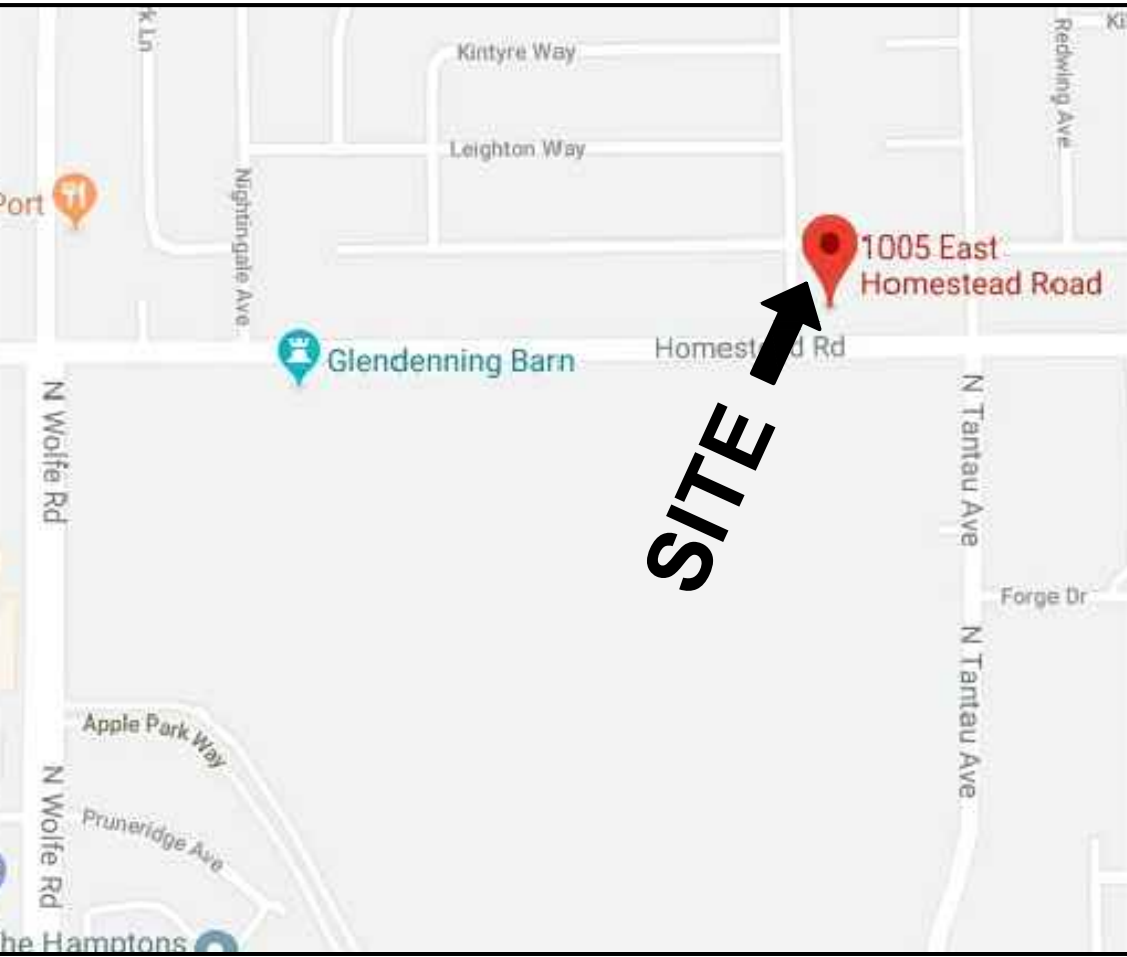


VICINITY MAP



BUILDING CODE DATA

OCCUPANCY:	R-3 / U-1 SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE.
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLER	YES
BUILDING CODE:	ALL APPLICABLE CURRENT CODES TO THE COUNTY OF SANTA CLARA AND THE CITY OF SUNNYVALE AND THE STATE OF CALIFORNIA 2016 CALIFORNIA BLD'G CODE (CBC) 2016 CALIFORNIA PLUMBING CODE (CPC) 2016 CALIFORNIA MECHANICAL CODE (CMC) 2016 CALIFORNIA ELECTRICAL CODE (CEC) 2016 CALIFORNIA GREEN BUILDING CODE (CALGREEN) 2016 CALIFORNIA RESIDENTIAL CODE 2016 CALIFORNIA ENERGY CODE

PROJECT DESCRIPTION

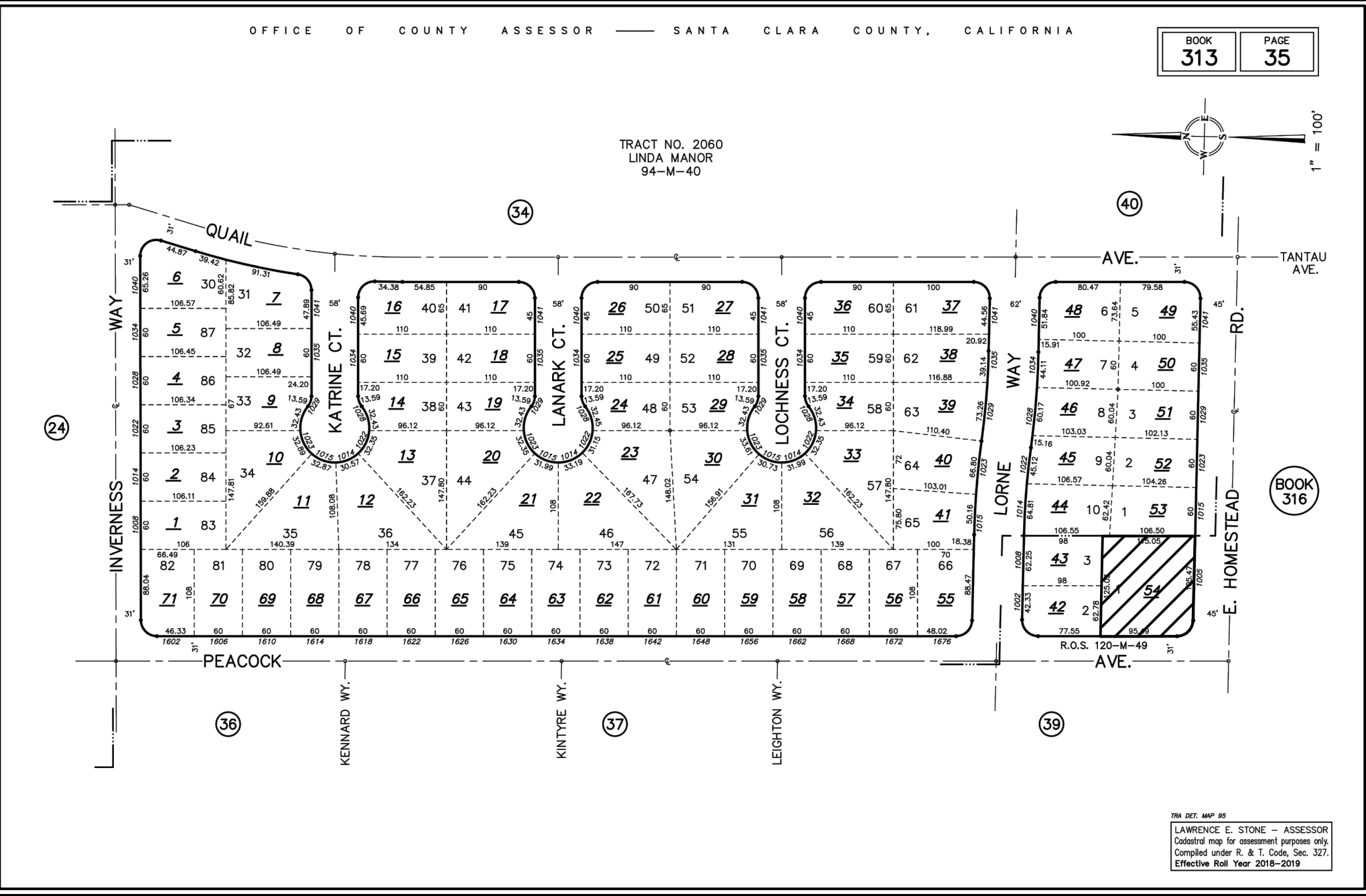
SUBDIVISION OF PARCEL TO CREATE TWO SEPARATE SINGLE FAMILY TWO STORY RESIDENCES.

PROPERTY DESCRIPTION

PROJECT ADDRESS:	1005 E. HOMESTEAD RD, SUNNYVALE, CA
ZONING DISTRICT:	R-0

TABULATION

LOT-1	
<u>ALLOWABLE F.A.R.:</u> LOT SIZE = 7190 SQ. FT. ALLOWABLE F.A.R 7190 SQ. FT. X 45% = 3235.5 SQ .FT. PROPOSED F.A.R 3229.12 SQ. FT. = 44.9%	
<u>PROPOSED F.A.R.</u>	
(N) FIRST FLOOR	1812.50 SQ. FT.
(N) SECOND FLOOR	1015.62 SQ. FT.
(N) GARAGE	401 SQ. FT.
TOTAL AREA	3229.12 SQ. FT.
LOT-2	
<u>ALLOWABLE F.A.R.:</u> LOT SIZE = 7109 SQ. FT. ALLOWABLE F.A.R 7109 SQ. FT. X 45% = 3199 SQ .FT. PROPOSED F.A.R 3189.86 SQ. FT. = 44.9%	
<u>PROPOSED F.A.R.</u>	
(N) FIRST FLOOR	1742.39 SQ. FT.
(N) SECOND FLOOR	1045.86 SQ. FT.
(N) GARAGE	401.61 SQ. FT.
TOTAL AREA	3189.86 SQ. FT.



SHEET INDEX.

<u>ARCHITECTURAL</u>	
A-0.0	COVER SHEET/ PLANNING DATA
BG-1.0	BUILT IT GREEN CHECKLIST
CG-1.0	CALGREEN MANDATORY CHECKLIST
A-1.0.1	SITE PLAN LOT-1
A-1.0.2	SITE PLAN LOT-2
A-1.1.1	AREA CALCULATION DIAGRAM LOT-1
A-1.1.2	AREA CALCULATION DIAGRAM LOT-2
A-1.2	NEIGHBORHOOD ANALYSIS
A-1.3	SOLAR STUDY
A-1.4.1	PRIVACY PLAN
A-2.0.1	FIRST FLOOR PLAN LOT-1
A-2.1.1	SECOND FLOOR PLAN LOT-1
A-3.0.1	NEW ROOF PLAN LOT-1
A-4.0.1	PROPOSED EXTERIOR ELEVATION LOT-1
A-4.1.1	PROPOSED EXTERIOR ELEVATION LOT-1
A-5.0.1	BUILDING SECTIONS LOT-1
A-2.0.2	FIRST FLOOR PLAN LOT-2
A-2.1.2	SECOND FLOOR PLAN LOT-2
A-3.0.2	NEW ROOF PLAN LOT-2
A-4.0.2	PROPOSED EXTERIOR ELEVATION LOT-2
A-4.1.2	PROPOSED EXTERIOR ELEVATION LOT-2
A-5.0.2	BUILDING SECTIONS LOT-2
<u>CIVIL</u>	
TB1	BOUNDARY & TOPOGRAPHY MAP
TB2	BOUNDARY & TOPOGRAPHY MAP
TM1	TENTATIVE MAP
C-1	CONCEPTUAL GRADING AND DRAINAGE
C-2	CONCEPTUAL GRADING AND DRAINAGE
C-3	CONCEPTUAL OFF-SITE IMPROVEMENT
C-4	CONSTRUCTION DETAILS
C-5	CONSTRUCTION DETAILS
C-6	EROSION CONTROL
<u>LANDSCAPE</u>	
L-1	IRRIGATION PLAN LOT-1
L-2	PLANTING PLAN LOT-1
L-3	IRRIGATION PLAN LOT-2
L-4	PLANTING PLAN LOT-2
L-5	DETAILS

PROJECT DATA WORKSHEET

	Existing	proposed	Required /Permitted
General Plan	low-density residential zoning districts	Same	low-density residential zoning districts
Zoning District	R-0	Same	R-0
Lot Size (SQ.FT.)	14299 SQ. FT.	Lot 1 : 7190 SQ. FT. Lot 2 : 7109 SQ.FT.	6000 SQ. FT.
Lot Width	115 ’	Lot 1 : 62.51’ Lot 2 : 62.51’	62’
Gross Floor area (SQ.FT)	3660 sq. ft. (Living 3127 sq. ft. Garage 533 sq. ft.)	Lot 1 : 3229.12 SQ. FT. • 2828.12 SQ. FT. Living • 401 SQ. FT. Garage Lot 2 : 3189.86 SQ. FT. • 2788.25 SQ. FT. Living • 401.61 SQ. FT. Garage	45% = 3235.5 SQ.FT. 45% = 3199 SQ.FT.
Lot Coverage	25.6%	Lot 1 : 2271.5 SQ. FT. = 31.5% • First Floor : 1812.5 SQ.FT. • Garage : 401 SQ.FT. • Front Covered Porch: 58 SQ. FT. Lot 2 : 2227.5 SQ. FT. = 31.3% • First Floor : 1742.39 SQ.FT. • Garage : 401.61 SQ.FT. • Front Covered Porch: 83.5 sq. ft.	40% Max. 40% Max.
Floor Area Ratio	3660 SQ. FT. = 25.6% • First Floor: 3127SQ.FT. • Garage: 593 SQ.FT.	Lot 1 : 3229.12 SQ. FT. = 44.9% • First Floor: 1812.5 SQ.FT. • Second Floor 1015.62 SQ. FT. • Garage: 401 SQ.FT. Lot 2 : 3189.86 SQ. FT. = 44.9% • First Floor: 1742.39 SQ.FT. • Second Floor 1045.86 SQ. FT. • Garage: 401.61 SQ.FT.	45% Max.

	Existing	proposed	Required /Permitted
No of Units	1	Lot 1: 1 Lot 2: 1	1
Density (Unit /ACRE)	6	7	7
Meets 75% min?	Yes	Same	
Building Height (ft.)	17’	Lot 1: 25’-11” Lot 2: 27’-4”	30’
No of story	1	Lot 1: 2 story Lot 2: 2 story	2
Front Setbacks (1st Story/2nd Story)	N/A (E) To be removed	Lot 1: First: 20’-6” / Second: 26’-6” Lot 2: First: 20’-2” / Second: 33’-4”	First: 20’-0” / Second: 25’-0”
Left Side Setbacks(1st Story/2nd Story facing property)	N/A (E) To be removed	Lot 1: First: 5’-0” / Second: 12’-3” Lot 2: First: 9’-9” / Second: 19’-2”	First: Combined : 12.5’ (20%). Min 4’-0” Second: Combined : 18.5’ (20%+6’). Min 7’-0” First: Combined : 12.5’ (20%). Min 4’-0” Second: Combined : 18.5’ (20%+6’). Min 7’-0”

Right Side Setbacks(1st Story/2nd Story facing property)	N/A (E) To be removed	Lot 1: First: 11’-5” / Second: 14’-6” Lot 2: First: 4’-4” / Second: 9’-9”	First: Combined : 12.5’ (20%). Min 4’-0” Second: Combined : 18.5’ (20%+6’). Min 7’-0” First: Combined : 12.5’ (20%). Min 4’-0” Second: Combined : 18.5’ (20%+6’). Min 7’-0”
Rear Setback	N/A (E) To be removed	Lot 1: First: 32’-2” / Second: 44’-0” Lot 2: First: 36’-9” / Second: 41’-5”	First: 20’-0” Second: 20’-0” First: 20’-0” Second: 20’-0”
Total Landscape	Unknown	Lot 1: 3681 SQ.FT. Lot 2: 4207 SQ.FT.	N/A
Landscape /Unit	Unknown	N/A	N/A
Usable Open space	Unknown	N/A	N/A
Parking			
Covered Parking	2	2	2

No. Date Description

△	_____	_____
△	_____	_____
△	_____	_____

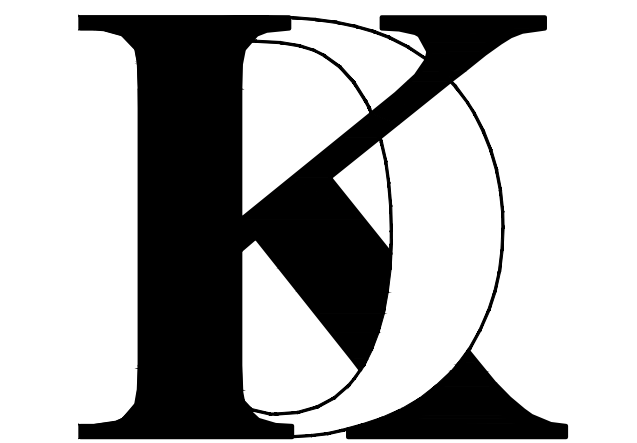
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Client :

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087

Project :

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087



1900 CAMDEN AVENUE
SAN JOSE, CA. 95124
Phone (408) 888-6662

farnaz@khadivdesign.com

KHADIV-DESIGN

Date: 9/17/19
Scale: N.T.S
Drawn By : FK

Job No: 2019-6

Signature :

Sheet Title :
COVERSHEET
PLANNING DATA

Sheet No. :

A-0.0

△ _____
△ _____
△ _____

1003 E. HOMESTEAD RD,
HOMESTEAD, FL 33033

Project:

1005 E. HOMESTEAD RD,



Date: 9/17/19

Drawn By : FK

CHECKLIST I

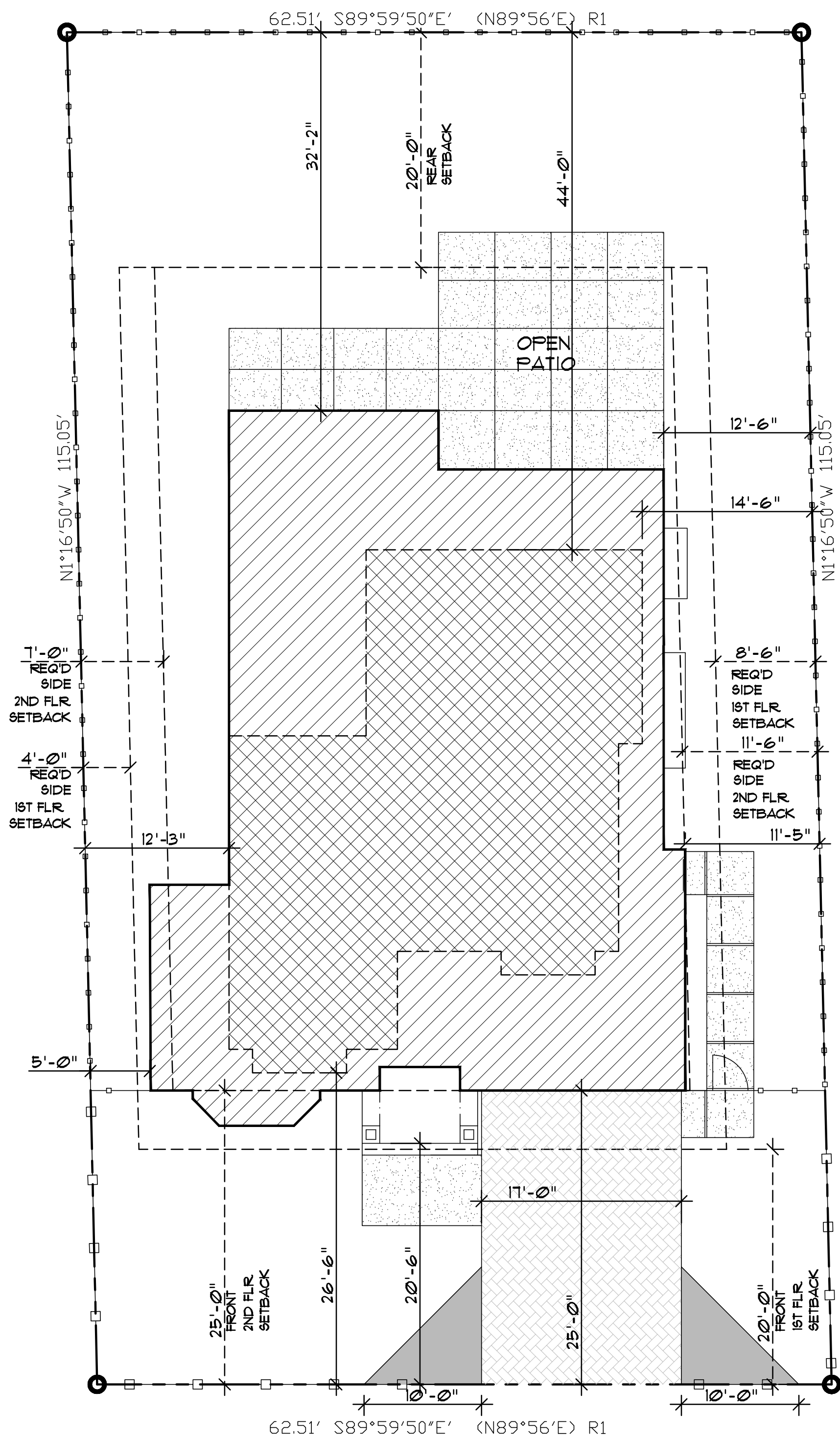
1210

New Home Single Family, Version 2.0		GreenPoint Rated New Home Single Family Checklist Version 2.0										
TSD	L1. Environmentally Preferable Flooring									3		
TSD	L2. Low-Emitting Flooring Meets COPV 2010 Standard Method—Residential								3			
TSD	L3. Durable Flooring (not flooring in hard surface)								1			
TSD	L4. Thermal Mass Flooring								1			
A. APPLIANCES AND UTILITIES												
Yes	M1. ENERGY STAR® Dishwasher									1		
Yes	M2. Efficient Laundry Appliances									1		
CEE Tier 3	M2.1 CEE-Rated Clothes Washer									3		
Yes	M2.2 Energy Star Dryer								2	1	2	
Yes	M2.3 Solid Dyeer Laundry Units								0.5			
>10 cubic feet	M3. Size-Efficient ENERGY STAR Refrigerator								2	2		
M4. Permanent Centers for Waste Reduction Strategies												
TSD	M4.1 Bulk-In Recycling Center									1		
TSD	M4.2 Bulk-In Composting Center									1		
M5. Lighting Efficiency												
Yes	M5.1 High-Efficiency Lighting								2	2		
Yes	M5.2 Lighting System Designed to Meet Footcandle Standards or Designed by Lighting Consultant								2	2		
Yes	M6. Electric Vehicle Charging Stations and Infrastructure								1	1		
B. COMMUNITY												
N1. Smart Development												
TSD	N1.1 Infill Site								1	1		
TSD	N1.2 Designated Brownfield Site								1	1		
TSD	N1.3 Conserve Resources by Increasing Density								2	2		
TSD	N1.4 Cluster Homes for Land Preservation								1	1		
TSD	N1.5 Home Size Efficiency									9		
	Enter the area of the home, in square feet											
	Enter the number of bedrooms											
N2. Home(s)/Development Located Near Transit												
Yes	N2.1 Within 1/2 mile of a Major Transit Stop								1	1		
Yes	N2.2 Within 1/2 mile of a Major Transit Stop								2			
N3. Pedestrian and Bicycle Access												
TSD	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services								2			
	Enter the number of Tier 1 services											
	Enter the number of Tier 2 services											
TSD	N3.2 Connection to Pedestrian Pathways								1			
TSD	N3.3 Traffic Calming Strategies								2			
N4. Outdoor Gathering Places												
TSD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents								1			
TSD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services								1			
N5. Social Interaction												
TSD	N5.1 Residence Entries with Views to Callers								1			
TSD	N5.2 Entrances Visible from Street and/or Other Front Doors								1			
TSD	N5.3 Porches Oriented to Street and Public Space								1			
N6. Passive Solar Design												
TSD	N6.1 Heating Load								2			
TSD	N6.2 Cooling Load								2			
N7. Adaptable Building												
TSD	N7.1 Universal Design Principles in Units								1	1		
TSD	N7.2 Full-Function Independent Rental Unit								1			
N8. Resiliency												
TSD	N8.1 Vulnerability Assessment (See Appendix, Hazard, FEMA P369, or Seismic Evaluation)								1	1	1	
TSD	N8.2 Strategies to Address Assessment Findings								1	1	1	
N9. Social Equity in Community												
TSD	N9.1 Diversify Workforce (disruptive Diversity or Local Hire)								1	1	1	
TSD	N9.2 Community Location (Displacement Community)								1	1		
O. OTHER												
Yes	O1. GreenPoint Rated Checklist in Blueprints								Y	A	R	A
Yes	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors								2	0.5	1	0.5
Yes	O3											

New Home Single Family - Version 7.0		<div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> </div>					
TBD	06.2 Water Home System Monitors						1
06. Green Building Education							
TBD	06.1 Marketing Green Building	2					
TBD	06.2 Green Building Signage		0.5				0.5
TBD	07. Green Appraisal Addendum	1	1	1	1	1	
TBD	08. Detailed Durability Plan and Third-Party Verification of Plan Implementation						1
<div>Summary</div>							
Total Available Points in Specific Categories		301.5	31	74.5	60	67	49
Minimum Points Required in Specific Categories		50	2	25	6	6	6
Total Points Achieved		83.0	3.0	42.0	16.5	32.5	9.0

NOTE:
VERIFICATION BY A GREEN POINT RATER WILL BE REQUIRED DURING THE BUILDING F

NOTE:
VERIFICATION BY A GREEN POINT RATER WILL BE REQUIRED DURING THE BUILDING PERMIT PHASE



SITE PLAN LOT-1
1/8"=1'-0"



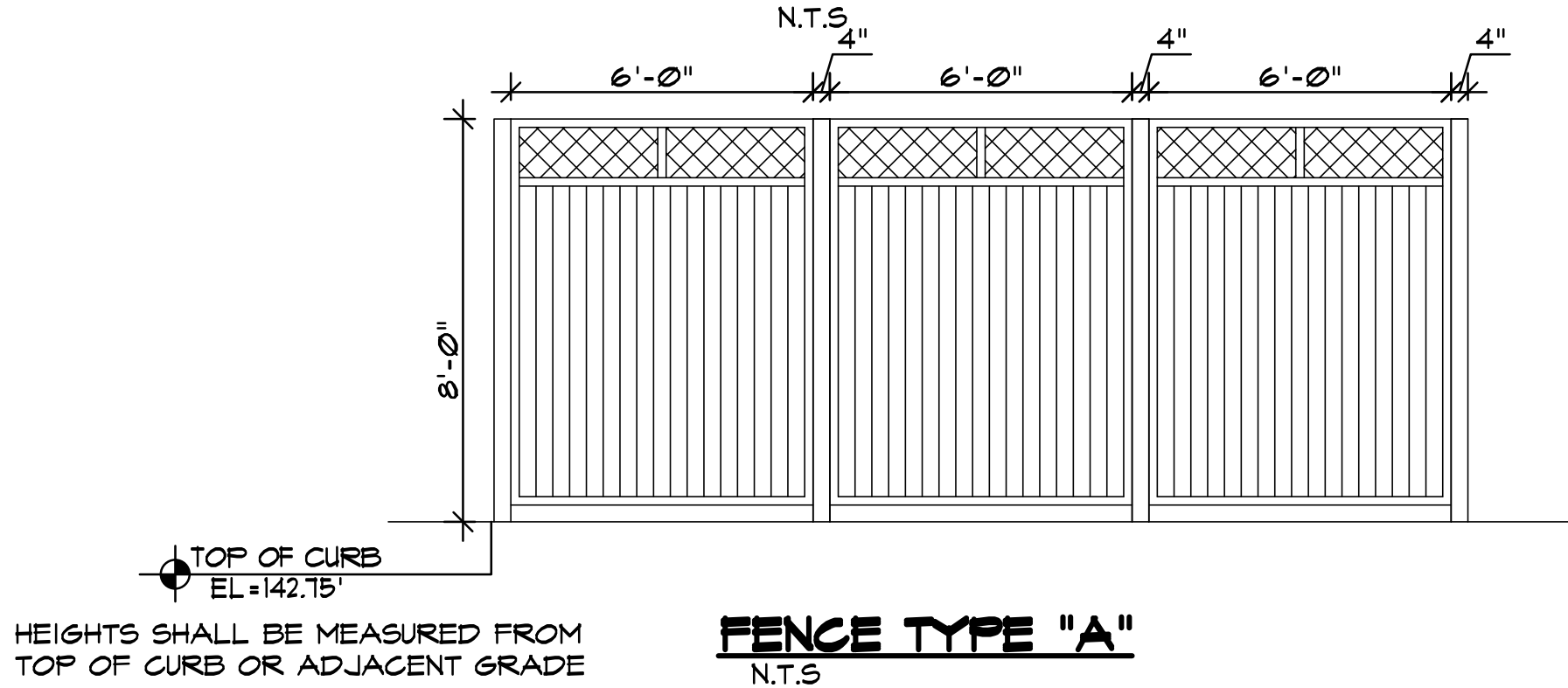
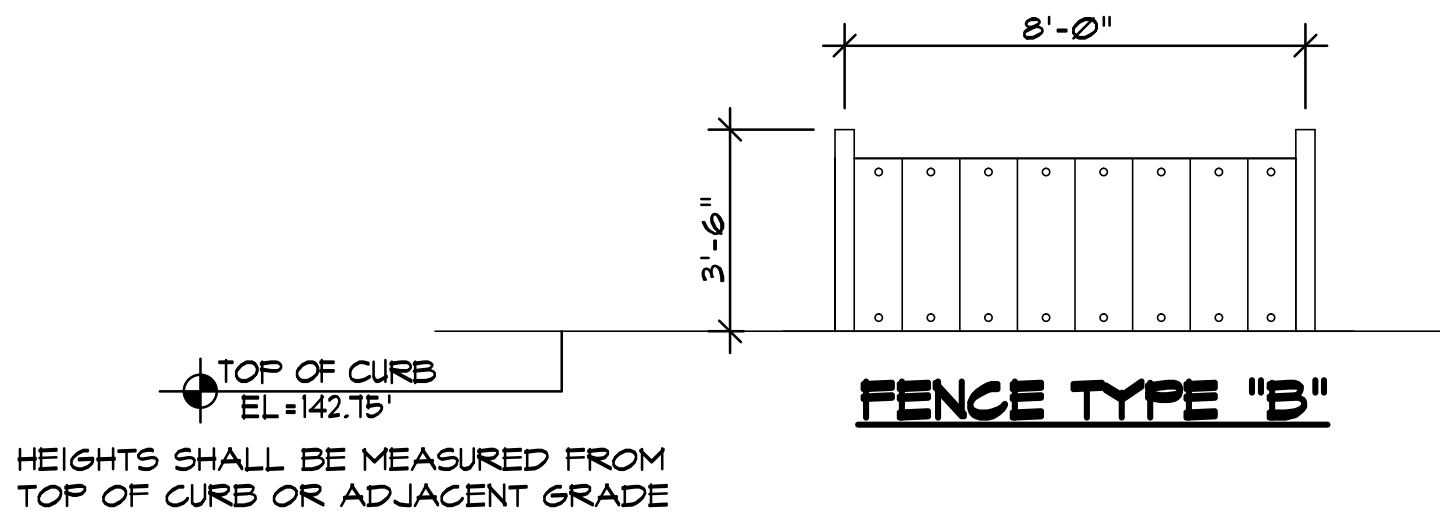
LOT-01
1005 E. HOMESTEAD RD,
SUNNYVALE, CA

LOT WIDTH = 62.5'
62.5' X 20% = 12.5'
12.5' + 6 FEET = 18.5'

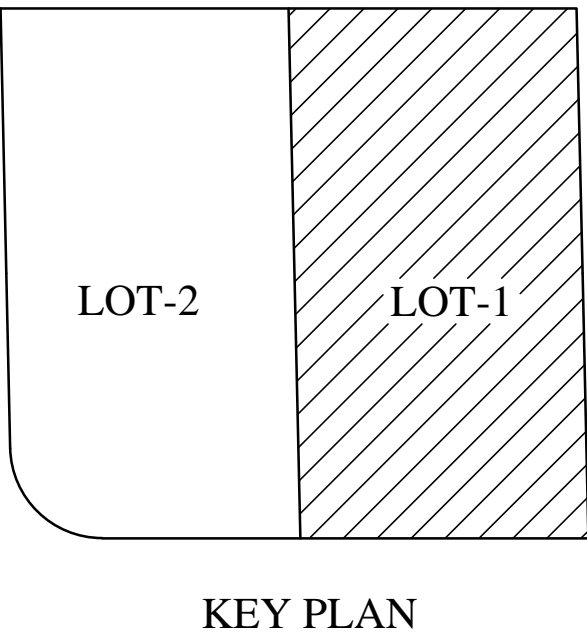
COMBINED SIDE SETBACK FOR 1ST FLR
COMBINED SIDE SETBACK FOR 2ND FLR

SITE PLAN LEGEND

- PROPERTY LINE.
- SETBACK LINE OR LINE OF EASEMENT
- OUTLINE OF (N) BUILDING
- PROPOSED FENCE 8'-0" MAXIMUM TYPE "A"
- PROPOSED FENCE 3.5' SOLID AND 4' MAX. TYPE "B"
- FOOTPRINT FIRST FLOOR
- FOOTPRINT OF SECOND FLOOR
- TRIANGLE VISION
- PERMEABLE WALKWAY
- PERVIOUS INTERLOCKING PAVEMENT



NOTE:
ALL PROPOSED UTILITY LINE SHALL BE UNDERGROUND. REFER TO CIVIL DRAWINGS.



