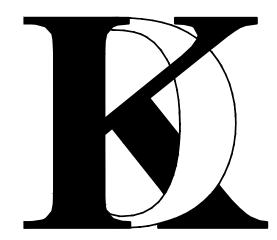
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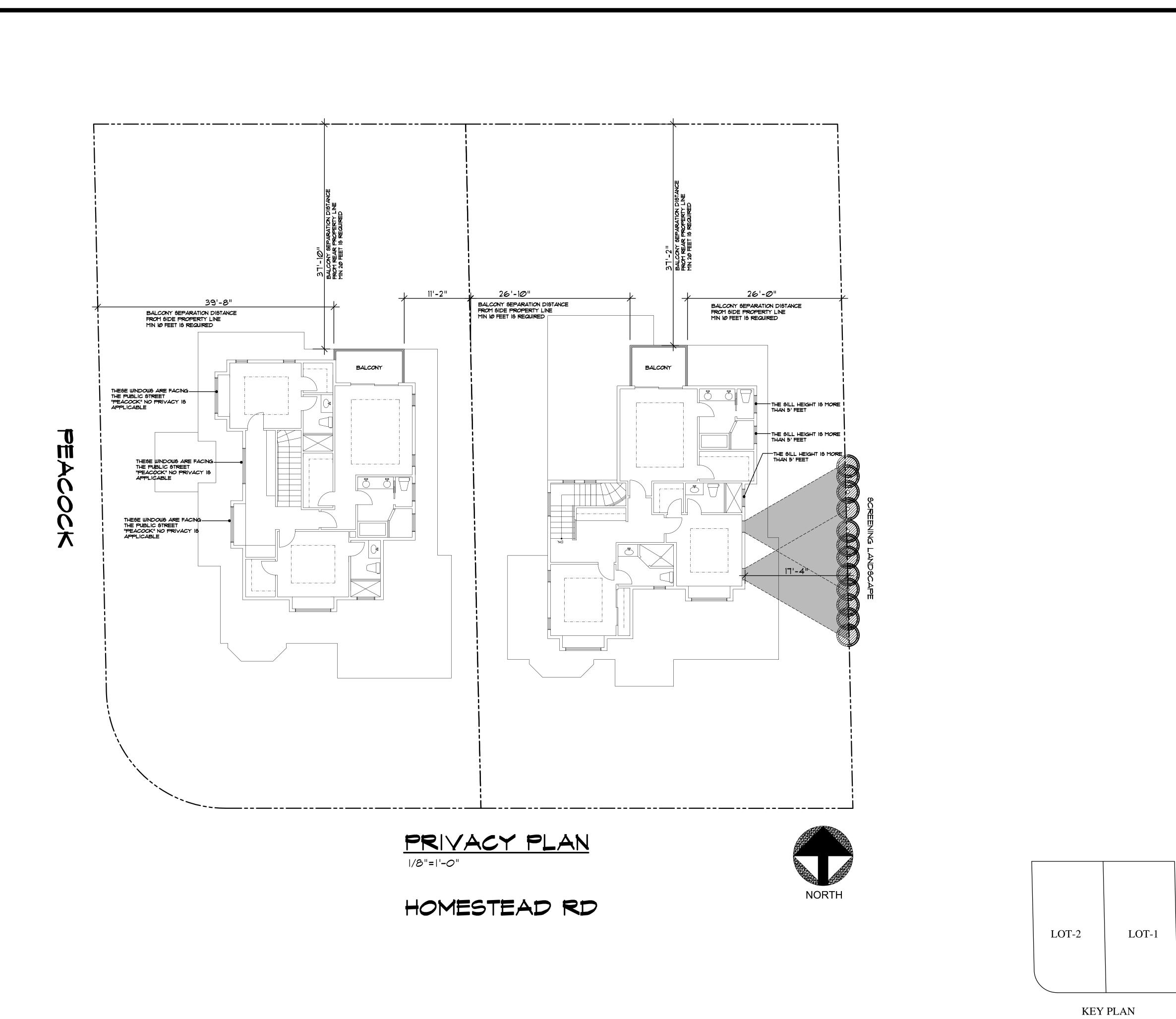
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2019-6

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SOLAR STUDY



No. Date Description

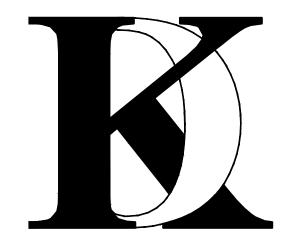
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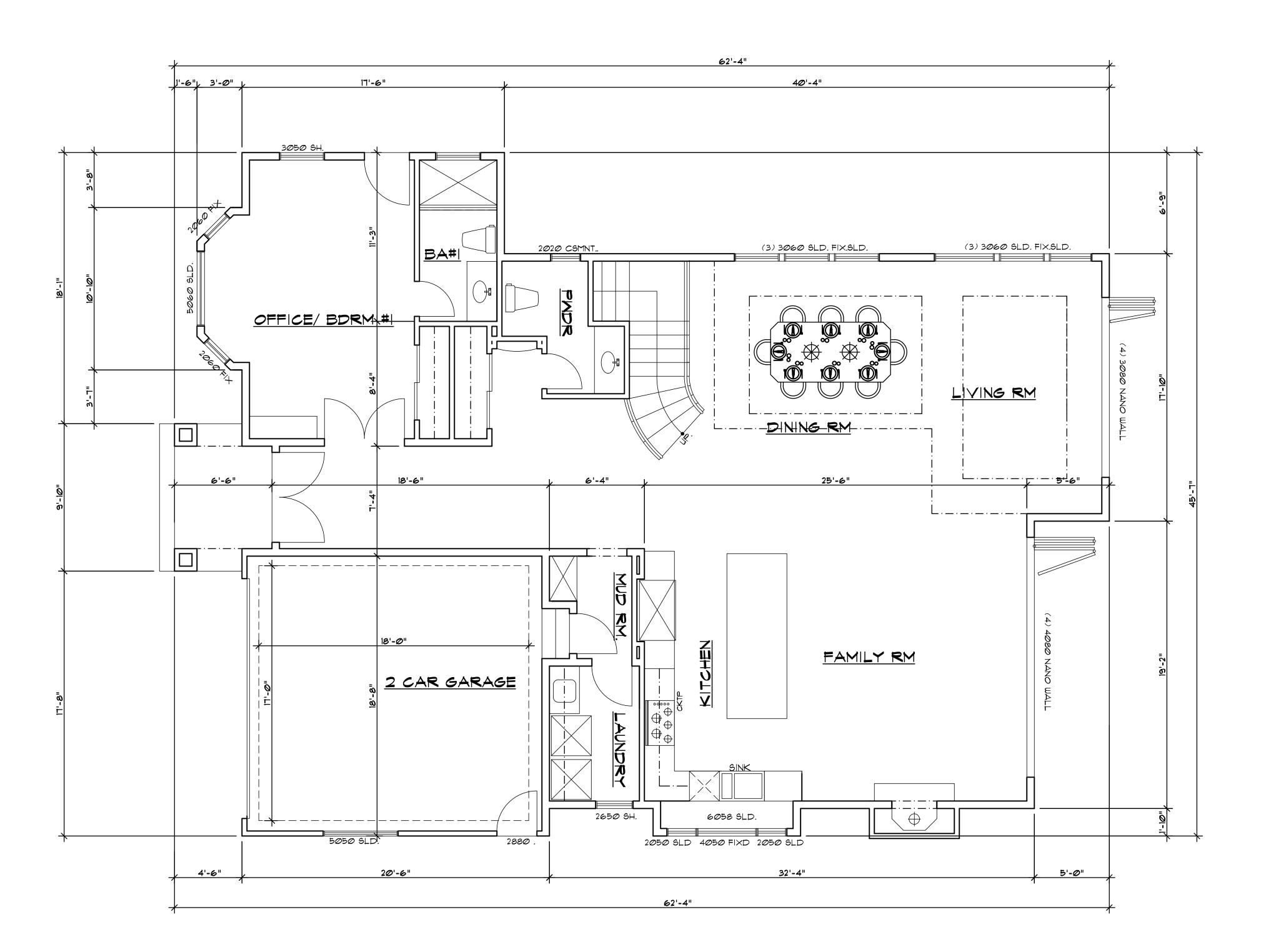
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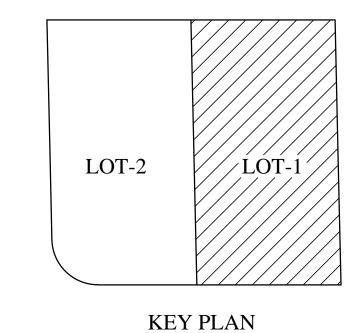
PRIVACY PLAN

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FIRST FLOOR PLAN



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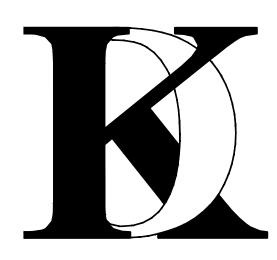
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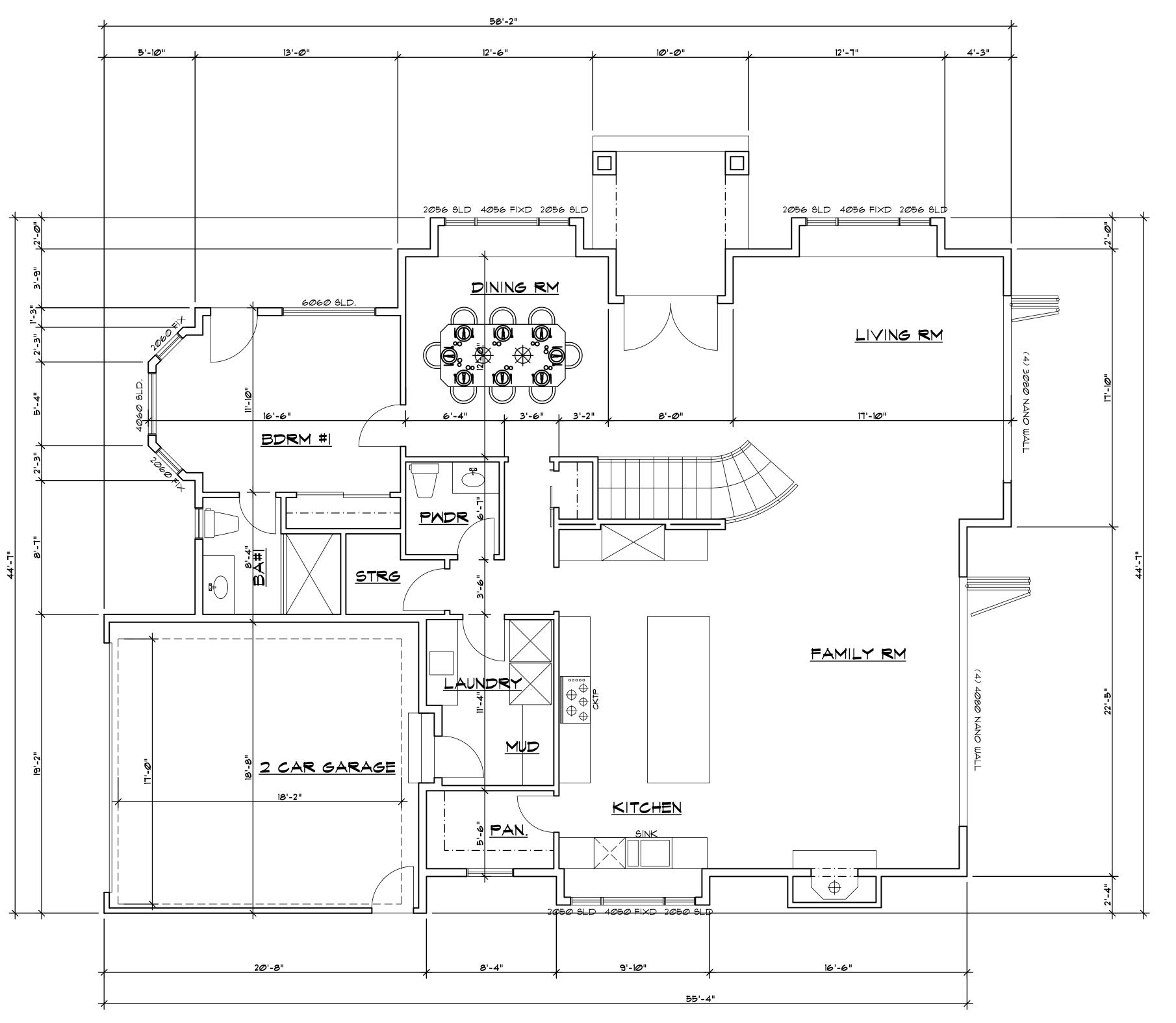
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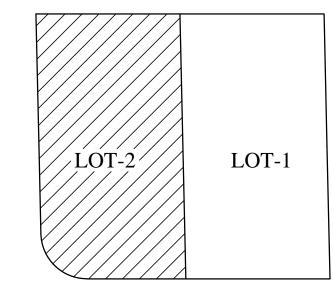
FIRST FLOOR PLAN

Sheet No.:

A-2.0.1



FIRST FLOOR PLAN



KEY PLAN

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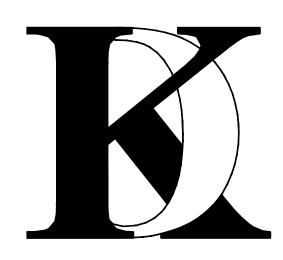
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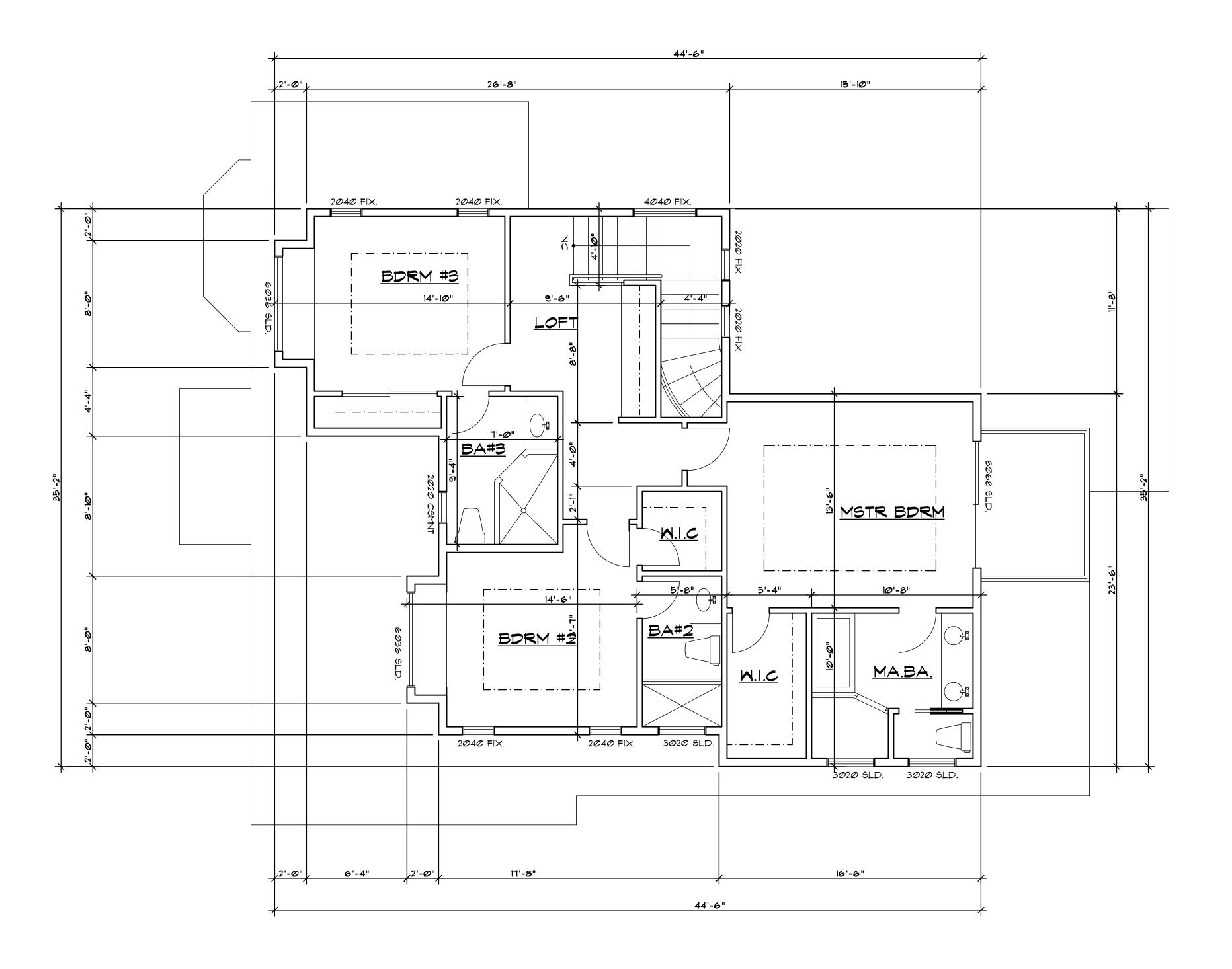
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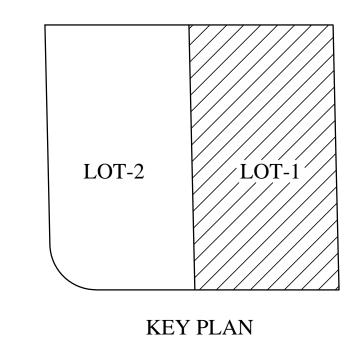
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A-2.0.2