No.	Date	Description
1		
2		
3		

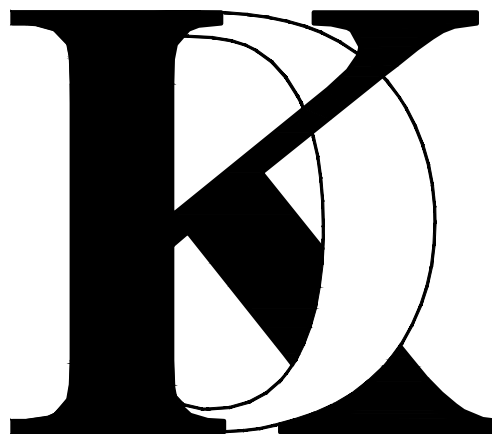
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Client :

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087

Project :

LOT-1
1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087



1900 CAMDEN AVENUE
SAN JOSE, CA. 95124
Phone (408) 888-6662

farnaz@khadivdesign.com

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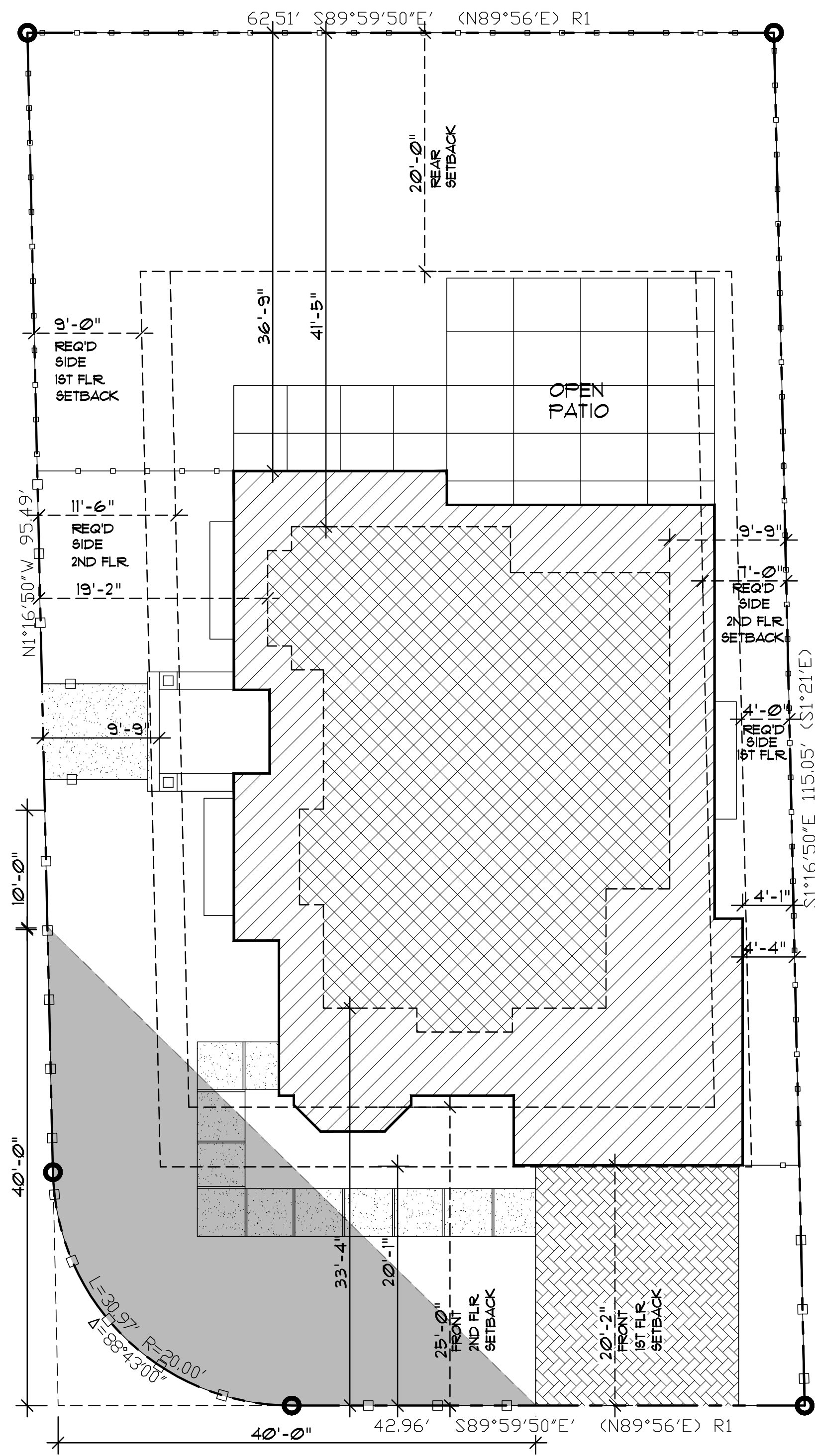
Job No: 2019-6

Signature :

Sheet Title :
SITE PLAN
PLANNING DATA

Sheet No. :

A-1.0.1

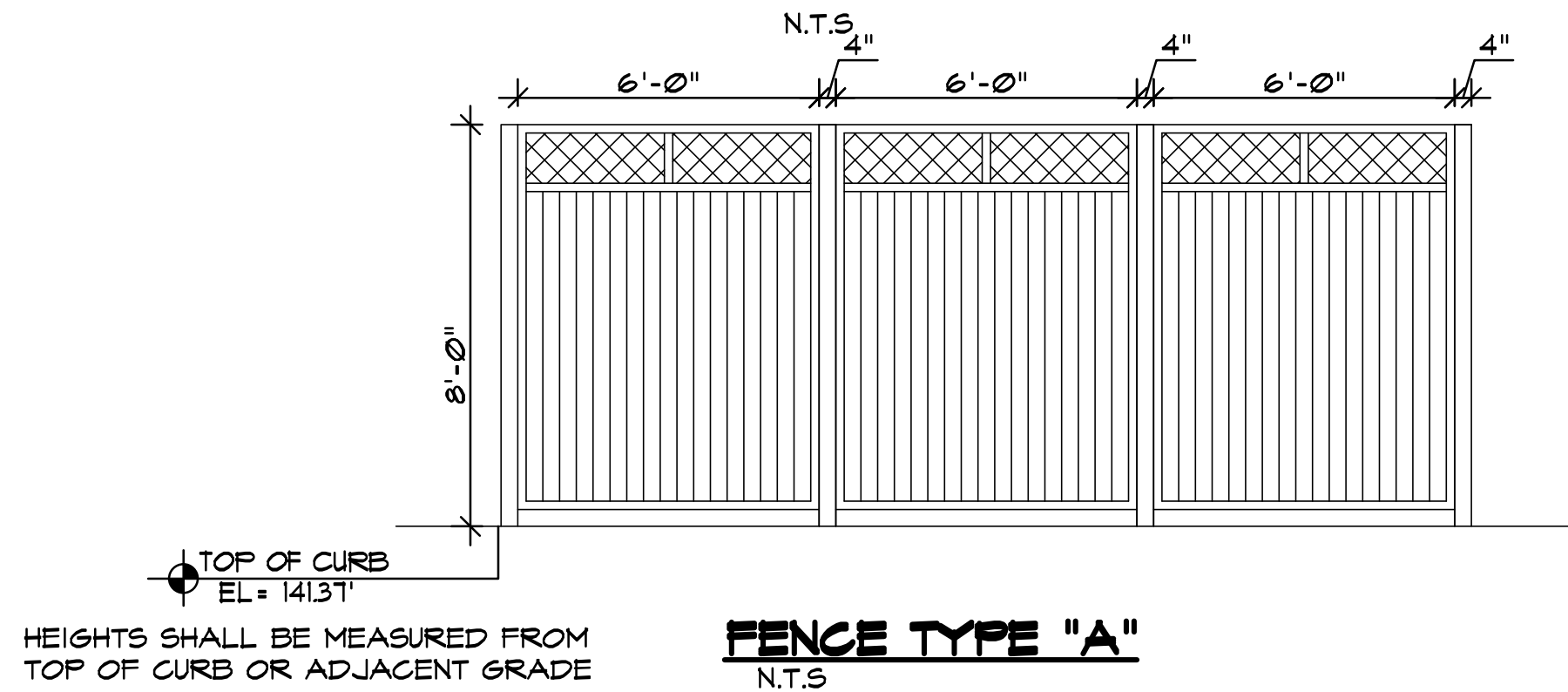
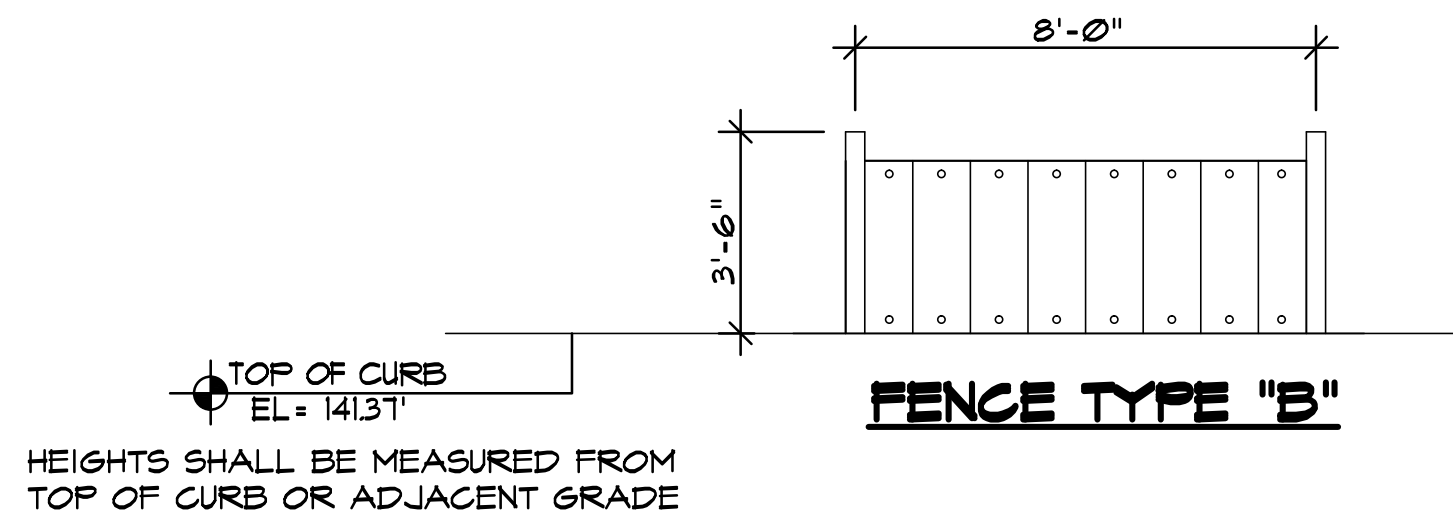


LOT WIDTH = 62.5'
62.5' X 20% = 12.5'
12.5' + 6 FEET = 18.5'

COMBINED SIDE SETBACK FOR 1ST FLR
COMBINED SIDE SETBACK FOR 2ND FLR

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- FOOTPRINT OF SECOND FLOOR
- TRIANGLE VISION
- PERMEABLE WALKWAY
- PERVIOUS INTERLOCKING PAVER

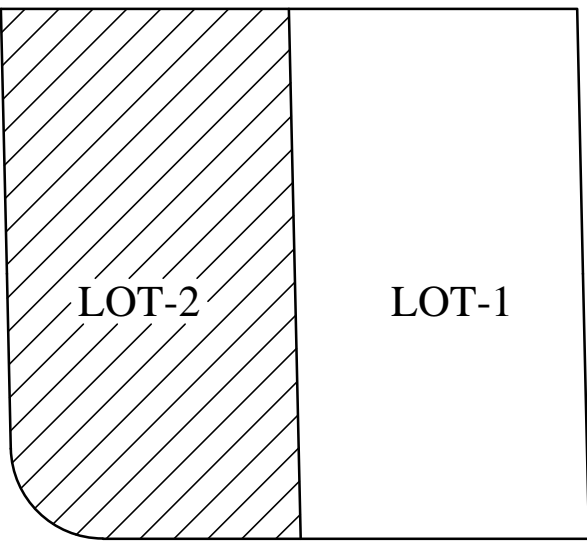


NOTE:
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SITE PLAN LOT-2

1/8"=1'-0"

LOT-02
1005 E. HOMESTEAD RD,
SUNNYVALE, CA



KEY PLAN

No. Date Description

△		
△		
△		

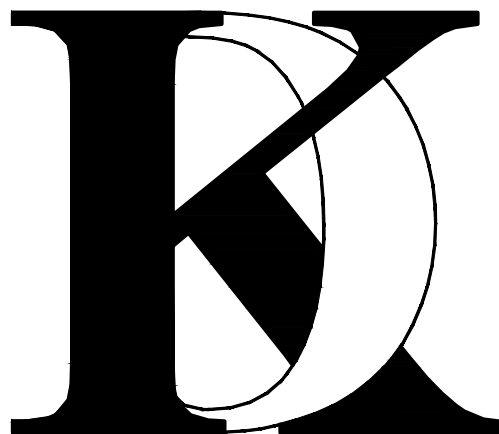
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Client :

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087

Project :

LOT-2
1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087



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SAN JOSE, CA. 95124
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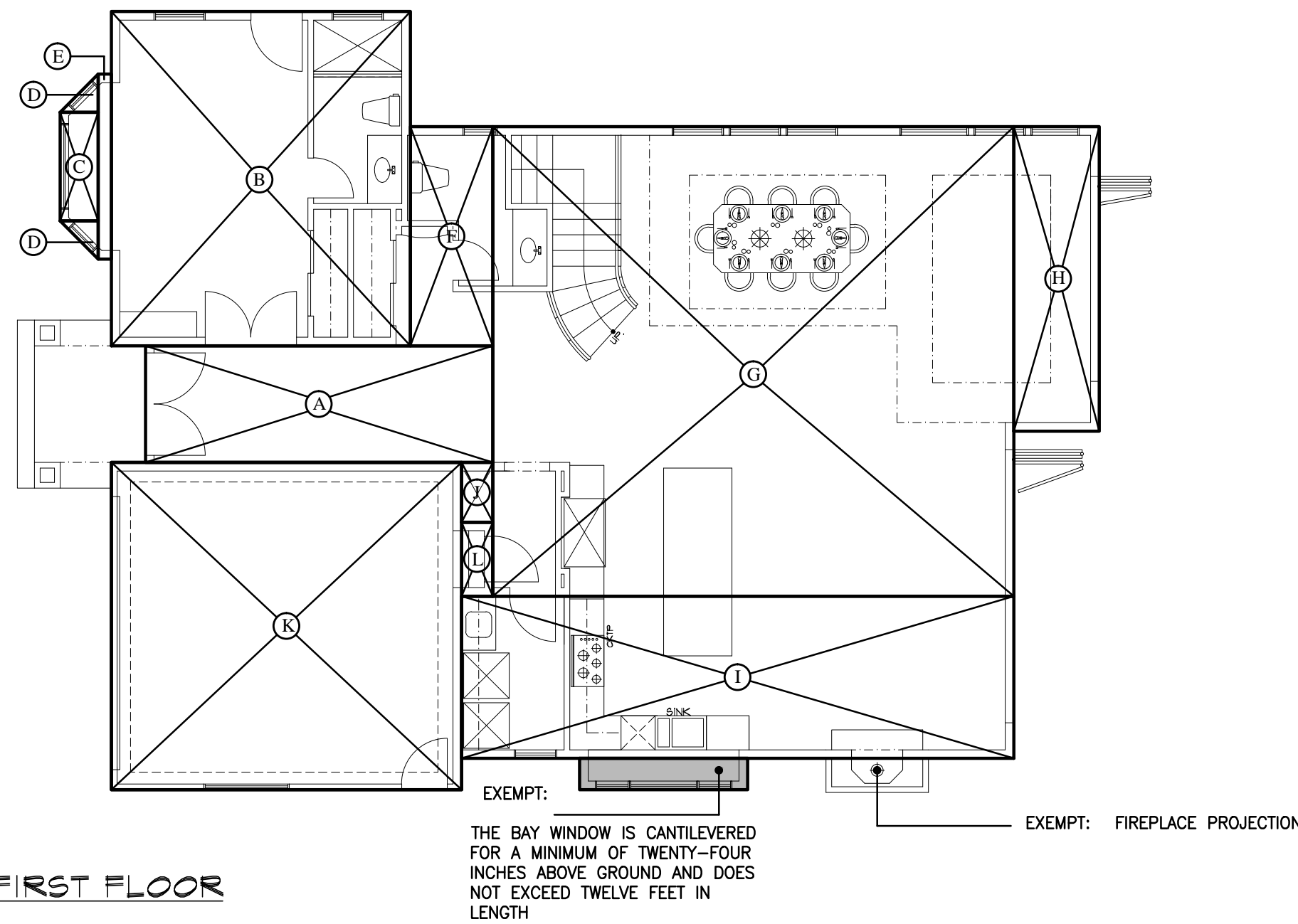
Job No: 2019-6

Signature :

Sheet Title :
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PLANNING DATA

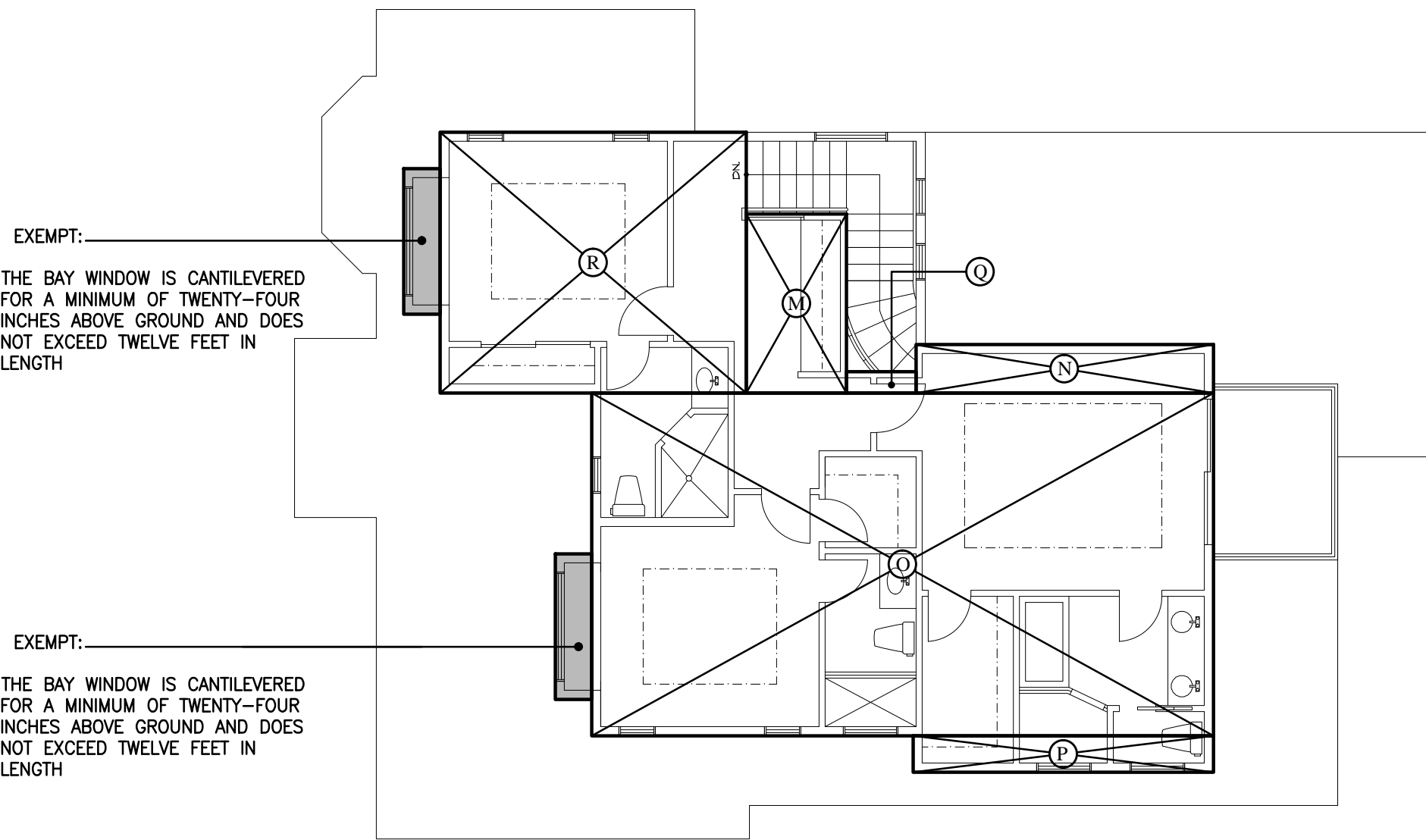
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A-1.0.2



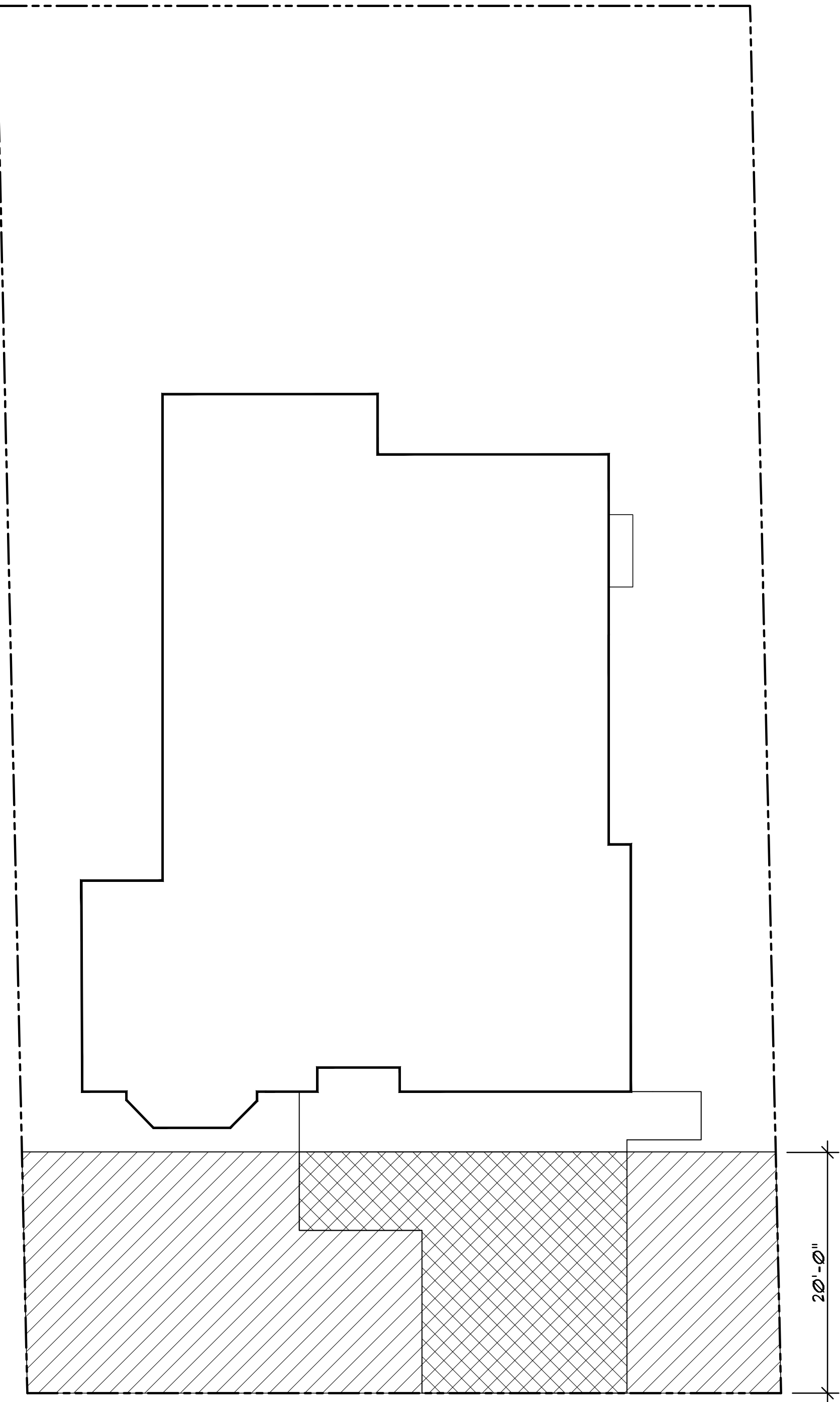
FIRST FLOOR

FIRST FLOOR	DIMENSIONS	AREA	SQ. FT.
A	20'-4" X 6'-10"	138.95	SQ. FT.
B	17'-6" X 19'-7"	342.6	SQ. FT.
C	6'-4" X 2'-3"	14.20	SQ. FT.
D	(2'-2" X 2'-2")/2 X 2	5.00	SQ. FT.
E	10'-10" X 9"	8.30	SQ. FT.
F	4'-10" X 12'-10"	62.0	SQ. FT.
G	30'-6" X 27'-6"	838.75	SQ. FT.
H	5'-0" X 17'-10"	89.1	SQ. FT.
I	32'-4" X 9'-6"	307.2	SQ. FT.
J	1'-10" X 3'-6"	6.4	SQ. FT.
TOTAL F.A.R		1812.50	SQ. FT.
GARAGE	DIMENSIONS	AREA	SQ. FT.
K	20'-6" X 19'-2"	393	SQ. FT.
L	4'-4" X 1'-10"	8	SQ. FT.
TOTAL		401	SQ. FT.



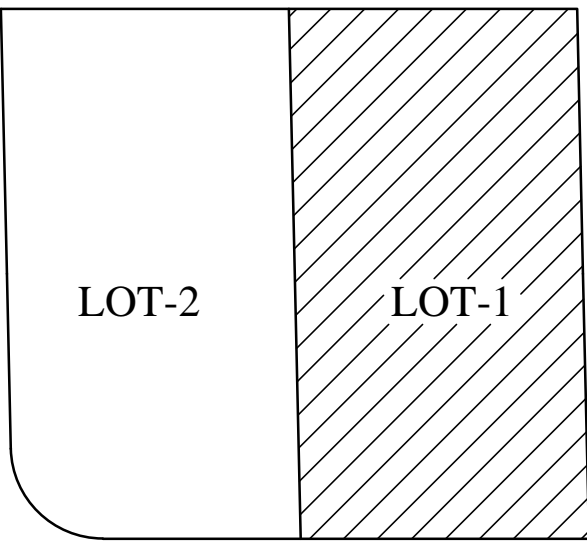
SECOND FLOOR

SECOND FLOOR	DIMENSIONS	AREA	SQ. FT.
M	5'-6" X 9'-10"	50.00	SQ. FT.
N	16'-4" X 2'-8"	43.5	SQ. FT.
O	3'-10" X 1'-2"	4.45	SQ. FT.
P	16'-6" X 2'-0"	33.00	SQ. FT.
Q	34'-2" X 18'-10"	643.47	SQ. FT.
R	16'-10" X 14'-4"	241.2	SQ. FT.
SUB TOTAL AREA		1015.62	SQ. FT.



FRONT YARD SQ. FT. 1250 SQ. FT.
PAVED AREA 406 SQ. FT. (32.5%) OK

SITE PLAN
1/8"=1'-0"



KEY PLAN

No.	Date	Description
1		
2		
3		

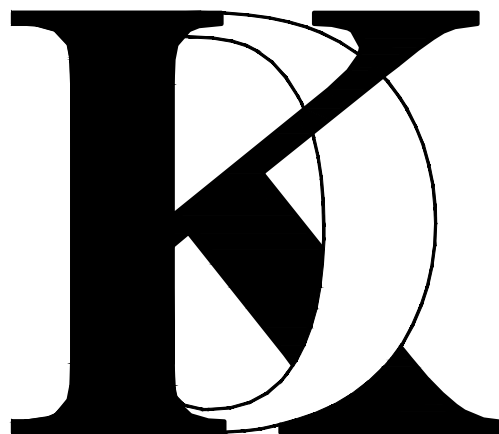
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Project :

LOT-1
1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087



1900 CAMDEN AVENUE
SAN JOSE, CA. 95124
Phone (408) 888-6662

farnaz@khadivdesign.com

KHADIV-DESIGN

Date: 9/17/19
Scale: 1/8"=1'-0"
Drawn By : FK

Job No: 2019-6

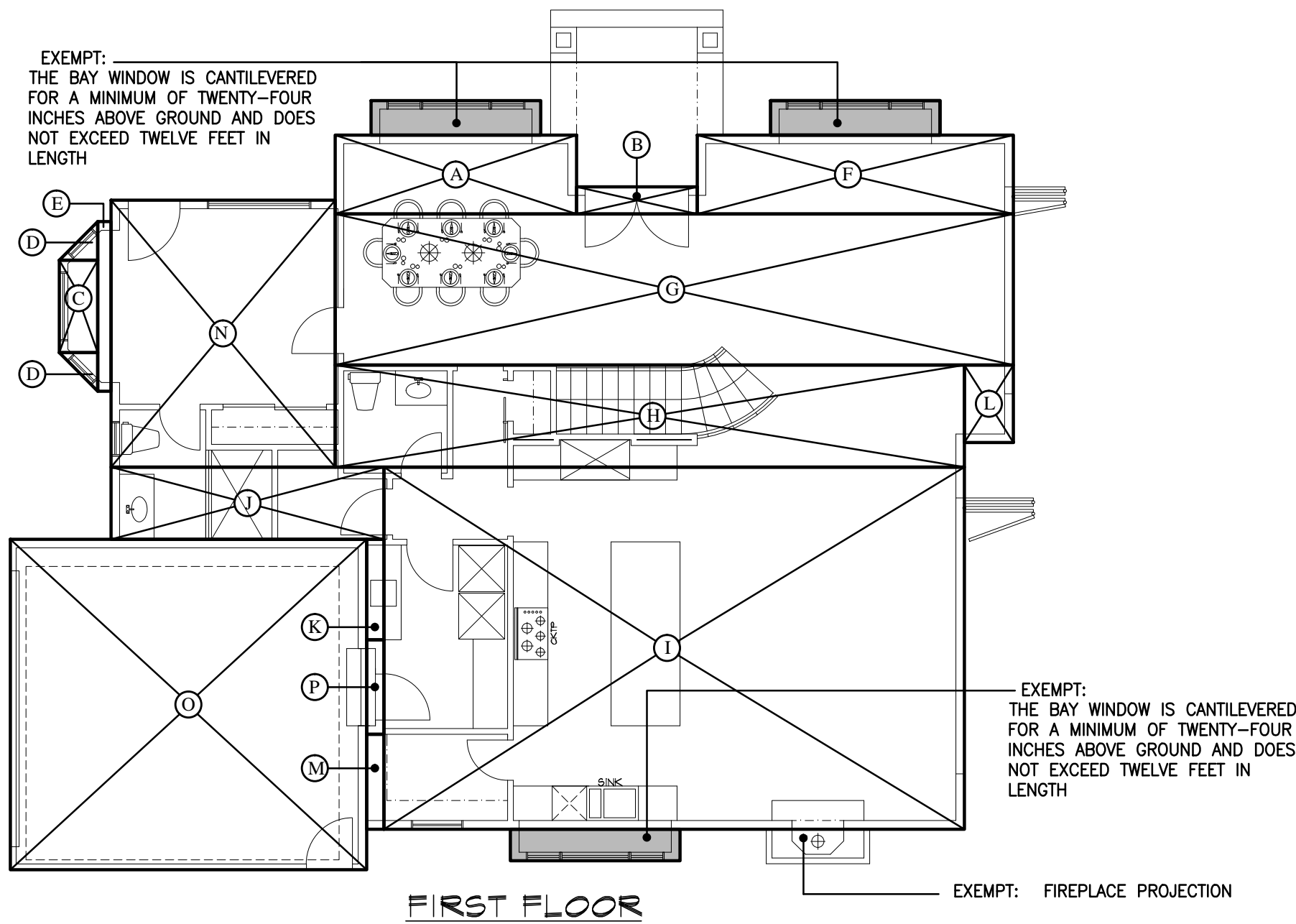
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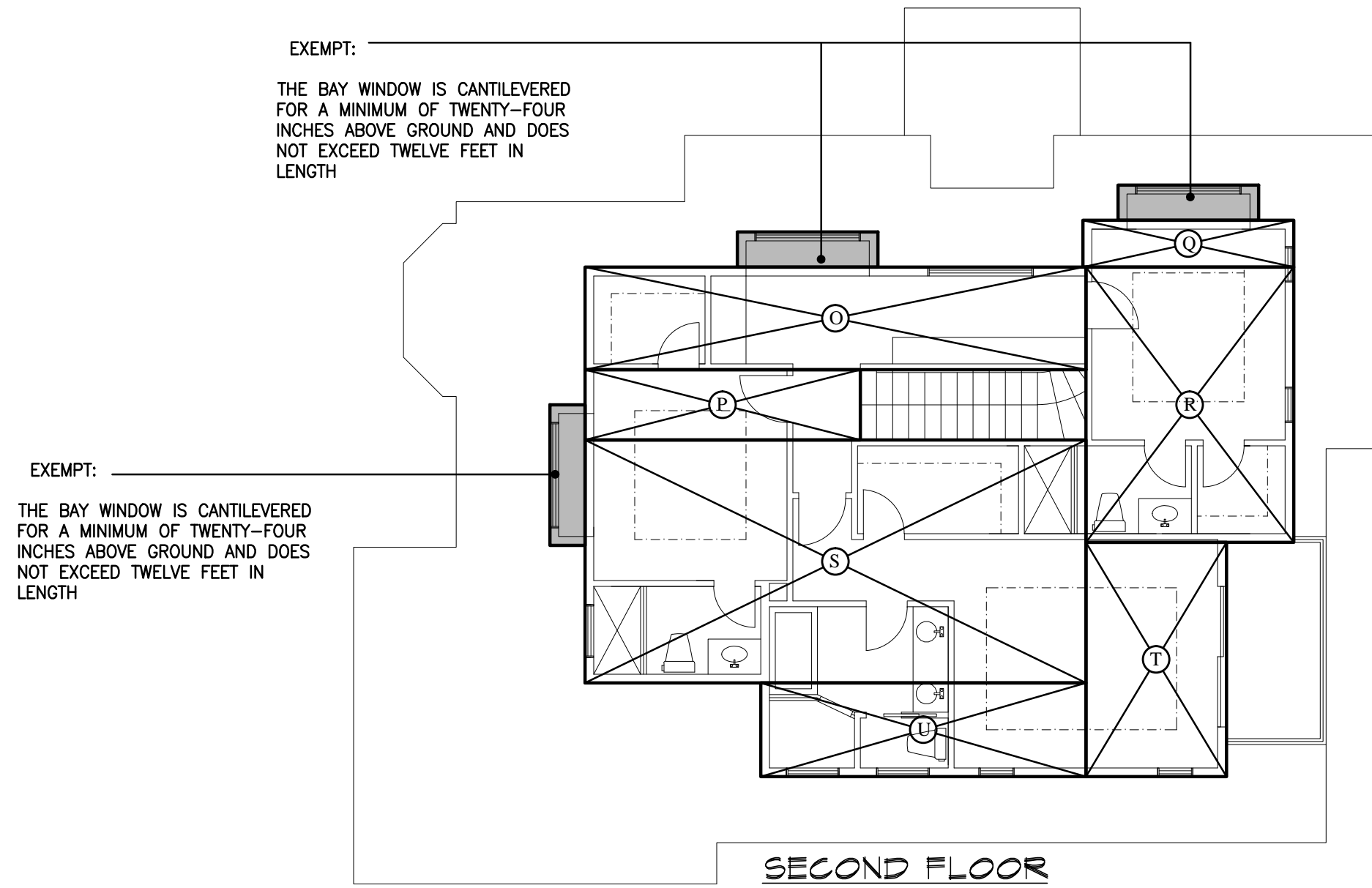
AREA CALCULATION
DIAGRAM

Sheet No. :

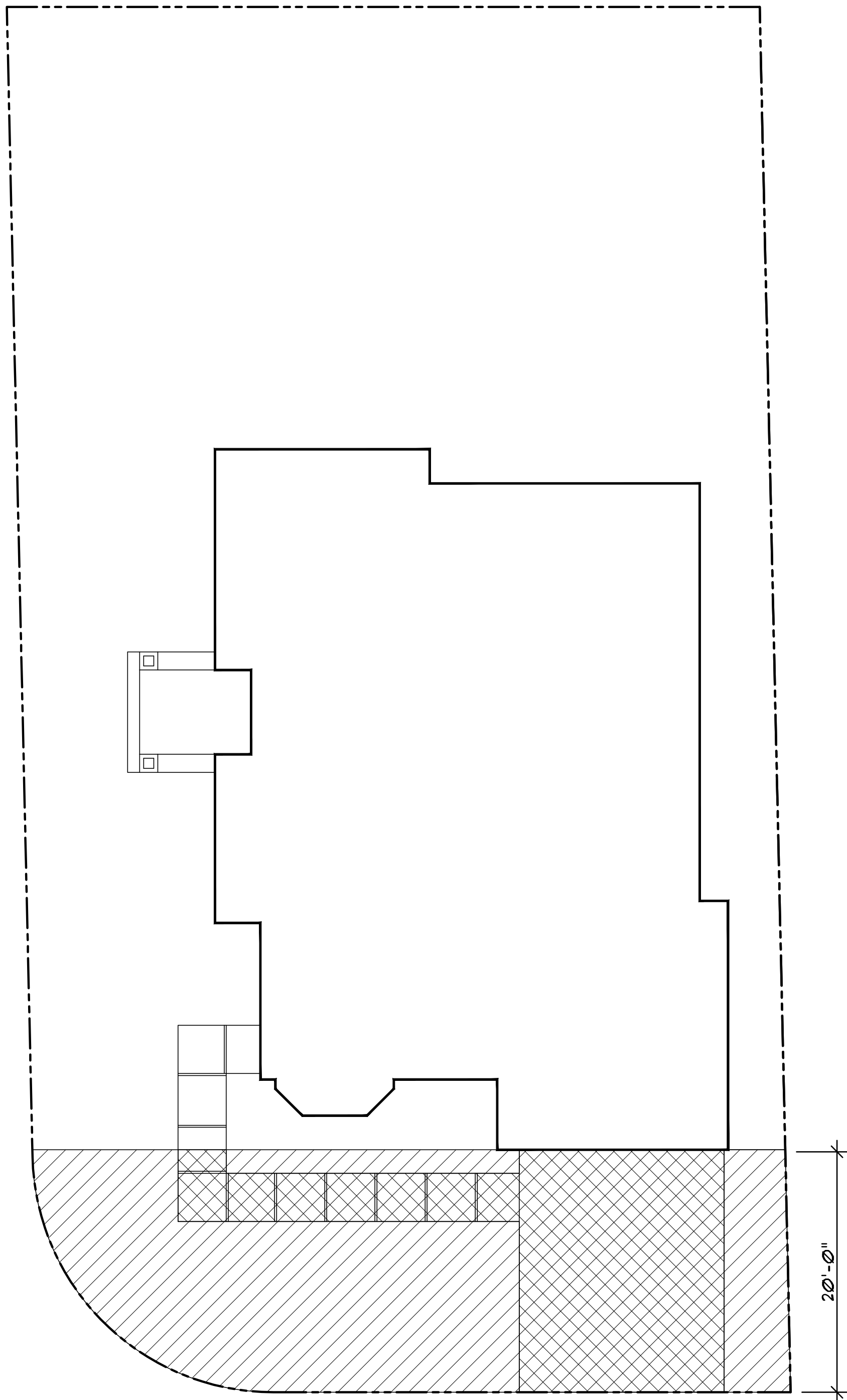
A-1.1.1



FIRST FLOOR	DIMENSIONS	AREA	SQ. FT.
A	14'-0" X 4'-7"	64.1	SQ. FT.
B	7'-0" X 1'-7"	11.1	SQ. FT.
C	5'-4" X 2'-3"	12.0	SQ. FT.
D	(2'-2" X 2'-2")/2 X 2	5.00	SQ. FT.
E	9'-10" X 9"	7.5	SQ. FT.
F	18'-4" X 4'-7"	84.0	SQ. FT.
G	39'-4" X 8'-9"	344.1	SQ. FT.
H	36'-6" X 5'-11"	216	SQ. FT.
I	33'-8" X 21'-0"	707.0	SQ. FT.
J	15'-10" X 4'-2"	66.3	SQ. FT.
K	1'-0" X 5'-10"	5.84	SQ. FT.
L	2'-10" X 4'-6"	12.75	SQ. FT.
M	1'-0" X 5'-6"	5.5	SQ. FT.
N	13'-0" X 15'-6"	201.2	SQ. FT.
TOTAL F.A.R		1742.39	SQ. FT.
GARAGE	DIMENSIONS	AREA	SQ. FT.
O	20'-8" X 19'-2"	396.11	SQ. FT.
P	1'-0" X 5'-6"	5.5	SQ. FT.
TOTAL		401.61	SQ. FT.



SECOND FLOOR	DIMENSIONS	AREA	SQ. FT.
O	28'-6" X 5'-10"	166.25	SQ. FT.
P	15'-8" X 4'-0"	62.66	SQ. FT.
Q	12'-0" X 2'-8"	32.00	SQ. FT.
R	11'-10" X 15'-8"	185.38	SQ. FT.
S	28'-6" X 13'-10"	394.25	SQ. FT.
T	8'-0" X 13'-4"	106.66	SQ. FT.
U	18'-6" X 5'-4"	98.66	SQ. FT.
SUB TOTAL AREA		1045.86	SQ. FT.



SITE PLAN

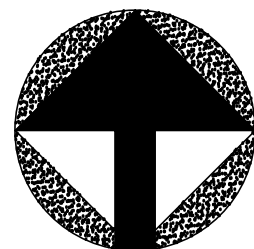
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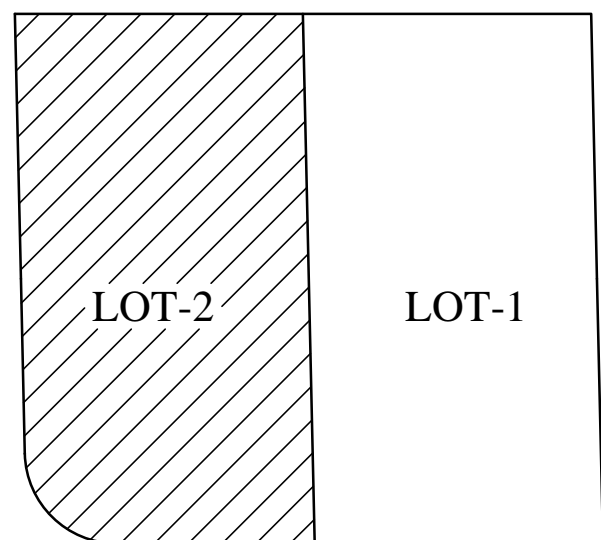
FRONT YARD SQ. FT. 1177 SQ. FT.



PAVED AREA 463 SQ. FT. (39.5%) OK



NORTH



KEY PLAN

No. Date Description

△ _____

△ _____

△ _____

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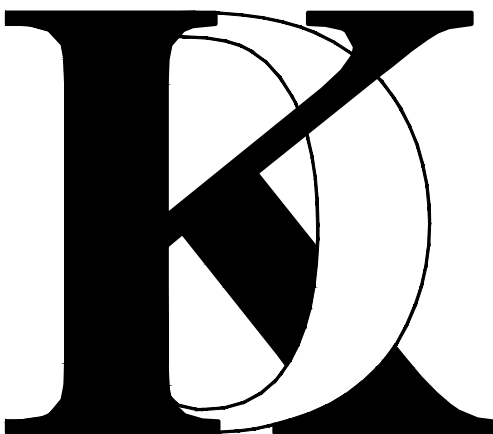
Client :

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087

Project :

LOT-2

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087



1900 CAMDEN AVENUE
SAN JOSE, CA. 95124
Phone (408) 888-6662

farnaz@khadivdesign.com

KHADIV-DESIGN

Date: 9/17/19

Scale: 1/8"=1'-0"

Drawn By : FK

Job No: 2019-6

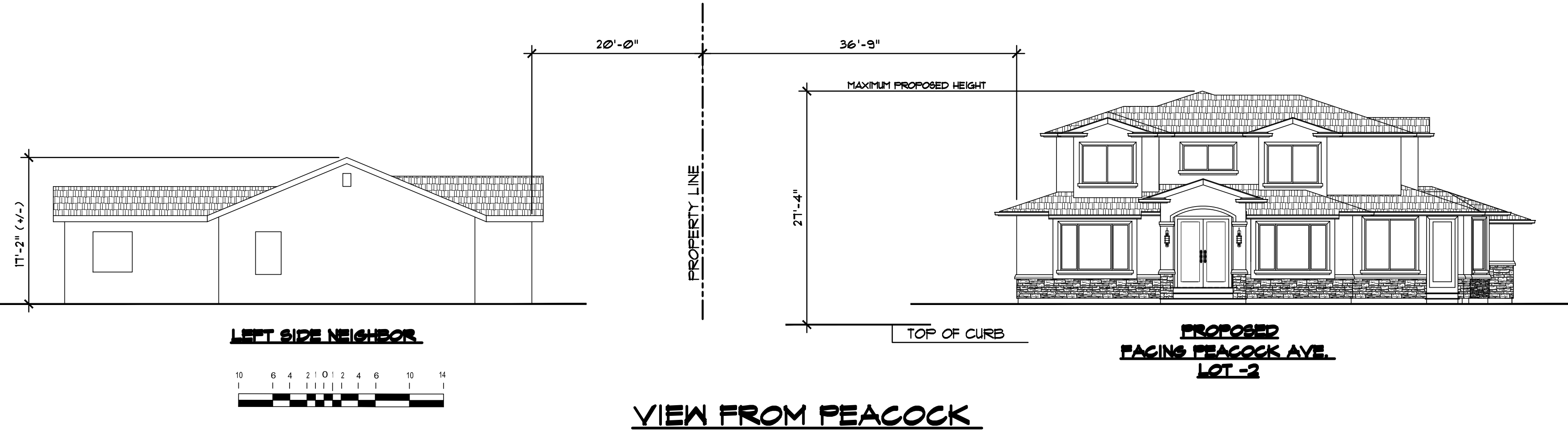
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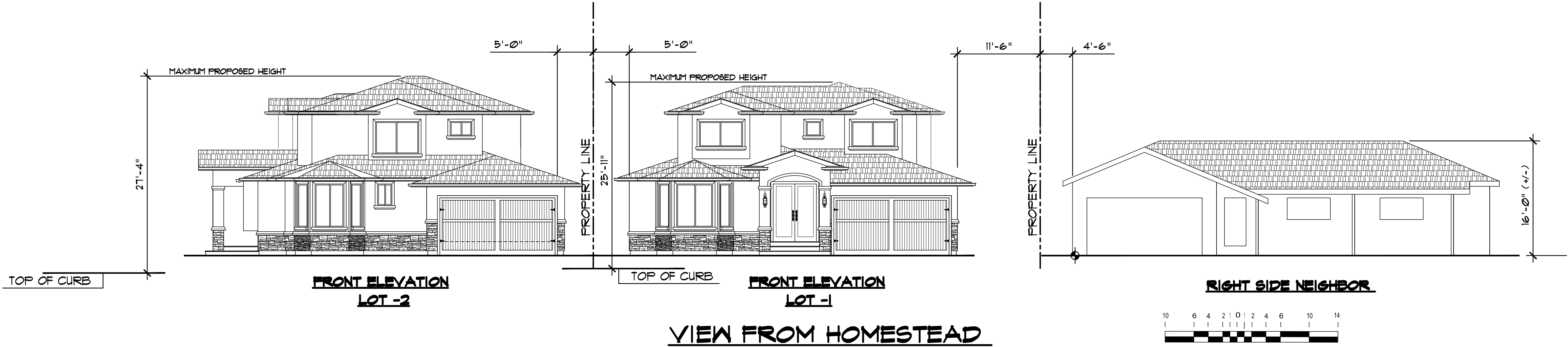
**AREA CALCULATION
DIAGRAM**

Sheet No. :

A-1.1.2



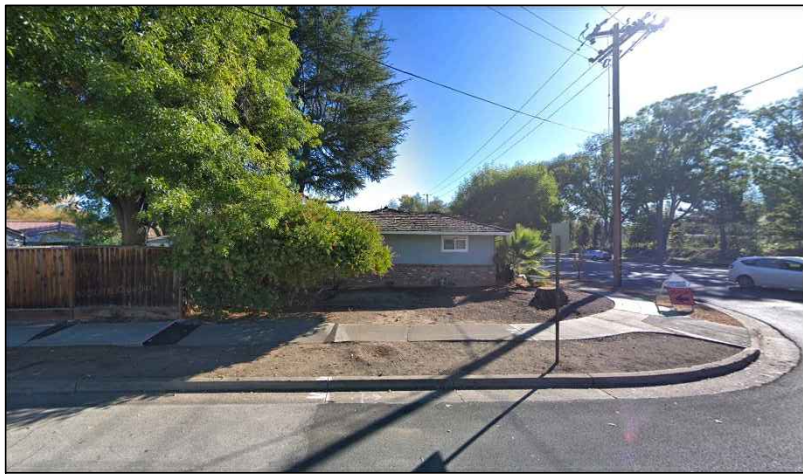
SCHEMATIC



LEFT SIDE NEIGHBOR



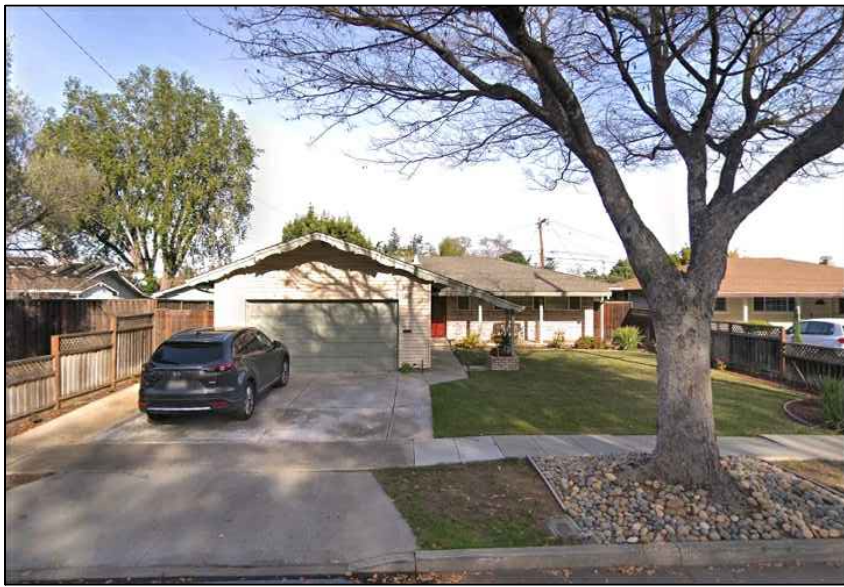
**EXISTING
FACING PEACOCK AVE**



**EXISTING
FACING PEACOCK AVE**



**EXISTING
FACING HOMESTEAD RD**



RIGHT SIDE NEIGHBOR

No.	Date	Description
△		
△		
△		

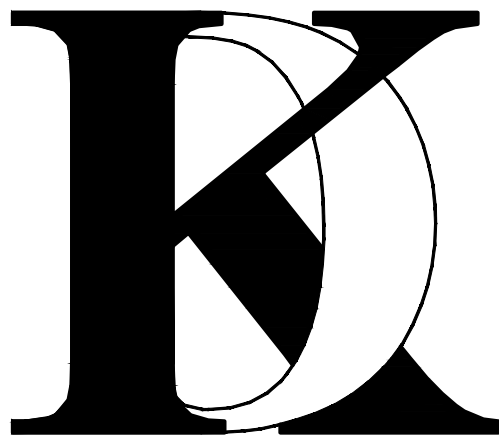
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Scale:

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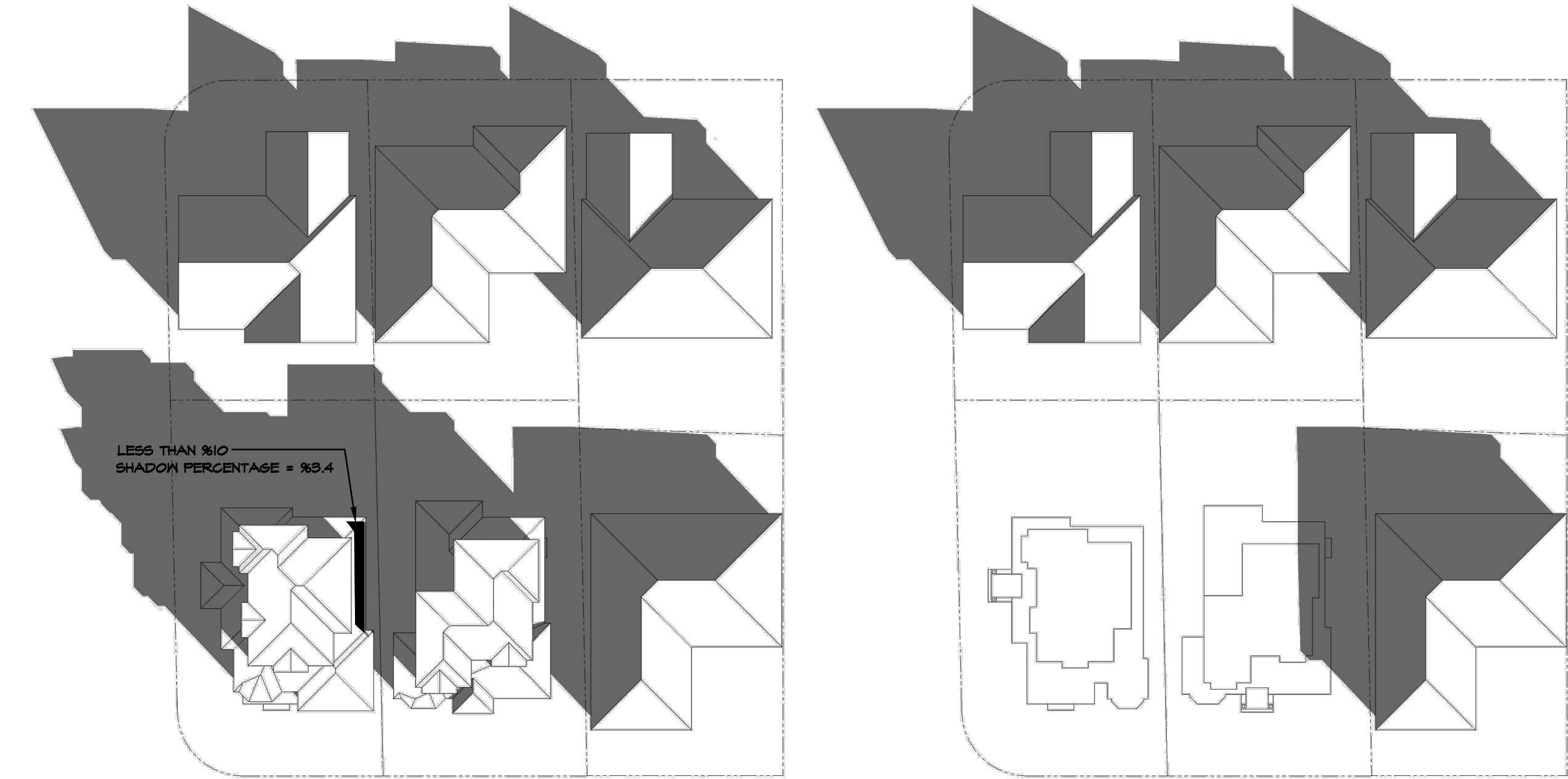
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Sheet Title :

NEIGHBORHOOD
ANALYSIS

Sheet No. :

A-1.2



SHADOW ON NEIGHBOR'S ROOF

NEW SHADOW CONDITION 9:00 AM
NO SHADOW ON EXISTING NEIGHBORS (ONLY ON LOT 2)

LocationSite

Define Location by:
Default City List

There is a single location for each Revit project that defines where the project is placed in the world.

City :
Sunnyvale, CA

Latitude :
37.3858°

Longitude :
-122.0255°

Time Zone :
(UTC-08:00) Pacific Time (l)

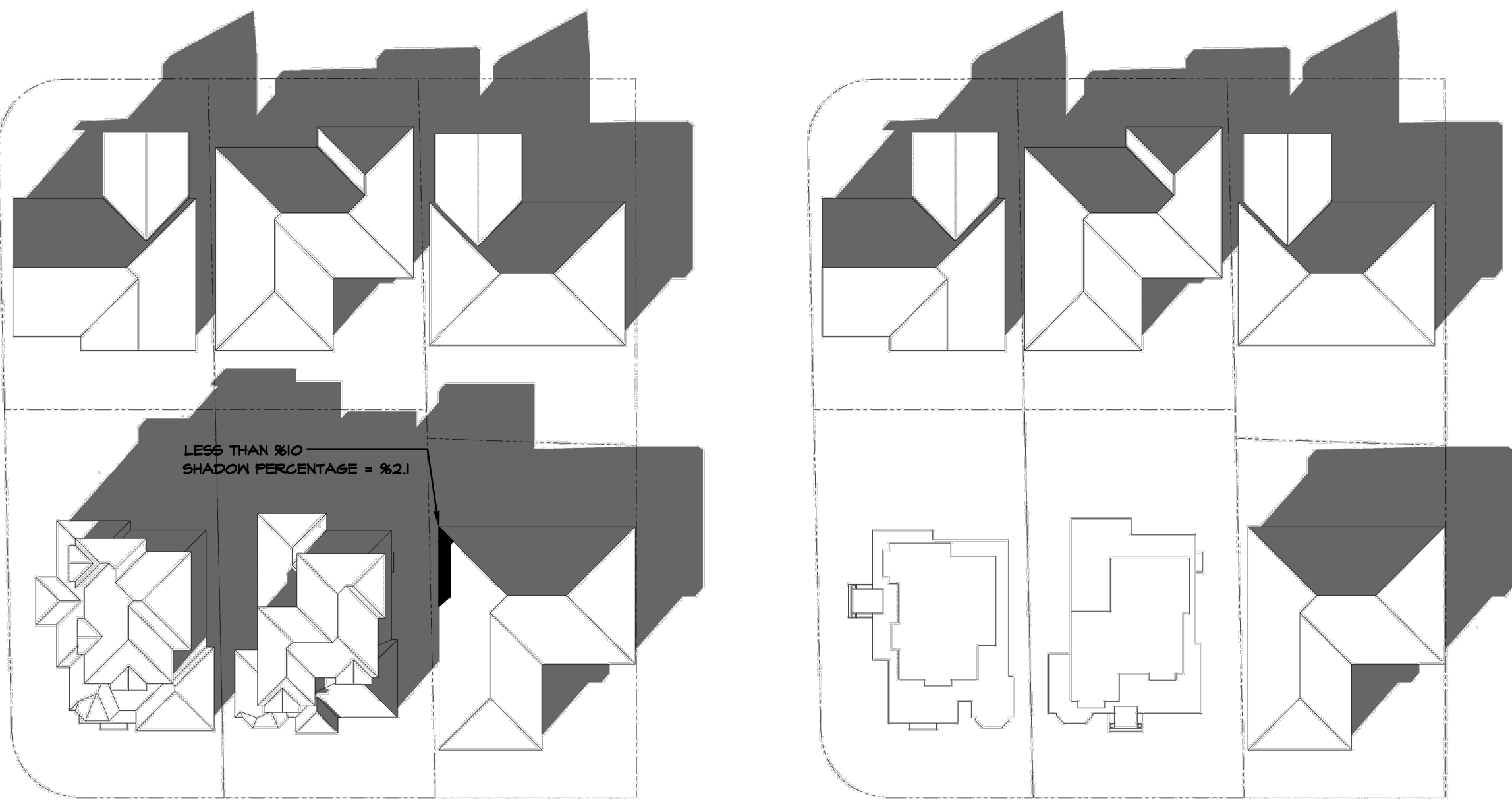
Settings

Location :
Sunnyvale, CA

Date :
12/21/2019

Time :
9:00 AM

SOLAR STUDY



SHADOW ON NEIGHBOR'S ROOF

NEW SHADOW CONDITION 3:00 PM
EXISTING SHADOW CONDITION 3:00 PM

LocationSite

Define Location by:
Default City List

There is a single location for each Revit project that defines where the project is placed in the world.

City :
Sunnyvale, CA

Latitude :
37.3858°

Longitude :
-122.0255°

Time Zone :
(UTC-08:00) Pacific Time (l)

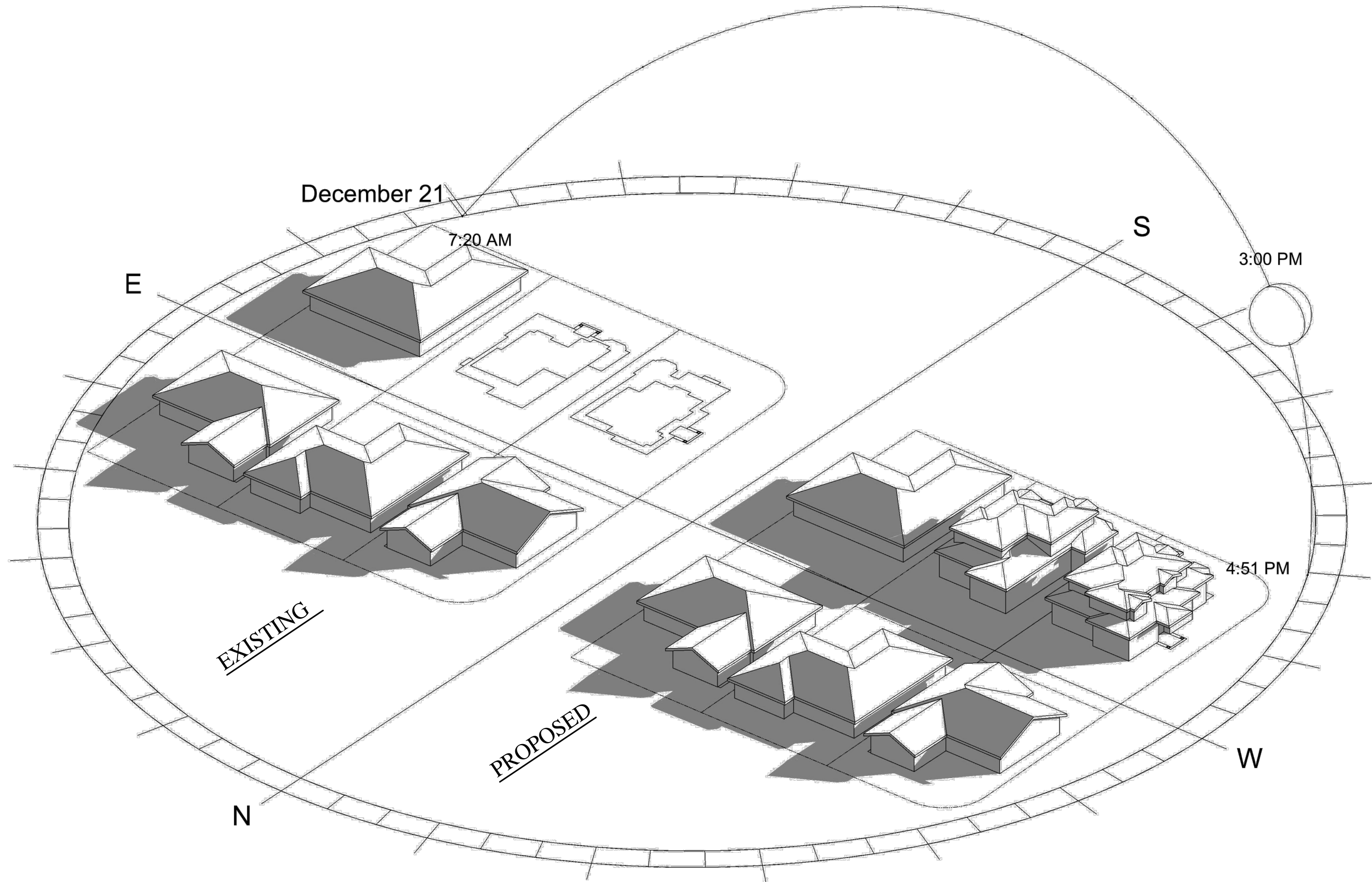
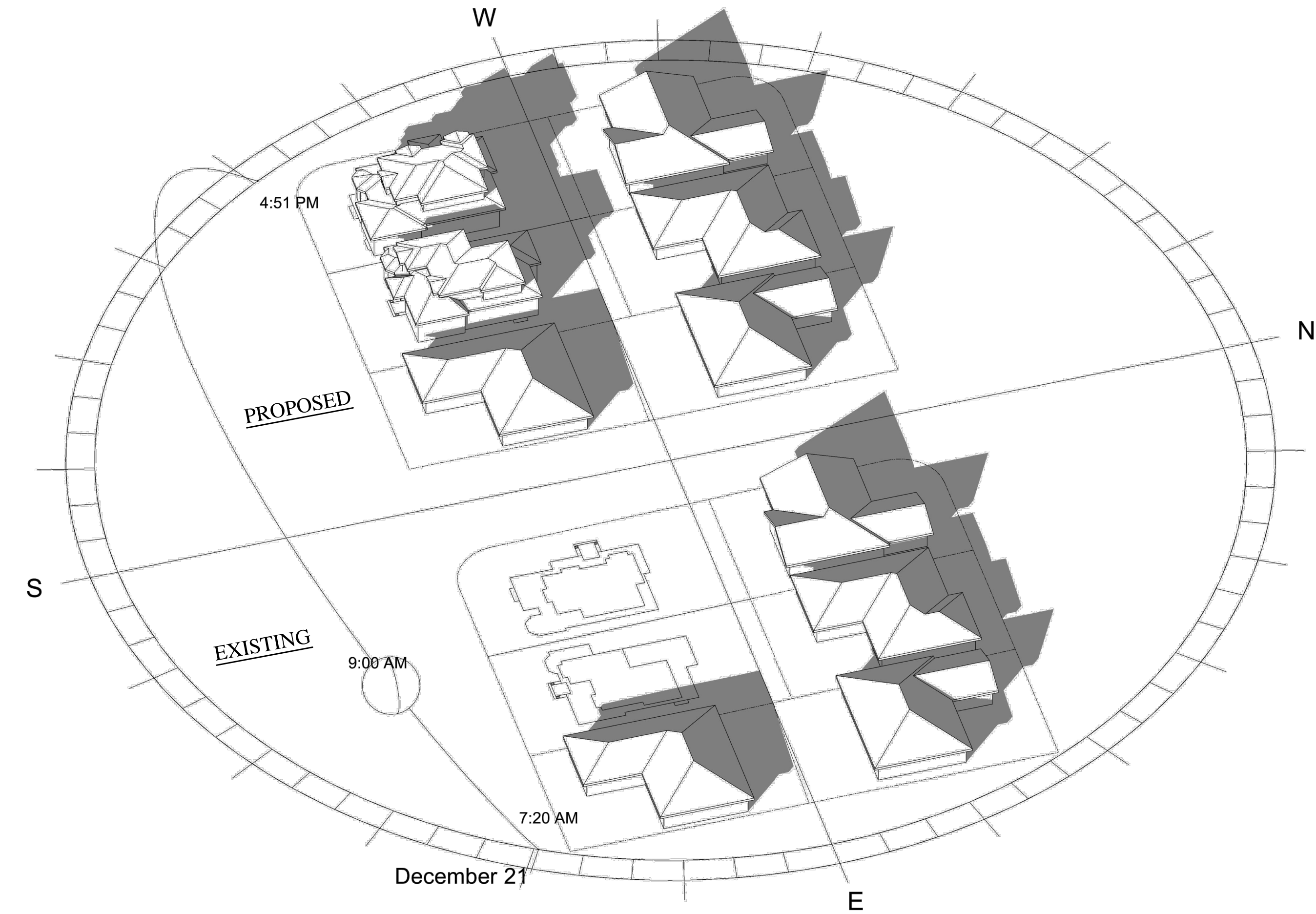
Settings

Location :
Sunnyvale, CA

Date :
12/21/2019

Time :
3:00 PM

SOLAR STUDY



No.	Date	Description
△		
△		
△		

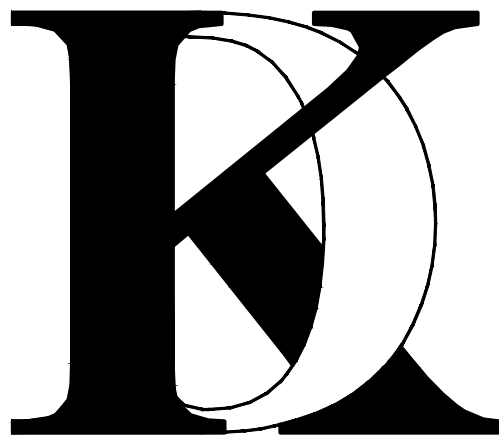
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Project :

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SUNNYVALE, CA 94087



1900 CAMDEN AVENUE
SAN JOSE, CA. 95124
Phone (408) 888-6662

farnaz@khadivdesign.com

KHADIV-DESIGN

Date: 9/17/19
Scale: N.T.S
Drawn By : FK

Job No: 2019-6

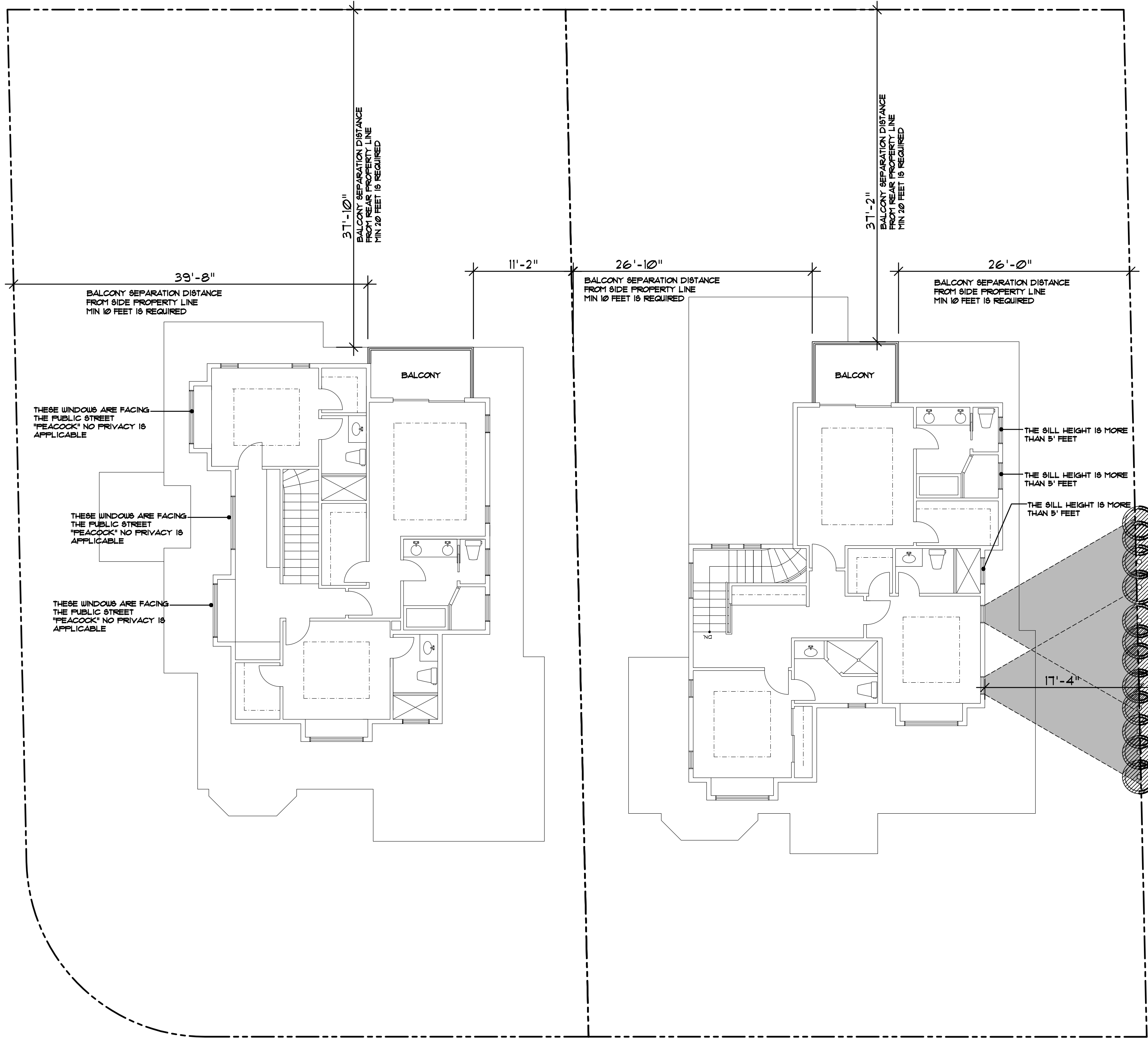
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SOLAR STUDY

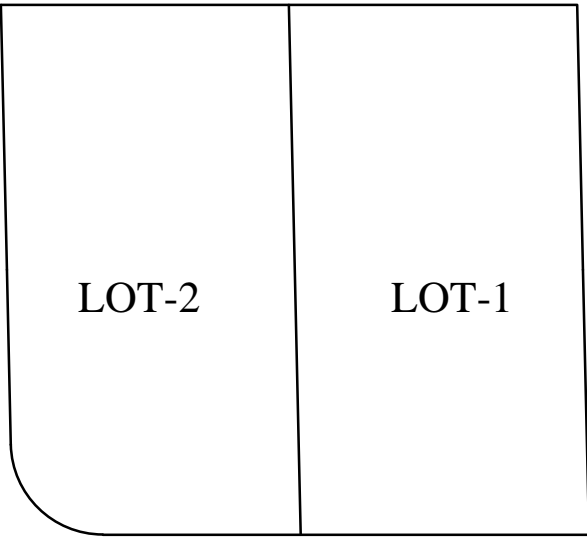
Sheet No. :

A-1.3



PRIVACY PLAN
1/8"=1'-0"

HOMESTEAD RD



KEY PLAN

No.	Date	Description
△		
△		
△		

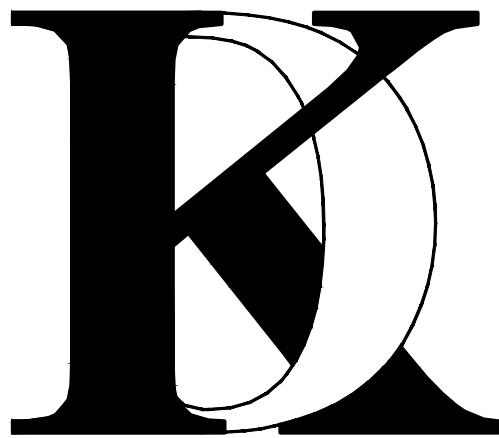
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farnaz@khadivdesign.com

KHADIV-DESIGN

Date: 9/17/19
Scale: 1/8" =1'-0"
Drawn By : FK

Job No: 2019-6

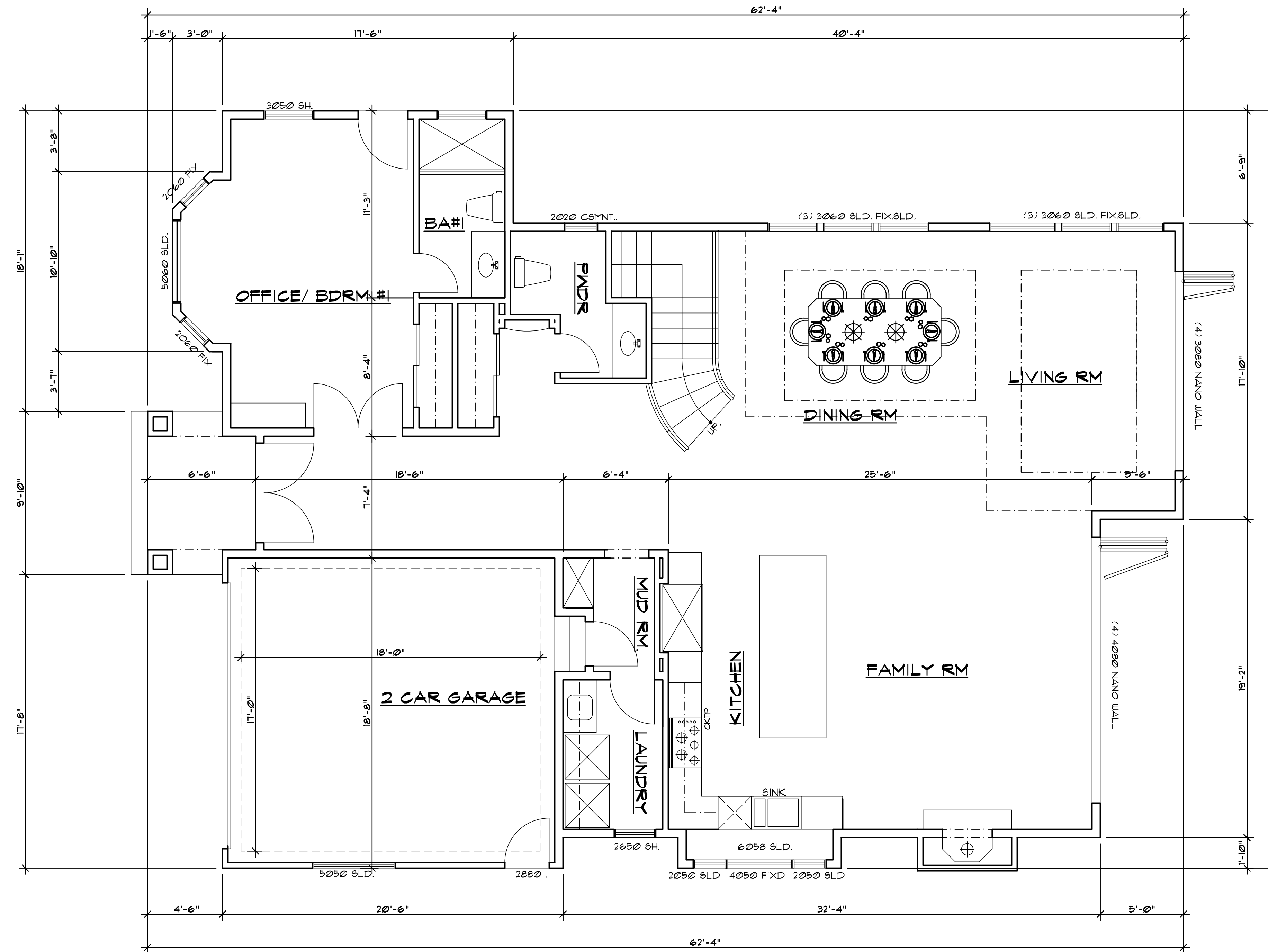
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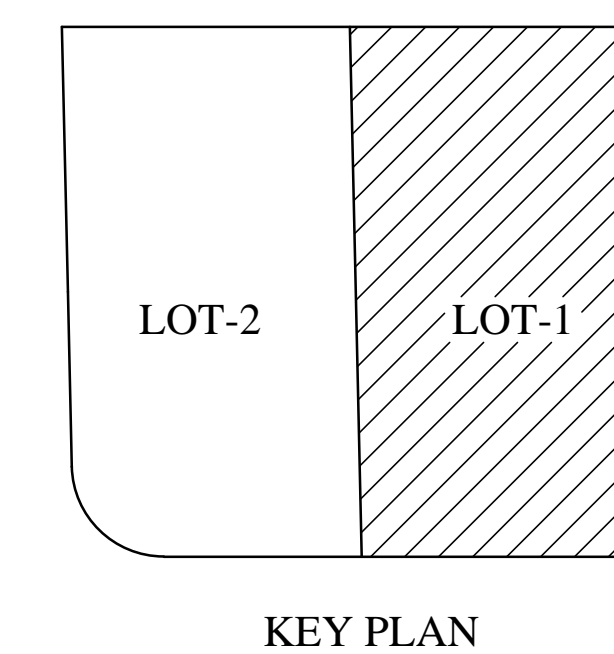
PRIVACY PLAN