SECOND FLOOR PLAN



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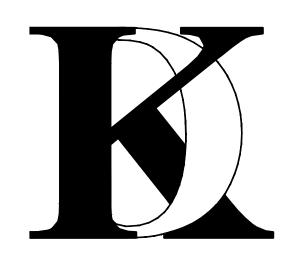
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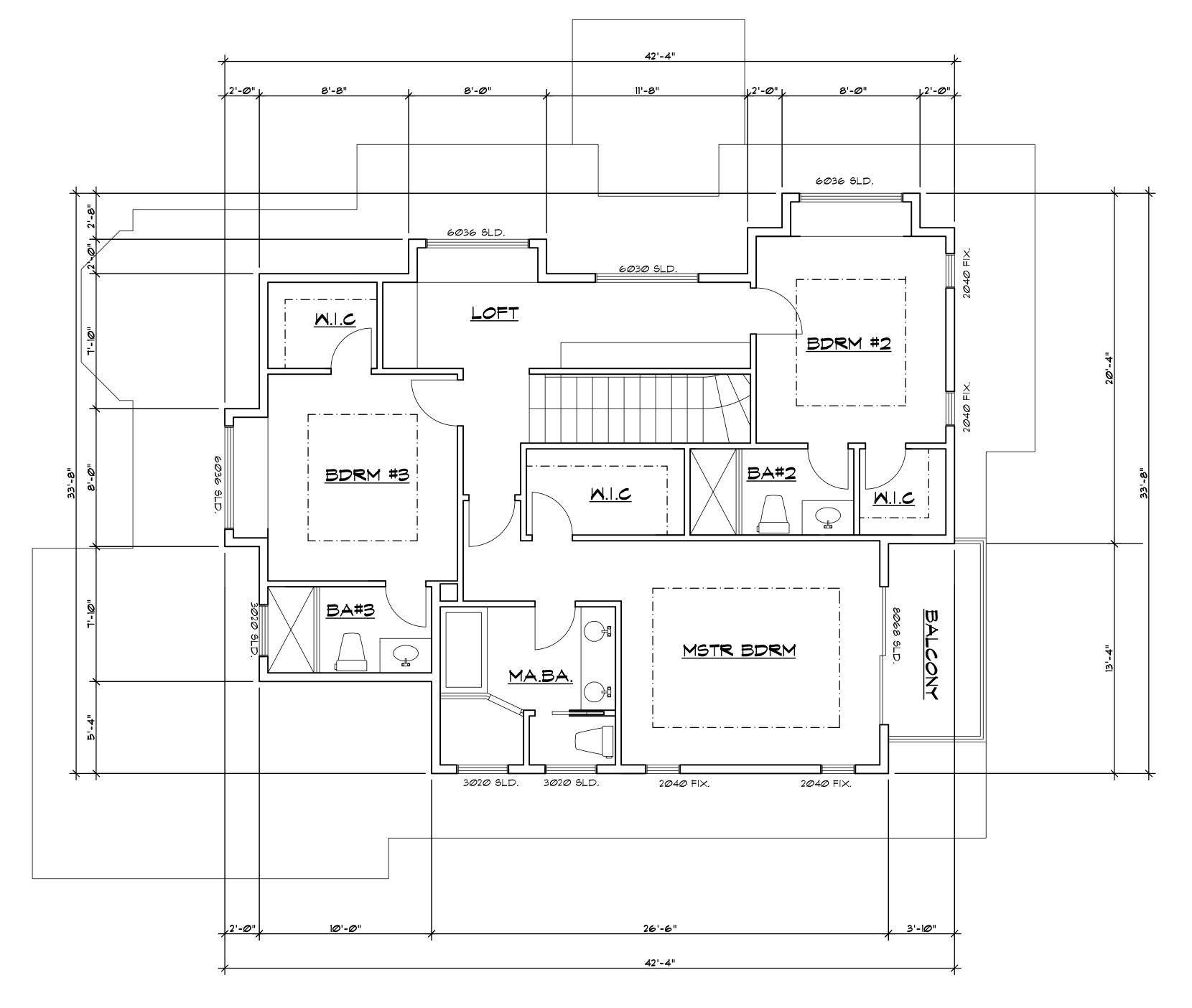
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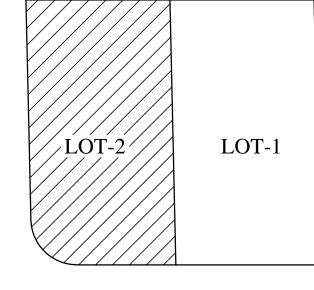
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Sheet No.:

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SECOND FLOOR PLAN



KEY PLAN

No. Date Description

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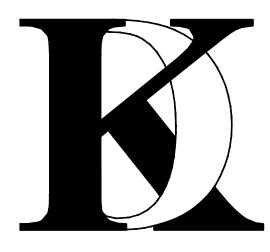
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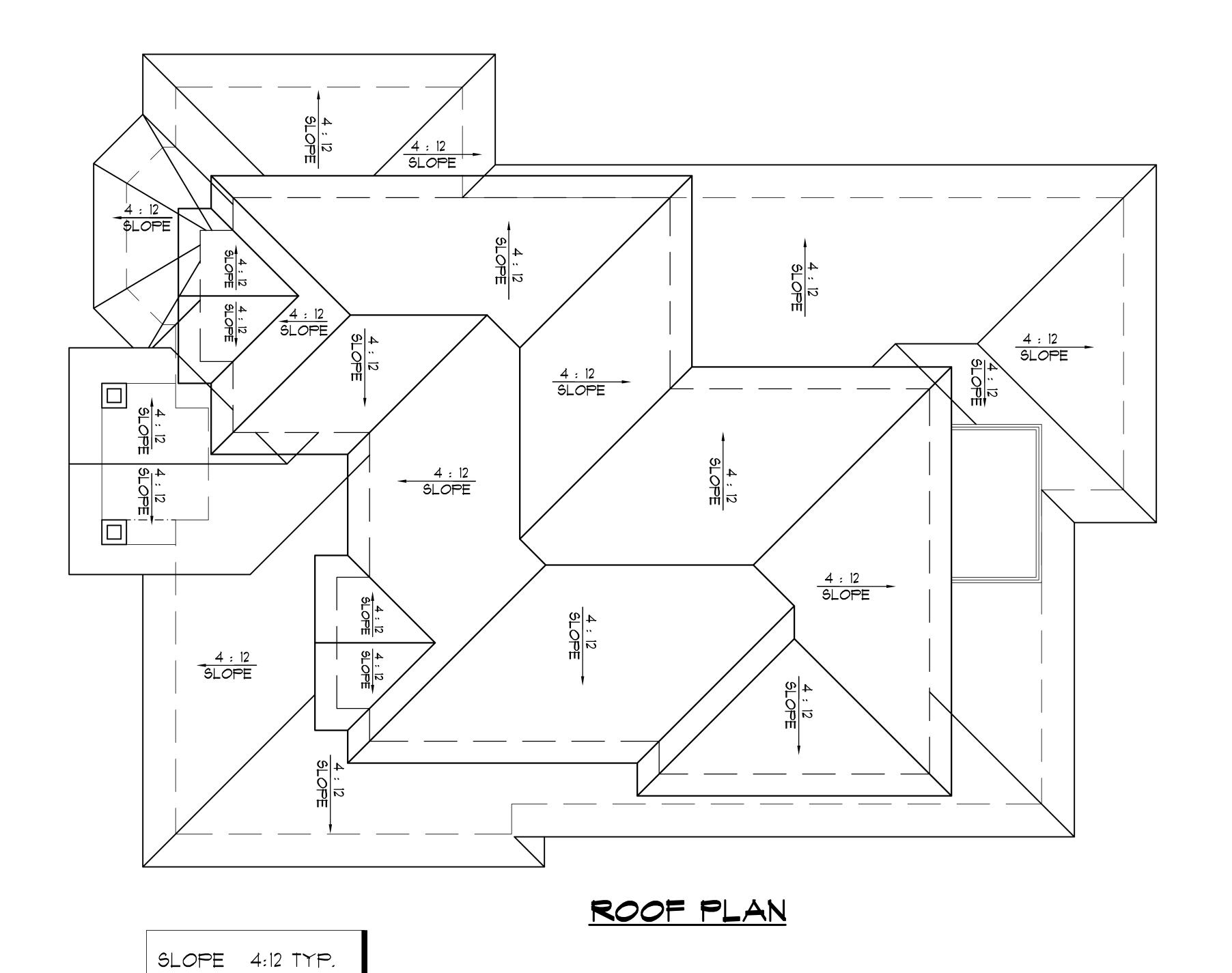
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SECOND FLOOR PLAN

Sheet No.:

A-2.1.2



LOT-2

KEY PLAN

No. Date Description

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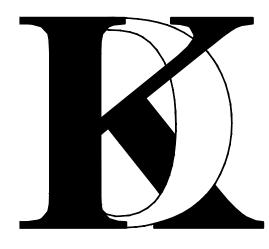
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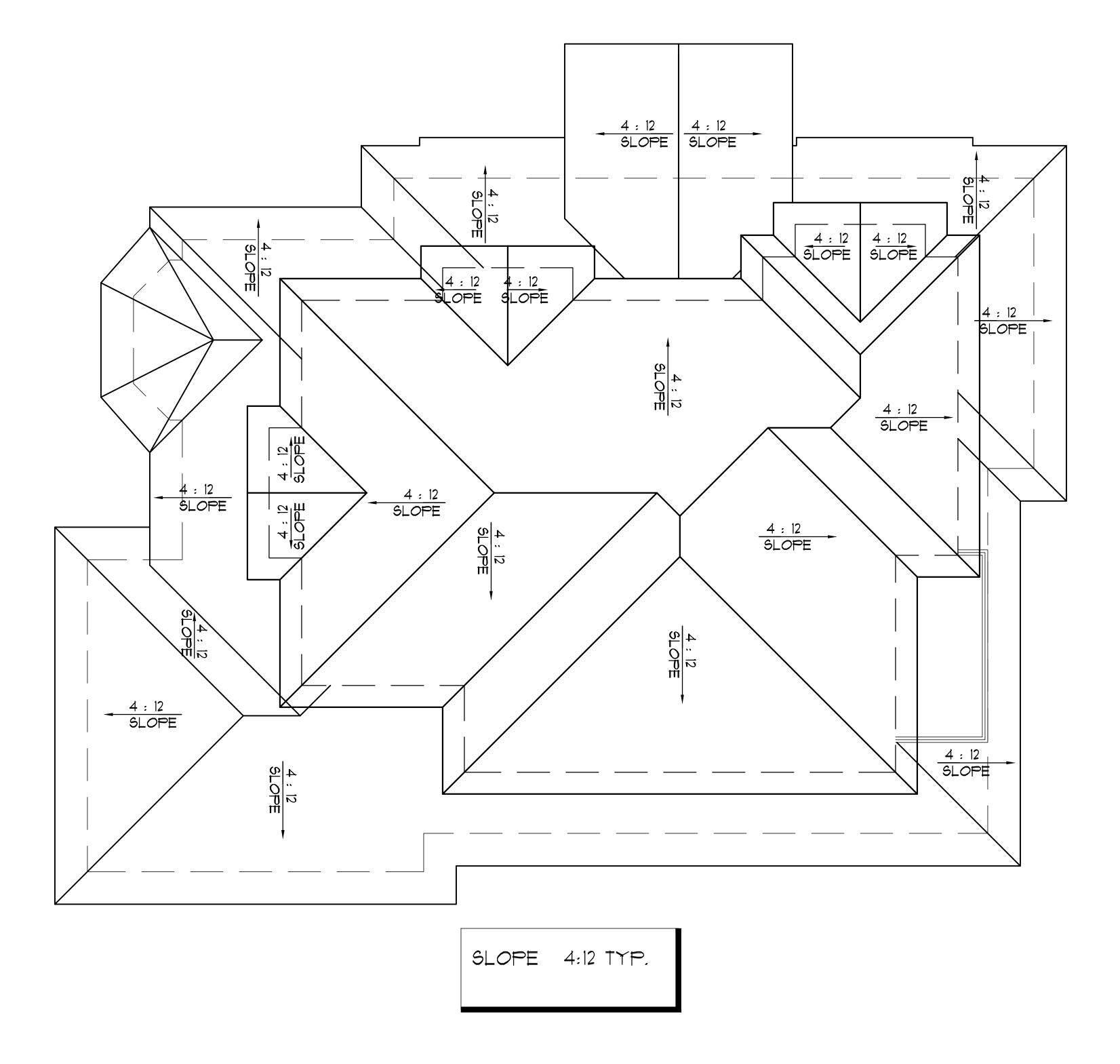
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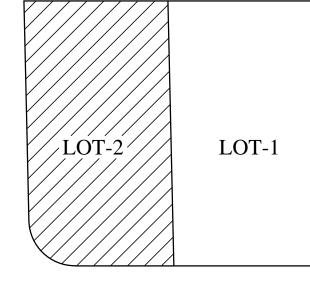
ROOF PLAN

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A-3.0.1



ROOF PLAN



KEY PLAN

No. Date Description

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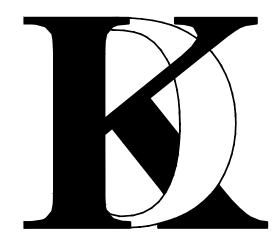
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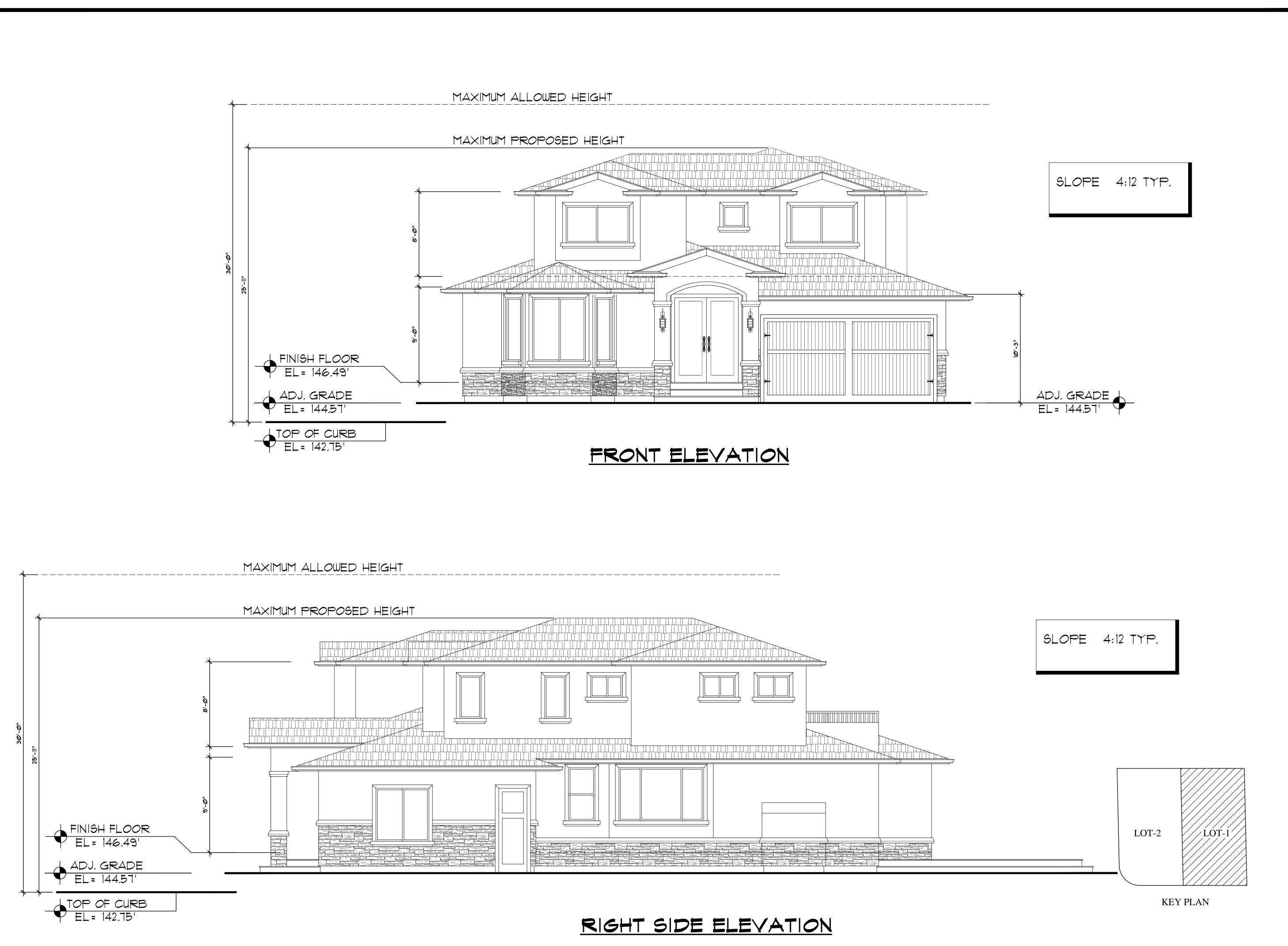
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ROOF PLAN