Sheet No. :

A-1.4.1



FIRST FLOOR PLAN



No.	Date	Description
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△	_____	_____
△	_____	_____

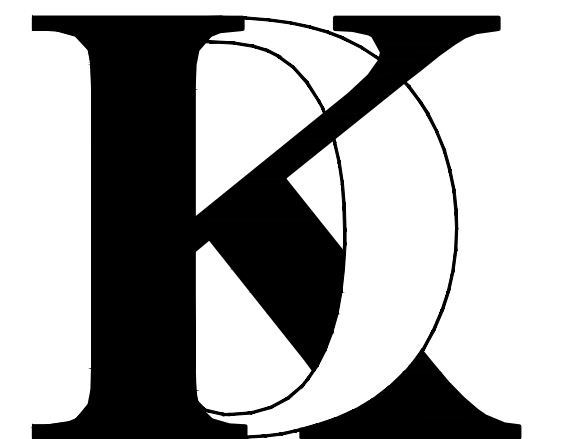
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Client :

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087

Project :

LOT-1
1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087



1900 CAMDEN AVENUE
SAN JOSE, CA. 95124
Phone (408) 888-6662

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KHADIV-DESIGN

Date: 9/17/19

Scale: 1/4"=1'-0"

Drawn By : FK

Job No: 2019-6

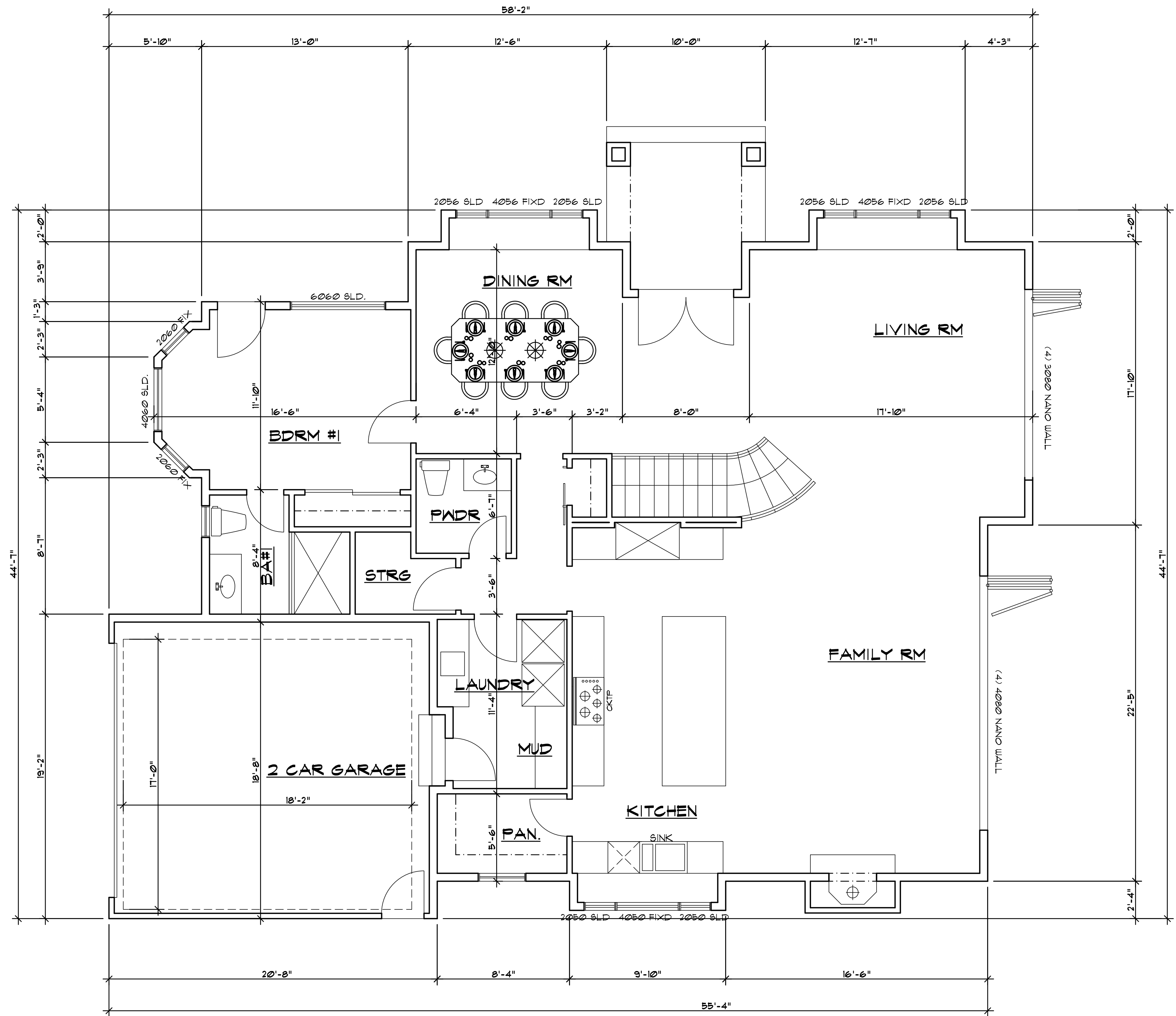
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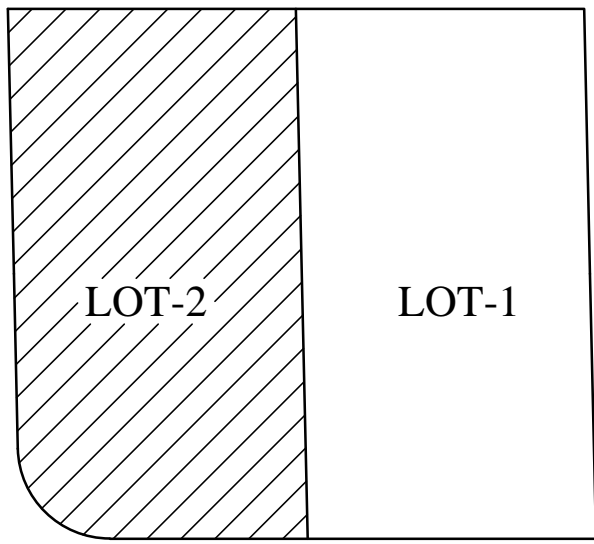
FIRST FLOOR
PLAN

Sheet No. :

A-2.0.1



FIRST FLOOR PLAN



KEY PLAN

No.	Date	Description
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△		
△		

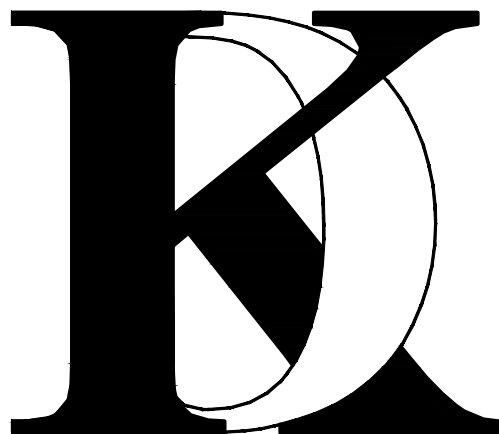
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Client :

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087

Project :

LOT-2
1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087



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SAN JOSE, CA. 95124
Phone (408) 888-6662

farnaz@khadivdesign.com

KHADIV-DESIGN

Date: 9/17/19
Scale: 1/4"=1'-0"
Drawn By : FK

Job No: 2019-6

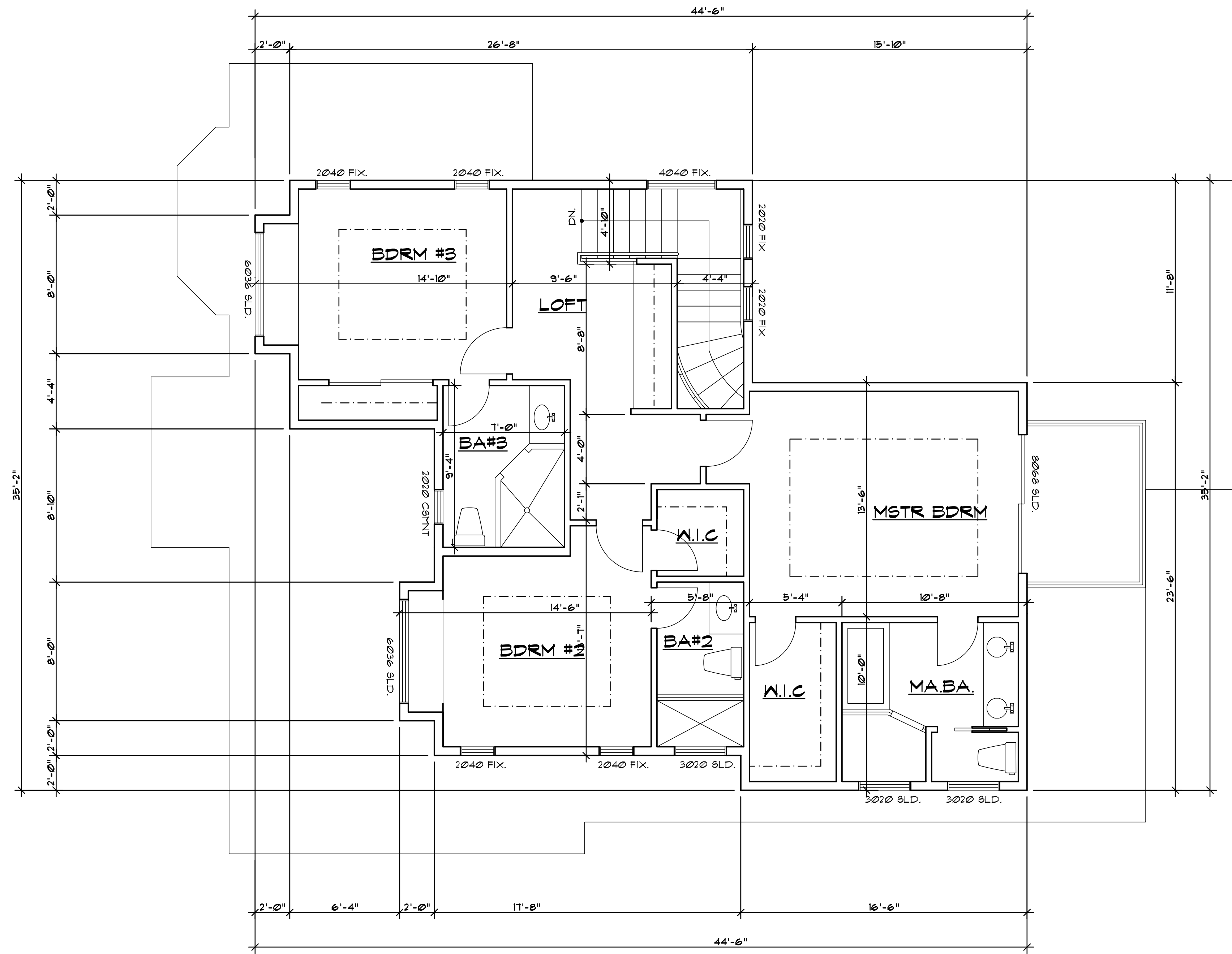
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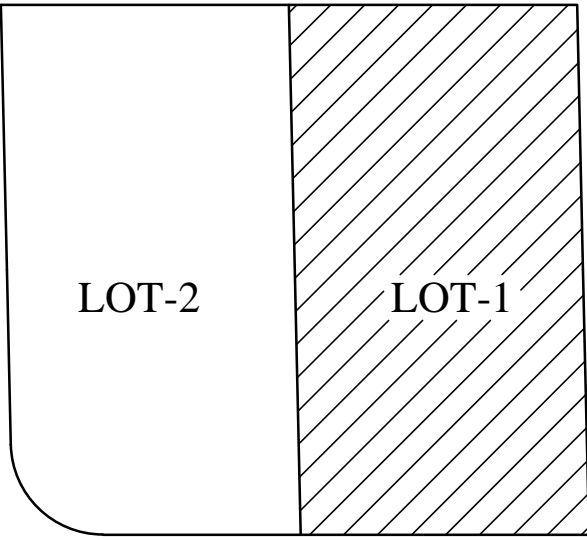
FIRST FLOOR
PLAN

Sheet No. :

A-2.0.2



SECOND FLOOR PLAN



KEY PLAN

No.	Date	Description
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△		
△		

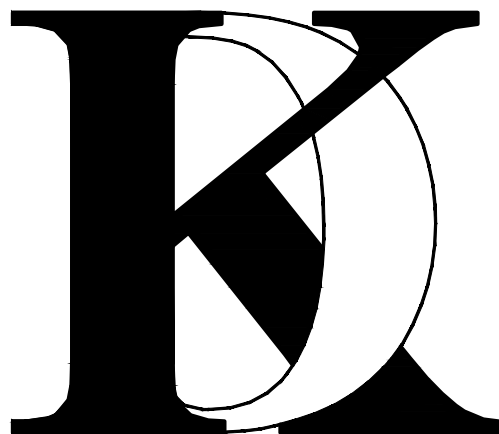
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1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087

Project :

LOT-1
1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087



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farnaz@khadivdesign.com

KHADIV-DESIGN

Date: 9/17/19
Scale: 1/4"=1'-0"
Drawn By : FK

Job No: 2019-6

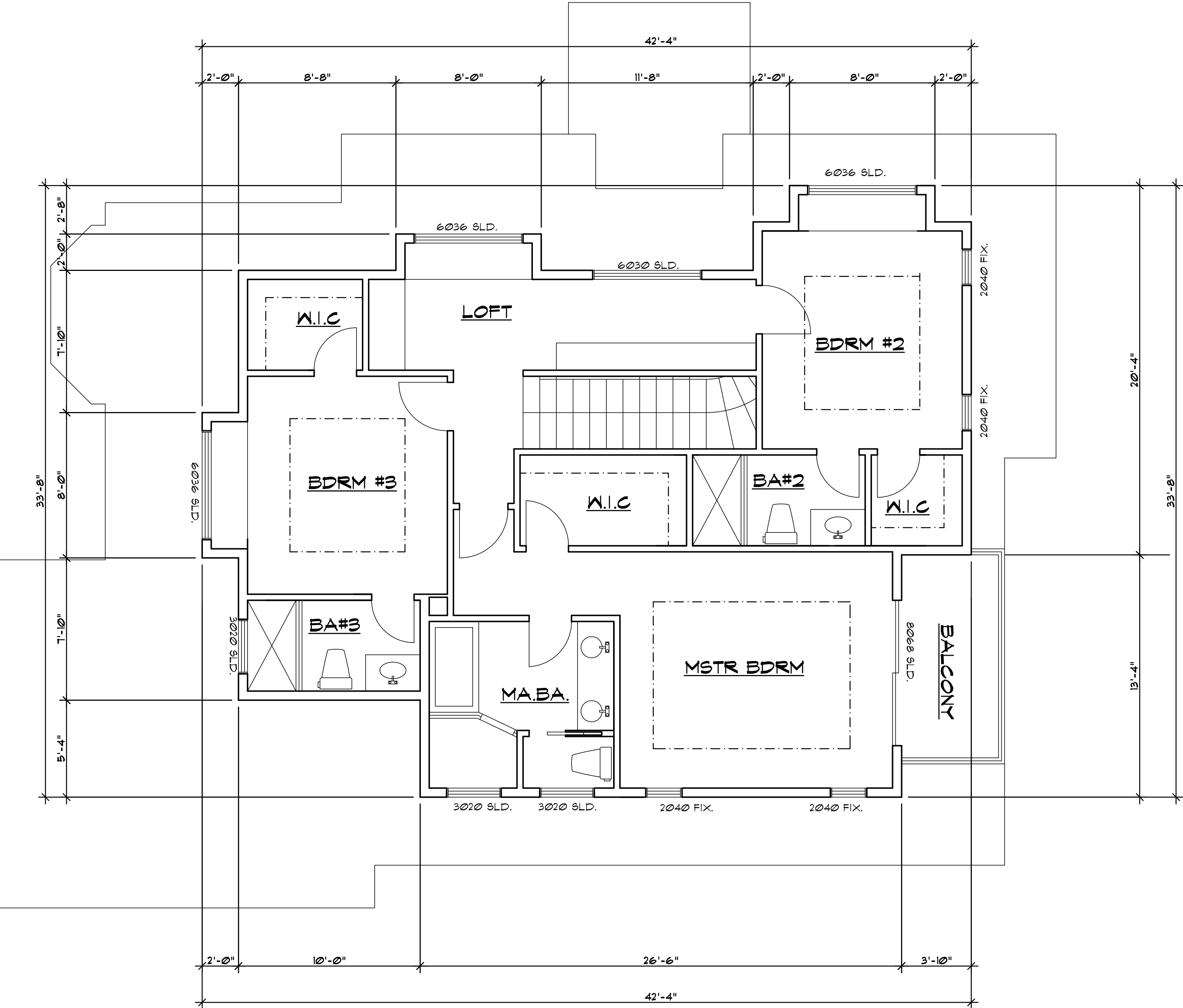
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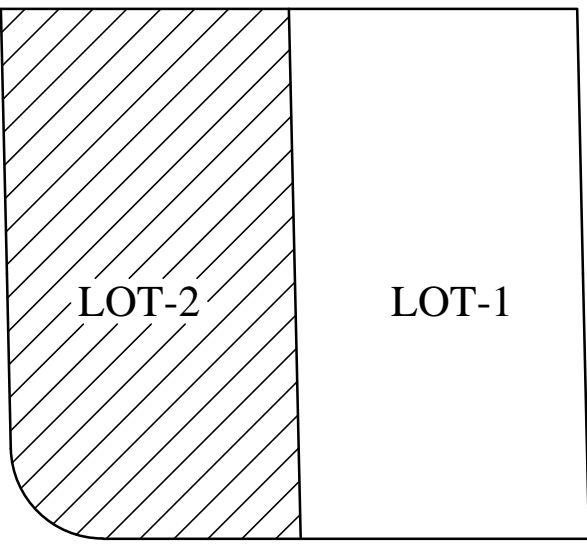
SECOND FLOOR
PLAN

Sheet No. :

A-2.1.1



SECOND FLOOR PLAN



KEY PLAN

No.	Date	Description
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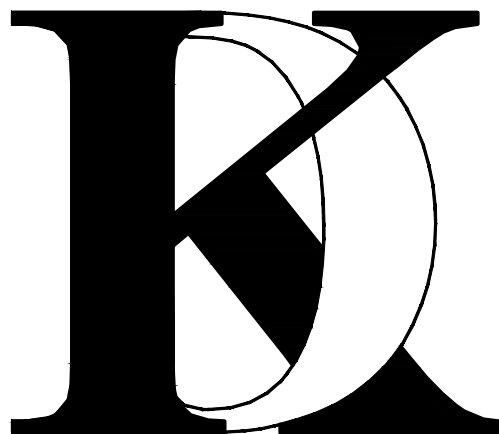
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Date: 9/17/19
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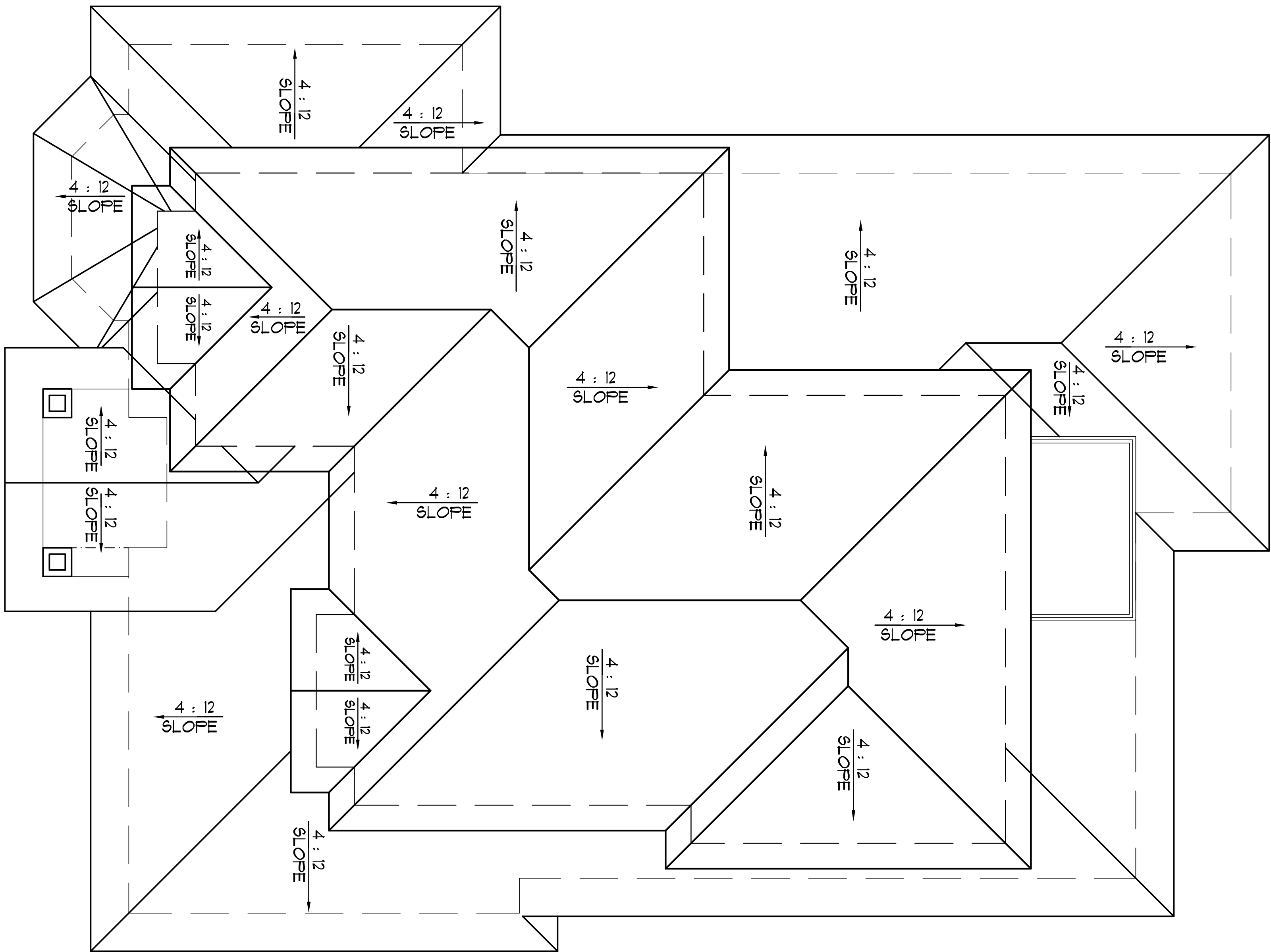
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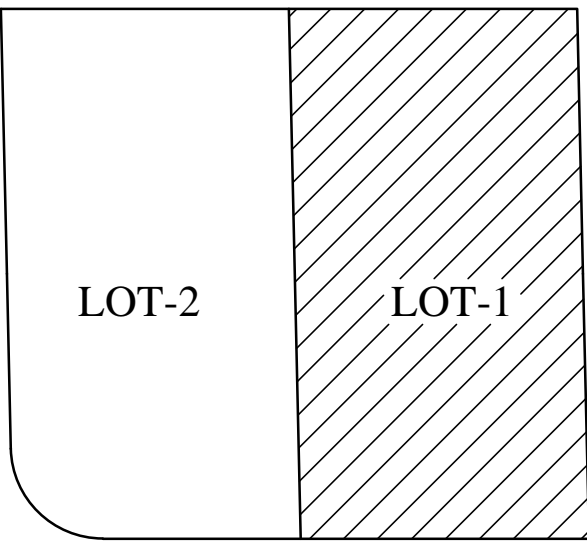
SECOND FLOOR
PLAN

Sheet No. :

A-2.1.2



ROOF PLAN



KEY PLAN

No.	Date	Description
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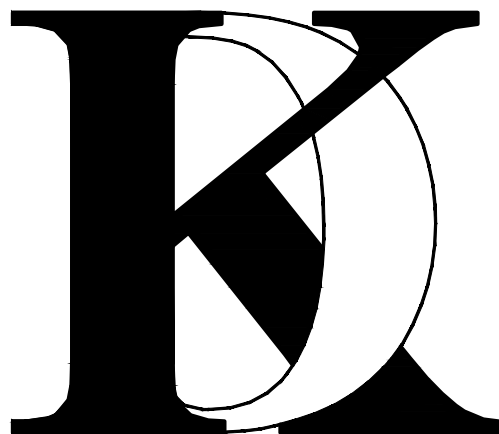
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KHADIV-DESIGN

Date: 9/17/19
Scale: 1/4"=1'-0"
Drawn By : FK

Job No: 2019-6

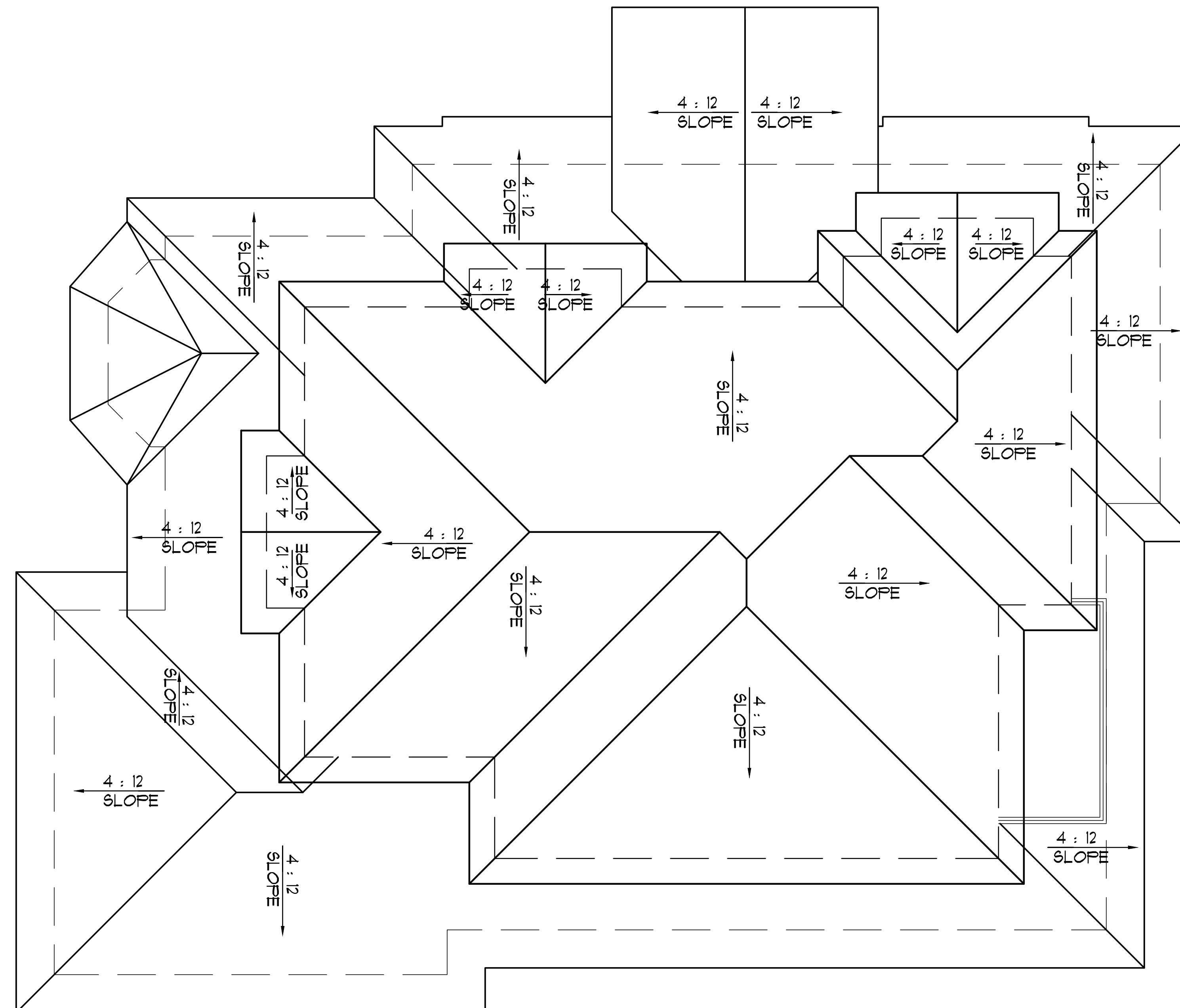
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Sheet Title :

ROOF
PLAN

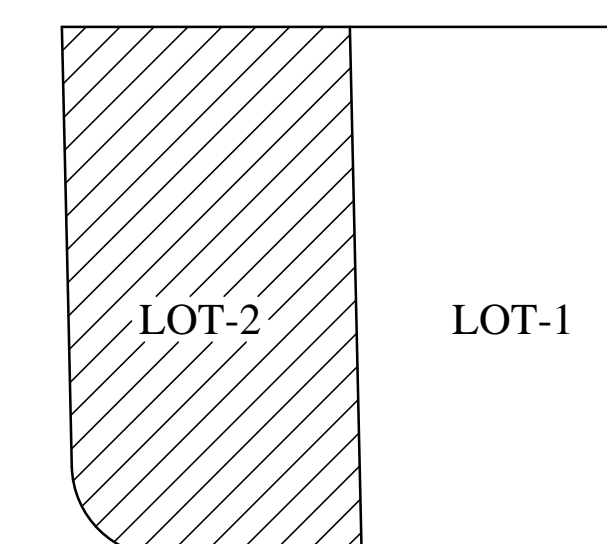
Sheet No. :

A-3.0.1



SLOPE 4:12 TYP.

ROOF PLAN



KEY PLAN

No.	Date	Description
△	_____	_____
△	_____	_____
△	_____	_____

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KHADIV-DESIGN

Date: 9/17/19

Scale: 1/4"=1'-0"

Drawn By : FK

Job No: 2019-6

Signature :

Sheet Title :

ROOF
PLAN

Sheet No. :

A-3.0.2



No.	Date	Description
△		
△		
△		

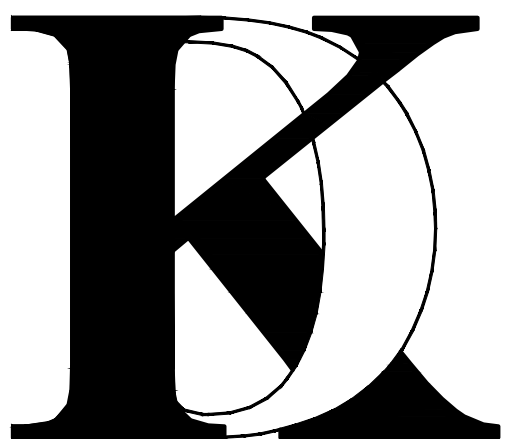
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KHADIV-DESIGN

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Scale: 1/4"=1'-0"
Drawn By : FK

Job No: 2019-6

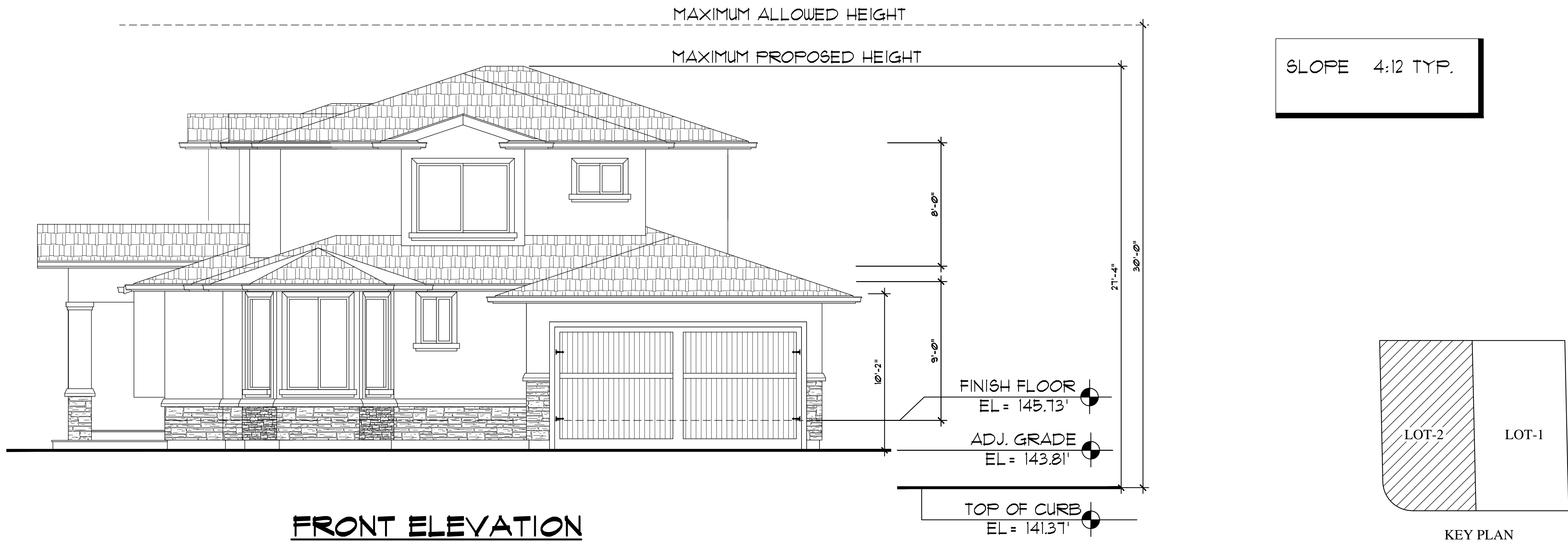
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Sheet Title :

**EXTERIOR
ELEVATION**

Sheet No. :

A-4.0.1



No.	Date	Description
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△		
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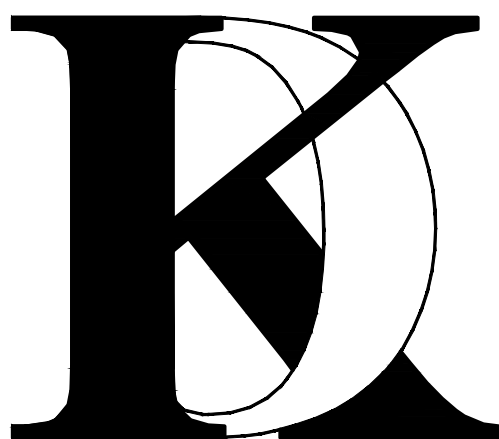
THE USE OF THESE PLANS AND SPECIFICATION SHALL BE RESTRICTED TO THE SPECIFIC SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF SHALL BE EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH KHADIV-DESIGN. WITHOUT PREJUDICE VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL INSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

Client :

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087

Project :

LOT-2
1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087



1900 CAMDEN AVENUE
SAN JOSE, CA. 95124
Phone (408) 888-6662

farnaz@khadivdesign.com

KHADIV-DESIGN

Date: 9/17/19
Scale: 1/4"=1'-0"
Drawn By : FK

Job No: 2019-6

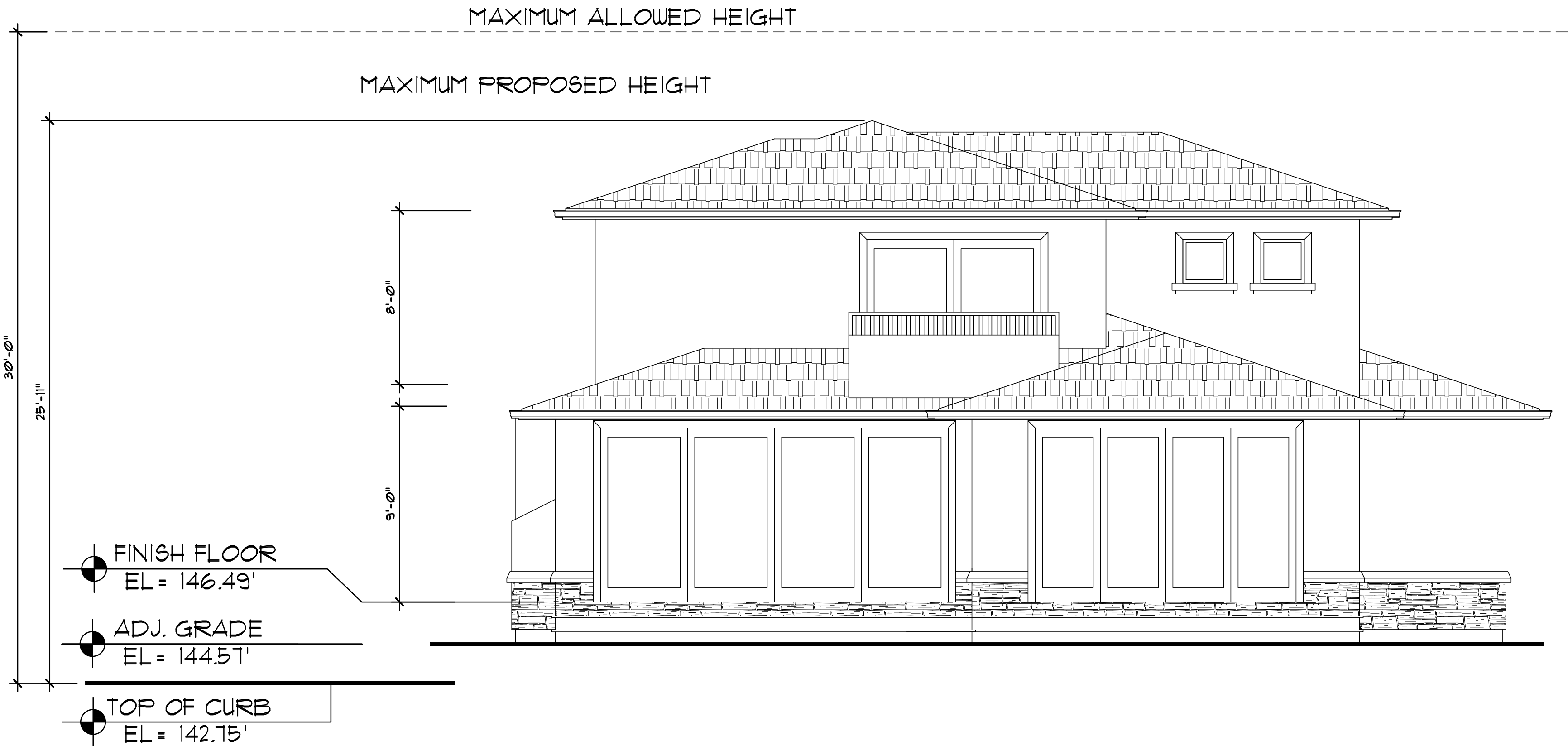
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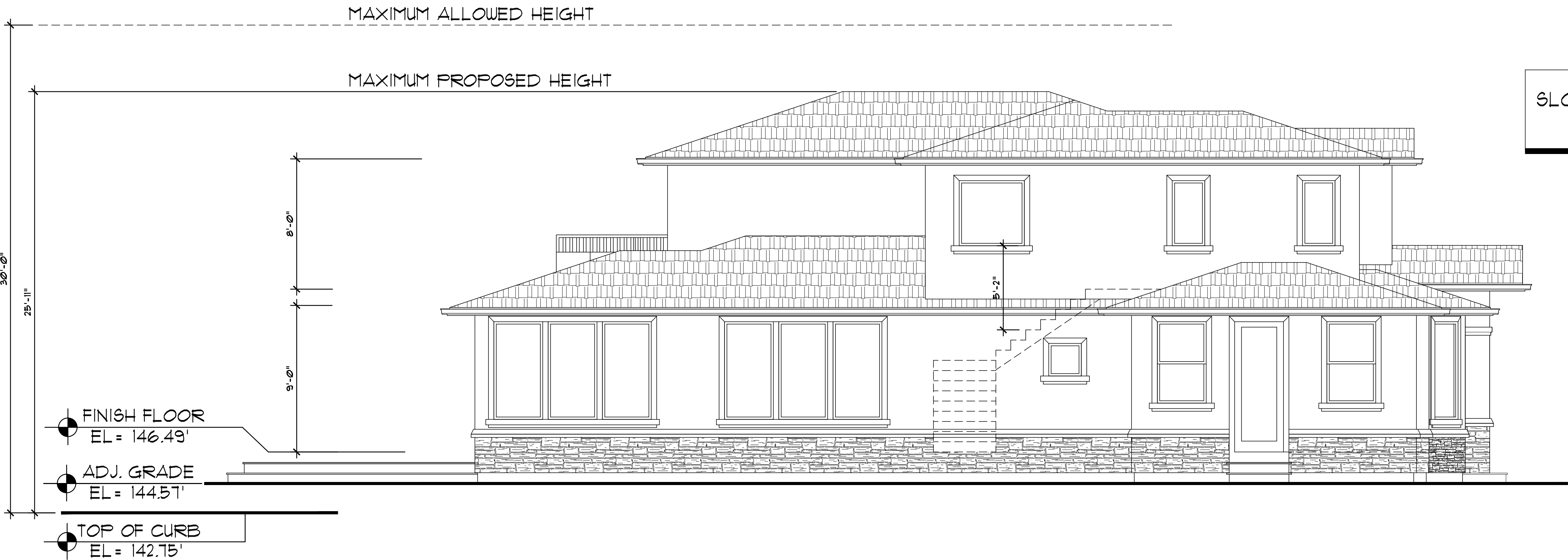
**EXTERIOR
ELEVATIONS**

Sheet No. :

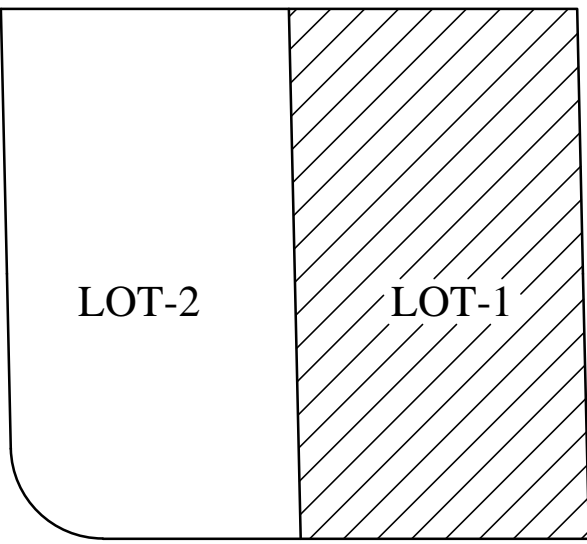
A-4.0.2



REAR ELEVATION



LEFT SIDE ELEVATION



KEY PLAN

No.	Date	Description
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△		

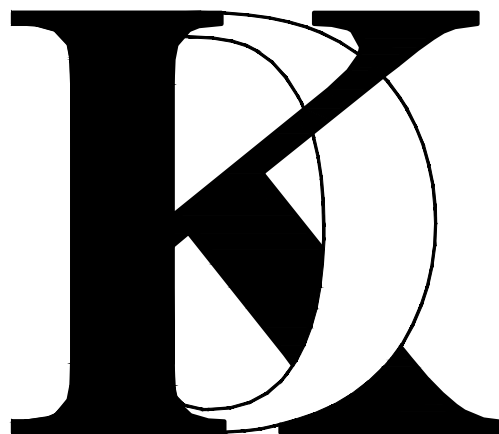
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Client :

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087

Project :

LOT-1
1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087



1900 CAMDEN AVENUE
SAN JOSE, CA. 95124
Phone (408) 888-6662

farnaz@khadivdesign.com

KHADIV-DESIGN

Date: 9/17/19
Scale: 1/4"=1'-0"
Drawn By : FK

Job No: 2019-6

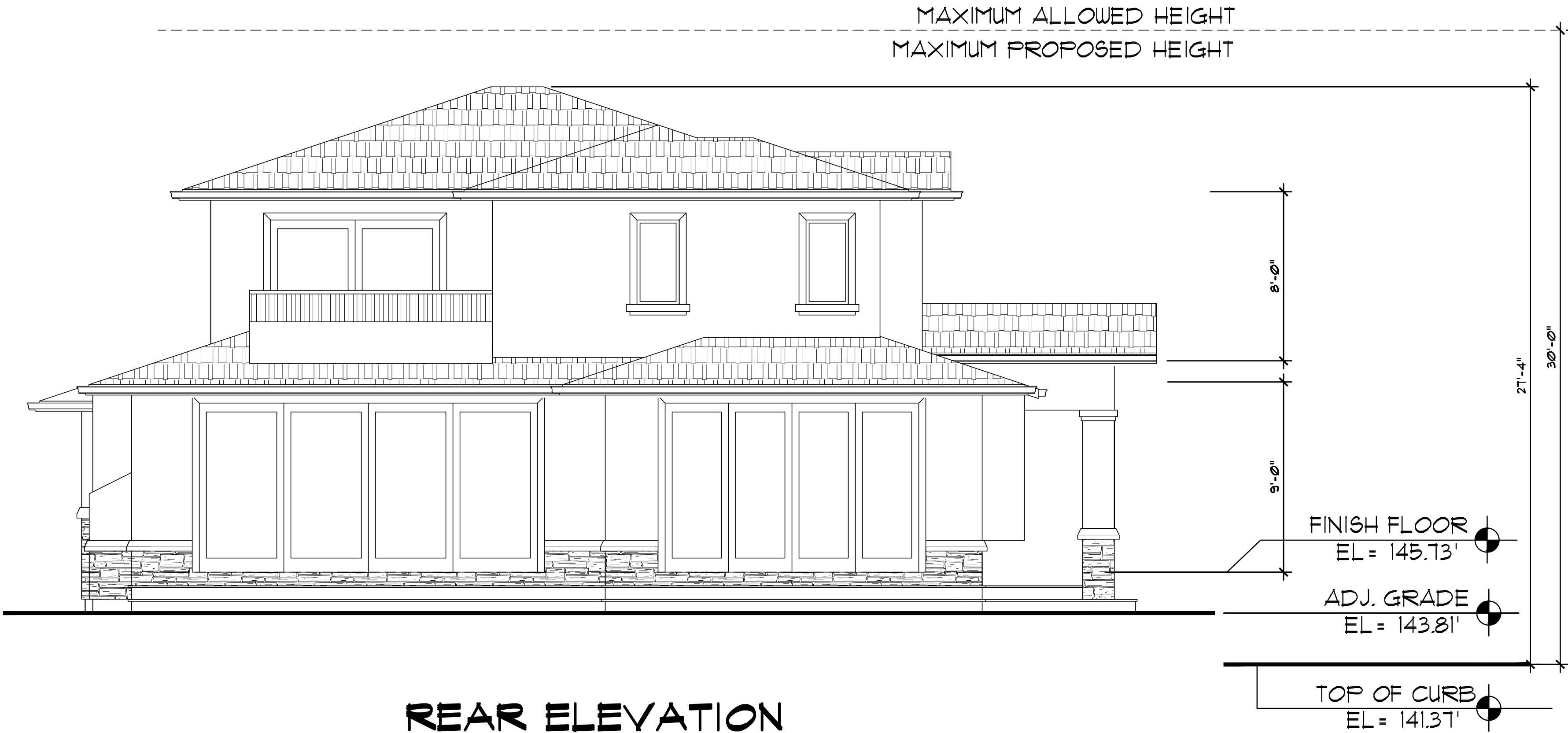
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EXTERIOR
ELEVATION

Sheet No. :

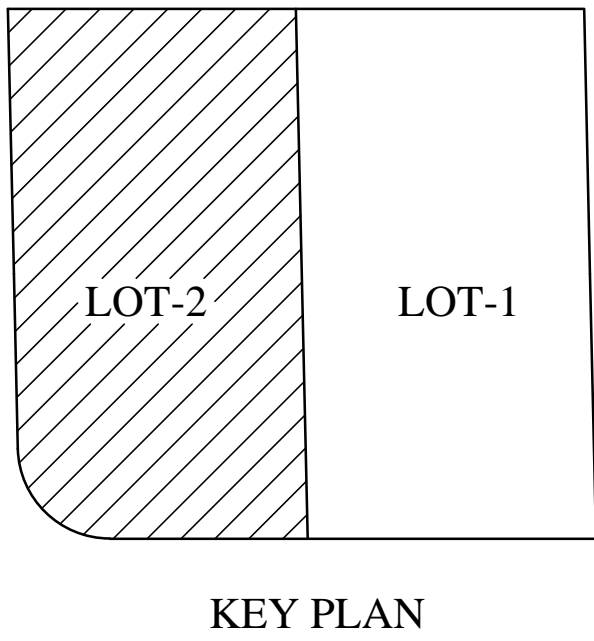
A-4.1.1



REAR ELEVATION



RIGHT SIDE ELEVATION



No.	Date	Description
△		
△		
△		

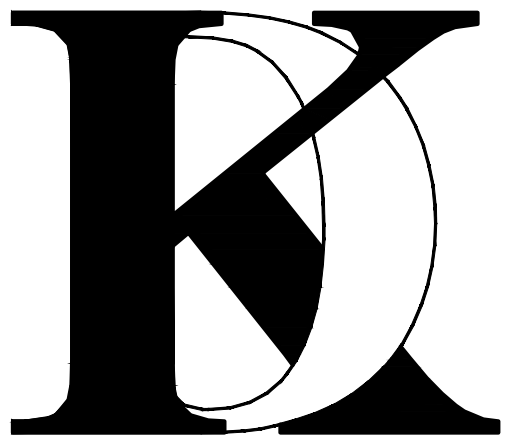
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Client :

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087

Project :

LOT-2
1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087



1900 CAMDEN AVENUE
SAN JOSE, CA. 95124
Phone (408) 888-6662

farnaz@khadivdesign.com

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Job No: 2019-6

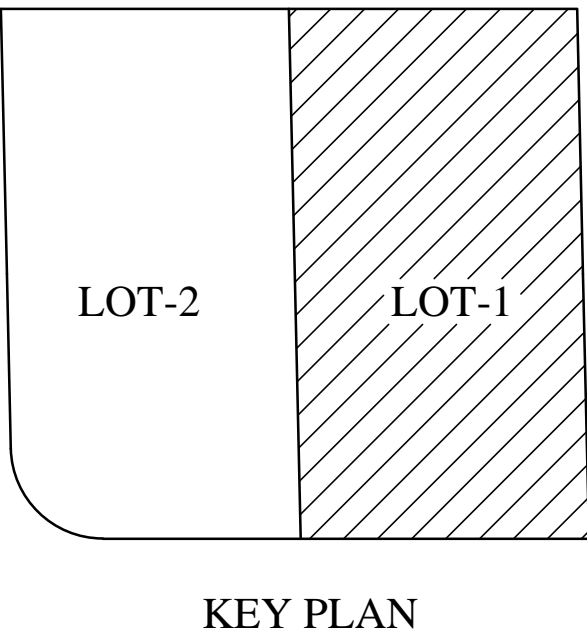
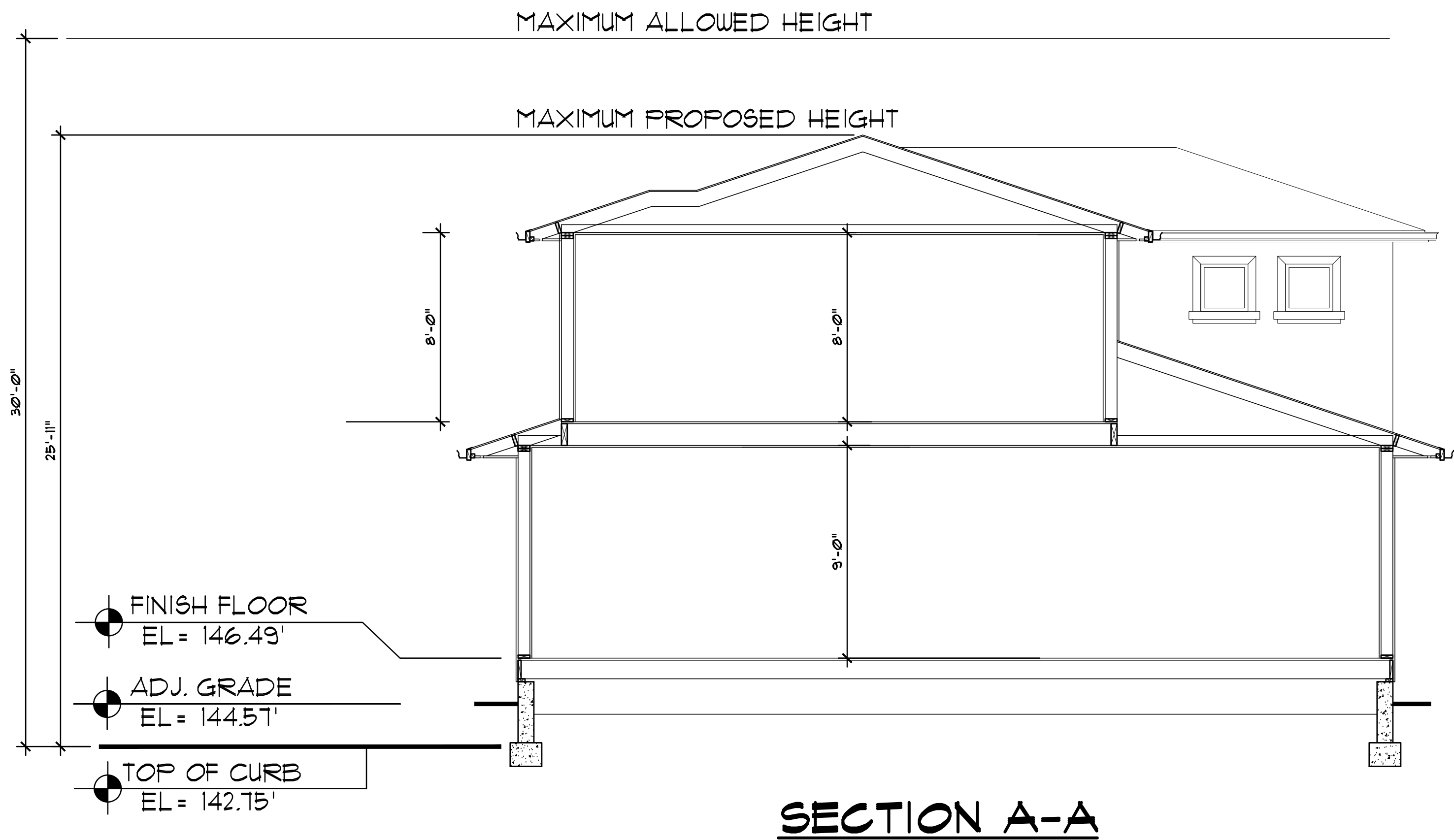
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Sheet Title :

EXTERIOR
ELEVATIONS

Sheet No. :

A-4.1.2



No.	Date	Description
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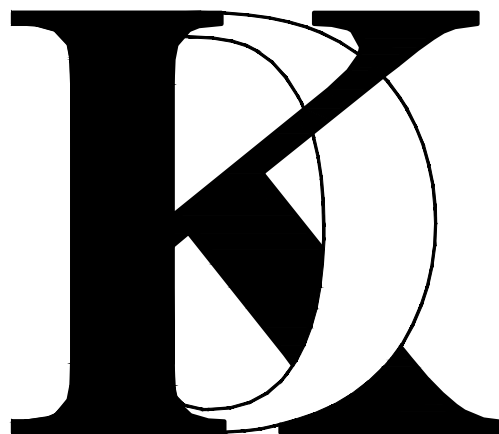
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1900 CAMDEN AVENUE
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KHADIV-DESIGN

Date: 9/17/19
Scale: 1/4"=1'-0"
Drawn By : FK

Job No: 2019-6

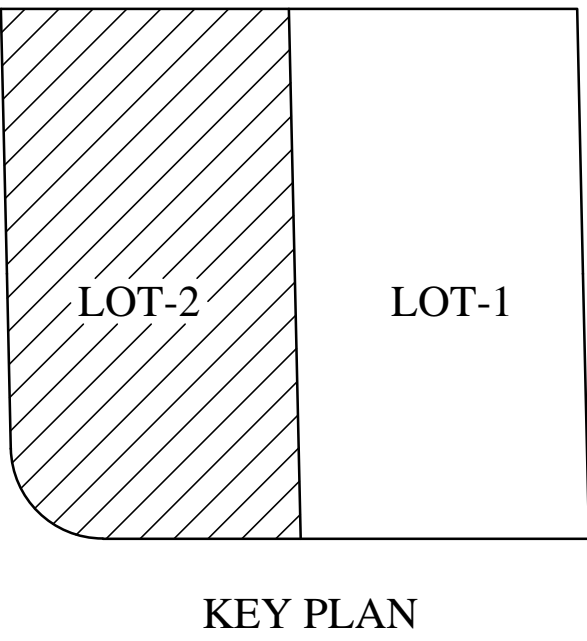
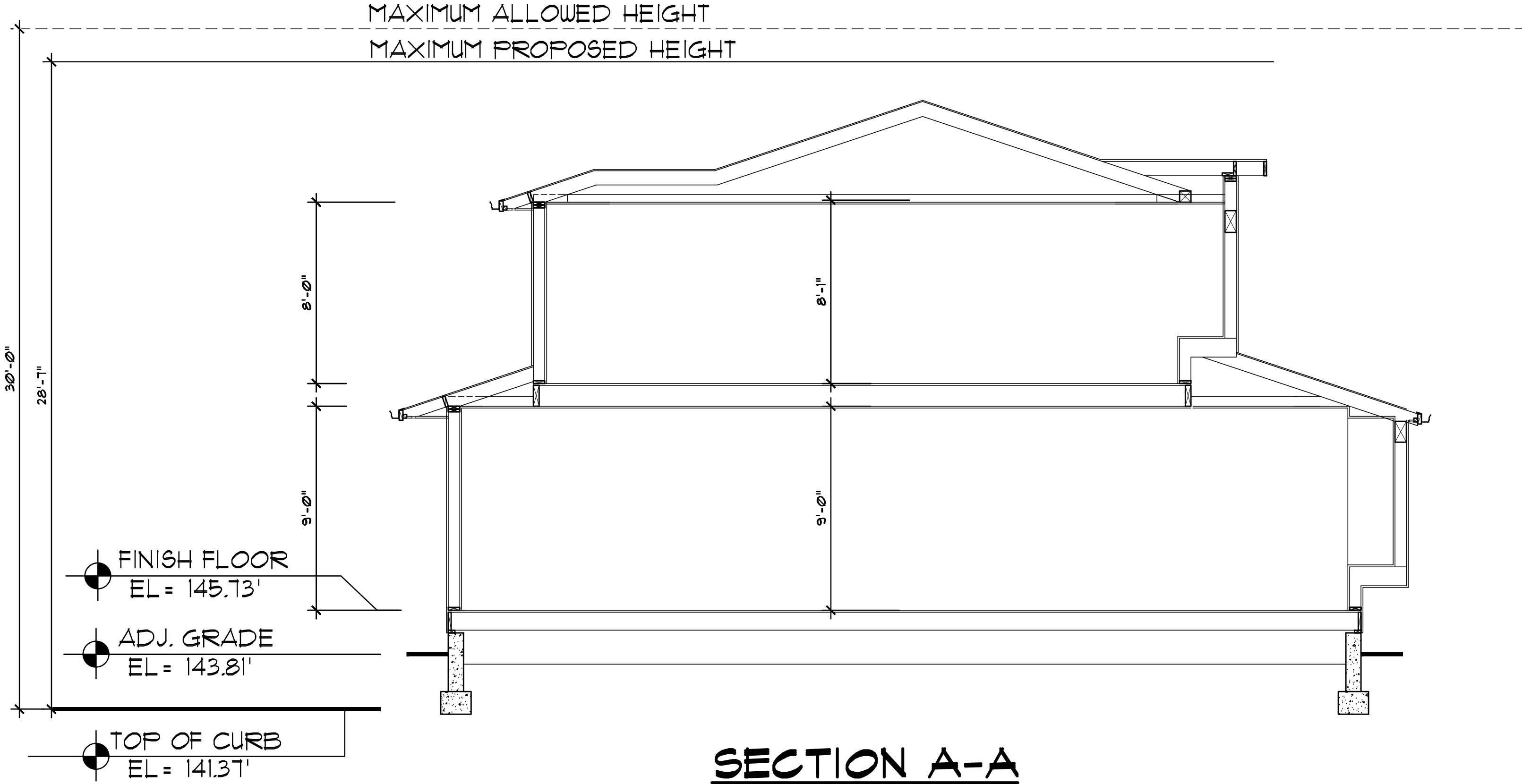
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Sheet Title :

BUILDING
SECTIONS

Sheet No. :

A-5.0.1



No.	Date	Description
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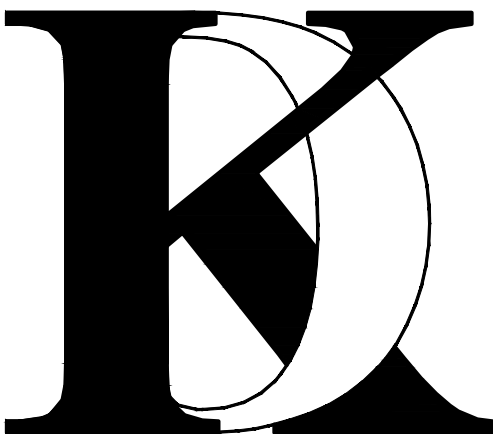
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Client :

1005 E. HOMESTEAD RD,
SUNNYVALE, CA 94087

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1900 CAMDEN AVENUE
SAN JOSE, CA. 95124
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farnaz@khadivdesign.com

KHADIV-DESIGN

Date: 9/17/19
Scale: 1/4"=1'-0"
Drawn By : FK

Job No: 2019-6

Signature :

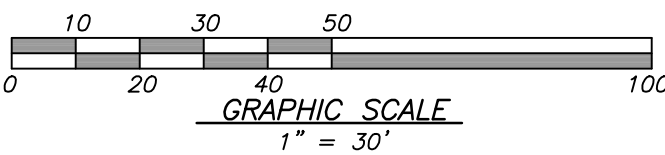
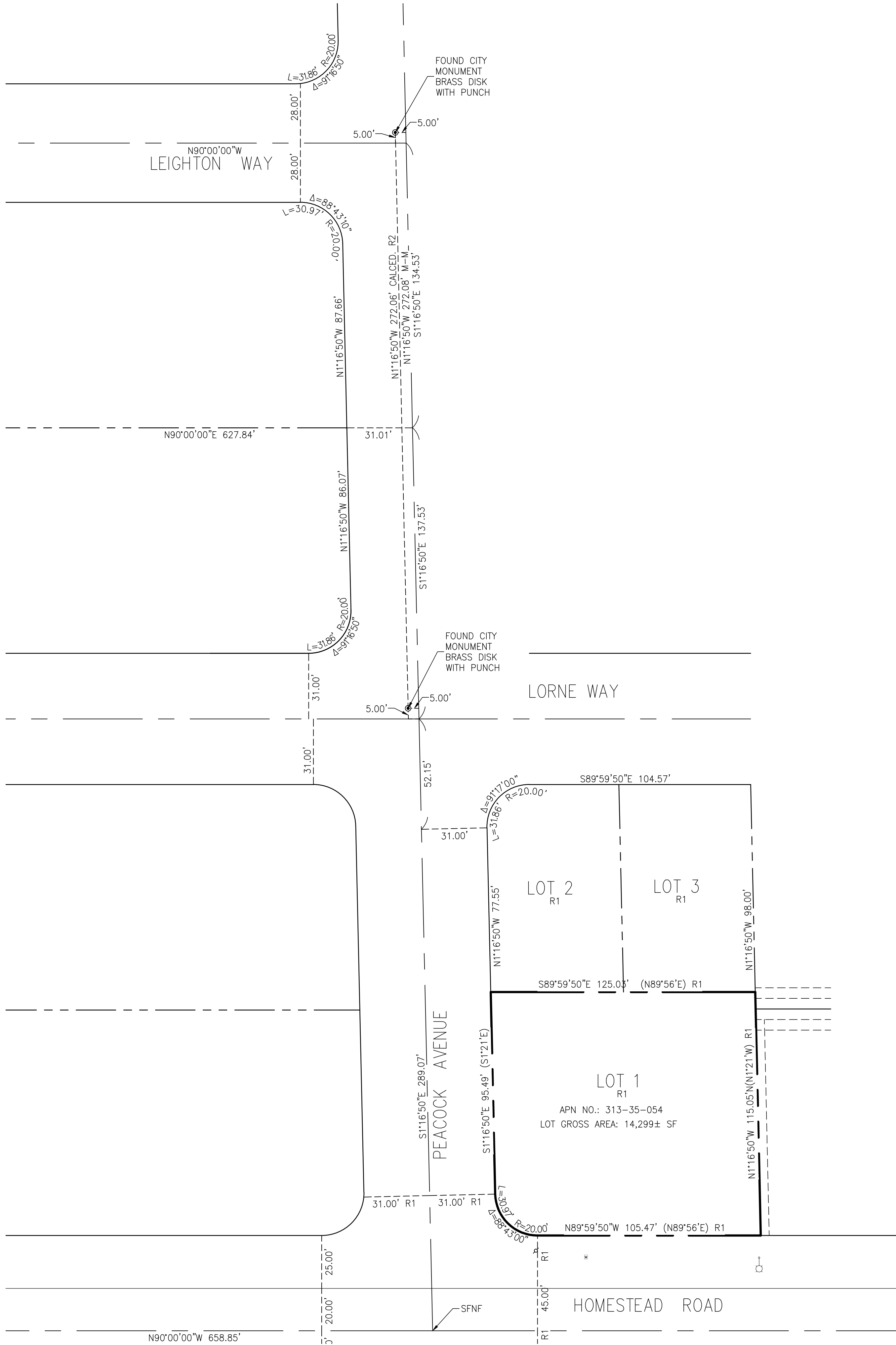
Sheet Title :

**BUILDING
SECTIONS**

Sheet No. :

A-5.0.2

LEGEND	
---	EXISTING CONTOUR LINE
---	NATURAL GRADE CONTOUR LINE
●	FOUND CITY MONUMENT BOX, OR AS NOTED
---	BOUNDARY OF PROPERTY SURVEYED
()	RECORD INFORMATION
---	CENTERLINE
△	CURB INLET
---	CURB LINE
---	DRIVEWAY APRON
○	ELECTROLIER
-x-x-x-	FENCE
⋈	FIRE HYDRANT
■	FLAT GRATE INLET
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
SS	SANITARY SEWER LINE
○	SANITARY SEWER MANHOLE
⊕	SANITARY SEWER CLEANOUT
—	SIGN
SD	STORM DRAIN LINE
⊙	STORM DRAIN MANHOLE
□	UTILITY BOX
○	UTILITY POLE
W	WATER LINE
⊞	WATER METER
⋈	WATER VALVE
⊞	ELECTRIC METER
⊞	WATER HEATER
⊞	GAS



BASIS OF BEARINGS
THE BEARING NORTH 1°16'50" WEST OF THE CENTER LINE OF PEACOCK AVENUE AS SHOWN ON THAT MAP OF TRACT NO 1581 FILED FOR RECORD IN BOOK 62 OF MAPS PAGES 49, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

REFERENCES:
R1 RECORD OF SURVEY 120-M-49
R2 TRACT NO. 1581 62-M-49
R3 TRACT NO. 1473 57-M-12

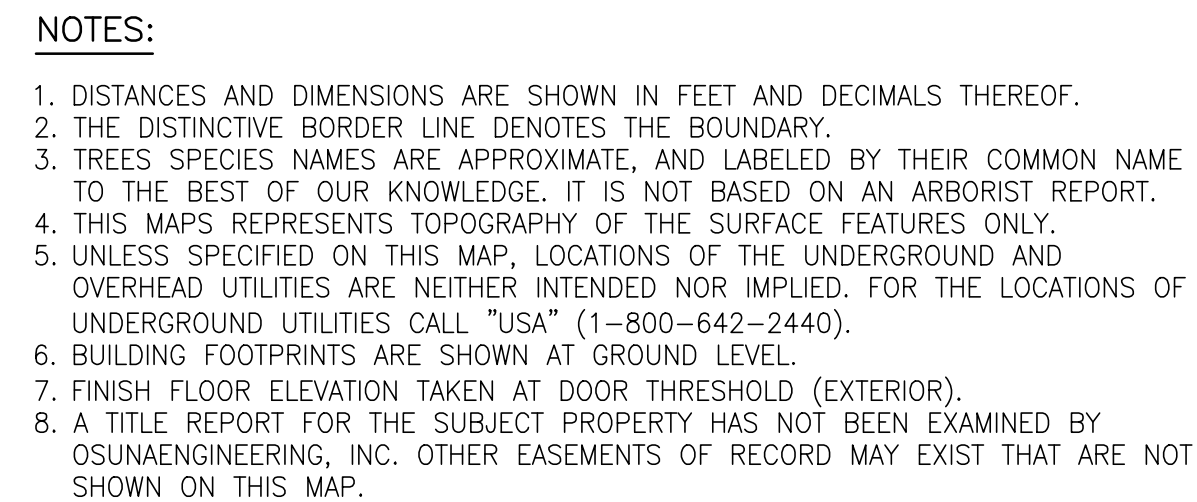
BENCH MARK
DESCRIPTION: CITY BM#13.
BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE NORTHWEST CURB RETURN, INTERSECTION OF WOLFE ROAD AND HOMESTEAD ROAD.
ELEV.: 166.774'

ABBREVIATIONS	
APN	ASSESSOR'S PARCEL NUMBER
BM	BENCH MARK
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
FL	FLOW LINE ELEVATION
IP	IRON PIPE
L	CURVE LENGTH
R#	REFERENCE DOCUMENT
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
SD	STORM DRAIN
SNF	SEARCH FOR NOT FOUND
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT

- NOTES:**
- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 - THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
 - TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
 - THIS MAPS REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY.
 - UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
 - BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 - FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 - A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNAENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.



REVISIONS		DATE	SCALE	DRAWN BY	CHECKED BY
6/04/19	AS SHOWN	O.OSUNA	O.O.		
BOUNDARY AND TOPOGRAPHIC MAP		LANDS OF PURCHASEMI & VENA			
1005 E HOMESTEAD		SUNNYVALE, CALIFORNIA			
JOB NO.		1619			
SHEET		TB1			
OF		2			



TENTATIVE PARCEL MAP

TWO (2) LOT SUBDIVISION
CONSISTING OF ONE (1) SHEET
LOT 1, AS DELINEATED UPON THAT CERTAIN MAP ENTITLED, "RECORD OF SURVEY, FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, ON MAY 26TH, 1960 IN BOOK 120 OF MAPS, AT PAGE 49, AND LYING WITHIN THE CITY OF SUNNYVALE, COUNTY OF SANTA CLARA, CALIFORNIA.