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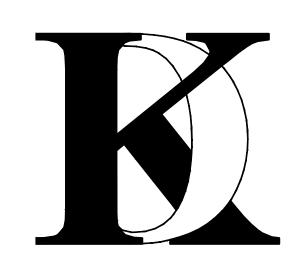
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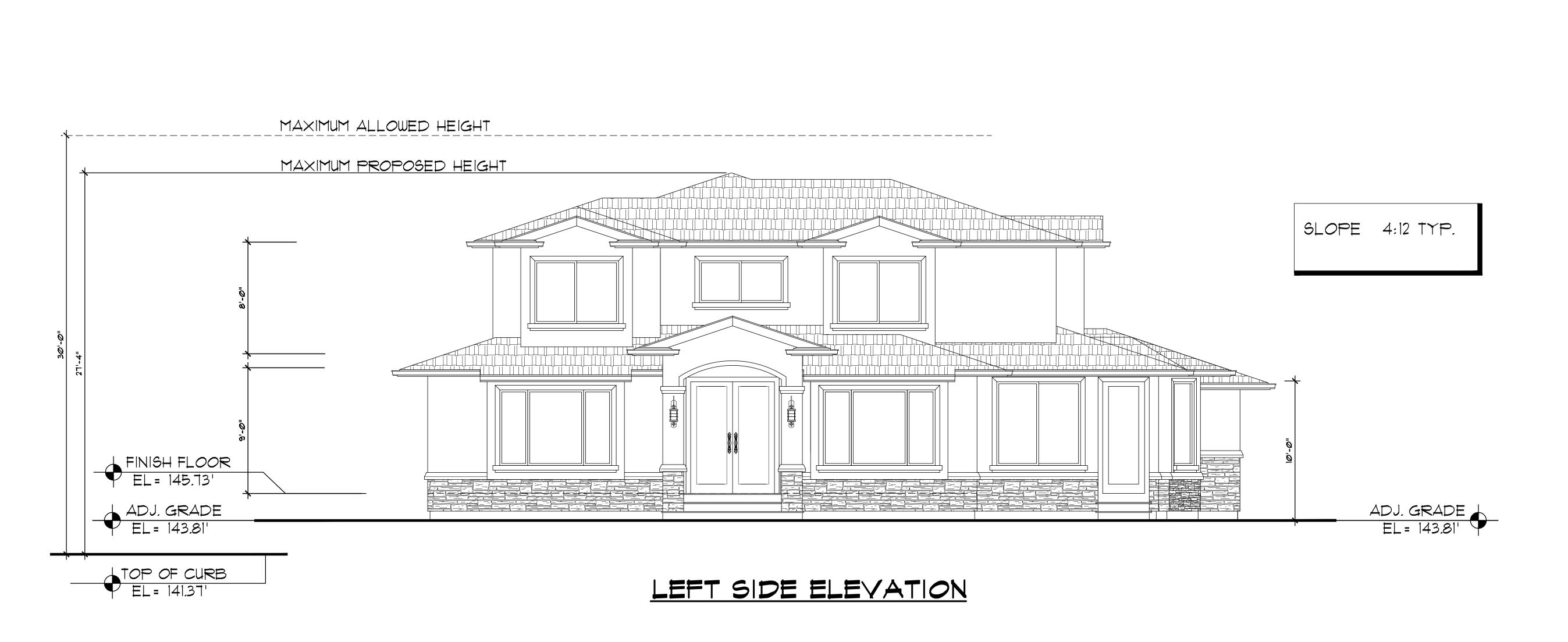
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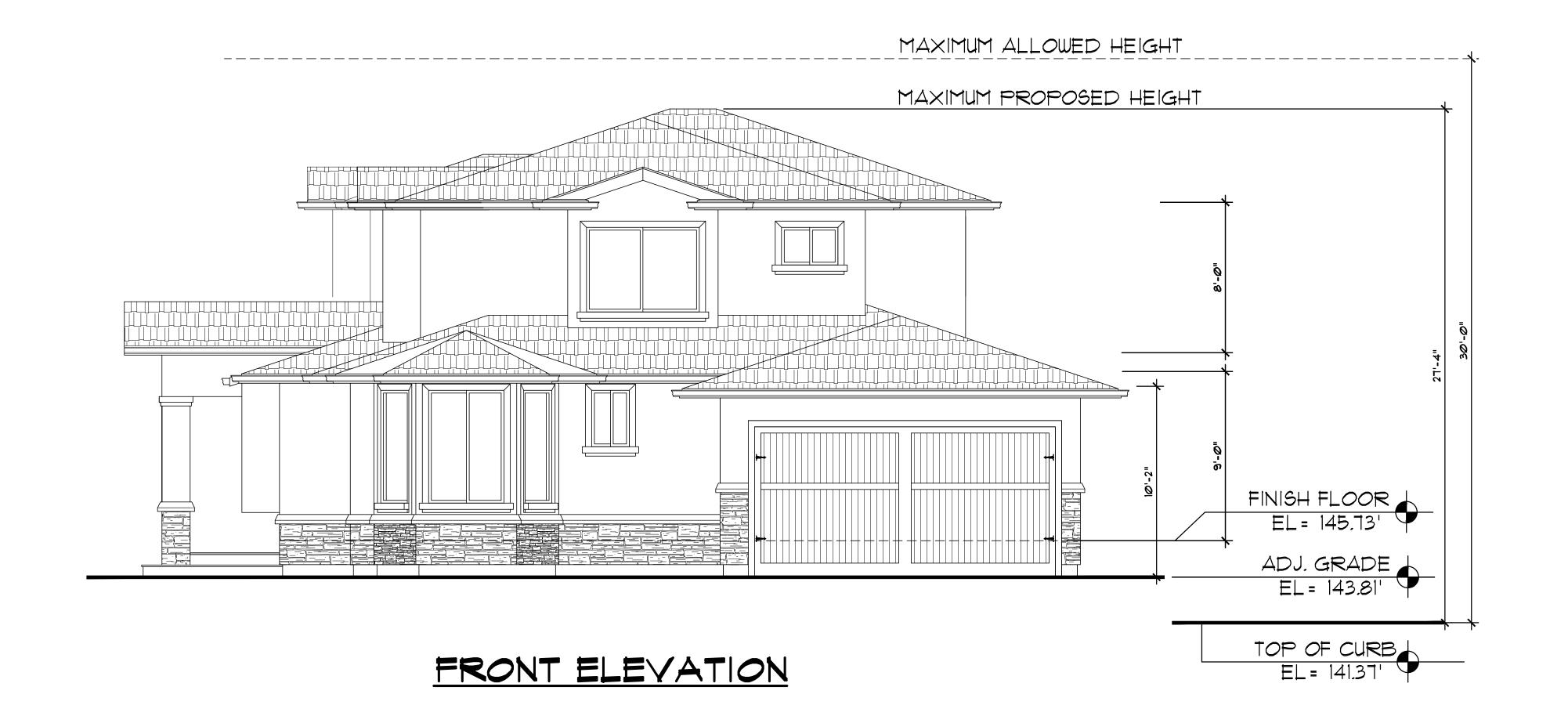
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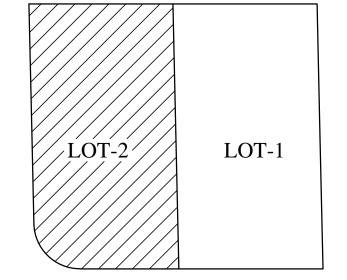
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SLOPE 4:12 TYP.



KEY PLAN

A-4.0.2

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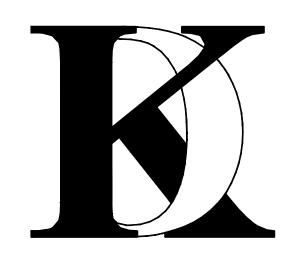
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EXTERIOR ELEVATIONS



REAR ELEVATION



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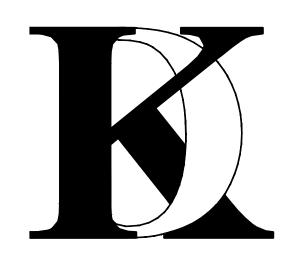
Client:

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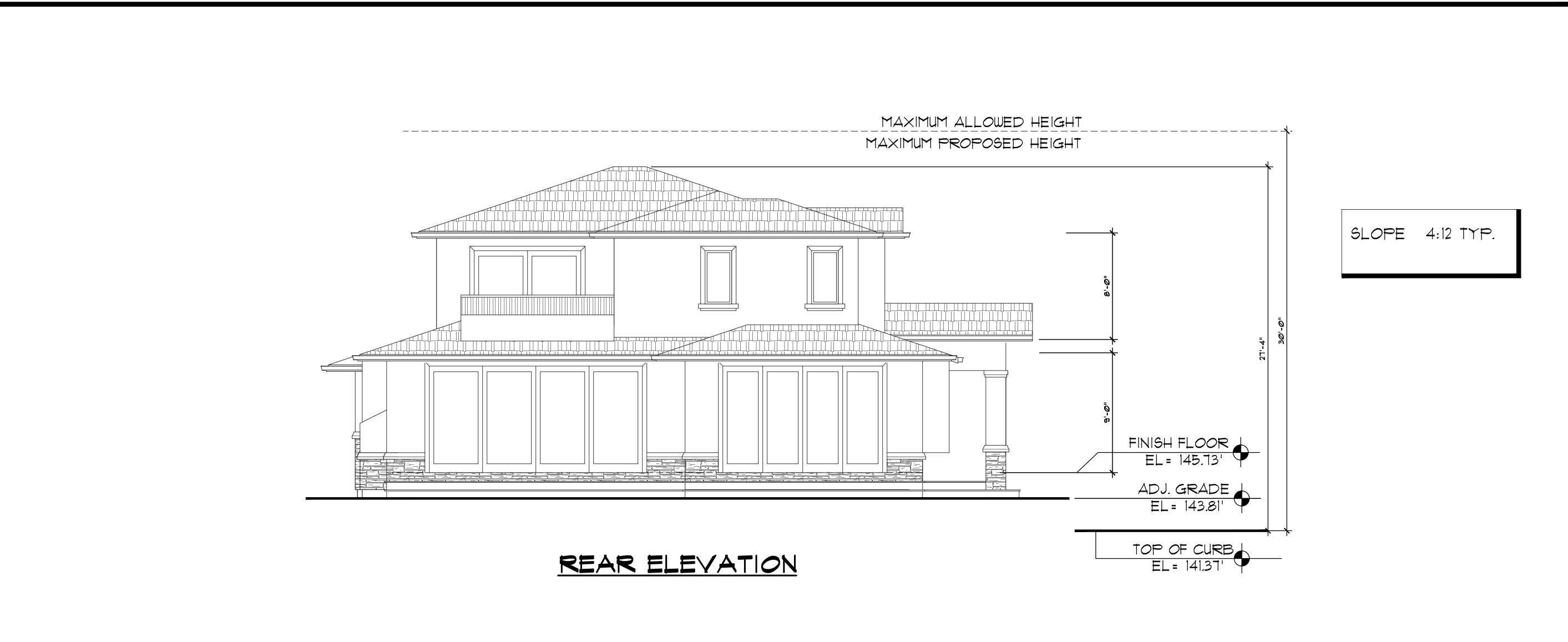
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EXTERIOR ELEVATION

Sheet No.:

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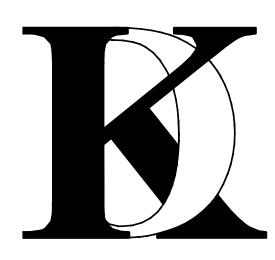
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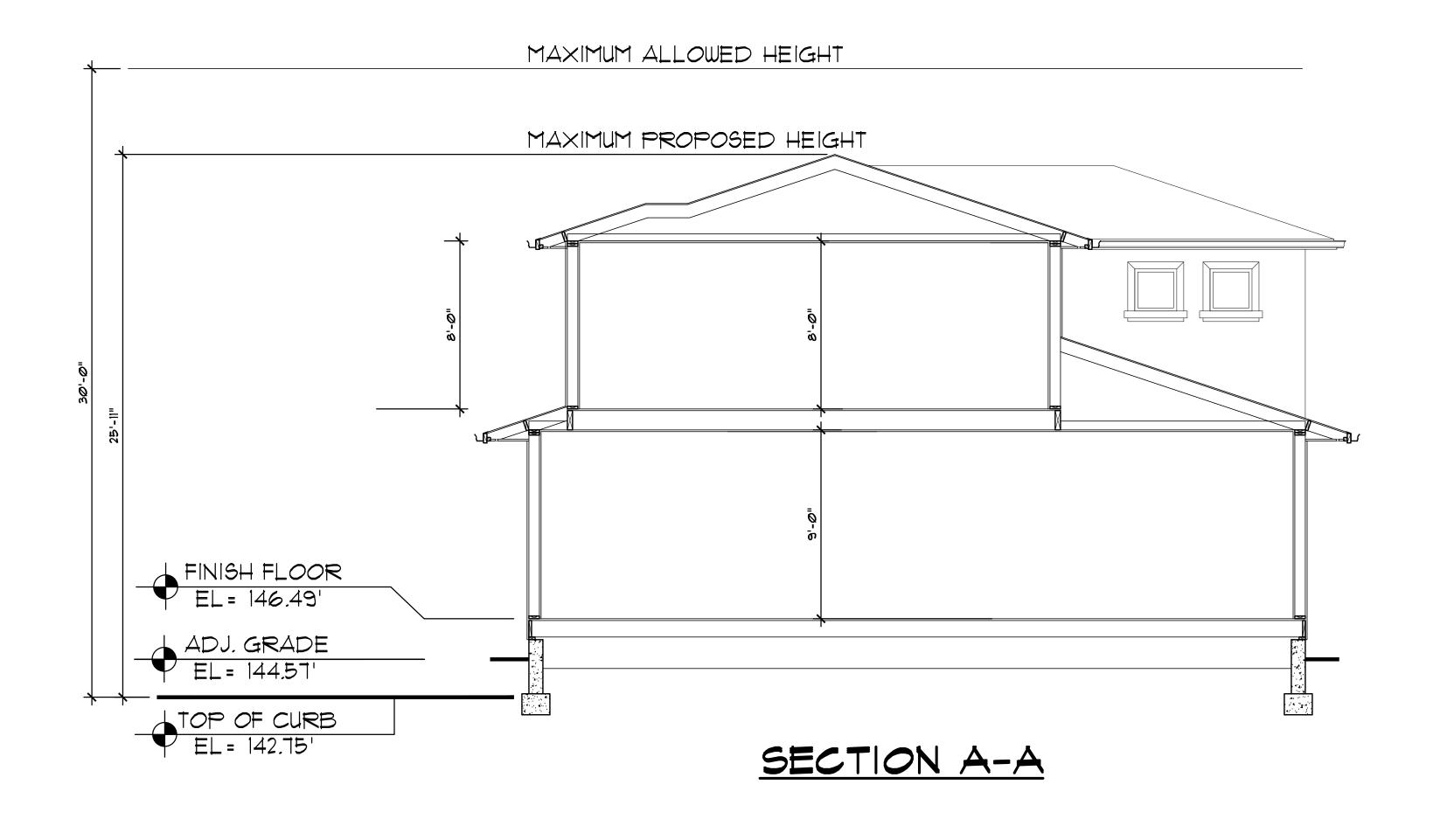
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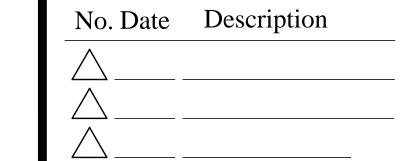
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EXTERIOR ELEVATIONS

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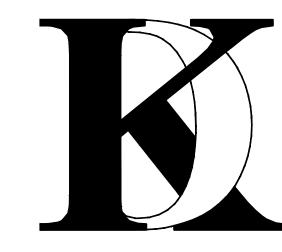
Client:

1005 E. HOMESTEAD RD, SUNNYVALE, CA 94087

Project:

LOT-1

1005 E. HOMESTEAD RD, SUNNYVALE, CA 94087



1900 CAMDEN AVENUE SAN JOSE, CA. 95124 Phone (408) 888-6662

farnaz@khadivdesign.com

KHADIV-DESIGN

 Date:
 9/17/19

 Scale:
 1/4"=1'-0"

 Drawn By:
 FK

Job No: 2019-6

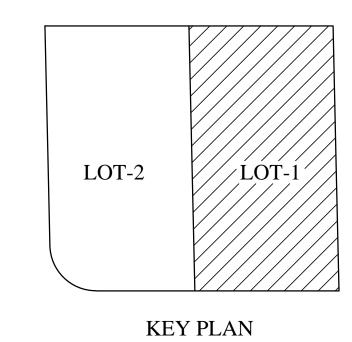
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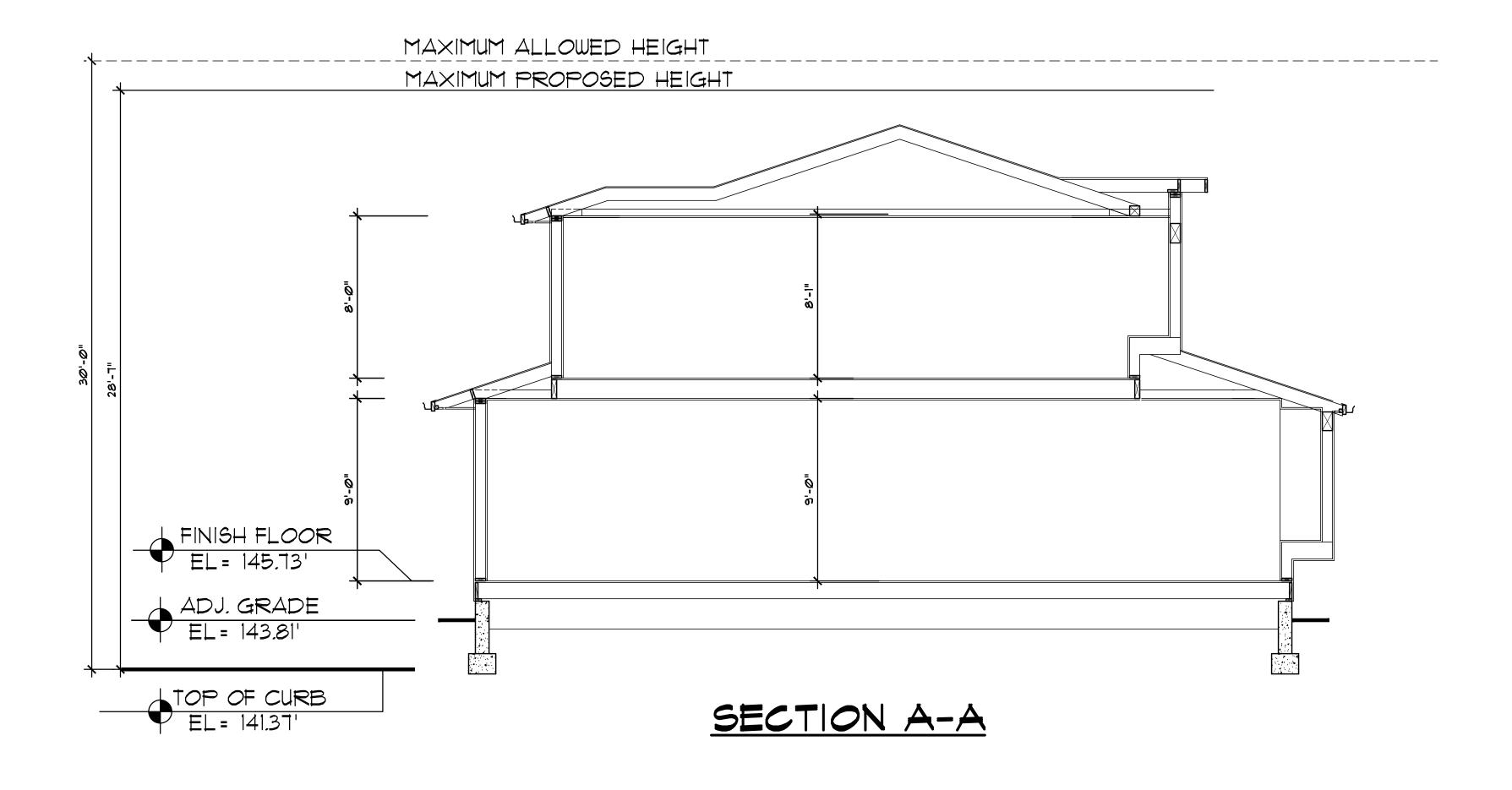
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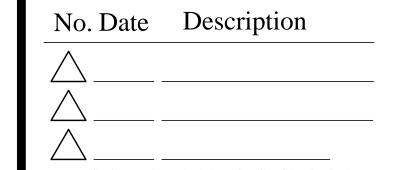
BUILDING SECTIONS

Sheet No.:

A-5.0.1







THE USE OF THESE PLANS AND SPECIFICATION SHALL BE RESTRICTED TO THE SPECIFIC SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF SHALL BE EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED; TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH KHADIV-DESIGN. WITHOUT PREJUDICE VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL INSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

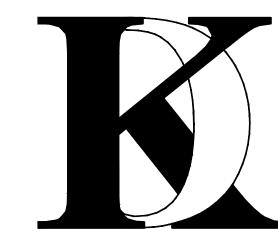
Client:

1005 E. HOMESTEAD RD, SUNNYVALE, CA 94087

Project:

LOT-2

1005 E. HOMESTEAD RD, SUNNYVALE, CA 94087



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farnaz@khadivdesign.com

KHADIV-DESIGN

 Date:
 9/17/19

 Scale:
 1/4"=1'-0"

 Drawn By:
 FK

Job No: 2019-6

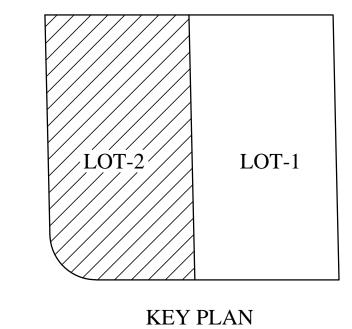
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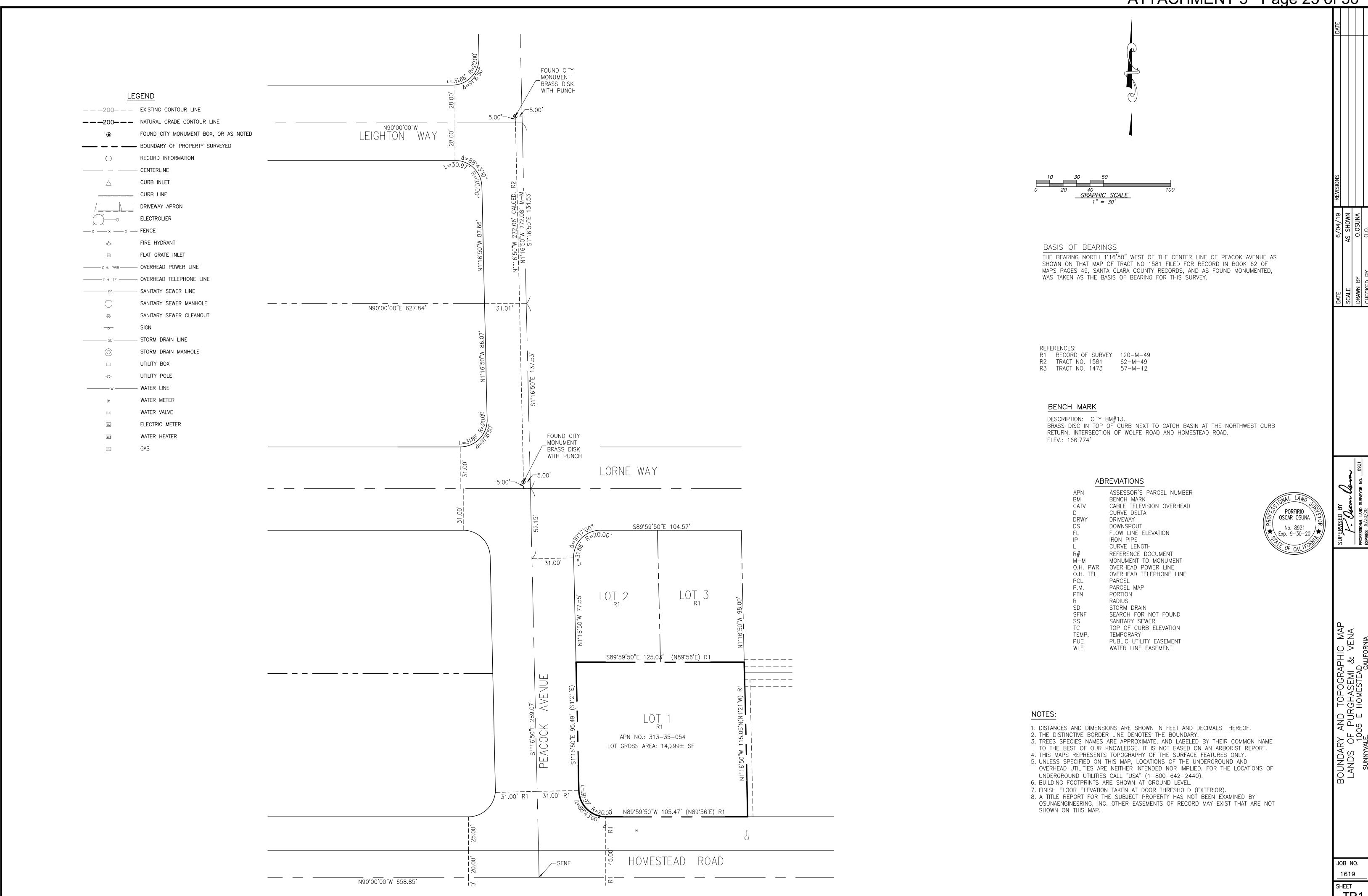
Sheet Title:

BUILDING SECTIONS

Sheet No.:

A-5.0.2





ATTACHMENT 5 Page 23 of 36

TB1

ATTACHMENT 5 Page 24 of 36 LEGEND ---200--- EXISTING CONTOUR LINE LOT 3 LOT 2 FOUND CITY MONUMENT BOX, OR AS NOTED BOUNDARY OF PROPERTY SURVEYED RECORD INFORMATION S89°59'50"E 125.03' (N89°56'E) R1 ____ CENTERLINE EX. CONC. CURB INLET - - - - - - - - - -_____ CURB LINE EX. CONC. DRIVEWAY APRON ELECTROLIER — x — x — x — FENCE EX. GARAGE/ FIRE HYDRANT GFF 143.56 BASIS OF BEARINGS FLAT GRATE INLET LOT THE BEARING NORTH 16°50'27" WEST OF THE CENTER LINE OF PEACOK AVENUE AS O.H. PWR OVERHEAD POWER LINE SHOWN ON THAT MAP OF TRACT NO 1581 FILED FOR RECORD IN BOOK 62 OF MAPS PAGES 49, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, O.H. TEL OVERHEAD TELEPHONE LINE WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY. APN NO.: 313-35-054 SANITARY SEWER LINE SANITARY SEWER MANHOLE LOT GROSS AREA: 14,299± SF SANITARY SEWER CLEANOUT EXA CONC. - STORM DRAIN LINE REFERENCES: STORM DRAIN MANHOLE R1 RECORD OF SURVEY 120-M-49 R2 TRACT NO. 1581 62-M-49UTILITY BOX 27" TREE — 57-M-12 R3 TRACT NO. 1473 UTILITY POLE WATER LINE WATER METER EX. WOOD WATER VALVE BENCH MARK PLATFORM ELECTRIC METER DESCRIPTION: CITY BM#13. WATER HEATER BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE NORTHWEST CURB RETURN, INTERSECTION OF WOLFE ROAD AND HOMESTEAD ROAD. ELEV.: 166.774' EX. BRICK WALK \WAY -12" DOUBLE TREE TRUNK ABREVIATIONS ASSESSOR'S PARCEL NUMBER BENCH MARK 12" PALM TREE EX. HOUSE CATV CABLE TELEVISION OVERHEAD PORFIRIO PORFIRIO CURVE DELTA 30" STUMP TREE-FF 145.07 OSCAR OSUNA DRWY DRIVEWAY DOWNSPOUT FLOW LINE ELEVATION -19" TREE IRON PIPE CURVE LENGTH REFERENCE DOCUMENT MONUMENT TO MONUMENT 一12" TREE |31.00' R1 O.H. PWR OVERHEAD POWER LINE O.H. TEL OVERHEAD TELEPHONE LINE PCL P.M. PARCEL PARCEL MAP PTN PORTION RADIUS SD STORM DRAIN SS SANITARY SEWER TOP OF CURB ELEVATION TEMP. TEMPORARY N89°59'50"W 105.47' (N89°56'E) R1 PUBLIC UTILITY EASEMENT PUE WLE WATER LINE EASEMENT 4" SANITARY LATERAL APPROXIMATE LOCATION -EX. 3/4" WATER SERVICE EX. 12" C.I. WATER NOTES: _142.69 1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF. 2. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY. 3. TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME EX. 8" VCP TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT. 4. THIS MAPS REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. 5. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440). 6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL. 7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR). 8. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNAENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT HOMESTEAD ROAD SHOWN ON THIS MAP. EX. 15" VCP JOB NO. 1619 EX. 36" RCP SHEET TB2

<u>N</u>89°5<u>6'0</u>0"E_

GENERAL CITY REQUIREMENTS:

- 1. HOMESTEAD ROAD IS UNDER A 5 YEAR PAVEMENT MORATORIUM FOR A GRIND & OVERLAY. NO CUTS ARE PERMITTED IN THE ROADWAY. UTILITY CONNECTIONS (INCLUDING GAS) FOR LOT 1 SHALL BE MADE ON PEACOCK
- INSTALL CITY STREET TREES PER CITY STANDARD DETAILS AND SPECIFICATIONS ALONG THE PROJECT FRONTAGE. STREE TREES SHALL BE MINIMUM 24" BOX OR 15- GALLON SIZE. TREE SPECIES ALONG SHALL BE DETERMINED BY CITY

LEGEND

AREA DRAIN

DROP INLET

MONUMENT

WATER METER

DIRECTION OF SURFACE DRAINIAGE

- 3. ALL STRUCTURES AND VEGETATION WITHIN DRIVEWAY VISION TRIANGLES MUST MEET REQUIREMENTS PER SUNNYVALE
- 4. PLANS SHALL CONFORM TO THE LATEST CITY STANDARD
- 5. RE-USE OF EXISTING SERVICE LINES NOT PERMITTED
- 6. THE DEVELOPER IS REQUIRED TO PAY FOR ALL CHANGES OR MODIFICATIONS TO EXISTING CITY UTILITIES, STREETS AND OTHER PUBLIC UTILITIES WITHIN OR ADJACENT TO THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO UTILITY ACILITIES/CONDUITS/VAULTS RELOCATION DUE TO GRADE
- THE DEVELOPER IS RESPONSIBLE FOR RESTORING AND REPLACING ANY DAMAGE IN THE PUBLIC RIGHT OF WAY OF ANY DAMAGE TO THE TRAFFIC CONTROL DEVICES CAUSED DUF TO CONSTRUCTION ACTIVITIES.
- THE DEVELOPER IS REQUIRED TO INSTALL ALL PUBLIC IMPROVEMENTS AS REQUIRED BY SUNNYVALE MUNICIPAL CODE SECTIONS 18.08, INCLUDING BUT NOT LIMTTED TO: CURB & GUTTER, SIDEWALKS, DRIVEWAY APPROACHES, UTILITY EXTENSIONS AND CONNECTIONS, METERS/VAULTS, TREES AND LANDSCAPING, TRAFFIC SIGNS, STRIPING, STREET LIGHTS, ETC PRIOR TO OCCUPANCY AS REQUIRED BY THE DIRECTOR OF
- EXISTING UTILITY LINES AND/OR THEIR APPURTENANCES NOT SERVING THE PROJECT AND/OR HAVE CONFLICTS WITH THE PROJECT, SHALL BE CAPPED, ABANDONED, REMOVED, RELOCATED AND/OR DISPOSED. EXISTING PUBLIC FACILITIES WITHIN THE STREET RIGHT-OF-WAY SHALL BE ABANDONED PER CITY'S ABANDONMENT NOTES. INCLUDING ABANDONMEN
- 10. ANY EXISTING DEFICIENT PUBLIC IMPROVEMENTS SHALL BE UPGRADED TO CURRENT CITY STANDARDS AS REQUIRED BY THE DIRECTOR OF PUBLIC WORKS.
- 11. APPLICANT SHALL UNDERGROUND THE OVERHEAD LINES
- 12. THE DEVELOPER/OWNER IS RESPONSIBLE FOR RESEARCH ON PRIVATE UTILITY LINES (PG&E, TELEPHONE, CABLE, ETC.) TO ENSURE THERE ARE NO CONFLICTS WITH THE PROJECT.