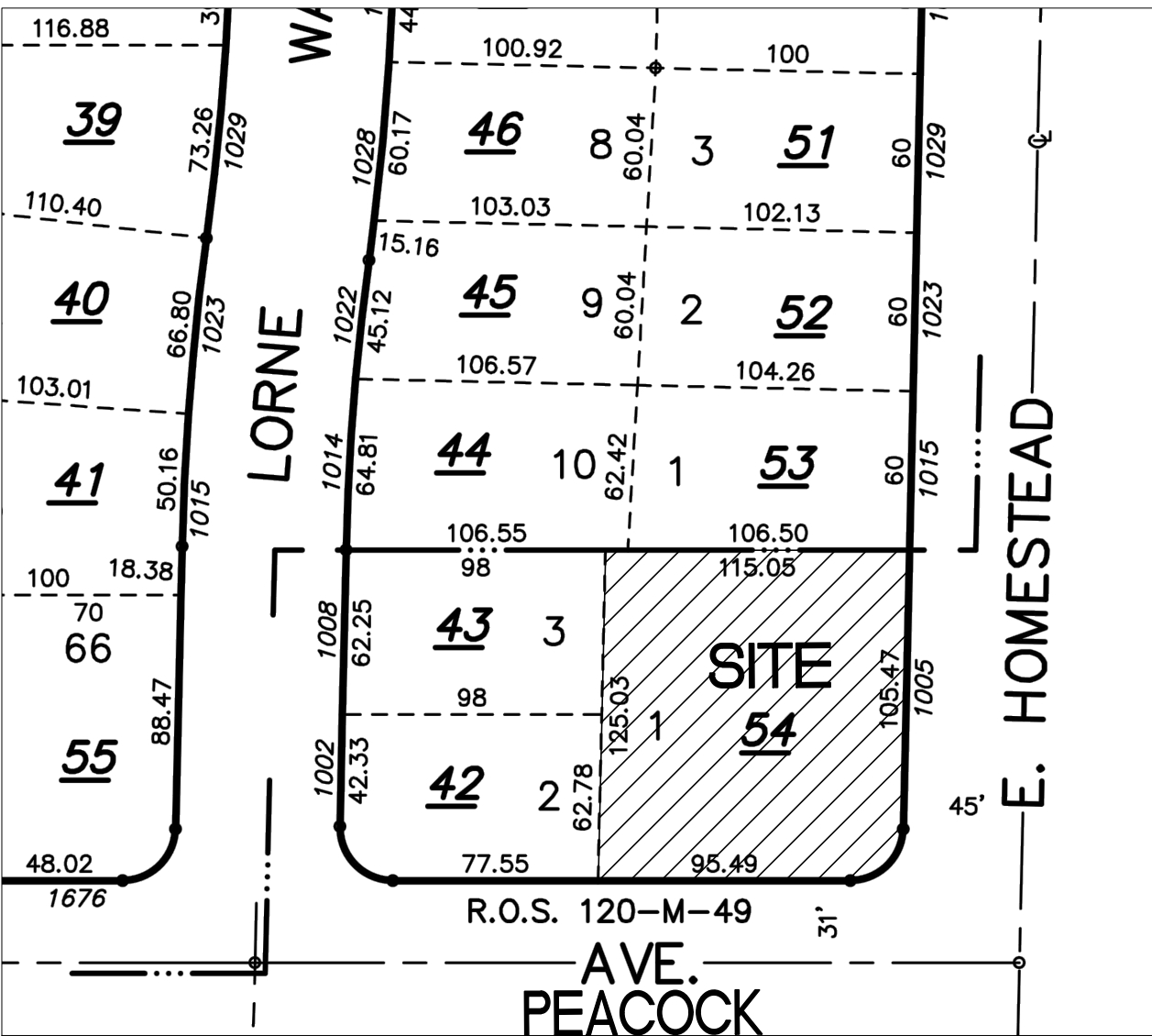
A CALIFORNIA CORPORATION
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
117 BERNAL RD., #70-336, SAN JOSE, CALIFORNIA
SEPTEMBER, 2019

GENERAL NOTES

- OWNERS AND DEVELOPERS:
VENA MARK NORMAN / PURGHASEMI FARANAK
1005 E HOMESTEAD RD. SUNNYVALE, CA 94087
(510) 432-8864
- APPLICANT:
SAME AS ABOVE
- EXISTING ZONING: R2
- EXISTING APN: 313-35-054
- EXISTING USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL
- EXISTING WELLS: NONE
- FLOOD ZONE: X
- STREETS: ALL STREET MODIFICATIONS WILL BE DONE TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS
- EXISTING USE OF ADJACENT PROPERTIES: RESIDENTIAL
- WATER: CITY OF SUNNYVALE
- FIRE PROTECTION: CITY OF SUNNYVALE
- STORM/SANITARY SEWER: SUNNYVALE SANITARY DISTRICT
- POWER AND GAS: PACIFIC GAS AND ELECTRIC
- TELEPHONE/CABLE: SBC/COMCAST
- STREET TREES: STREET TREES TO BE PLANTED PER CITY OF SUNNYVALE DIRECTION
- SITE AREA: 0.328 ACRES (14299 SQUARE FEET)
- NEW EASEMENT: NONE
- CONTOUR ELEVATION: CITY DATUM
- ALL DIMENSIONS ARE IN FEET AND DECIMAL THEREOF

AREA TABLE

LOT	AREA SQFT.	AREA ACRES
LOT 1	7,190	0.165
LOT 2	7,109	0.163
TOTAL	14,299	0.328



LOCATION MAP

BASIS OF BEARINGS

THE BEARING NORTH 1°21'00" WEST OF THE CENTER LINE OF PEACOCK AVENUE AS SHOWN ON THAT RECORD OF SURVEY FILED FOR RECORD IN BOOK 120 OF MAPS PAGES 49, SANTA CLARA COUNTY RECORDS, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

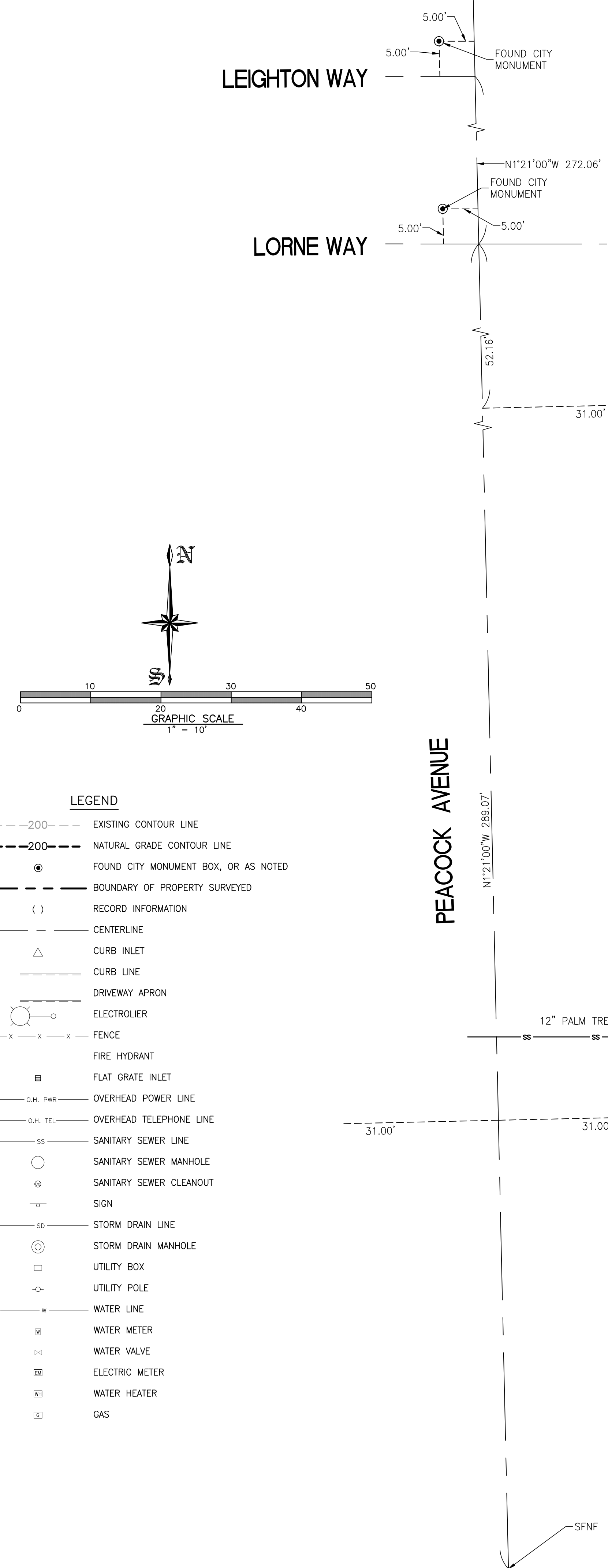
- REFERENCES:
- R1 RECORD OF SURVEY 120-M-49
 - R2 TRACT NO. 1581 62-M-49
 - R3 TRACT NO. 1473 57-M-12

BENCH MARK

DESCRIPTION: CITY BM#13.
BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE NORTHWEST CURB RETURN, INTERSECTION OF WOLFE ROAD AND HOMESTEAD ROAD.
ELEV.: 166.774' (CITY DATUM)

ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER
BM	BENCH MARK
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
FL	FLOW LINE ELEVATION
IP	IRON PIPE
L	CURVE LENGTH
R#	REFERENCE DOCUMENT
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
SD	STORM DRAIN
SNF	SEARCH FOR NOT FOUND
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT



LEGEND

- 200--- EXISTING CONTOUR LINE
- - -200- - - NATURAL GRADE CONTOUR LINE
- FOUND CITY MONUMENT BOX, OR AS NOTED
- - - BOUNDARY OF PROPERTY SURVEYED
- () RECORD INFORMATION
- CENTERLINE
- CURB INLET
- CURB LINE
- DRIVEWAY APRON
- ELECTROLIER
- x - x - FENCE
- FIRE HYDRANT
- FLAT GRATE INLET
- O.H. PWR --- OVERHEAD POWER LINE
- O.H. TEL --- OVERHEAD TELEPHONE LINE
- SS --- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ SIGN
- SD --- STORM DRAIN LINE
- ⊙ STORM DRAIN MANHOLE
- UTILITY BOX
- UTILITY POLE
- W --- WATER LINE
- W WATER METER
- W WATER VALVE
- W ELECTRIC METER
- W WATER HEATER
- W GAS

REVISIONS

DATE	CITY	BY

PROFESSIONAL LAND SURVEYOR

PORFIRIO OSCAR OSUNA

No. 8921

Exp. 9-30-18

STATE OF CALIFORNIA

OSUNA ENGINEERING INC.

Planning Surveying Civil Engineering

CONSULTING CIVIL ENGINEERS & LAND SURVEYORS

117 BERNAL RD. STE. 70-336

SAN JOSE, CA 95119

TEL (408) 772-4381

Info@osunaengineering.com

TENTATIVE PARCEL MAP

1005 E HOMESTEAD ROAD

APN: 313-35-054

SHEET

TM1

OF 1 SHEETS

GENERAL CITY REQUIREMENTS:

1. HOMESTEAD ROAD IS UNDER A 5 YEAR PAVEMENT MORATORIUM FOR A GRIND & OVERLAY. NO CUTS ARE PERMITTED IN THE ROADWAY. UTILITY CONNECTIONS (INCLUDING GAS) FOR LOT 1 SHALL BE MADE ON PEACOCK AVENUE.

2. INSTALL CITY STREET TREES PER CITY STANDARD DETAILS AND SPECIFICATIONS ALONG THE PROJECT FRONTAGE. STREET TREES SHALL BE MINIMUM 24" BOX OR 15- GALLON SIZE. TREE SPECIES ALONG SHALL BE DETERMINED BY CITY ARBORIST.

3. ALL STRUCTURES AND VEGETATION WITHIN DRIVEWAY VISION TRIANGLES MUST MEET REQUIREMENTS PER SUNNYVALE MUNICIPAL CODE.

4. PLANS SHALL CONFORM TO THE LATEST CITY STANDARD DETAILS

5. RE-USE OF EXISTING SERVICE LINES NOT PERMITTED.

6. THE DEVELOPER IS REQUIRED TO PAY FOR ALL CHANGES OR MODIFICATIONS TO EXISTING CITY UTILITIES, STREETS AND OTHER PUBLIC UTILITIES WITHIN OR ADJACENT TO THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO UTILITY ACILITIES/CONDUITS/VAULTS RELOCATION DUE TO GRADE CHANGE IN THE PARK STRIP AREA, CAUSED BY THE DEVELOPMENT.

7. THE DEVELOPER IS RESPONSIBLE FOR RESTORING AND REPLACING ANY DAMAGE IN THE PUBLIC RIGHT OF WAY OR ANY DAMAGE TO THE TRAFFIC CONTROL DEVICES CAUSED DUE TO CONSTRUCTION ACTIVITIES.

8. THE DEVELOPER IS REQUIRED TO INSTALL ALL PUBLIC IMPROVEMENTS AS REQUIRED BY SUNNYVALE MUNICIPAL CODE SECTIONS 18.08, INCLUDING BUT NOT LIMITED TO: CURB & GUTTER, SIDEWALKS, DRIVEWAY APPROACHES, UTILITY EXTENSIONS AND CONNECTIONS, METERS/VAULTS, TREES AND LANDSCAPING, TRAFFIC SIGNS, STRIPING, STREET LIGHTS, ETC. PRIOR TO OCCUPANCY AS REQUIRED BY THE DIRECTOR OF PUBLIC WORKS.

9. EXISTING UTILITY LINES AND/OR THEIR APPURTENANCES NOT SERVING THE PROJECT AND/OR HAVE CONFLICTS WITH THE PROJECT, SHALL BE CAPPED, ABANDONED, REMOVED, RELOCATED AND/OR DISPOSED. EXISTING PUBLIC FACILITIES WITHIN THE STREET RIGHT-OF-WAY SHALL BE ABANDONED PER CITY'S ABANDONMENT NOTES, INCLUDING ABANDONMENT BY OTHER UTILITY OWNERS

10. ANY EXISTING DEFICIENT PUBLIC IMPROVEMENTS SHALL BE UPGRADED TO CURRENT CITY STANDARDS AS REQUIRED BY THE DIRECTOR OF PUBLIC WORKS.

11. APPLICANT SHALL UNDERGROUND THE OVERHEAD LINES SERVING THIS PROPERTY.

12. THE DEVELOPER/OWNER IS RESPONSIBLE FOR RESEARCH ON PRIVATE UTILITY LINES (PG&E, TELEPHONE, CABLE, ETC.) TO ENSURE THERE ARE NO CONFLICTS WITH THE PROJECT.

LEGEND

DESCRIPTION	SYMBOL
BOUNDARY LINE	---
LOT LINE	---
EASEMENT LINE	---
SIDEWALK	---
WOOD FENCE	X X
CHAIN LINK FENCE	---
RETAINING WALL	---
DRIVEWAY DRAIN INLET	---
AREA DRAIN	---
DROP INLET	---
MONUMENT	---
FIRE HYDRANT	---
ELECTROLIER	---
WATER METER	---
AC UNIT	---
SANITARY SEWER LATERAL	---
STORM DRAIN	SD
SANITARY SEWER	SS
STREET LIGHT CONDUITS	SL
WATER	W
JOINT TRENCH	JT
HOUSE SERVICE	SVC
SLOPE ARROW	---
EXISTING CONTOUR	- 100
PROPOSED CONTOUR	100
OVERLAND RELEASE	---
DIRECTION OF SURFACE DRAINAGE	>>
SEE SLOPE AWAY FROM BUILDING	>>
GAS LINE	---
OVERHEAD ELECTRICAL LINE	OE
UNDERGROUND ELECTRICAL LINE	UE

BENCH MARK

DESCRIPTION: CITY BM#13.
BRASS DISC IN TOP OF CURB NEXT TO CATCH BASIN AT THE NORTHWEST CURB RETURN, INTERSECTION OF WOLFE ROAD AND HOMESTEAD ROAD.
ELEV.: 166.774'

EARTH WORK QUANTITIES

CUT: 120.CY
FILL: 10.CY
EXPORT: 110.CY
IMPORT: 0.CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.
THE PAD OF THE HOUSE IS NOT INCLUDED

ABBREVIATIONS

AC = ASPHALT CONCRETE

AD = AREA DRAIN

BC = BEGIN CURVE

BS = BOTTOM OF STAIR

BU = BUBBLE UP

BVC = BEGIN VERTICAL CURVE

BRW = BOTTOM OF RETAINING WALL

CB = CATCH BASIN

CL = CENTERLINE

CO = CLEANOUT

DS = DOWNSPOUT WITH SPLASH BOX

EC = END CURVE

ELEV. = ELEVATION

EVC = END VERTICAL CURVE

EX. = EXISTING

F/C = FACE OF CURB

FF = FINISHED FLOOR ELEVATION

FH = FIRE HYDRANT

FL = FLOW LINE

GB = GRADE BREAK

GFF = GARAGE FINISH FLOOR

HP = HIGH POINT

HC = HANDICAP UNIT

INV = INVERT

LP = LOW POINT

PAD = PAD ELEVATION

PC = PORTLAND CEMENT CONCRETE

PL = PROPERTY LINE

PV = PAVEMENT GRADE

PVC = POLYVINYL CHLORIDE PIPE

BRW = BOTTOM OF RETAINING WALL

PVI = POINT OF VERTICAL INTERSECTION

RCP = REINFORCED CONCRETE PIPE

ROW = RIGHT OF WAY

S=004> = SLOPE

SD = STORM DRAIN

SDMH = STORM DRAIN MANHOLE

SG = SUBGRADE ELEVATION

SS = SANITARY SEWER

SSMH = SANITARY SEWER MANHOLE

STA = STATION

TC = TOP OF CURB

TF = TOP OF FENCE

TRW = TOP OF RETAINING WALL

TS = TOP OF STAIR

TW = TOP OF WALL

VCP = VITRIFIED CLAY PIPE

WM = WATER METER

WV = WATER VALVE

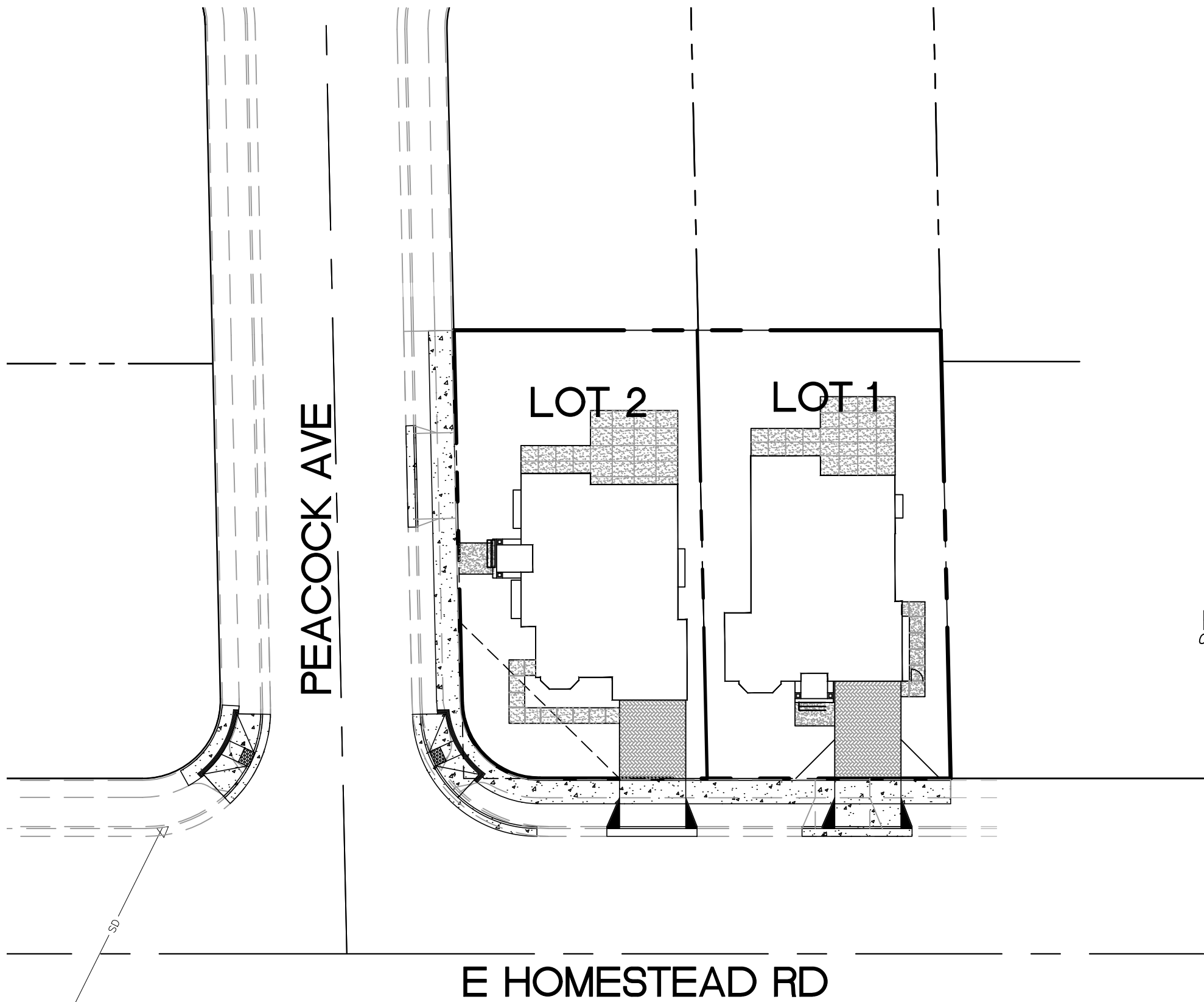
GRADING & DRAINAGE PLAN

TWO (2) LOT SUBDIVISION

TWO (2) NEW SINGLE FAMILY HOMES DEVELOPMENT

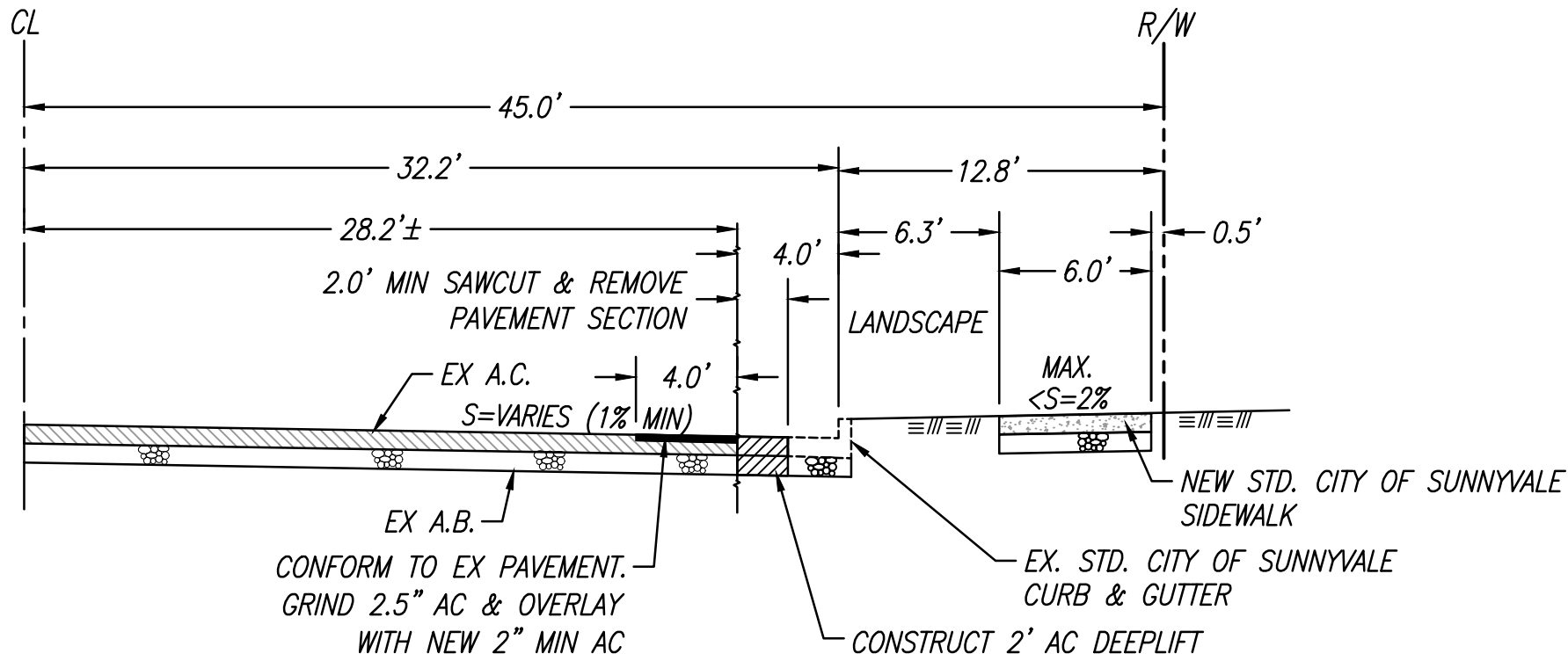
1005 E. HOMESTEAD ROAD, SUNNYVALE CA

APN: 313-35-054



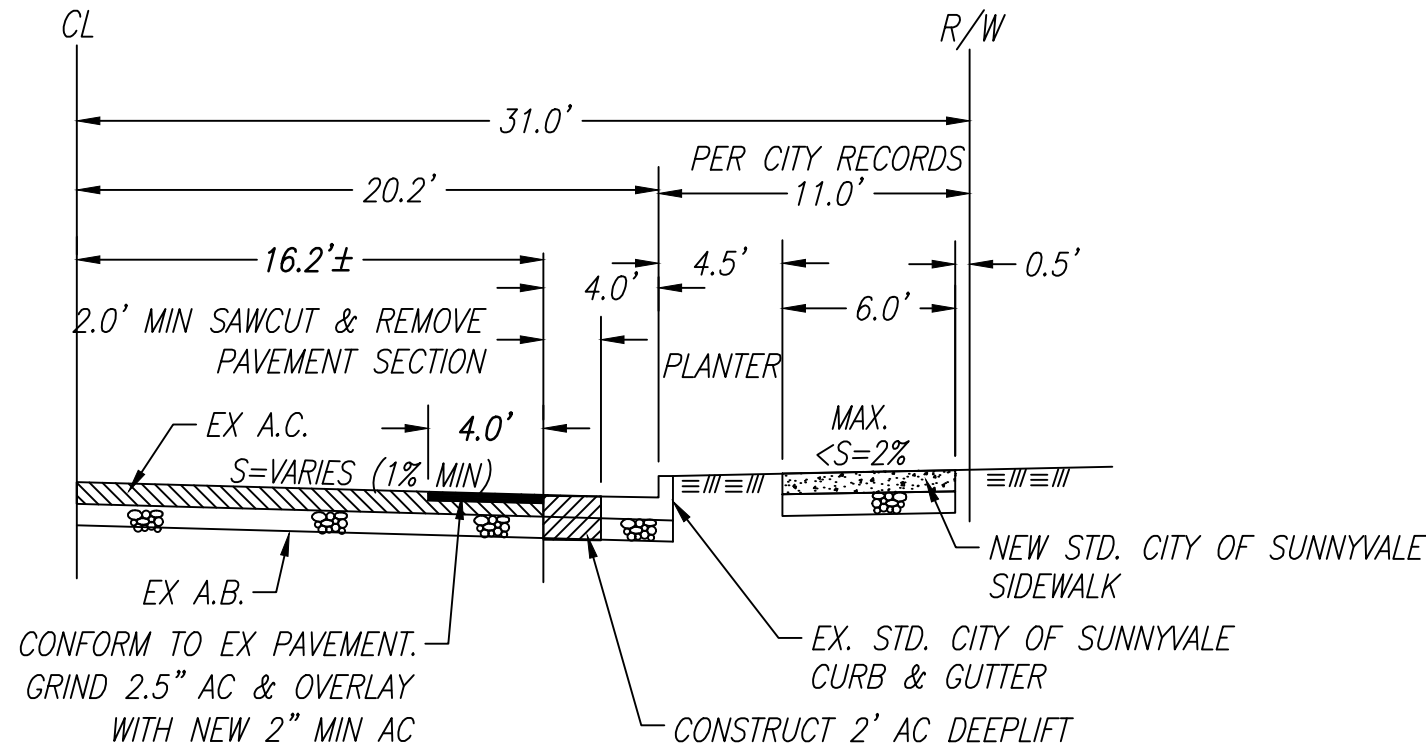
SITE PLAN

1" = 30'



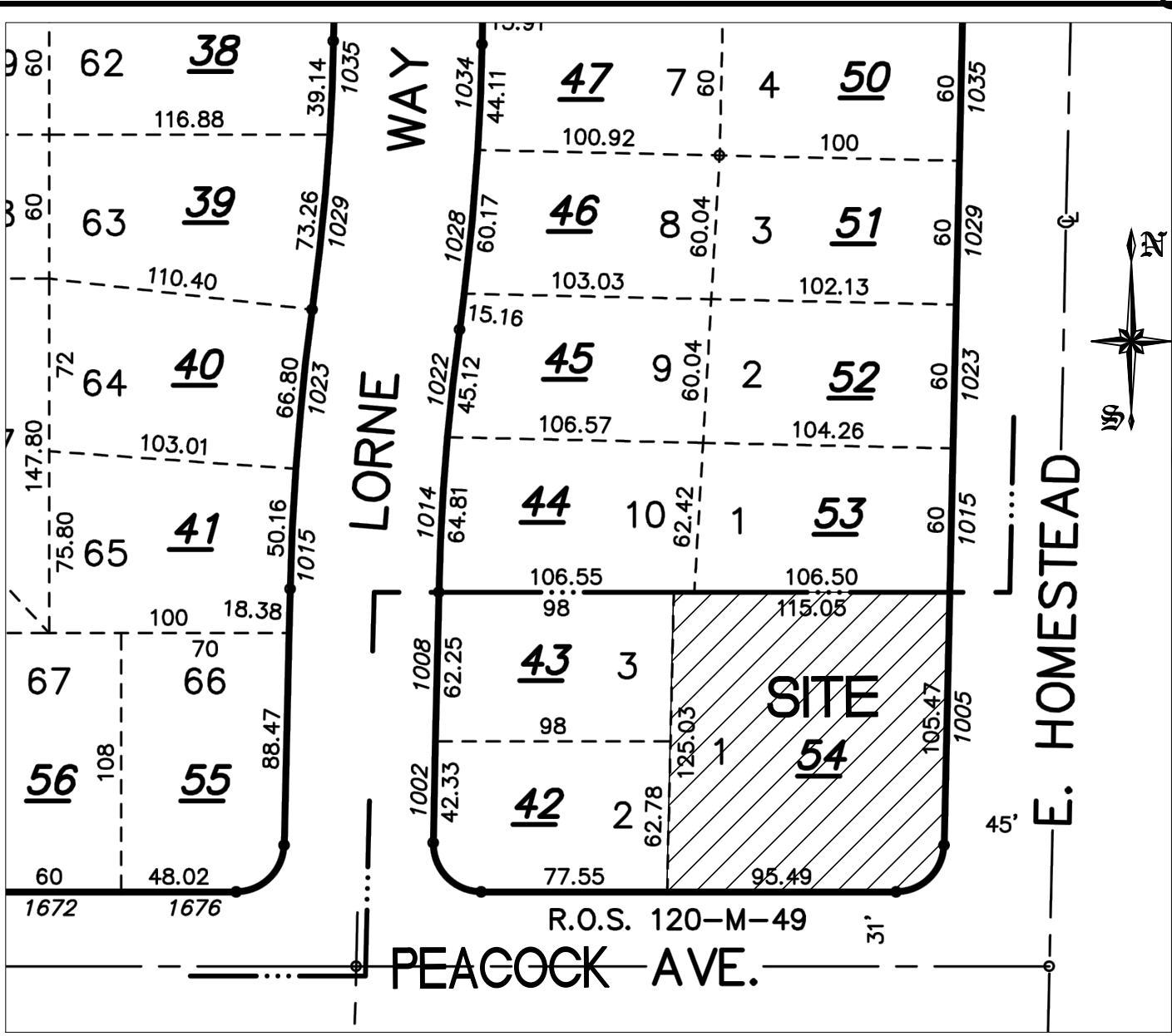
E. HOMESTEAD ROAD
HALF-STREET SECTION

N.T.S.



PEACOCK AVENUE
HALF-STREET SECTION

N.T.S.



LOCATION MAP

SHEET INDEX

COVER SHEET
CONCEPTUAL GRADING AND DRAINAGE PLAN
CONCEPTUAL PUBLIC IMPROVEMENTS PLAN
SECTIONS AND DETAILS
EROSION AND SEDIMENT CONTROL PLAN

C1
C2
C3
C4-C5
C6

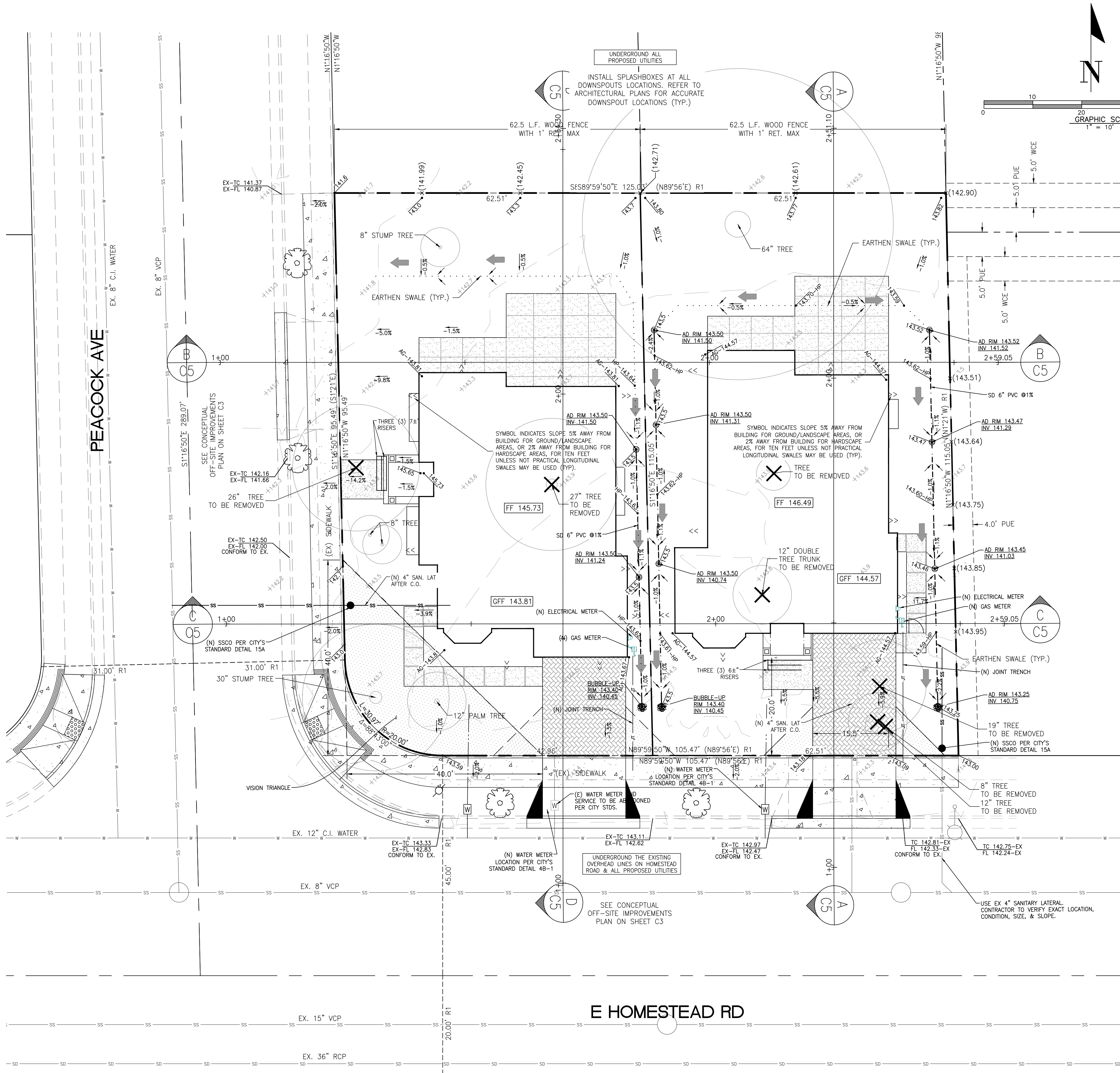
OSUNA
ENGINEERING INC.
Planning | Surveying | Civil Engineering

CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
117 BERNAL RD. STE. 70-336
SAN JOSE, CA 95119
TEL. (408) 772-4381
Info@osunadengineering.com

CONCEPTUAL
GRADING & DRAINAGE PLAN
CONCEPTUAL GRADING & DRAINAGE
1005 E HOMESTEAD RD

SUNNYVALE, CALIFORNIA
Project No.: 1619 | Designer: J.O | Date: 9/17/19

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO THE SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF ALL WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.



REVISIONS		DATE	BY	CITY

REGISTERED PROFESSIONAL ENGINEER

PORTFOLIO OSCAR OSUNA

No. 70829

Exp. 6-30-19

CIVIL

STATE OF CALIFORNIA

P. Oscar Osuna

PORTFOLIO OSCAR OSUNA

RCE 70829 EXP. 6-30-19

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CONCEPTUAL
GRADING & DRAINAGE PLAN
CONCEPTUAL GRADING & DRAINAGE
1005 E HOMESTEAD RD

CALIFORNIA

Project No.: 1619

Design: J.O

Check: O.O

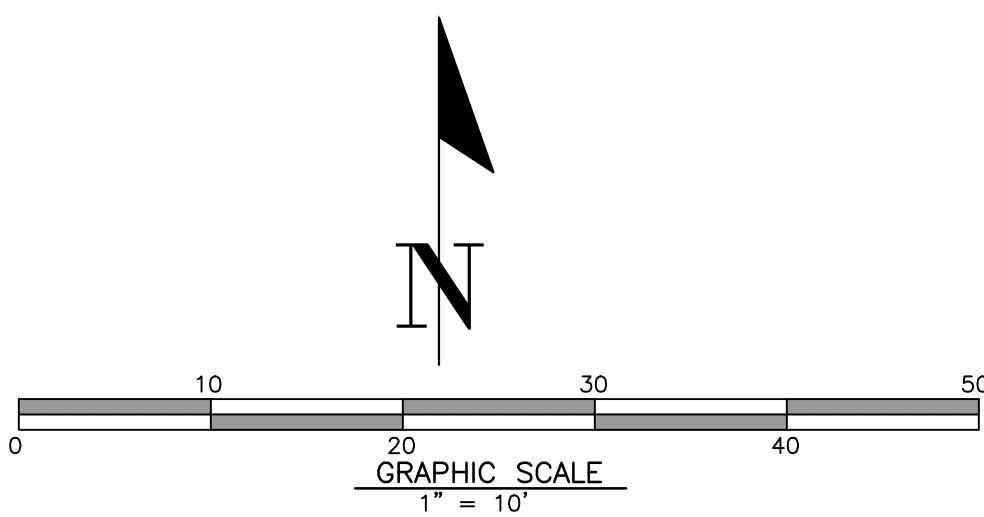
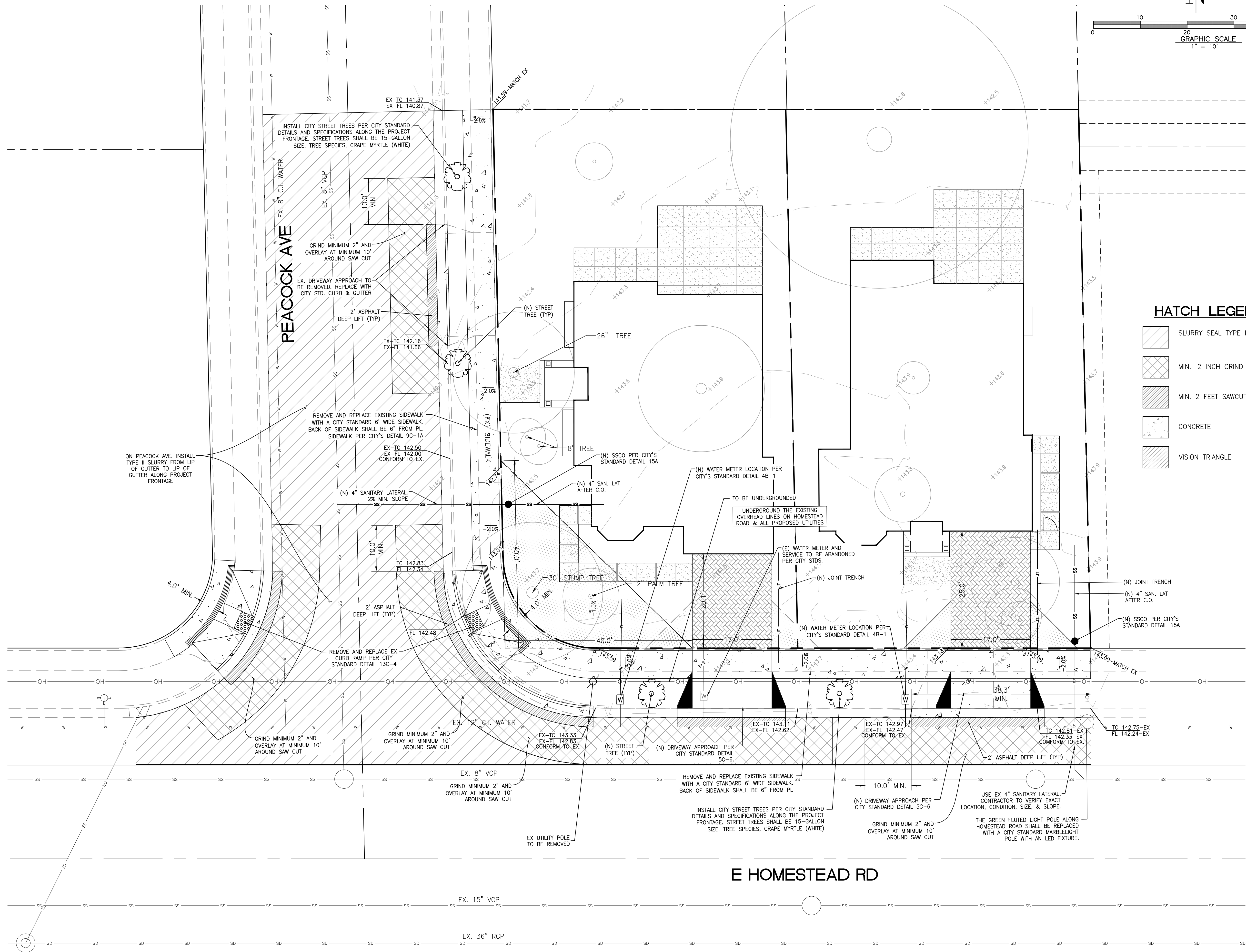
Date: 9/17/19

SHEET

C2

OF 6 SHEETS

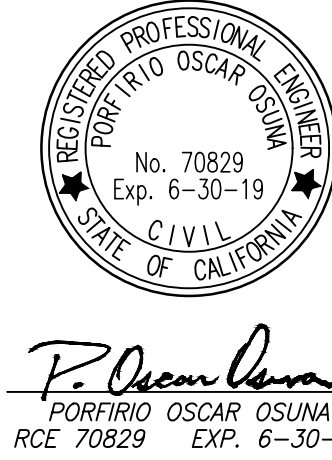
CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE AND THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



HATCH LEGEND

- SLURRY SEAL TYPE II
- MIN. 2 INCH GRIND & OVERLAY
- MIN. 2 FEET SAWCUT
- CONCRETE
- VISION TRIANGLE

REVISIONS			
NO.	DATE	BY	



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SAN JOSE, CA 95119
TEL. (408) 772-4381
info@osunaengineering.com


CONCEPTUAL
OFF-SITE IMPROVEMENTS
1005 E HOMESTEAD RD
SUNNYVALE, CALIFORNIA
Project No.: 1619 | Design: J.O. | Check: O.O. | Date: 9/17/19




SLOPE 5% AWAY FROM BUILDING FOR GROUND/LANDSCAPE AREAS, OR 2% AWAY FROM BUILDING FOR HARDSCAPE AREAS, FOR TEN FEET UNLESS NOT PRACTICAL LONGITUDINAL SWALES MAY BE USED.



SLOPE 5% AWAY FROM BUILDING FOR GROUND/LANDSCAPE AREAS, OR 2% AWAY FROM BUILDING FOR HARDSCAPE AREAS, FOR TEN FEET UNLESS NOT PRACTICAL LONGITUDINAL SWALES MAY BE USED.



P. Oscar Osuna
PORFIRIO OSCAR OSUNA
RCE 70829 EXP. 6-30-19



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ENGINEERING INC.
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CONSULTING CIVIL ENGINEERS & LAND SURVEYORS

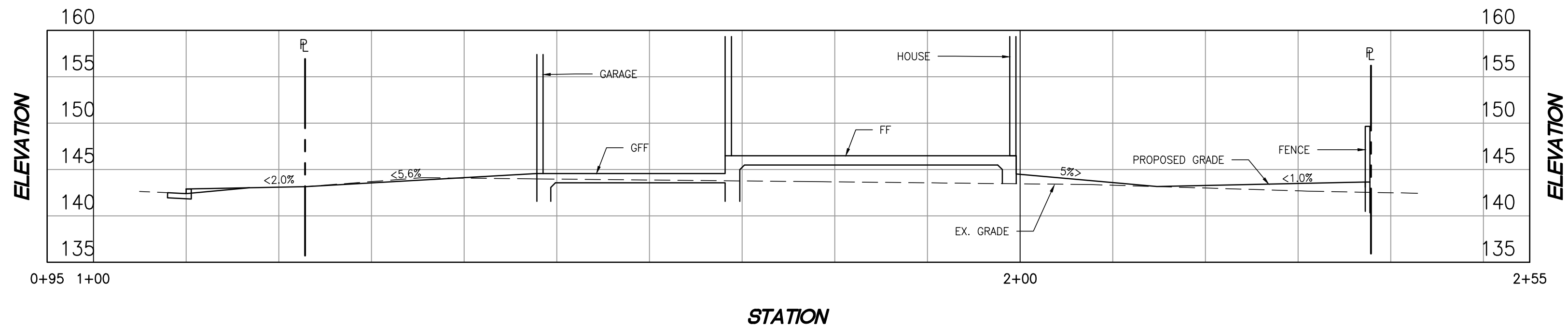
117 BERNAL RD. STE. 70-336
SAN JOSE, CA 95119
TEL. (408) 772-4381
info@osunaeengineering.com

SHEET
C4
OF 6 SHEETS

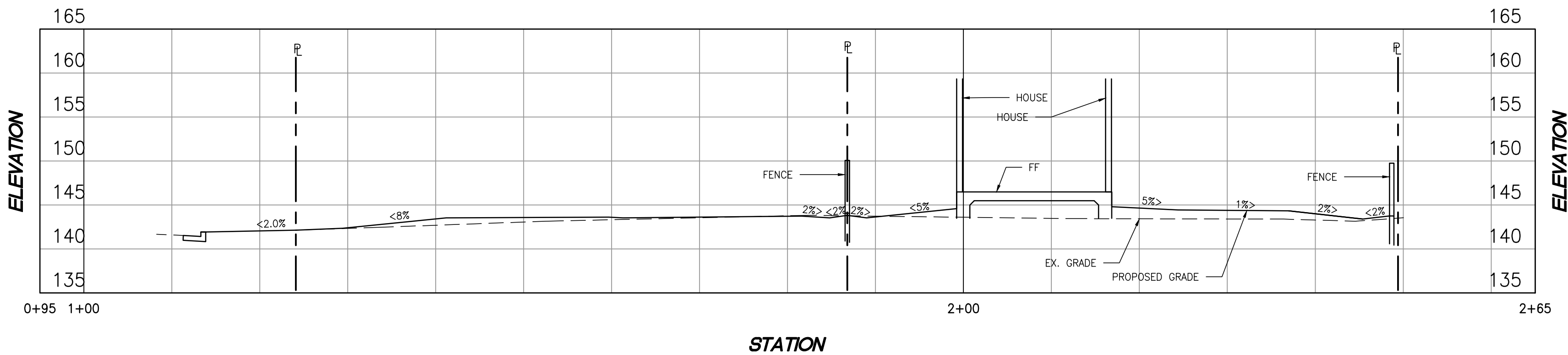
A		BUBBLER BOX DETAIL		B		AREA DRAIN DETAIL		C		TYPICAL FOUNDATION/FF/GROUND SECTION		D		TYPICAL FOUNDATION/GFF/GROUND SECTION		<div><div><div>★</div><div>Exp. 6-30-19</div><div>CIVIL</div><div>★</div></div><div>STATE OF CALIFORNIA</div><div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div>PORFIRIO OSCAR OSUNA</div><div>RCE 70829</div><div>EXP. 6-30-19</div></div></div></div></div>	
												<div><div><div>SLOPE 5% AWAY FROM BUILDING FOR GROUND/LANDSCAPE AREAS, OR 2% AWAY FROM BUILDING FOR HARDSCAPE AREAS, FOR TEN FEET UNLESS NOT PRACTICAL LONGITUDINAL SWALES MAY BE USED.</div><div><div><div>VARIES 2% MIN.></div><div><div>1.5'</div><div>1.5'</div><div><VARIES 2% MIN.</div></div></div><div><div>0.17'</div><div>MIN</div></div></div></div></div> <div>N.T.S.</div>				<div><div><div>OSUNA</div><div>ENGINEERING INC.</div><div>Planning Surveying Civil Engineering</div><div>CONSULTING CIVIL ENGINEERS & LAND SURVEYORS</div><div>117 BERNAL RD. STE. 70-336</div><div>SAN JOSE, CA 95119</div><div>TEL. (408) 772-4381</div><div>info@osunaengineering.com</div></div></div>	
								F				NOT USED					
												<div><div><div>ROOF DOWNSPOUTS. SEE ARCHITECTURAL PLANS FOR LOCATIONS</div><div>24" LONG PRECAST SPLASH BLOCK. NITTERHOUSE (OR EQUAL)</div><div>SLOPE AWAY FROM BUILDING 2% MIN. ON IMPERVIOUS SURFACES. SLOPE AWAY 5% MIN. ON PERVIOUS SURFACES.</div><div>EMBED SPLASH BOX IN 4" CONCRETE OR MORTAR</div></div></div> <div><div>SPLASH BLOCK/DOWNSPOUT DETAIL</div><div>N.T.S.</div></div>				<div><div><div>CONCEPTUAL GRADING & DRAINAGE PLAN</div><div>CONSTRUCTION DETAILS</div><div>1005 E HOMESTEAD RD</div><div>SUNNYVALE, CALIFORNIA</div><div>Project No.: 1619</div><div>Design: J.O</div><div>Check: 9/17/19</div><div>Date: 9/17/19</div></div></div>	
E		NOT USED		H		NOT USED		I		SPLASH BLOCK/DOWNSPOUT DETAIL						SHEET C4 OF 6 SHEETS	

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK.

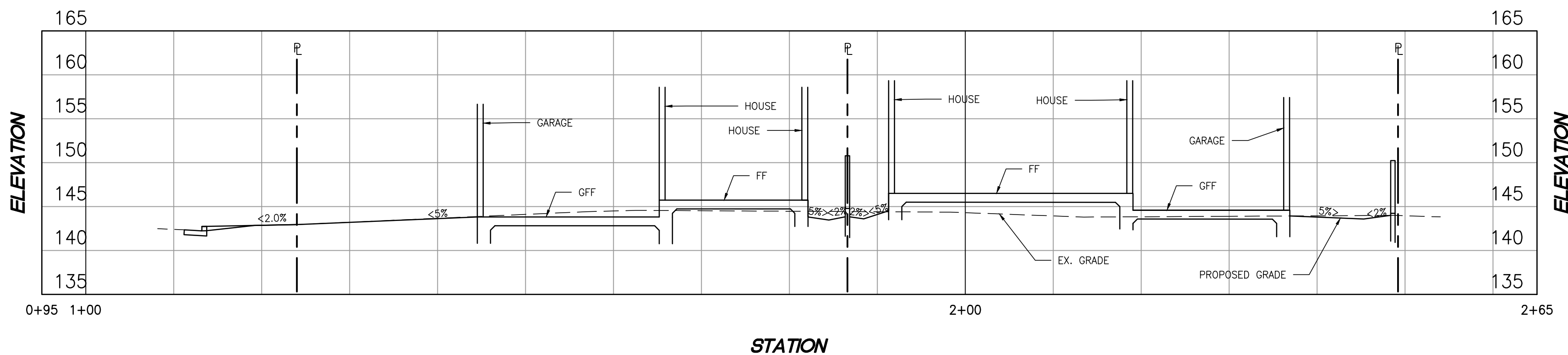
SECTION A PROFILE



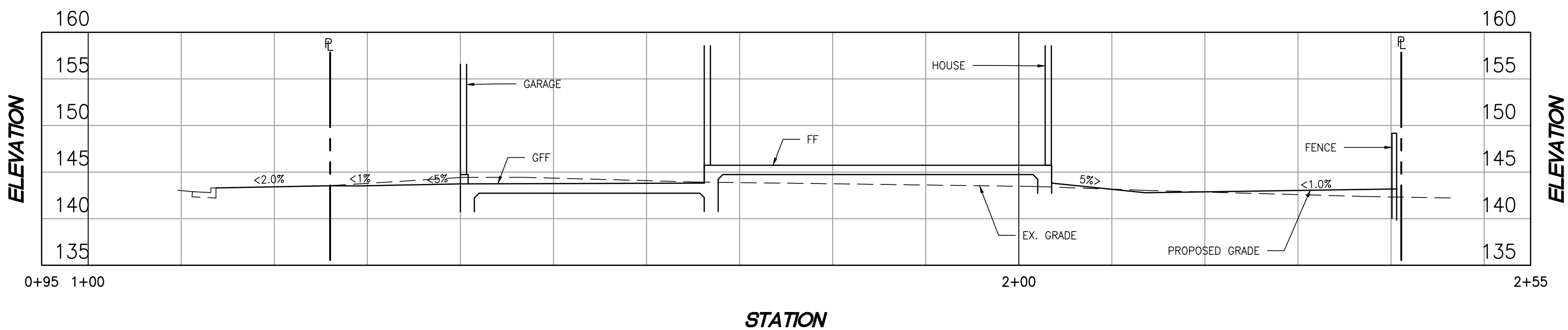
SECTION B PROFILE



SECTION C PROFILE



SECTION D PROFILE



SCALE: 1"=10'

REVISIONS	DATE	CITY	BY

REGISTERED PROFESSIONAL ENGINEER

PORTFIRIO OSCAR OSUNA

No. 70829

Exp. 6-30-19

CIVIL

STATE OF CALIFORNIA

P. Oscar Osuna

PORTFIRIO OSCAR OSUNA

RCE 70829 EXP. 6-30-19

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ENGINEERING INC.

Planning Surveying Civil Engineering

CONSULTING CIVIL ENGINEERS & LAND SURVEYORS

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SAN JOSE, CA 95119

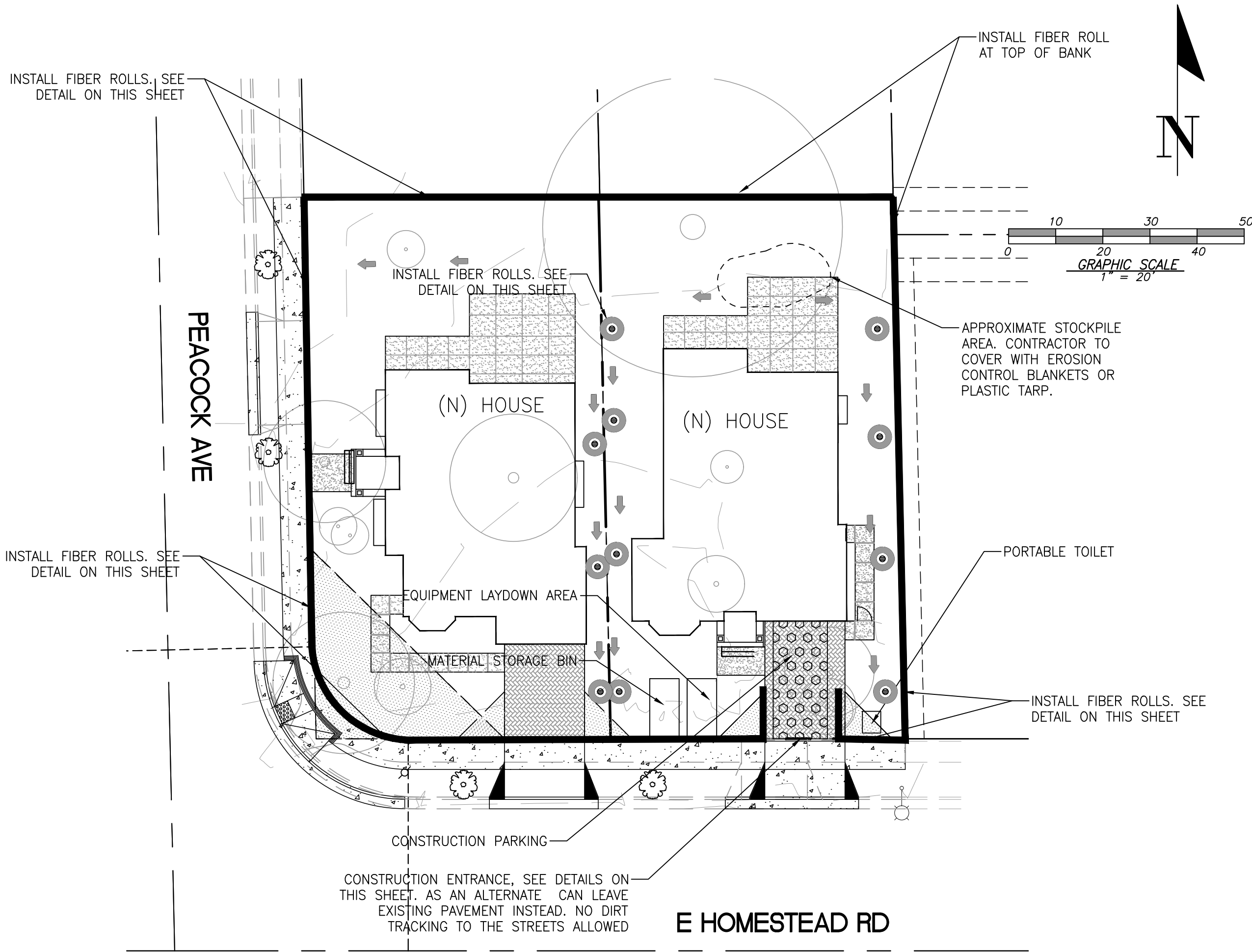
TEL. (408) 772-4381

info@osunaengineering.com

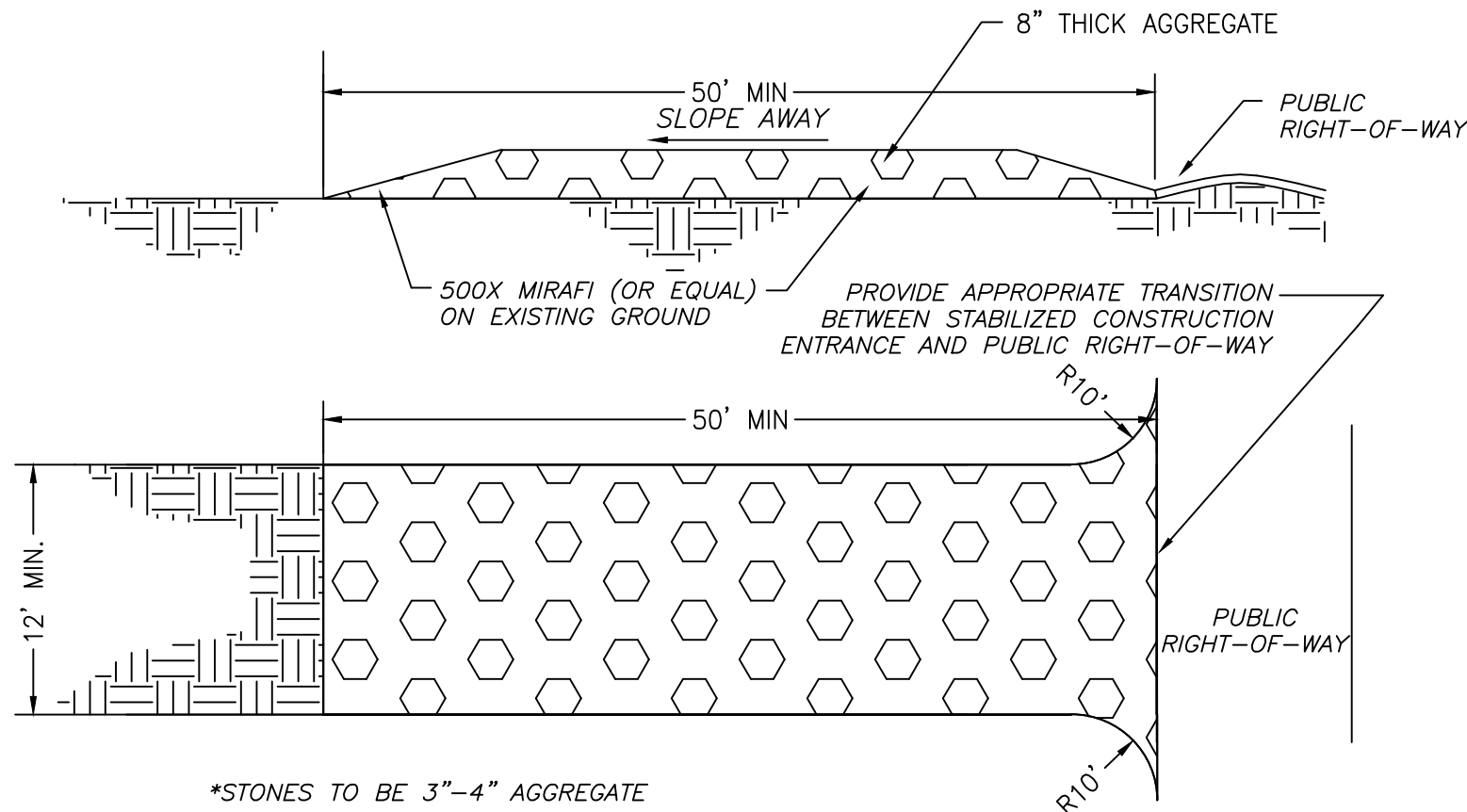
CONCEPTUAL
GRADING & DRAINAGE PLAN
CONSTRUCTION DETAILS
1005 E HOMESTEAD RD
SUNNYVALE, CALIFORNIA
Project No.: 1619
Design: J.O
Check: J.O
Date: 9/17/19

SHEET
C5
OF 6 SHEETS

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY TO ALL WORKING HOURS AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.

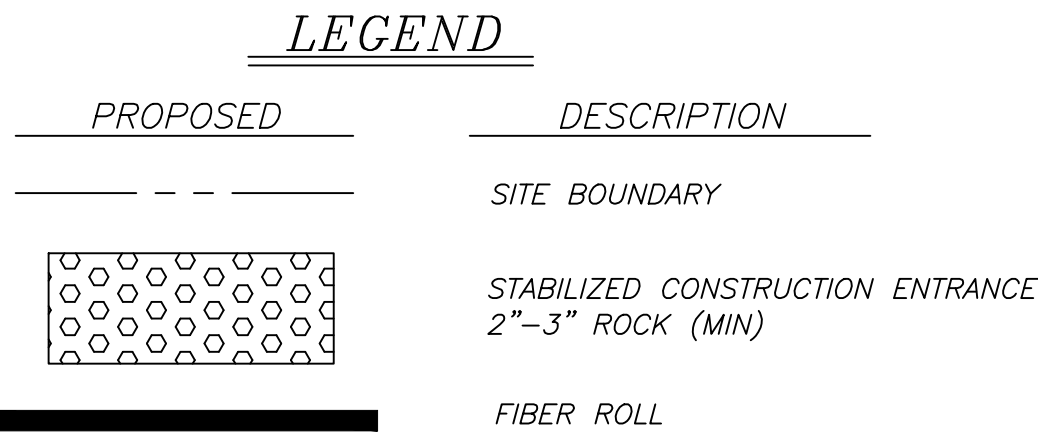


NOTES:
1. PROTECT ALL INLETS IN THE PUBLIC STREETS SURROUNDING THE SITE.
2. ALL ON-SITE LANDSCAPE AREA DRAINS TO BE CAPPED OR PROTECTED UNTIL LANDSCAPING IS FINISHED.

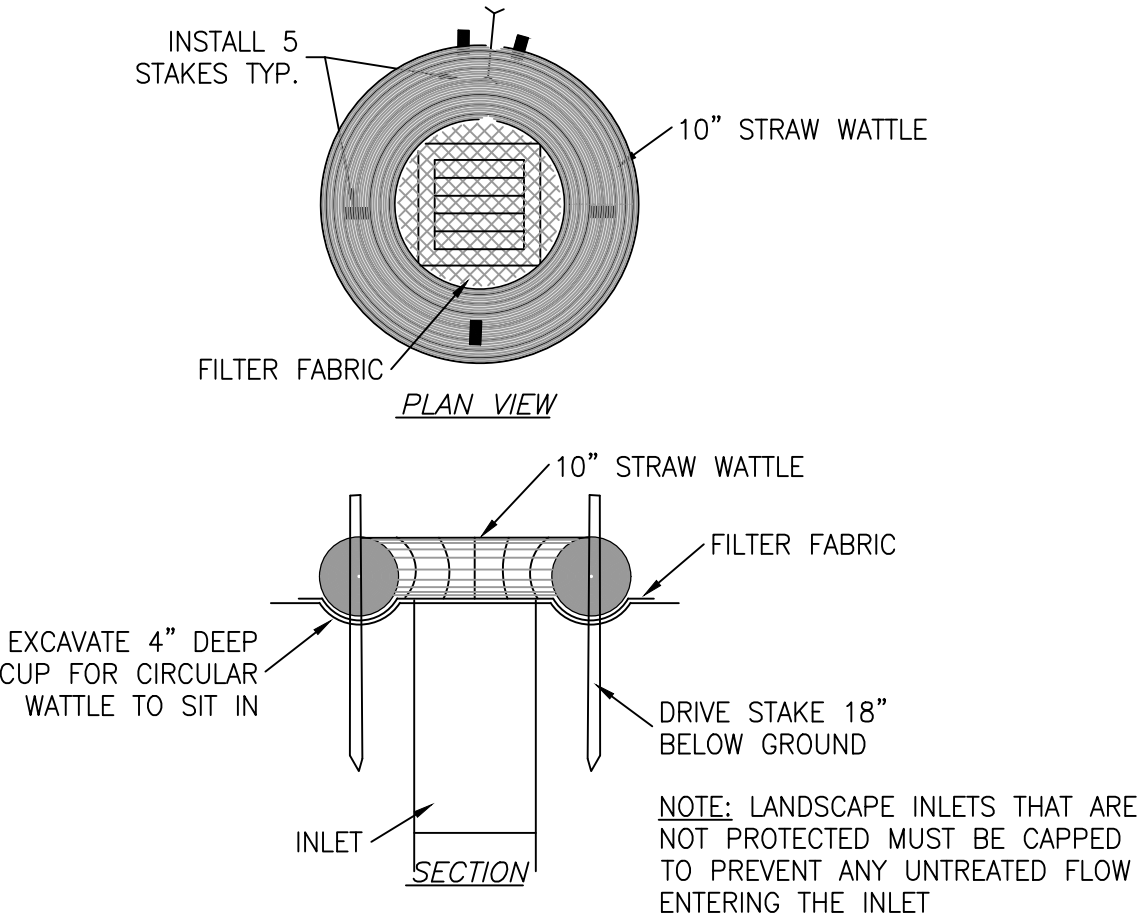


MAINTENANCE:
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT.
ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

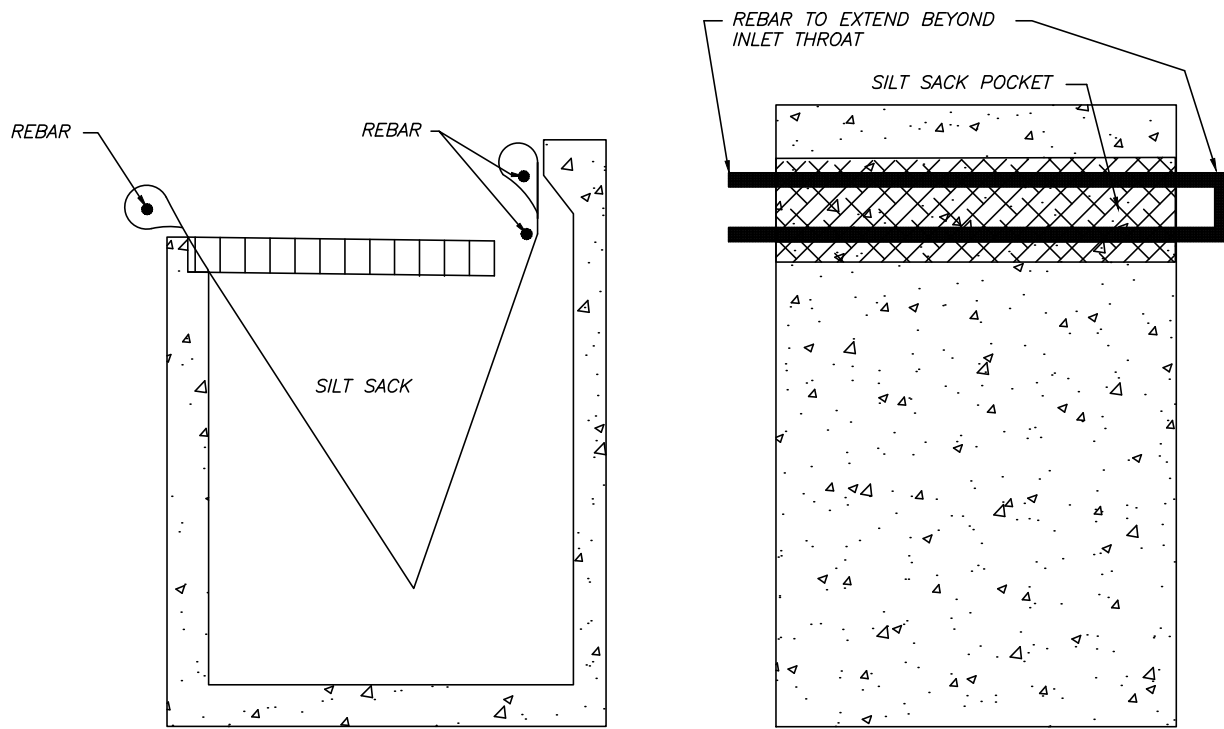
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



- MAINTENANCE NOTES**
- REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.



ALTERNATE FIBER ROLL INLET PROTECTION
MAY BE USED IN LANDSCAPE AREA DRAINS
N.T.S.



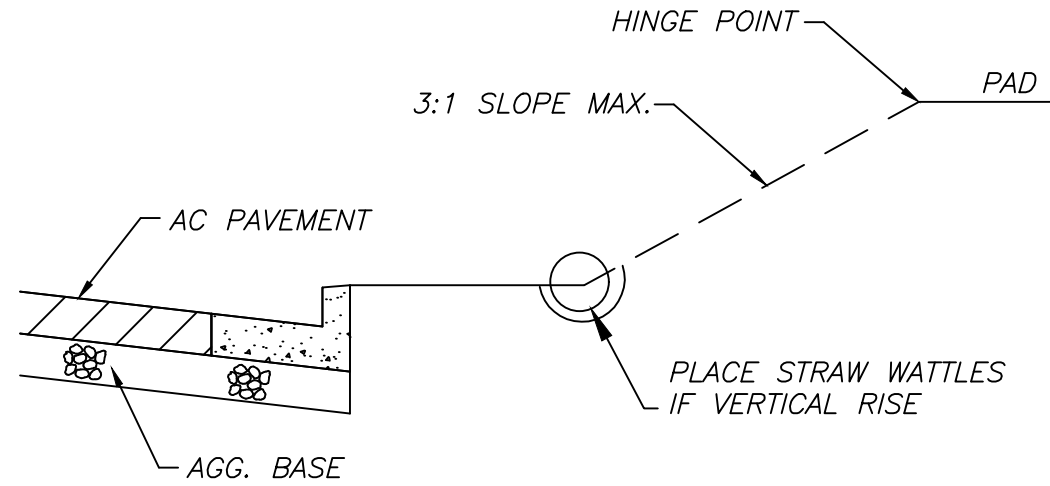
CALIFORNIA MODIFIED SILT SACK
REED & GRAHAM, INC. (OR EQUAL)
BEFORE & AFTER STREETS ARE PAVED
N.T.S.

EROSION & SEDIMENT CONTROL NOTES

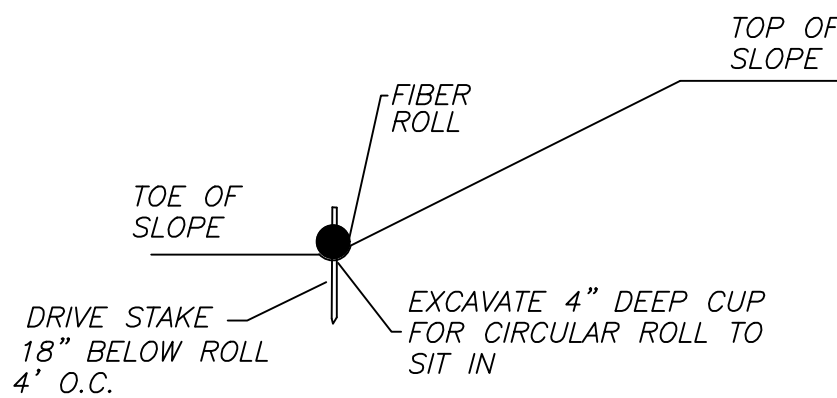
- NOT USED
- THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
- ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF UNION SANITARY DISTRICT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
- IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLaid WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
- INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
- NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. - ALONG RIGHT-OF-WAY).
- ALL DISTURBED AREAS INCLUDING FLAT PADS ARE TO BE TREATED WITH STRAW AND TACKIFIER AT A RATE OF 2 TONS PER ACRE APPROXIMATELY 3 INCHES THICK.

SUPPLEMENTAL EROSION & SEDIMENT CONTROL NOTES

- SEE STANDARD EROSION & SEDIMENT CONTROL NOTES ABOVE.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.



FRONT YARD SLOPE DETAIL
AFTER STREET ARE PAVED
N.T.S.



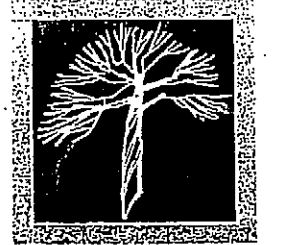
FIBER ROLL INSTALLATION DETAIL
N.T.S.

REVISIONS			
NO.	DATE	CITY	BY
1			
2			
3			
4			
5			

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ENGINEERING INC.
Planning Surveying Civil Engineering
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
117 BERNAL RD. STE. 70-336
SAN JOSE, CA 95119
TEL (408) 772-4381
info@osunaengineering.com

CONCEPTUAL GRADING & DRAINAGE PLAN
EROSION CONTROL
1005 E HOMESTEAD RD
SUNNYVALE, CALIFORNIA
Project No.: 1619
Date: 9/17/19
Designed: J.O
Checked: J.O

SHEET C6
OF 6 SHEETS



THOMAS SCHERER
ASSOCIATES
Landscape Architecture

P.O. Box 68, Aptos, CA 95001
Tel (831) 688-8913
Fax (831) 688-3135

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND
HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE
LANDSCAPE DESIGN PLAN AND IRRIGATION DESIGN PLAN"

Landscape Documentation Package For :
HOMESTEAD ROAD- LOT #1
1005 East Homestead Road
Sunnyvale, CA

Applicant: Thomas Scherer Landscape Architect
P.O. Box 68
Aptos, CA 95001
(831) 688-8913
zeskats@earthlink.net

Owner: Faranak Pourghasemi
1698 Nightingale
Sunnyvale, CA
(510) 432-8864
faranak.pour@gmail.com

Total Landscape Area: 3,823 s.f.
Turf: 0 s.f.
Drought Tolerant Shrubs/Ground cover : 3,823 s.f.
Total: 3,823 s.f.

Project Type: New
Water Supply Type: Potable
Water Supply : San Jose Water Co.

"I agree to comply with the requirements of the Water Efficient Landscape Ordinance
and submit a complete landscape documentation package."