BENCH MARK

DESCRIPTION: CITY BM#13. BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE NORTHWEST CURB RETURN, INTERSECTION OF WOLFE ROAD AND HOMESTEAD ROAD.

EARTH WORK QUANTITIES CUT: <u>120 CY</u> FILL: <u>10 CY</u> EXPORT: 110 CY IMPORT: 0 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE. THE PAD OF THE HOUSE IS NOT INCLUDED

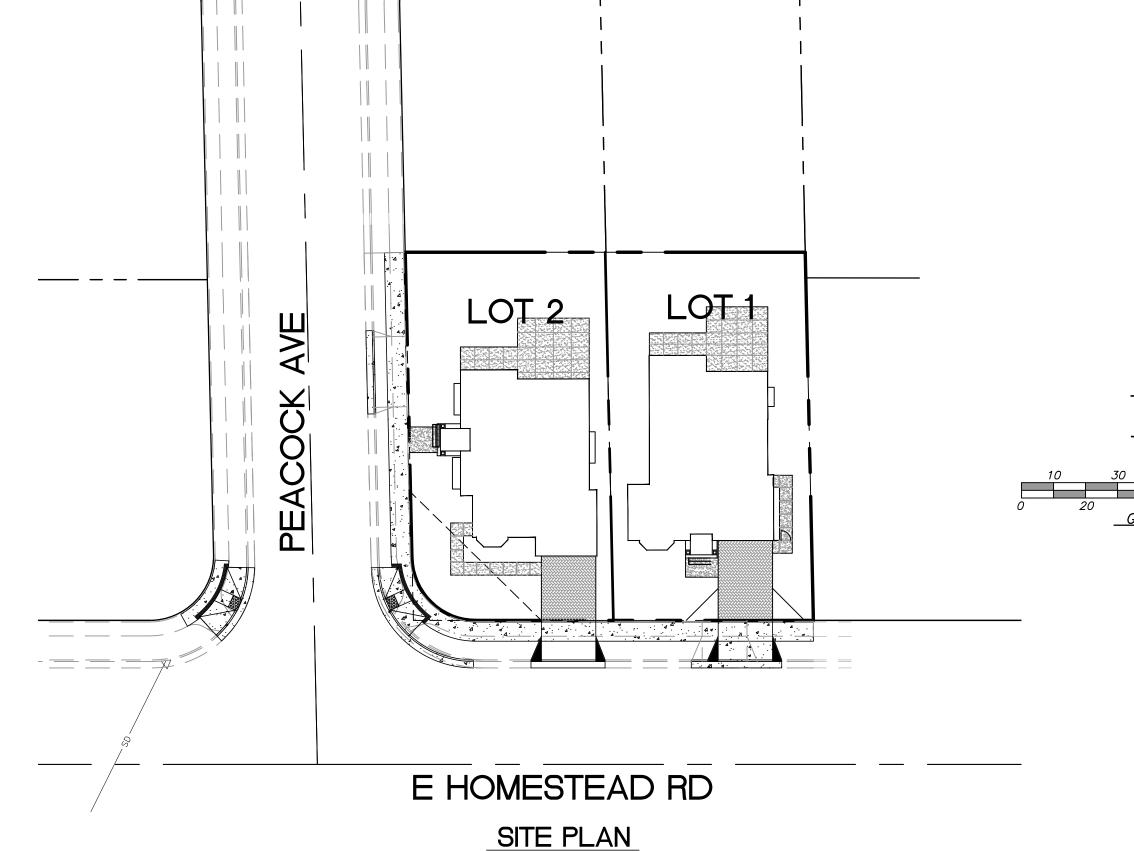
ABBREVATIONS

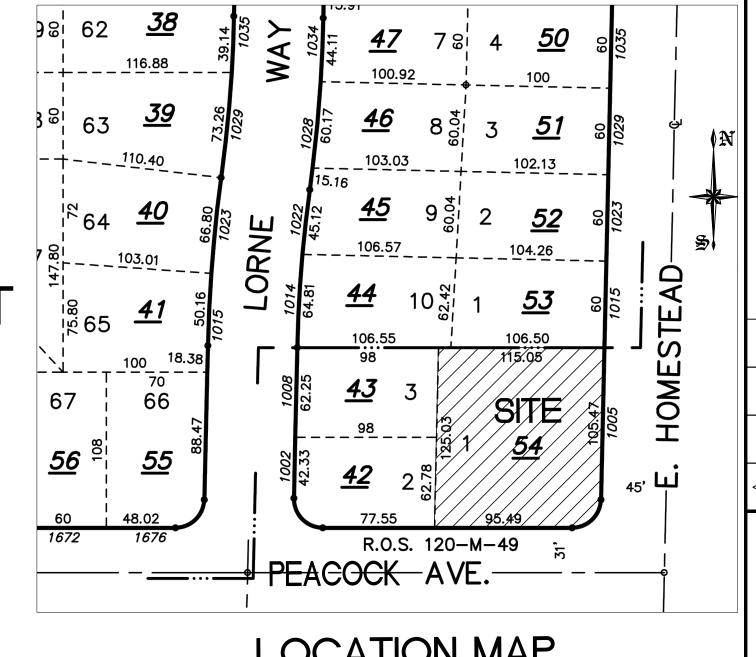
AC = ASPHALT CONCRETE AD = AREA DRAIN BC = BEGIN CURVE BS = BOTTOM OF STAIR BU = BUBBLE UP BVC = BEGIN VERTICAL CURVE BRW = BOTTOM OF RETAINING WALL CB = CATCH BASIN CL = CENTERLINE CO = CLEANOUT DS = DOWNSPOUT WITH SPLASH BOX EC = END CURVE ELEV. = ELEVATION EVC = END VERTICAL CURVE EX. = EXISTING F/C = FACE OF CURB FF = FINISHED FLOOR ELEVATION FH = FIRE HYDRANT FL = FLOW LINE GB = GRADE BREAK GFF = GARAGE FINISH FLOOR HP = HIGH POINT HC = HANDICAP UNIT INV = INVERT	LP = LOW POINT PAD = PAD ELEVATION PCC = PORTLAND CEMENT CONCRETE PL = PROPERTY LINE PV = PAVEMENT GRADE PVC = POLYVINYL CHLORIDE PIPE PVI = POINT OF VERTICAL INTERSECTION RCP = REINFORCED CONCRETE PIPE ROW = RIGHT OF WAY S=.004> SLOPE SD = STORM DRAIN SDMH = STORM DRAIN MANHOLE SG = SUBGRADE ELEVATION SS = SANITARY SEWER SSMH = SANITARY SEWER MANHOLE STA = STATION TC = TOP OF CURB TF = TOP OF FENCE TRW = TOP OF RETAINING WALL TS = TOP OF STAIR TW = TOP OF WALL VCP = VITRIFIED CLAY PIPE WM = WATER METER WV = WATER VALVE
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GRADING & DRAINAGE PLAN

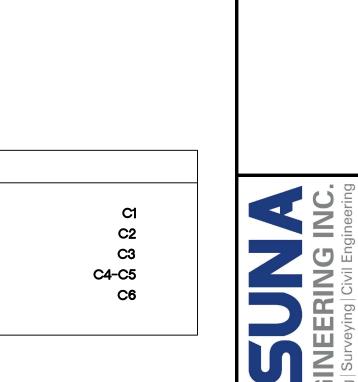
TWO (2) LOT SUBDIVISION

TWO (2) NEW SINGLE FAMILY HOMES DEVELOPMENT 1005 E. HOMESTEAD ROAD, SUNNYVALE CA APN: 313-35-054





LOCATION MAP





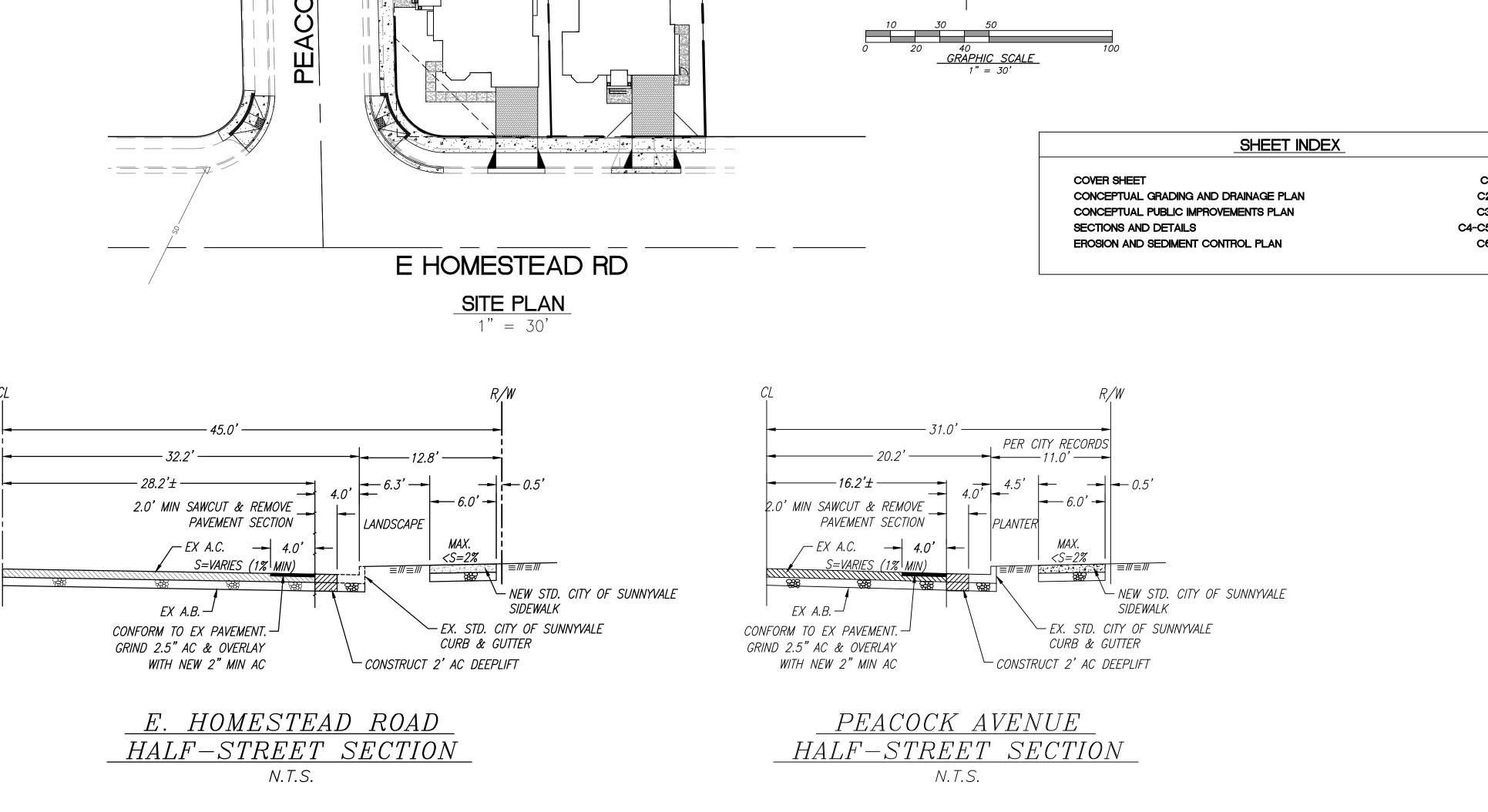
RCE 70829 EXP. 6-30-19



CONCEPTUAL
GRADING & DRAINAGE PLAN
GRADING & DRAINAGE CONCEPTUAL

SHEET

OF 6 SHEETS



ATTACHMENT 5 Page 29 of 36 NOTE: ALL GRADING IS BASED OFF OF NOTE: ALL GRADING IS BASED OFF OF THIS ARCHITECTURAL SECTION. THE
ADJACENT GRADE AND FF DIMENSIONS
SHOWN HERE MUST BE KEPT. NOTIFY
THE ENGINEER BEFORE MAKING ANY THIS ARCHITECTURAL SECTION. THE ADJACENT GRADE AND GFF DIMENSIONS SHOWN HERE MUST BE KEPT. NOTIFY SLOPE 5% AWAY FROM BUILDING 5 3/4" --THE ENGINEER BEFORE MAKING ANY CHANGES. FOR GROUND/LANDSCAPE CHANGES. — CAST IRON OPEN GRATE USE 6" ATRIUM GRATE NDS #90S AREAS, OR 2% AWAY FROM └─ (OR EQUAL) IN LANDSCAPE "AREAS UNLESS NOTED OTHERWISE. - BUILDING FOR HARDSCAPE 3 7/16" -- AREAS, FOR TEN FEET UNLESS IF SUMP PUMP USED, INSTALL --- 1.0' |--8" MIN FROM GROUND TO 6" P.V.C. DRAIN PIPE LENGTH AS REQUIRED NOT PRACTICAL LONGITUDINAL BACKFLOW PREVENTOR ON 2" FORCE MAIN. BOTTOM OF WOOD SILL. SWALES MAY BE USED. 2" COBBLES FINISH FLOOR (FF) 5 3/4" 🗐 USE 9" GRAY SQUARE GRATE NDS #960 SLOPE 5% AWAY FROM BUILDING (OR EQUAL) IN CONCRETE SWALE AREAS UNLESS NOTED OTHERWISE. FOR GROUND/LANDSCAPE AREAS, — MIN. 10' ТО PL ——• OR 2% AWAY FROM BUILDING IF SUMP PUMP USED, 2" FORCE MAIN PUMP OUTLET AT THIS **↓** → 8 3/4" FOR HARDSCAPE AREAS, FOR — PRECAST V12 CHRISTY TEN FEET UNLESS NOT ELEVATION, WITH BACKFLOW DEVICE. ___6" P.V.C. DRAIN PIPE LENGTH AS REQUIRED BOX (OR EQUAL) 8" MIN PRACTICAL LONGITUDINAL SWALES FINISH FLOOR (FF) 5%> MAY BE USED. GRAVITY STORM CRAWL SPACE , SEE PLAN 45° ELL LINE OUTLET WYE FITTING~ 6" P.V.C. DRAIN PIPE 6" OR 8" P.V.C. SEE PLAN. PEA GRAVEL LENGTH AS REQUIRED CONNECT TO STORM DRAIN - ADJACENT GRADE 10" PERFORATED PVC PIPE WITH GRADED ROCK ADJACENT GRADE LANDSCAPE DRAIN DETAIL BUBBLER BOX DETAIL N.T.S. N.T.S. N.T.S. No. 70829 ► Exp. 6–30–19 TYPICAL FOUNDATION/GFF/GROUND SECTION TYPICAL FOUNDATION/FF/GROUND SECTION AREA DRAIN DETAIL BUBBLER BOX DETAIL P. Osem Vara PORFIRIO OSCAR OSUNA RCE 70829 EXP. 6-30-19 SLOPE 5% AWAY FROM BUILDING FOR GROUND/LANDSCAPE
AREAS, OR 2% AWAY FROM
BUILDING FOR HARDSCAPE AREAS, FOR TEN FEET UNLESS NOT PRACTICAL LONGITUDINAL SWALES MAY BE USED. VARIES 2% MIN.> <VARIES 2% MIN. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESP SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HA N.T.S. NOT USED EARTHEN SWALE DETAIL ROOF DOWNSPOUTS.

— SEE ARCHITECTURAL
PLANS FOR LOCATIONS CONCEPTUAL
GRADING & DRAINAGE PLAN
CONSTRUCTION DETAILS
1005 E HOMESTEAD RD — 24" LONG PRECAST SPLASH BLOCK. NITTERHOUSE (OR EQUAL) SLOPE AWAY FROM BUILDING 2%

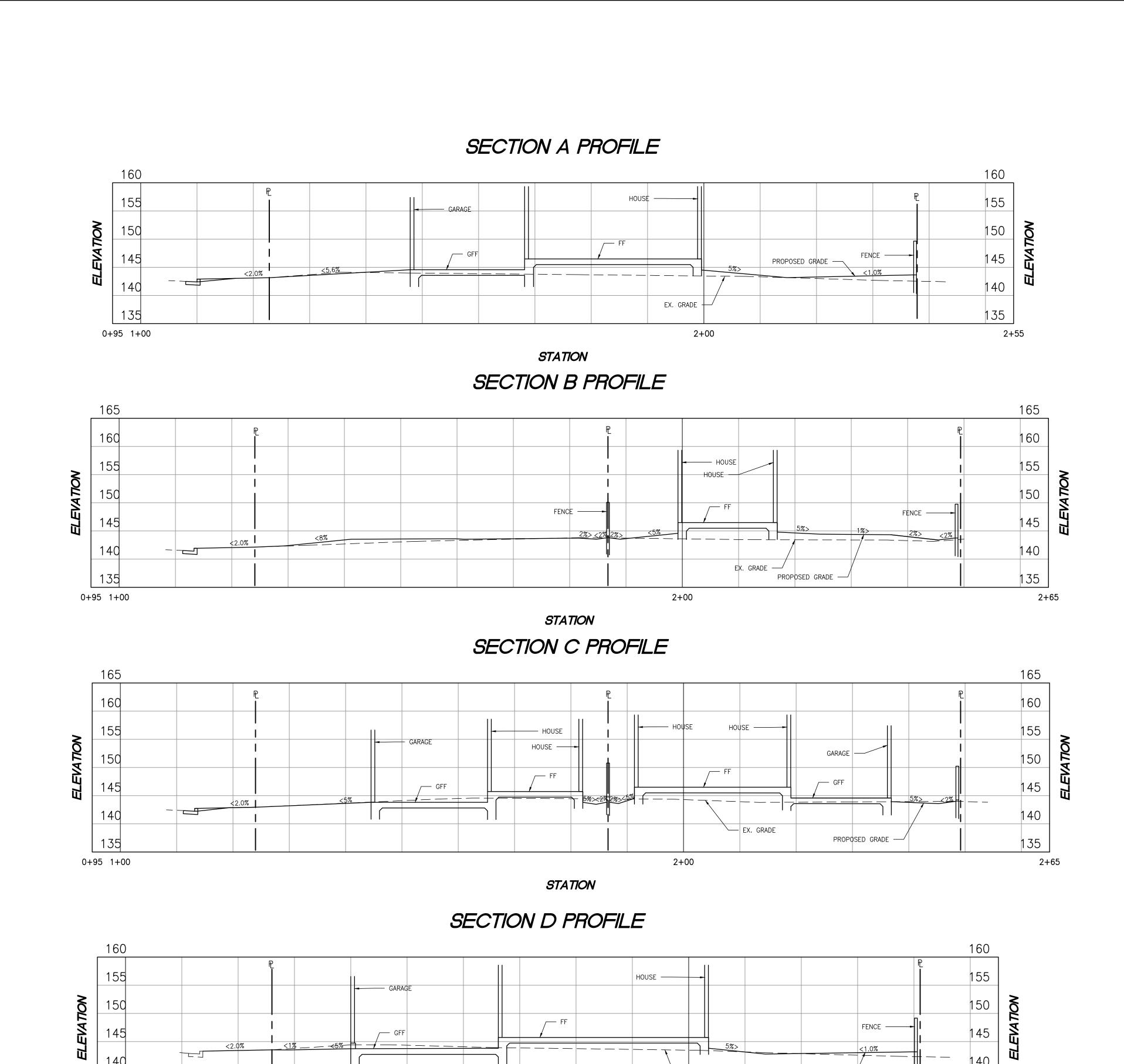
MIN. ON IMPERVIOUS SURFACES.

SLOPE AWAY 5% MIN. ON
PERVIOUS SURFACES. - EMBED SPLASH BOX IN 4" CONCRETE OR MORTAR SPLASH BLOCK/DOWNSPOUT DETAIL N.T.S. SHEET N.T.S. N.T.S. SPLASH BLOCK/DOWNSPOUT DETAIL NOT USED NOT USED OF 6 SHEETS

CONCEPTUAL
GRADING & DRAINAGE PLAN
CONSTRUCTION DETAILS
1005 E HOMESTEAD RD

SHEET

C5
OF 6 SHEETS



STATION

EX. GRADE

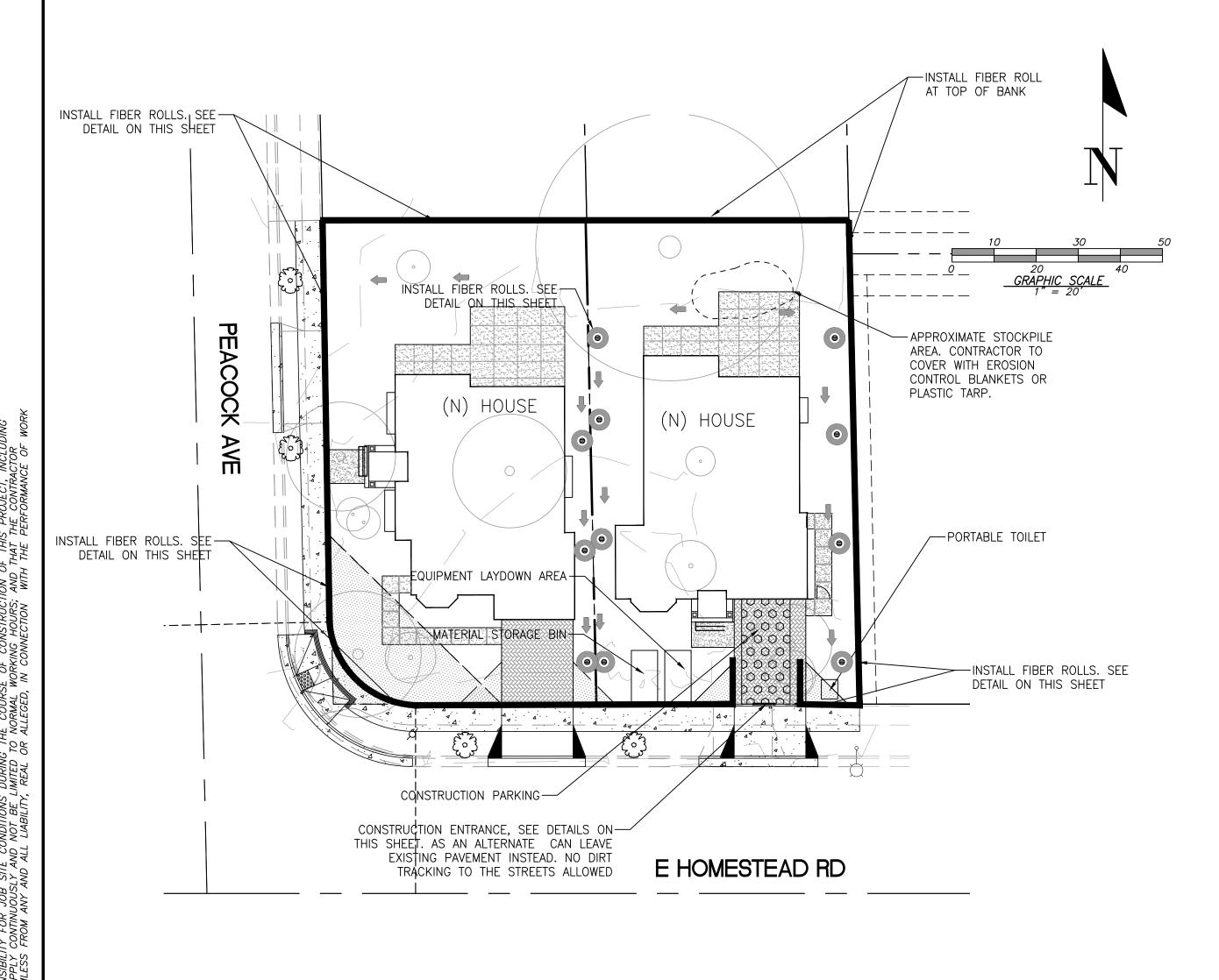
2+00

PROPOSED GRADE -

2+55

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WOR

0+95 1+00



. PROTECT ALL INLETS IN THE PUBLIC

DRAINS TO BE CAPPED OR PROTECTED

SLOPE AWAY

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL

STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT.

ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED

WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS—OF—WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS

<u>STABILIZED</u>

CONSTRUCTION ENTRANCE

-500X MIRAFI (OR EQUAL)-

ON EXISTING GROUND

*STONES TO BE 3"-4" AGGREGATE

INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

MAINTENANCE:

- 8" THICK AGGREGATE

PROVIDE APPROPRIATE TRANSITION —

BETWEEN STABILIZED CONSTRUCTION

ENTRANCE AND PUBLIC RIGHT-OF-WAY

RIGHT-OF-WAY

PUBLIC

IGHT-OF-WA

STREETS SURROUNDING THE SITE.

UNTIL LANDSCAPING IS FINISHED.

2. ALL ON-SITE LANDSCAPE AREA

LEGEND

PROPOSED DESCRIPTION

SITE BOUNDARY

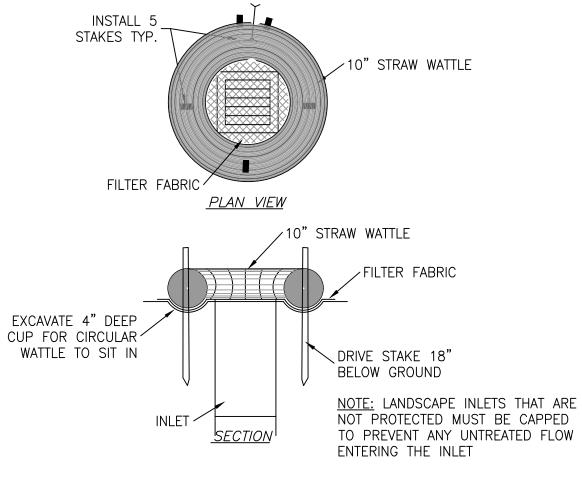
STABILIZED CONSTRUCTION ENTRANCE 2"-3" ROCK (MIN)

FIBER ROLL

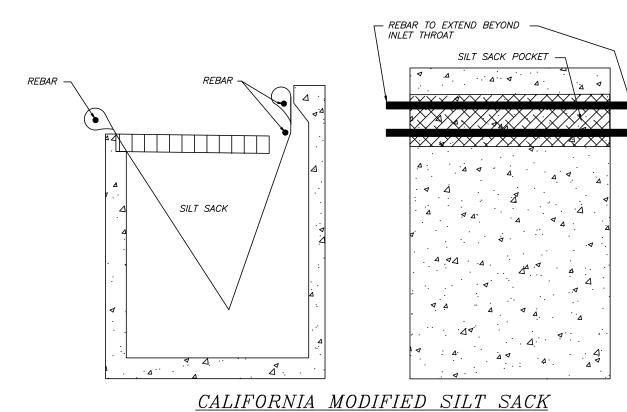
MAINTENANCE NOTES

MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:

- 1. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
- 2. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
- 3. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
- 4. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1
- 5. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- 6. RILLS AND GULLIES MUST BE REPAIRED.



ALTERNATE FIBER ROLL INLET PROTECTION MAY BE USED IN LANDSCAPE AREA DRAINS N.T.S.



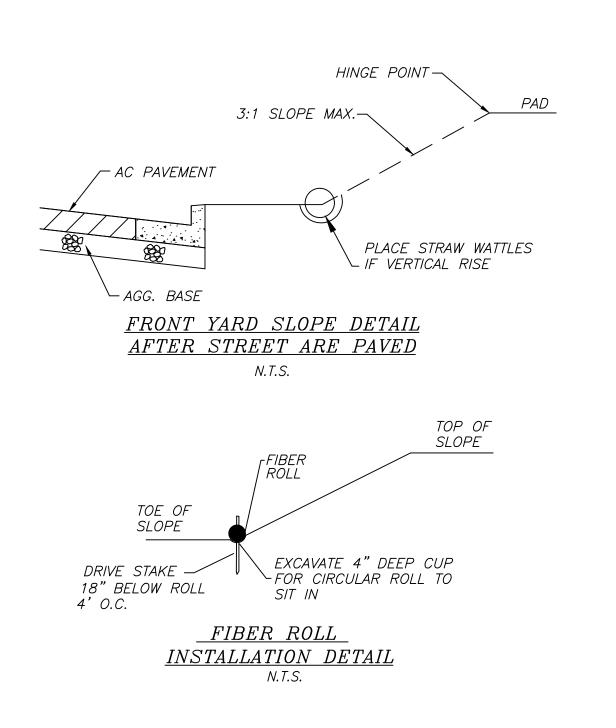
REED & GRAHAM, INC. (OR EQUAL) BEFORE & AFTER STREETS ARE PAVED N.T.S.

EROSION & SEDIMENT CONTROL NOTES 1. NOT USED

- 2. THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
- ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF UNION SANITARY DISTRICT.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- 6. ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR
- 7. IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
- 8. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLAID WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
- 10. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- 11. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTORL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
- 12. NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. - ALONG RIGHT-OF-WAY).
- 13. ALL DISTURBED AREAS INCLUDING FLAT PADS ARE TO BE TREATED WITH STRAW AND TACKIFIER AT A RATE OF 2 TONS PER ACRE APPROXIMATELY 3 INCHES THICK.

SUPPLEMENTAL EROSION & SEDIMENT CONTROL NOTES

- 1. SEE STANDARD EROSION & SEDIMENT CONTROL NOTES ABOVE.
- 2. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- 3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
- 4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
- 5. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- 6. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.





PORFIRIO OSCAR OSUNA RCE 70829 EXP. 6-30-19

ONTROL CONCEPTUAL DING & DRAINAG ОШ

00

SHEET OF 6 SHEETS

Irrigation Legend: GPM P.R. MANUF, MODEL No. HEADTYPE ARC RAD PSI 2 GPH Rainbird Xeri-Bug (2 GPH) Drip Emitter Install Rainbird XQ Tubing; Rainbird TS-025 Tubing Stakes; Emitter Box Rainbird SEB 7XB; Six Outlet Manifold; Rainbird EMT-6XERI; Pressure Regulator- Rainbird PRS-050-30; Refer To Rainbird Installation Details For Installation Of Components. Hunter ICV-101G Install Per Manufacturer's Specs. Rainbird CZK-100-PRB-LC 1" Light Commercial -Size Per Plan Drip Zone Valve Kit Rainbird 33DRC Series Quick Coupler Valve (POC) Verify Location In Field Prior To Commencement Of Work Point Of Connection Zenner or Equal Model MJ Water Meter 1" size Sub Meter Backflow Prevention Unit <u>Febco Model</u> 825Y Install Per Manufacturer's Specs 6 Station Wall Mount-Power By Others <u>Hunter</u> I-Core Automatic Controller Rain Sensor W/Shut Off Hunter Wireless Rain Clik Install On Gutter Per Manuf. Specs <u>Hunter</u> HFS Flow Sensor PVC Sch. 40 Size Per Plan Bury 18" Min. Below Grade PVC Sch. 40 Size Per Plan Bury 12" Min. Below Grade Lateral Line Irrigation Line Sleeve Size To Accommodate Irrigation Lines

Bury 24" Min. Below Grade

PVC Sch. 40

Valve No. Hydrozone Area

IRRIGATION NOTES:

1. System is designed for 65 PSI static pressure at meter. Maximum flow is 5.2 GPM. Contractor shall run pressure tests at each point of connection before commencing work. Any discrepancies between actual pressure and design pressure shall be reported to the landscape architect and owner prior to further work being done.

2. All applicable governmental plumbing and health code regulations shall have precedence over these plans and specifications.

3. Location of valves, back flow prevention units, mainline, lateral line and automatic controllers are shown schematically due to scale of the plans. Install in planter areas where ever possible or in the most appropriate location. Install mainline and lateral line in the same trench

(with a 6" min. separation vertically) wherever possible. 4. Contractor shall verify all points of connection (POC) in the field prior to commencement of work. If discrepancies exist between existing conditions and those indicated on the plans, contractor shall contact the landscape architect and owner immediately before continuing work. Likewise, contractor shall verify configuration and dimensions of areas to be irrigated

before commencement of work. 5. All irrigation lines in and around existing trees shall be HAND TRENCHED and care shall be taken not to damage existing tree roots.

6. All irrigation lines under paving shall be placed in sch. 40 PVC sleeves, size to accommodate irrigation lines adequately, for the full width of the paving. 7. All changes in direction of irrigation pipe shall be accomplished with the use of proper fittings. NO PIPE SHALL BE BENT.

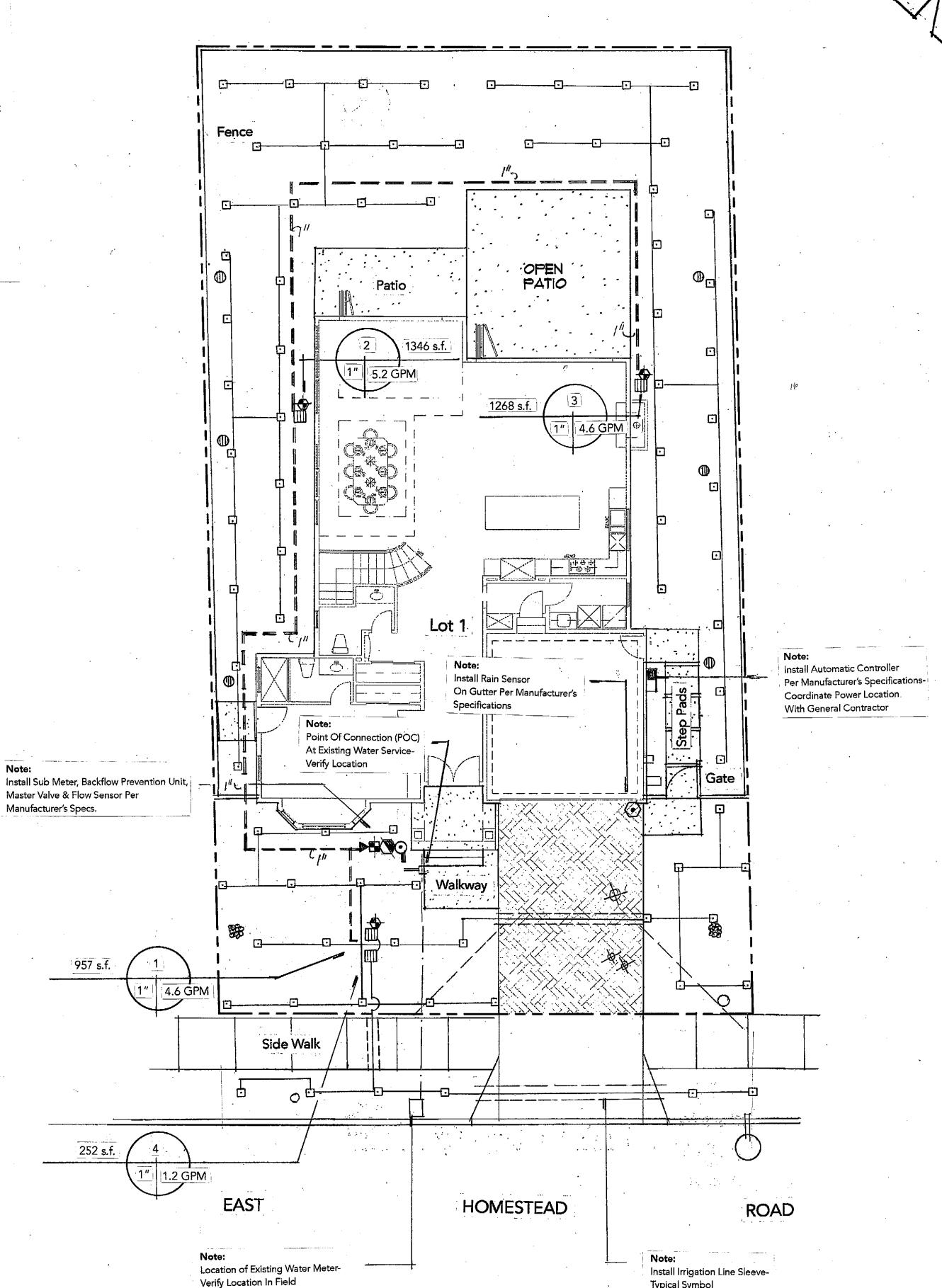
8. In no case shall the spacing of heads exceed the recommended spacing of the manufacturer.

9. Minimum depth of PVC lateral lines shall be 12"(twelve inches) below grade. Minimum depth of PVC main line shall be 18" (eighteen inches) below grade. 10. Prior to any planting operations, a coverage test shall be performed by the contractor in the presence of the landscape architect and owner. Contractor shall furnish all materials and provide all labor necessary to correct inadequate coverage.

11. Contractor shall be responsible for the procurement of all necessary permits and shall provide owner with an 'As Built' plan (reproducible) of the installed irrigation system upon completion of the project.

12. All installation shall conform to the City of Sunnyvale Water Efficient Landscape Ordinance (WELO)

Note: Irrigation and Planting Design is based on City of Sunnyvale Landscaping Requirements Water Efficiency Design OPTION 1: No Turf Or High Water Use Plants; 80% Native or Low Water Use Plants Only In The Landscape.



"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN AND IRRIGATION DESIGN PLAN"

Landscape Documentation Package For : **HOMESTEAD ROAD-LOT #1** 1005 East Homestead Road Sunnyvale, CA

> Thomas Scherer Landscape Architect P.O. Box 68 Aptos, CA (831) 688-8913 zekets@earthlink.net

Faranak Pourghasemi 1698 Nightingale Sunnyvale, CA (510) 432-8864 faranak.pour@gmail.com

Total Landscape Area: 3,823 s.f. 0 s.f. Drought Tolerant Shrubs/Ground cover 3,823 s.f. 3,823 s.f. Project Type: Water Supply Type:

"I_ragree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete landscape documentation package."

See Sheet L-1: Irrigation Design Plan, Water Efficient Landscape Worksheet, See Sheet L-2: Planting Design Plan

See Sheet L-3: Irrigation & Planting Details

THOMAS SCHERER ASSOCIATES Landscape Architecture

> P.O. Box 68, Aptos, CA 95001 Tel (831) 688-8913 Fax (831) 688-3135

sheet title

Irrigation Plan Legend & Notes

Road

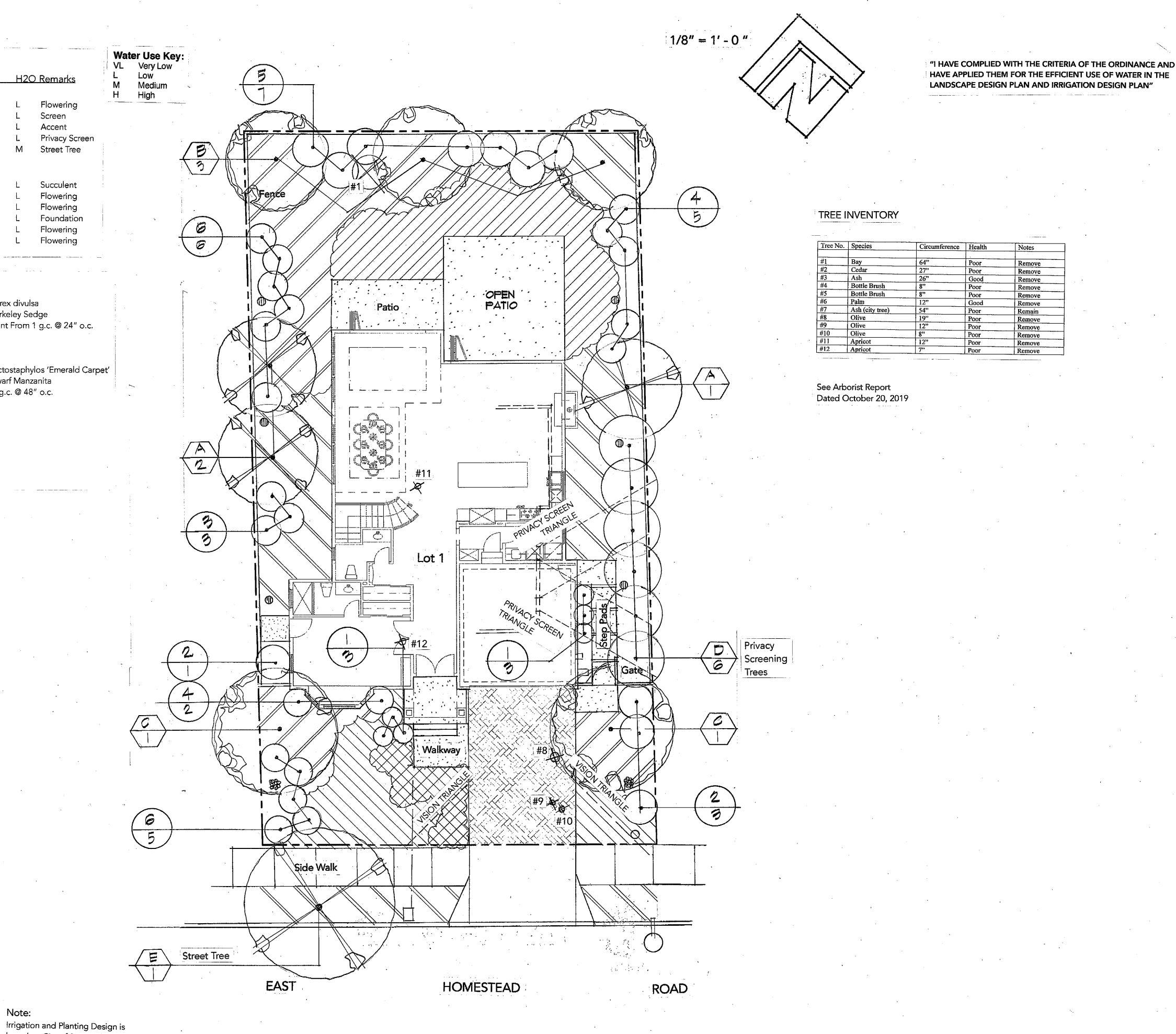
Homestead I Lot 1 1005 E. Sunnyva

revisions

date 8-27-2019 drawn '

sheet no

L-1



Planting Legend:

Shrubs:

Ground covers:

Planting Notes:

Symbol Botanical Name

Lagerstroemia h.'Tuscorora'

Prunus c. 'Bright 'n Tight'

Koelreuteria bipinnata

Agave 'Blue Flame'

Salvia elegans

Cistus purpureus

Salvia leucantha

Leucadendron 'Jester'

Xylosma c. 'Compacta'

Erigeron karvinskyanus

Plant From 1 g.c. @ 36" o.c.

Plant From 1 g.c. @ 24" o.c.

Mexican Daisy

Limonium perezii

Cistus salvifolius Sageleaf Rockrose

Circles shown indicate approximate mature size of plant material.

changes as required to insure positive drainage (1% minimum). SOIL PREPARATION: Thoroughly incorporate the following amendments into the top 6 (six) inches of all areas to be planted, except where indicated

otherwise. Amounts given are per 1000 square feet

All trees shall be planted per detail_____1___ All shrubs shall be planted per detail___2___ All planter pits shall receive the following back fill mix: 60% soil of the site

year from the date of installation completion.

over the finish grade of all planter areas.

Water Efficient Landscape Ordinance.

Contractor shall be responsible for adequate erosion control measures during

4 cubic yards of nitrogen stabilized shavings. 2 cubic yards of Nitrohumus or Gro-power. 8 pounds of all purpose fertilizer (8-8-4). No plant shall be installed until a fully automatic drip irrigation system, covering all planter areas, is installed, tested and is fully operational. PLANTING OF TREES, SHRUBS & VINES: Unless otherwise noted,

> 20% nitrogen stabilized redwood shavings 20% Nitrohumus or Gro-power or equal Acid loving plants shall receive peat moss

Contractor shall guarantee all small trees, shrubs , vines, groundcovers and turf to live and grow in an acceptable condition for a period of 90 (ninety) days from the date of installation completion. Contractor shall also guarantee all trees and shrubs 24 box size and larger for a period of 1(one)

Upon completion of planting operations, contractor shall apply an approved pre-emergent herbicide (Ronstar or equal) as weed control per manufacturer's

specifications. In addition, a 3 inch layer of approved mulch shall be installed

90____ calendar days after acceptance by owner. Maintenance shall include

MAINTENANCE PERIOD: Contractor shall maintain the site for a period of

weekly mowing of turf areas; weeding of all turf and ground cover areas including slopes; removal of all trash and debris from planter areas and

hardscape areas; pruning and trimming of all plant materials required;

replacement of all dead or dying plant material & 2 applications of fertilizer.

Contractor shall comply with all features of the City of Sunnyvale WELO-

Fertilizer tablets (Agriform 21 gram: 20-10-5) or equal, applied per manufacturer's recommendations.

All Succulent Planting areas: Plant in 6" Depth of Coarse Pumice

Care shall be taken to avoid construction activity and/or staging under the dripline of existing trees in order to prevent soil compaction, root or tree damage. All work to be done under the dripline of trees shall be done by hand. No plant shall be planted in a drainage swale regardless of position on plan. FINISH GRADING: Till all planter areas to an 6 inch depth. Break up or remove all compacted lumps of soil, rocks larger than 1 inch in diameter, and all deleterious material from planter areas. Finish grade all areas to a smooth, even surface free of abrupt changes in grade. Make minor grading

Geijera parvifolia

Arbutus 'Marina'

Crape Myrtle

Australian Willow

Strawberry Tree

Carolina Cherry

Jester Conebush

Pineapple Sage

Orchid Rockrose

Mexican Sage

Xylosma

Chinese Flame Tree

Flowering

Privacy Screen

Street Tree

Succulent

Flowering

Flowering

Flowering

Flowering

Carex divulsa

Berkeley Sedge

Dwarf Manzanita

Note:

based on City of Sunnyvale

Only In The Landscape.

Landscaping Requirements Water

No Turf Or High Water Use Plants;

80% Native or Low Water Use Plants

Efficiency Design OPTION 1:

1 g.c. @ 48" o.c.

Plant From 1 g.c. @ 24" o.c.

Arctostaphylos 'Emerald Carpet'

Foundation

Screen

Accent

24" Box

THOMAS SCHERER ASSOCIATES

P.O. Box 68, Aptos, CA 95001 Tel (831) 688-8913 Fax (831) 688-3135

Landscape Architecture

sheet title

Planting Plan, Legend &

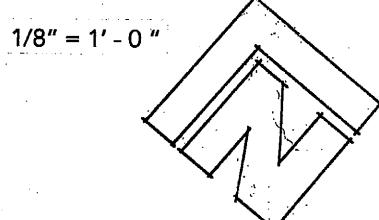
Notes

94087 Road

<u>Lot 1</u> 1005 E. Sunnyva

8-27-2019 drawn ·

sheet no



"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN AND IRRIGATION DESIGN PLAN"

> 4,207 s.f. 0 s.f.

4,207 s.f. 4,207 s.f.

THOMAS SCHERER ASSOCIATES Landscape Architecture

> P.O. Box 68, Aptos, CA 95001 Tel (831) 688-8913 Fax (831) 688-3135

sheet title

Irrigation Plan Legend & Notes

> 087 Road 94

<u>Lot 2</u> 1005 E. Hor Sunnyvale,

8-27-2019

drawn

L-3

Landscape Documentation Package For:

P.O. Box 68 Aptos, CA

(831) 688-8913 zekets@earthlink.net

Faranak Pourghasemi

faranak.pour@gmail.com

Potable

See Sheet L-1: Irrigation Design Plan, Water Efficient Landscape Worksheet,

San Jose Water Co.

"I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete and scape documentation package."

1698 Nightingale

Sunnyvale, CA

(510) 432-8864

Drought Tolerant Shrubs/Ground cover

See Sheet L-2: Planting Design Plan

See Sheet L-3: Irrigation & Planting Details

Thomas Scherer Landscape Architect

HOMESTEAD ROAD-LOT #2

1005 East Homestead Road

Sunnyvale, CA

Total Landscape Area:

Project Type:

Water Supply Type:

Rainbird EMT-6XERI; Pressure Regulator- Rainbird PRS-050-30; Refer To Rainbird Installation Details For Installation Of Components. Hunter ICV-101G Install Per Manufacturer's Specs. Master Valve Rainbird_CZK-100-PRB-LC 1" Light Commercial -Size Per Plan Drip Zone Valve Kit Rainbird 33DRC Series Quick Coupler Valve (POC) Verify Location In Field Prior To Commencement Of Work Point Of Connection Zenner or Equal Model MJ Water Meter 1" size Sub Meter Backflow Prevention Unit <u>Febco Model 825Y</u> Install Per Manufacturer's Specs Hunter I-Core 6 Station Wall Mount-Power By Others Automatic Controller Hunter Wireless Rain Clik Install On Gutter Per Manuf. Specs Rain Sensor W/Shut Off <u>Hunter</u> HFS Flow Sensor PVC Sch. 40 Size Per Plan Bury 18" Min. Below Grade Size Per Plan Bury 12" Min. Below Grade PVC Sch. 40 Lateral Line Size To Accommodate Irrigation Lines PVC Sch. 40 Irrigation Line Sleeve Bury 24" Min. Below Grade

GPM P.R. MANUF, MODEL No.

2 GPH Rainbird Xeri-Bug (2 GPH)

Install Rainbird XQ Tubing; Rainbird TS-025 Tubing Stakes; Emitter Box Rainbird SEB 7XB; Six Outlet Manifold;

Valve No. Hydrozone Area

Irrigation Legend:

Drip Emitter

IRRIGATION NOTES:

1. System is designed for 65 PSI static pressure at meter. Maximum flow is 6.0 GPM. Contractor shall run pressure tests at each point of connection before commencing work. Any discrepancies between actual pressure and design pressure shall be reported to the landscape architect and owner prior to further work being done.

2. All applicable governmental plumbing and health code regulations shall have precedence over these plans and specifications.

3. Location of valves, back flow prevention units, mainline, lateral line and automatic controllers are shown schematically due to scale of the plans. Install in planter areas where ever possible or in the most appropriate location. Install mainline and lateral line in the same trench

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5. All irrigation lines in and around existing trees shall be HAND TRENCHED and care shall be taken not to damage existing tree roots.

6. All irrigation lines under paving shall be placed in sch. 40 PVC sleeves, size to accommodate irrigation lines adequately, for the full width of the paving.

7. All changes in direction of irrigation pipe shall be accomplished with the use of proper fittings. NO PIPE SHALL BE BENT. 8. In no case shall the spacing of heads exceed the recommended spacing of the

9. Minimum depth of PVC lateral lines shall be 12"(twelve inches) below grade.

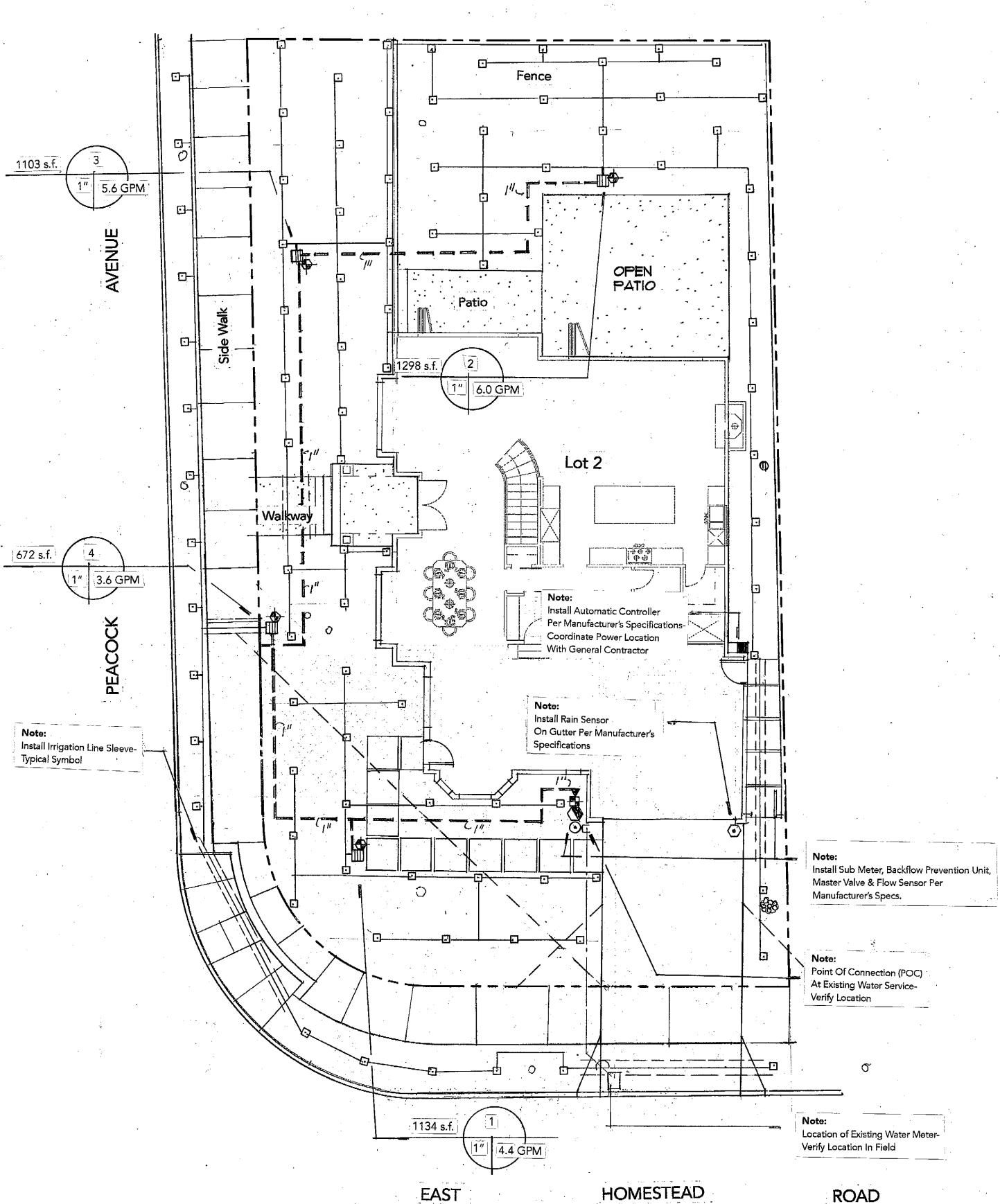
Minimum depth of PVC main line shall be 18" (eighteen inches) below grade. 10. Prior to any planting operations, a coverage test shall be performed by the contractor in the presence of the landscape architect and owner. Contractor shall furnish all materials and provide all labor necessary to correct inadequate coverage.

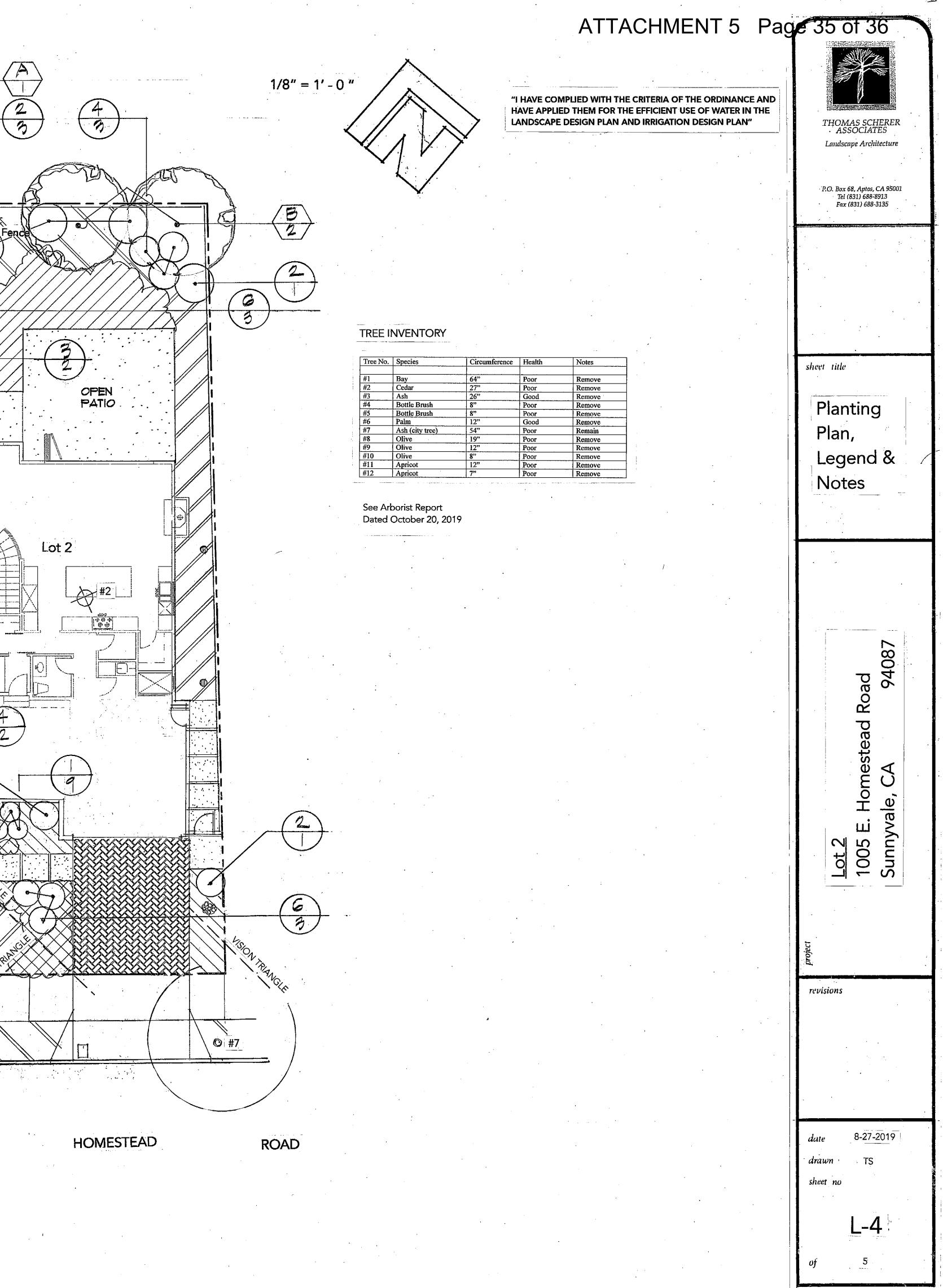
11. Contractor shall be responsible for the procurement of all necessary permits and shall provide owner with an 'As Built' plan (reproducible) of the installed irrigation system upon completion of the project.

12. All installation shall conform to the City of Sunnyvale Water Efficient Landscape Ordinance (WELO)

Note:

Irrigation and Planting Design is based on City of Sunnyvale Landscaping Requirements Water Efficiency Design OPTION 1: No Turf Or High Water Use Plants; 80% Native or Low Water Use Plants Only In The Landscape.

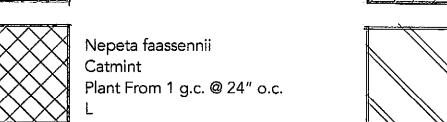


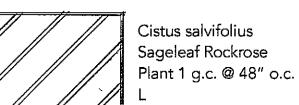


Planting Legend: Symbol Botanical Name Common Name Lagerstroemia h.'Muskogee' Crape Myrtle Geijera parvifolia Australian Willow Arbutus 'Marina' 24" Box Strawberry Tree Accent 24" Box Koelreuteria bipinnata Chinese Flame Tree Street Tree Agave 'Blue Flame' Leucadendron 'Jester' Jester Conebush Feijoa sellowiana Pineapple Guava Flowering Friendship Sage Salvia amisted Orchid Rockrose Cistus purpureus Salvia leucantha Mexican Sage

Ground covers:

Erigeron karvinskyanus Mexican Daisy Plant From 1 g.c. @ 36" o.c.







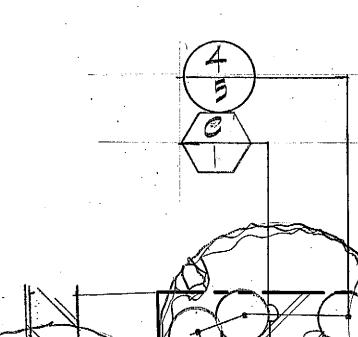


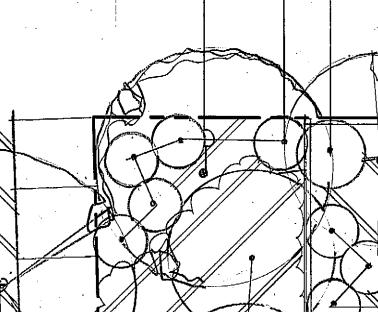
- Contractor shall be responsible for adequate erosion control measures during
- dripline of existing trees in order to prevent soil compaction, root or tree damage. All work to be done under the dripline of trees shall be done by hand. No plant shall be planted in a drainage swale regardless of position on plan. FINISH GRADING: Till all planter areas to an 6 inch depth. Break up or
- smooth, even surface free of abrupt changes in grade. Make minor grading changes as required to insure positive drainage (1% minimum). SOIL PREPARATION: Thoroughly incorporate the following amendments
- otherwise. Amounts given are per 1000 square feet: 4 cubic yards of nitrogen stabilized shavings.
- 8 pounds of all purpose fertilizer (8-8-4).
- covering all planter areas, is installed, tested and is fully operational. PLANTING OF TREES, SHRUBS & VINES: Unless otherwise noted,
 - All planter pits shall receive the following back fill mix:
 - 20% nitrogen stabilized redwood shavings
 - Fertilizer tablets (Agriform 21 gram: 20-10-5) or equal,
- All Succulent Planting areas: Plant in 6" Depth of Coarse Pumice Contractor shall guarantee all small trees, shrubs ,vines, groundcovers and turf to live and grow in an acceptable condition for a period of 90 (ninety) days from the date of installation completion. Contractor shall also guarantee all trees and shrubs 24 box size and larger for a period of 1(one)
- Upon completion of planting operations, contractor shall apply an approved pre-emergent herbicide (Ronstar or equal) as weed control per manufacturer's specifications. In addition, a 3 inch layer of approved mulch shall be installed over the finish grade of all planter areas.
- MAINTENANCE PERIOD: Contractor shall maintain the site for a period of 90____calendar days after acceptance by owner. Maintenance shall include weekly mowing of turf areas; weeding of all turf and ground cover areas including slopes; removal of all trash and debris from planter areas and hardscape areas; pruning and trimming of all plant materials required;
- replacement of all dead or dying plant material & 2 applications of fertilizer. Contractor shall comply with all features of the City of Sunnyvale WELO-Water Efficient Landscape Ordinance.

Water Use Key: VL Very Low Low Medium

 $\binom{\overline{D}}{2}$

Street Tree





Carex divulsa Berkeley Sedge Plant From 1 g.c. @ 24" o.c.

Arctostaphylos 'Emerald Carpet' Dwarf Manzanita 1 g.c. @ 48" o.c.

Planting Notes:

Circles shown indicate approximate mature size of plant material.

Care shall be taken to avoid construction activity and/or staging under the remove all compacted lumps of soil, rocks larger than 1 inch in diameter, and all deleterious material from planter areas. Finish grade all areas to a

into the top 6 (six) inches of all areas to be planted, except where indicated

2 cubic yards of Nitrohumus or Gro-power.

No plant shall be installed until a fully automatic drip irrigation system, All shrubs shall be planted per detail___2__

60% soil of the site

20% Nitrohumus or Gro-power or equal Acid loving plants shall receive peat moss

applied per manufacturer's recommendations. year from the date of installation completion.

Irrigation and Planting Design is based on City of Sunnyvale Landscaping Requirements Water Efficiency Design OPTION 1:

No Turf Or High Water Use Plants; 80% Native or Low Water Use Plants Only In The Landscape.

EAST