Thomas Scherer 8-11-19 Date

See Sheet L-1: Irrigation Design Plan, Water Efficient Landscape Worksheet,
See Sheet L-2: Planting Design Plan
See Sheet L-3: Irrigation & Planting Details

sheet title

Irrigation Plan Legend & Notes

Lot 1
1005 E. Homestead Road
Sunnyvale, CA 94087

project

revisions

date 8-27-2019

drawn TS

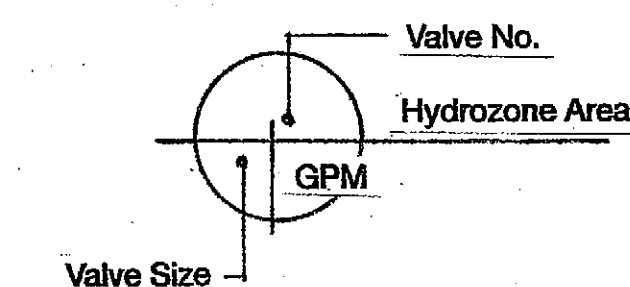
sheet no

L-1

of 5

Irrigation Legend:

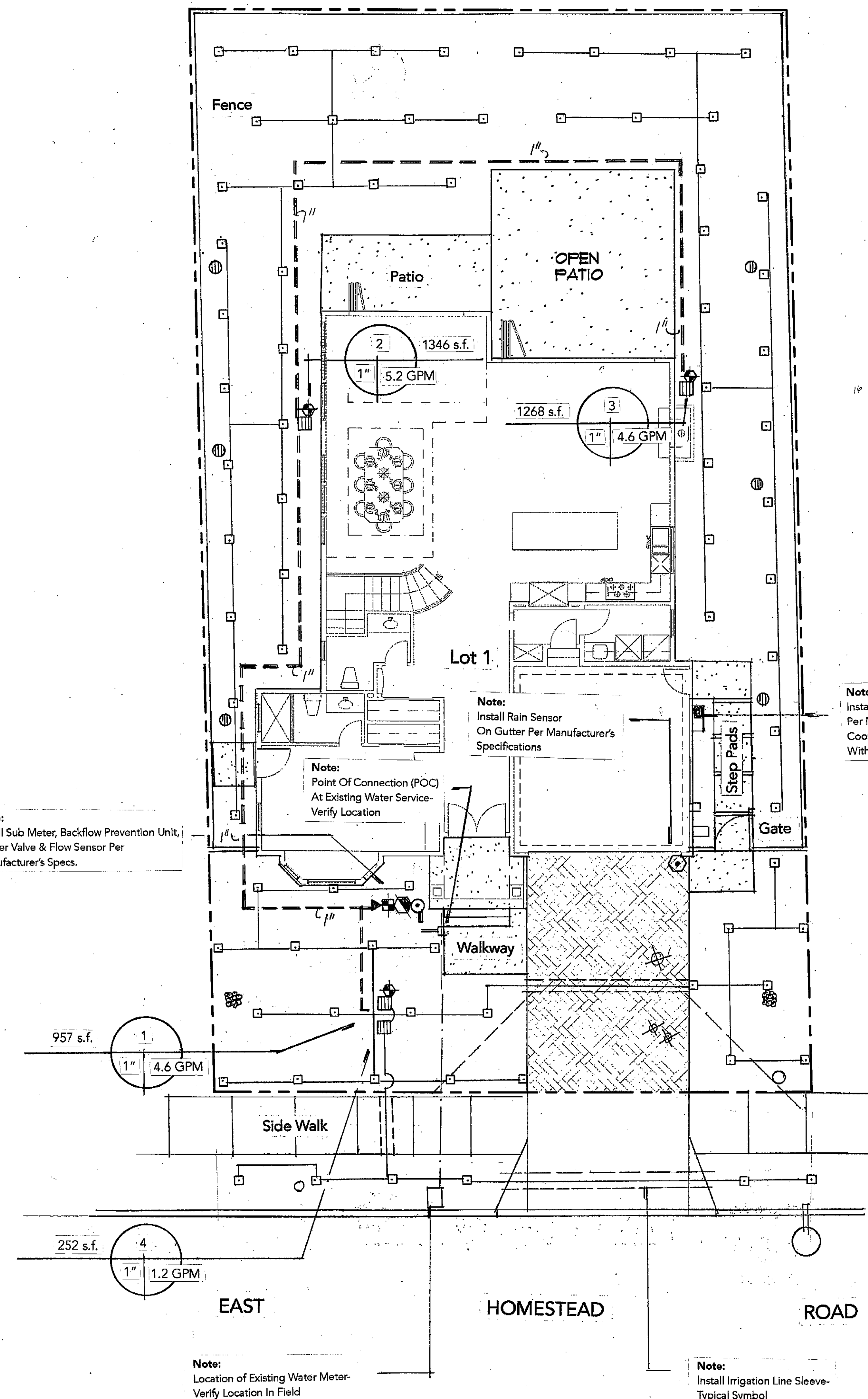
SYMBOL	HEADTYPE	ARC	RAD	PSI	GPM	P.R.	MANUF.	MODEL No.
□	Drip Emitter				2 GPH	Rainbird Xeri-Bug (2 GPH)		
						Install Rainbird XQ Tubing; Rainbird		
						TS-025 Tubing Stakes; Emitter Box		
						Rainbird SEB 7XB; Six Outlet Manifold;		
						Rainbird EMT-6XER; Pressure		
						Regulator- Rainbird PRS-050-30; Refer		
						To Rainbird Installation Details For		
						Installation Of Components.		
+	Master Valve					Hunter I-CV-101G	Install Per Manufacturer's Specs.	
+	Drip Zone Valve Kit					Rainbird CZK-100-PRB-LC 1" Light Commercial-Size Per Plan		
+	Quick Coupler Valve					Rainbird 33DRC Series		
+	Point Of Connection					(POC) Verify Location In Field Prior To Commencement Of Work		
+	Sub Meter					Zenner or Equal Model MJ Water Meter 1" size		
+	Backflow Prevention Unit					Febco Model 825Y	Install Per Manufacturer's Specs	
+	Automatic Controller					Hunter I-Core	6 Station Wall Mount-Power By Others	
+	Rain Sensor W/Shut Off					Hunter Wireless Rain Klik	Install On Gutter Per Manuf. Specs	
+	Flow Sensor					Hunter HFS		
—	Mainline					PVC Sch. 40	Size Per Plan Bury 18" Min. Below Grade	
—	Lateral Line					PVC Sch. 40	Size Per Plan Bury 12" Min. Below Grade	
—	Irrigation Line Sleeve					PVC Sch. 40	Size To Accommodate Irrigation Lines Bury 24" Min. Below Grade	



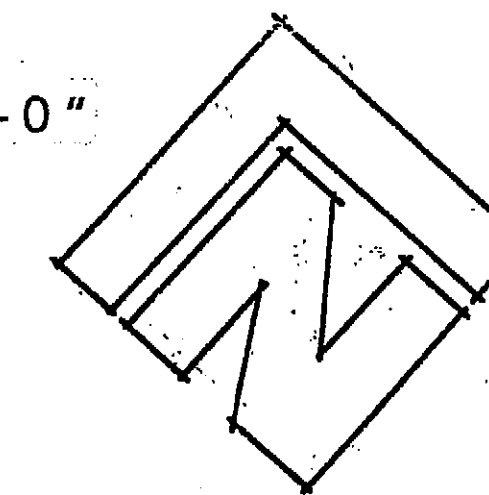
IRRIGATION NOTES:

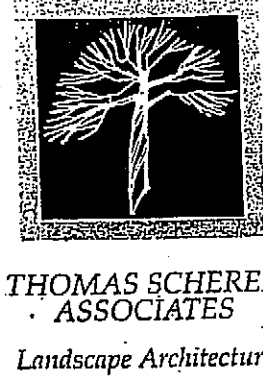
1. System is designed for 65 PSI static pressure at meter. Maximum flow is 5.2 GPM. Contractor shall run pressure tests at each point of connection before commencing work. Any discrepancies between actual pressure and design pressure shall be reported to the landscape architect and owner prior to further work being done.
2. All applicable governmental plumbing and health code regulations shall have precedence over these plans and specifications.
3. Location of valves, back flow prevention units, mainline, lateral line and automatic controllers are shown schematically due to scale of the plans. Install in planter areas where ever possible or in the most appropriate location. Install mainline and lateral line in the same trench (with a 6" min. separation vertically) wherever possible.
4. Contractor shall verify all points of connection (POC) in the field prior to commencement of work. If discrepancies exist between existing conditions and those indicated on the plans, contractor shall contact the landscape architect and owner immediately before continuing work. Likewise, contractor shall verify configuration and dimensions of areas to be irrigated before commencement of work.
5. All irrigation lines in and around existing trees shall be **HAND TRENCHED** and care shall be taken not to damage existing tree roots.
6. All irrigation lines under paving shall be placed in sch. 40 PVC sleeves, size to accommodate irrigation lines adequately, for the full width of the paving.
7. All changes in direction of irrigation pipe shall be accomplished with the use of proper fittings. **NO PIPE SHALL BE BENT.**
8. In no case shall the spacing of heads exceed the recommended spacing of the manufacturer.
9. Minimum depth of PVC lateral lines shall be 12"(twelve inches) below grade. Minimum depth of PVC main line shall be 18"(eighteen inches) below grade.
10. Prior to any planting operations, a coverage test shall be performed by the contractor in the presence of the landscape architect and owner. Contractor shall furnish all materials and provide all labor necessary to correct inadequate coverage.
11. Contractor shall be responsible for the procurement of all necessary permits and shall provide owner with an 'As Built' plan (reproducible) of the installed irrigation system upon completion of the project.
12. All installation shall conform to the **City of Sunnyvale Water Efficient Landscape Ordinance (WELO)**

Note:
Irrigation and Planting Design is based on City of Sunnyvale Landscaping Requirements **Water Efficiency Design OPTION 1:**
No Turf Or High Water Use Plants;
80% Native or Low Water Use Plants
Only In The Landscape.



1/8" = 1' - 0"





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sheet title

Planting
Plan,
Legend &
Notes

Lot 1
1005 E. Homestead Road
Sunnyvale, CA 94087

project

revisions

date 8-27-2019

drawn TS

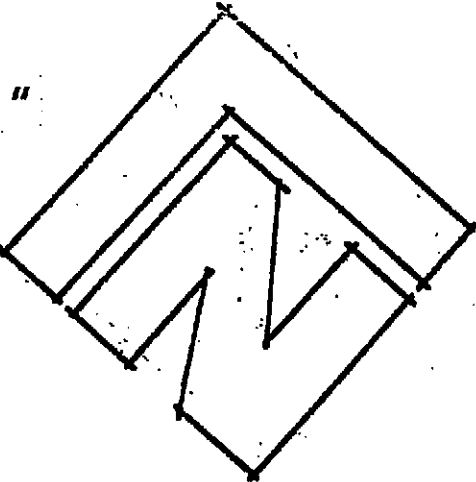
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of

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1/8" = 1' - 0"



"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND
HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE
LANDSCAPE DESIGN PLAN AND IRRIGATION DESIGN PLAN"

TREE INVENTORY

Tree No.	Species	Circumference	Health	Notes
#1	Bay	64"	Poor	Remove
#2	Cedar	27"	Poor	Remove
#3	Ash	26"	Good	Remove
#4	Bottle Brush	8"	Poor	Remove
#5	Bottle Brush	8"	Poor	Remove
#6	Palm	12"	Good	Remove
#7	Ash (city tree)	54"	Poor	Remain
#8	Olive	19"	Poor	Remove
#9	Olive	12"	Poor	Remove
#10	Olive	8"	Poor	Remove
#11	Apricot	12"	Poor	Remove
#12	Apricot	7"	Poor	Remove

See Arborist Report
Dated October 20, 2019

Planting Legend:

Symbol	Botanical Name	Common Name	Size	H2O	Remarks
Trees:					
A	Lagerstroemia h. 'Tuscorora'	Crape Myrtle	24" Box	L	Flowering
B	Geijera parvifolia	Australian Willow	24" Box	L	Screen
C	Arbutus 'Marina'	Strawberry Tree	24" Box	L	Accent
D	Prunus c. 'Bright 'n Tight'	Carolina Cherry	15 g.c.	L	Privacy Screen
E	Koelreuteria bipinnata	Chinese Flame Tree	24" Box	M	Street Tree
Shrubs:					
1	Agave 'Blue Flame'	Agave	5 g.c.	L	Succulent
2	Leucadendron 'Jester'	Jester Conebush	5 g.c.	L	Flowering
3	Salvia elegans	Pineapple Sage	5 g.c.	L	Flowering
4	Xylosma c. 'Compacta'	Xylosma	5 g.c.	L	Foundation
5	Cistus purpureus	Orchid Rockrose	5 g.c.	L	Flowering
6	Salvia leucantha	Mexican Sage	5 g.c.	L	Flowering

Water Use Key:	
VL	Very Low
L	Low
M	Medium
H	High

Ground covers:

	Erigeron karvinskyanus Mexican Daisy Plant From 1 g.c. @ 36" o.c. L		Carex divulsa Berkeley Sedge Plant From 1 g.c. @ 24" o.c. L
	Limonium perezii Statice Plant From 1 g.c. @ 24" o.c. L		Arctostaphylos 'Emerald Carpet' Dwarf Manzanita 1 g.c. @ 48" o.c. VL
	Cistus salvifolius Sageleaf Rockrose Plant 1 g.c. @ 48" o.c. L		

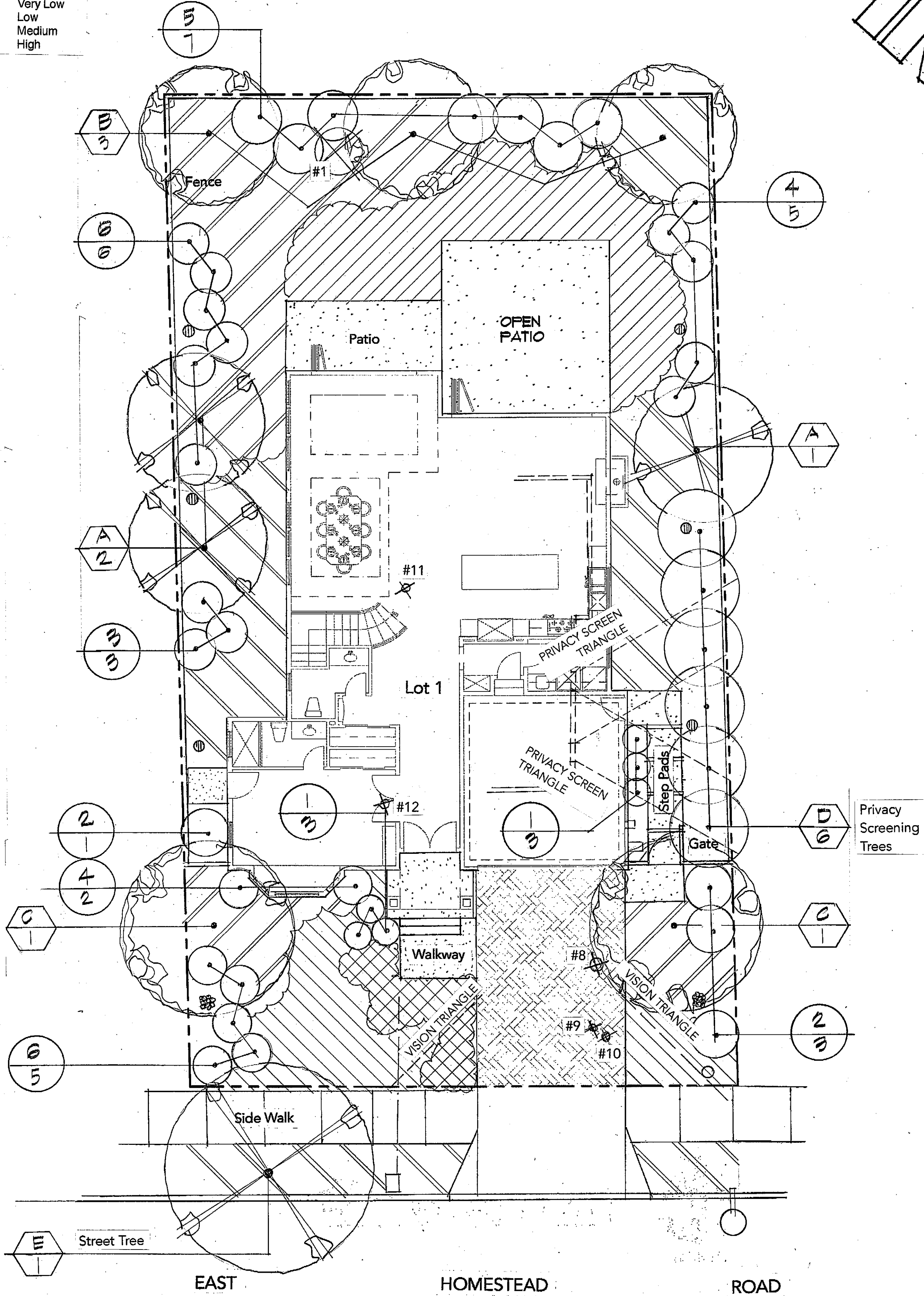
Tree			Symbol
			Quantity
Shrub			Symbol
			Quantity

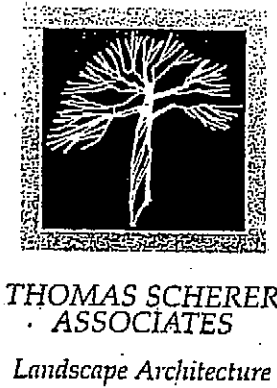
Planting Notes:

- Circles shown indicate approximate mature size of plant material.
- Contractor shall be responsible for adequate erosion control measures during construction.
- Care shall be taken to avoid construction activity and/or staging under the dripline of existing trees in order to prevent soil compaction, root or tree damage. All work to be done under the dripline of trees shall be done by hand.
- No plant shall be planted in a drainage swale regardless of position on plan.
- FINISH GRADING: Till all planter areas to an 6 inch depth. Break up or remove all compacted lumps of soil, rocks larger than 1 inch in diameter, and all deleterious material from planter areas. Finish grade all areas to a smooth, even surface free of abrupt changes in grade. Make minor grading changes as required to insure positive drainage (1% minimum).
- SOIL PREPARATION: Thoroughly incorporate the following amendments into the top 6 (six) inches of all areas to be planted, except where indicated otherwise. Amounts given are per 1000 square feet:
 - 4 cubic yards of nitrogen stabilized shavings.
 - 2 cubic yards of Nitrohumus or Gro-power.
 - 8 pounds of all purpose fertilizer (8-8-4).
- No plant shall be installed until a fully automatic drip irrigation system, covering all planter areas, is installed, tested and is fully operational.
- PLANTING OF TREES, SHRUBS & VINES: Unless otherwise noted, All trees shall be planted per detail. 2
All shrubs shall be planted per detail. 2
All planter pits shall receive the following back fill mix:
 - 60% soil of the site
 - 20% nitrogen stabilized redwood shavings
 - 20% Nitrohumus or Gro-power or equalAcid loving plants shall receive peat moss
Fertilizer tablets (Agriform 21 gram: 20-10-5) or equal, applied per manufacturer's recommendations.
- Contractor shall guarantee all small trees, shrubs, vines, groundcovers and turf to live and grow in an acceptable condition for a period of 90 (ninety) days from the date of installation completion. Contractor shall also guarantee all trees and shrubs 24 box size and larger for a period of 1(one) year from the date of installation completion.
- Upon completion of planting operations, contractor shall apply an approved pre-emergent herbicide (Bonstar or equal) as weed control per manufacturer's specifications. In addition, a 3 inch layer of approved mulch shall be installed over the finish grade of all planter areas.
- MAINTENANCE PERIOD: Contractor shall maintain the site for a period of 90 calendar days after acceptance by owner. Maintenance shall include weekly mowing of turf areas; weeding of all turf and ground cover areas including slopes; removal of all trash and debris from planter areas and hardscape areas; pruning and trimming of all plant materials required; replacement of all dead or dying plant material & 2 applications of fertilizer. Contractor shall comply with all features of the City of Sunnyvale WELO- Water Efficient Landscape Ordinance.

Note:

Irrigation and Planting Design is based on City of Sunnyvale Landscaping Requirements Water Efficiency Design OPTION 1: No Turf Or High Water Use Plants; 80% Native or Low Water Use Plants Only In The Landscape.





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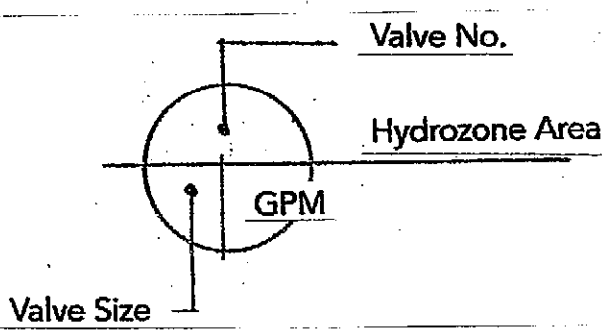
sheet title
**Irrigation
Plan
Legend &
Notes**

Lot 2
1005 E. Homestead Road
Sunnyvale, CA 94087

project
revisions
date 8-27-2019
drawn TS
sheet no
of 5

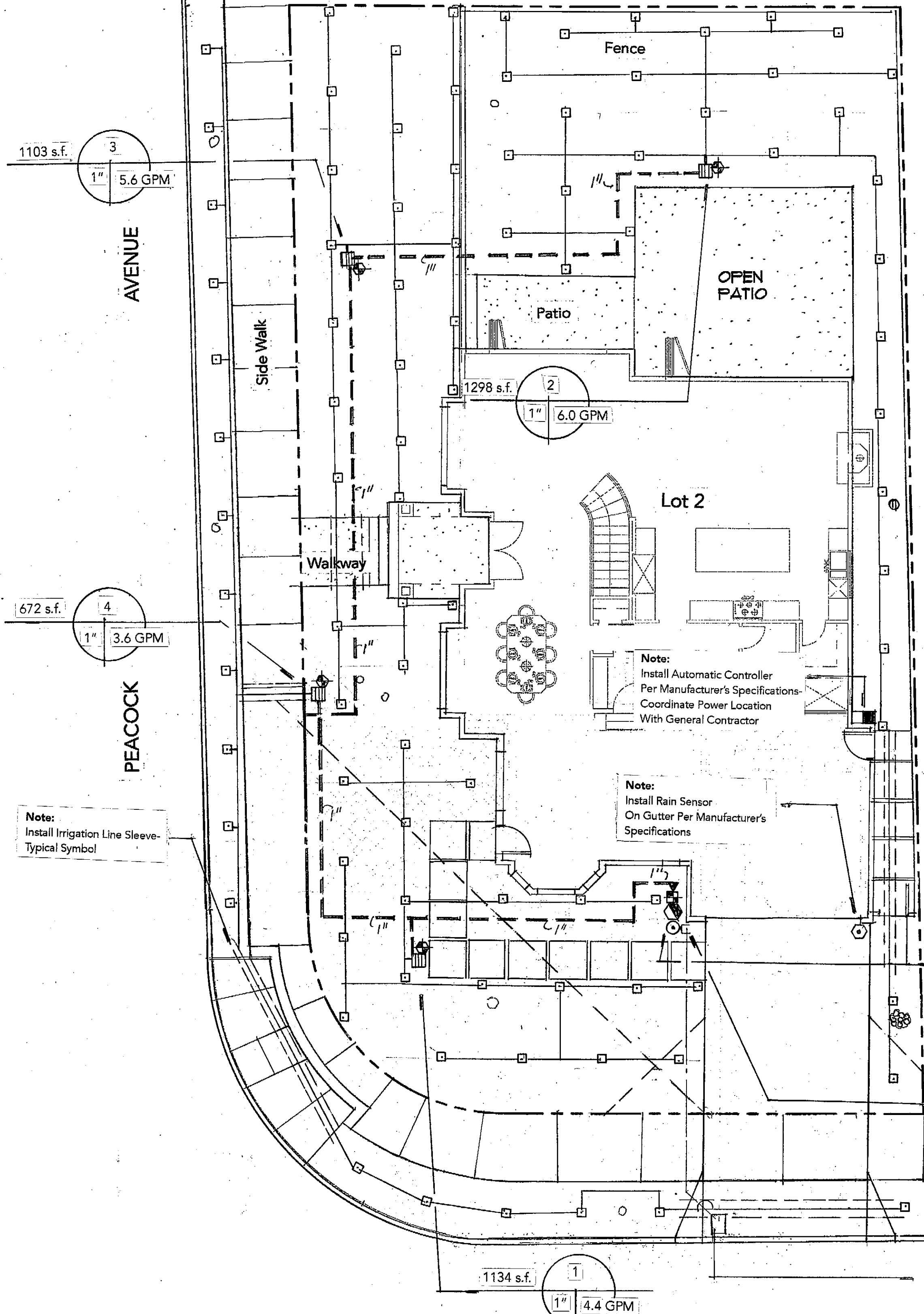
Irrigation Legend:

SYMBOL	HEADTYPE	ARC	RAD	PSI	GPM	PR	MANUF.	MODEL No.
	Drip Emitter				2 GPH		Rainbird	Xeri-Bug (2 GPH)
								Install Rainbird XQ Tubing; Rainbird TS-025 Tubing Stakes; Emitter Box
								Rainbird SEB 7XB; Six Outlet Manifold; Rainbird EMT-6XERI; Pressure Regulator- Rainbird PRS-050-30; Refer To Rainbird Installation Details For Installation Of Components.
	Master Valve						Hunter	ICV-101G Install Per Manufacturer's Specs.
	Drip Zone Valve Kit						Rainbird	CZK-100-PRB-LC 1" Light Commercial -Size Per Plan
	Quick Coupler Valve						Rainbird	33DRC Series
	Point Of Connection							(POC) Verify Location In Field Prior To Commencement Of Work
	Sub Meter						Zenner or Equal	Model MJ Water Meter 1" size
	Backflow Prevention Unit						Fabco	Model 825Y Install Per Manufacturer's Specs
	Automatic Controller						Hunter I-Core	6 Station Wall Mount-Power By Others
	Rain Sensor W/Shut Off						Hunter	Wireless Rain Click Install On Gutter Per Manuf. Specs
	Flow Sensor						Hunter	HFS
	Mainline						PVC Sch. 40	Size Per Plan Bury 18" Min. Below Grade
	Lateral Line						PVC Sch. 40	Size Per Plan Bury 12" Min. Below Grade
	Irrigation Line Sleeve						PVC Sch. 40	Size To Accommodate Irrigation Lines Bury 24" Min. Below Grade

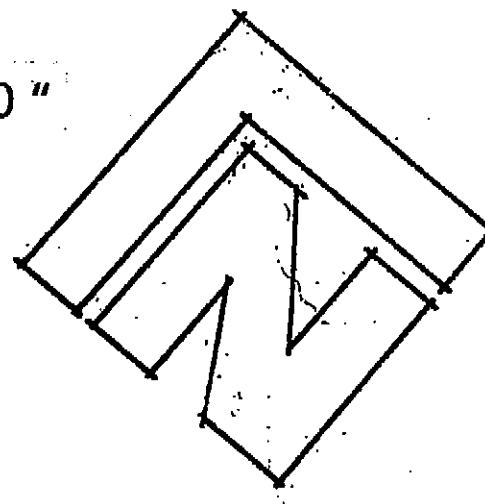


- IRRIGATION NOTES:**
1. System is designed for 65 PSI static pressure at meter. Maximum flow is 6.0 GPM. Contractor shall run pressure tests at each point of connection before commencing work. Any discrepancies between actual pressure and design pressure shall be reported to the landscape architect and owner prior to further work being done.
 2. All applicable governmental plumbing and health code regulations shall have precedence over these plans and specifications.
 3. Location of valves, back flow prevention units, mainline, lateral line and automatic controllers are shown schematically due to scale of the plans. Install in planter areas where ever possible or in the most appropriate location. Install mainline and lateral line in the same trench (with a 6" min. separation vertically) wherever possible.
 4. Contractor shall verify all points of connection (POC) in the field prior to commencement of work. If discrepancies exist between existing conditions and those indicated on the plans, contractor shall contact the landscape architect and owner immediately before continuing work. Likewise, contractor shall verify configuration and dimensions of areas to be irrigated before commencement of work.
 5. All irrigation lines in and around existing trees shall be **HAND TRENCHED** and care shall be taken not to damage existing tree roots.
 6. All irrigation lines under paving shall be placed in sch. 40 PVC sleeves, size to accommodate irrigation lines adequately, for the full width of the paving.
 7. All changes in direction of irrigation pipe shall be accomplished with the use of proper fittings. **NO PIPE SHALL BE BENT.**
 8. In no case shall the spacing of heads exceed the recommended spacing of the manufacturer.
 9. Minimum depth of PVC lateral lines shall be 12"(twelve inches) below grade. Minimum depth of PVC main line shall be 18"(eighteen inches) below grade.
 10. Prior to any planting operations, a coverage test shall be performed by the contractor in the presence of the landscape architect and owner. Contractor shall furnish all materials and provide all labor necessary to correct inadequate coverage.
 11. Contractor shall be responsible for the procurement of all necessary permits and shall provide owner with an 'As Built' plan (reproducible) of the installed irrigation system upon completion of the project.
 12. All installation shall conform to the **City of Sunnyvale Water Efficient Landscape Ordinance (WELO)**

Note:
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"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN AND IRRIGATION DESIGN PLAN"

Landscape Documentation Package For :
HOMESTEAD ROAD- LOT #2
1005 East Homestead Road
Sunnyvale, CA

Applicant: Thomas Scherer Landscape Architect
P.O. Box 68
Aptos, CA 95001
(831) 688-8913
zeskats@earthlink.net

Owner: Faranak Pourghasemi
1698 Nightingale
Sunnyvale, CA
(510) 432-8864
faranak.pour@gmail.com

Total Landscape Area: 4,207 s.f.
Turf: 0 s.f.
Drought Tolerant Shrubs/Ground cover : 4,207 s.f.
Total: 4,207 s.f.
Project Type: New
Water Supply Type: Potable
Water Supply : San Jose Water Co.

"I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete landscape documentation package."

Thomas Scherer 8-19-19 Date

See Sheet L-1: Irrigation Design Plan, Water Efficient Landscape Worksheet,
See Sheet L-2: Planting Design Plan
See Sheet L-3: Irrigation & Planting Details

Note:
Install Sub Meter, Backflow Prevention Unit, Master Valve & Flow Sensor Per Manufacturer's Specs.

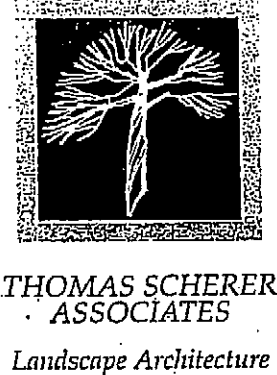
Note:
Point Of Connection (POC) At Existing Water Service- Verify Location

Note:
Location of Existing Water Meter- Verify Location In Field

Note:
Install Irrigation Line Sleeve- Typical Symbol

Note:
Install Automatic Controller Per Manufacturer's Specifications- Coordinate Power Location With General Contractor

Note:
Install Rain Sensor On Gutter Per Manufacturer's Specifications



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**Planting
Plan,
Legend &
Notes**

project
Lot 2
1005 E. Homestead Road
Sunnyvale, CA 94087

revisions

date 8-27-2019
drawn TS
sheet no

of 5

Planting Legend:

Symbol	Botanical Name	Common Name	Size	H2O	Remarks
Trees:					
A	Lagerstroemia h. 'Muskogee'	Crape Myrtle	24" Box	L	Flowering
B	Geijera parvifolia	Australian Willow	24" Box	L	Screen
C	Arbutus 'Marina'	Strawberry Tree	24" Box	L	Accent
D	Koelreuteria bipinnata	Chinese Flame Tree	24" Box	M	Street Tree
Shrubs:					
1	Agave 'Blue Flame'	Agave	5 g.c.	L	Succulent
2	Leucadendron 'Jester'	Jester Conebush	5 g.c.	L	Flowering
3	Feijoa sellowiana	Pineapple Guava	5 g.c.	L	Flowering
4	Salvia amista	Friendship Sage	5 g.c.	M	Flowering
5	Cistus purpureus	Orchid Rockrose	5 g.c.	L	Flowering
6	Salvia leucantha	Mexican Sage	5 g.c.	L	Flowering

Ground covers:

	Erigeron karvinskyanus Mexican Daisy Plant From 1 g.c. @ 36" o.c. L		Carex divisa Berkeley Sedge Plant From 1 g.c. @ 24" o.c. L
	Nepeta faassennii Catmint Plant From 1 g.c. @ 24" o.c. L		Arcrostaphylos 'Emerald Carpet' Dwarf Manzanita 1 g.c. @ 48" o.c. VL
	Cistus salvifolius Sageleaf Rockrose Plant 1 g.c. @ 48" o.c. L		

Tree Symbol
Quantity

Shrub Symbol
Quantity

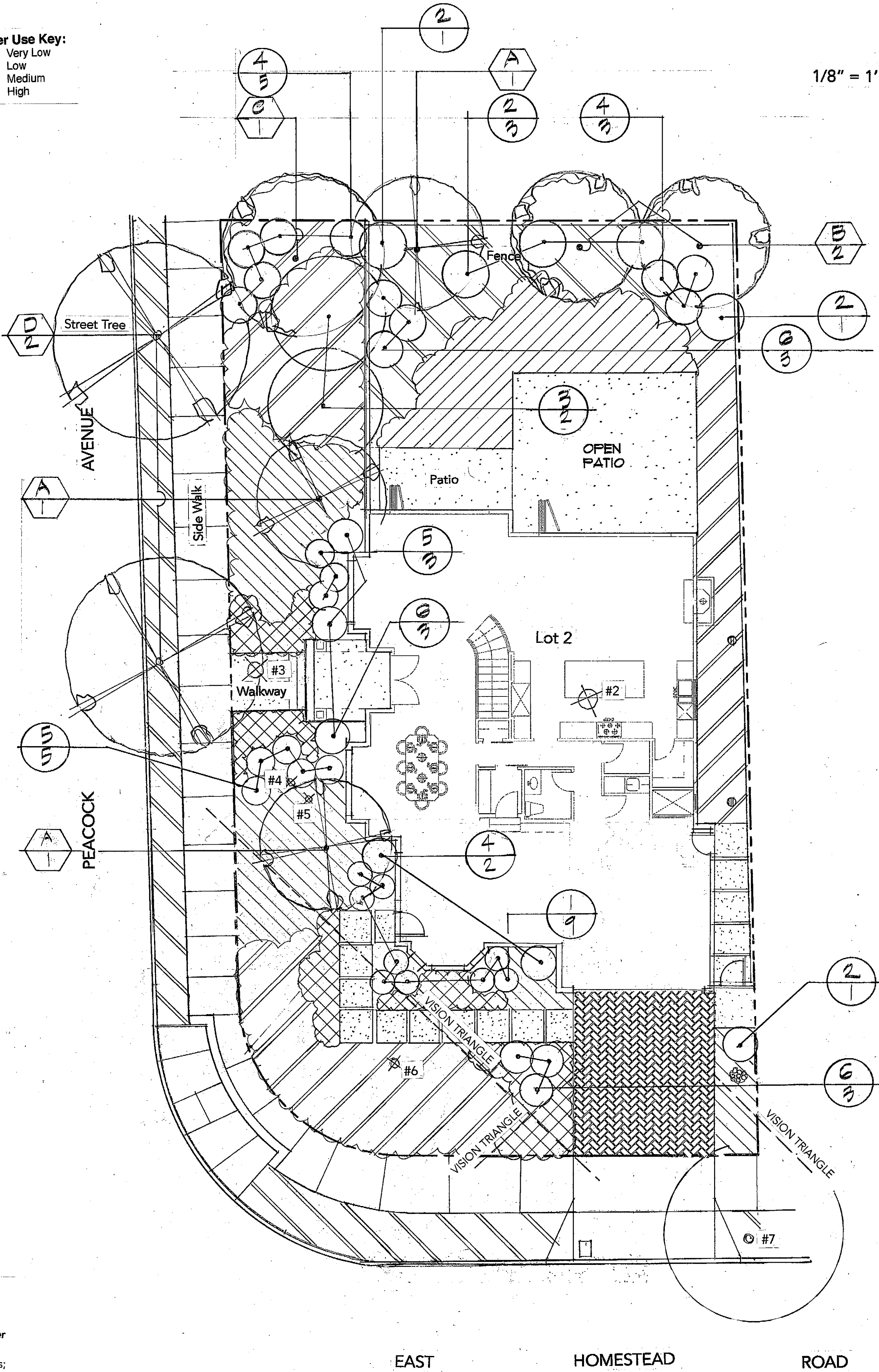
Planting Notes:

- Circles shown indicate approximate mature size of plant material.
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- Care shall be taken to avoid construction activity and/or staging under the dripline of existing trees in order to prevent soil compaction, root or tree damage. All work to be done under the dripline of trees shall be done by hand.
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- PLANTING OF TREES, SHRUBS & VINES: Unless otherwise noted,
All trees shall be planted per detail _____ 1 _____
All shrubs shall be planted per detail _____ 2 _____
All planter pits shall receive the following back fill mix:
 - 60% soil of the site
 - 20% nitrogen stabilized redwood shavings
 - 20% Nitrohumus or Gro-power or equal
 - Acid loving plants shall receive peat moss
 - Fertilizer tablets (Agriform 21 gram: 20-10-5) or equal, applied per manufacturer's recommendations.
 - All Succulent Planting areas: Plant in 6" Depth of Coarse Pumice
- Contractor shall guarantee all small trees, shrubs, vines, groundcovers and turf to live and grow in an acceptable condition for a period of 90 (ninety) days from the date of installation completion. Contractor shall also guarantee all trees and shrubs 24 box size and larger for a period of 1(one) year from the date of installation completion.
- Upon completion of planting operations, contractor shall apply an approved pre-emergent herbicide (Bonstar or equal) as weed control per manufacturer's specifications. In addition, a 3 inch layer of approved mulch shall be installed over the finish grade of all planter areas.
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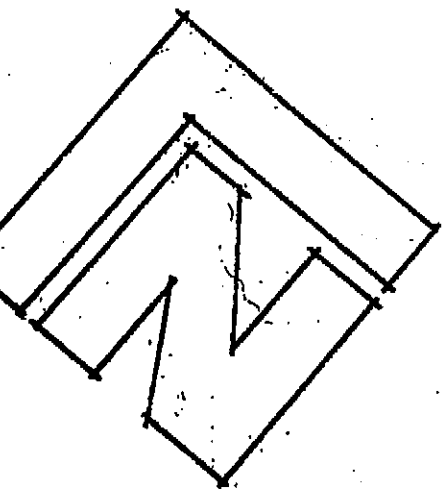
Note:

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Water Use Key:
VL Very Low
L Low
M Medium
H High



1/8" = 1' - 0"

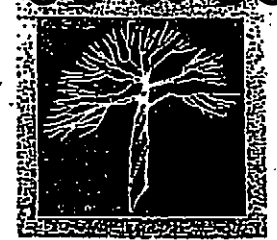


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TREE INVENTORY

Tree No.	Species	Circumference	Health	Notes
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#8	Olive	19"	Poor	Remove
#9	Olive	12"	Poor	Remove
#10	Olive	8"	Poor	Remove
#11	Apricot	12"	Poor	Remove
#12	Apricot	7"	Poor	Remove

See Arborist Report
Dated October 20, 2019



THOMAS SCHERER
ASSOCIATES
Landscape Architecture

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Tel (831) 688-2913
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sheet title

Irrigation &
Planting
Details

Lot 1 & Lot 2
1005 E. Homestead Road
Sunnyvale, CA 94087

project

revisions

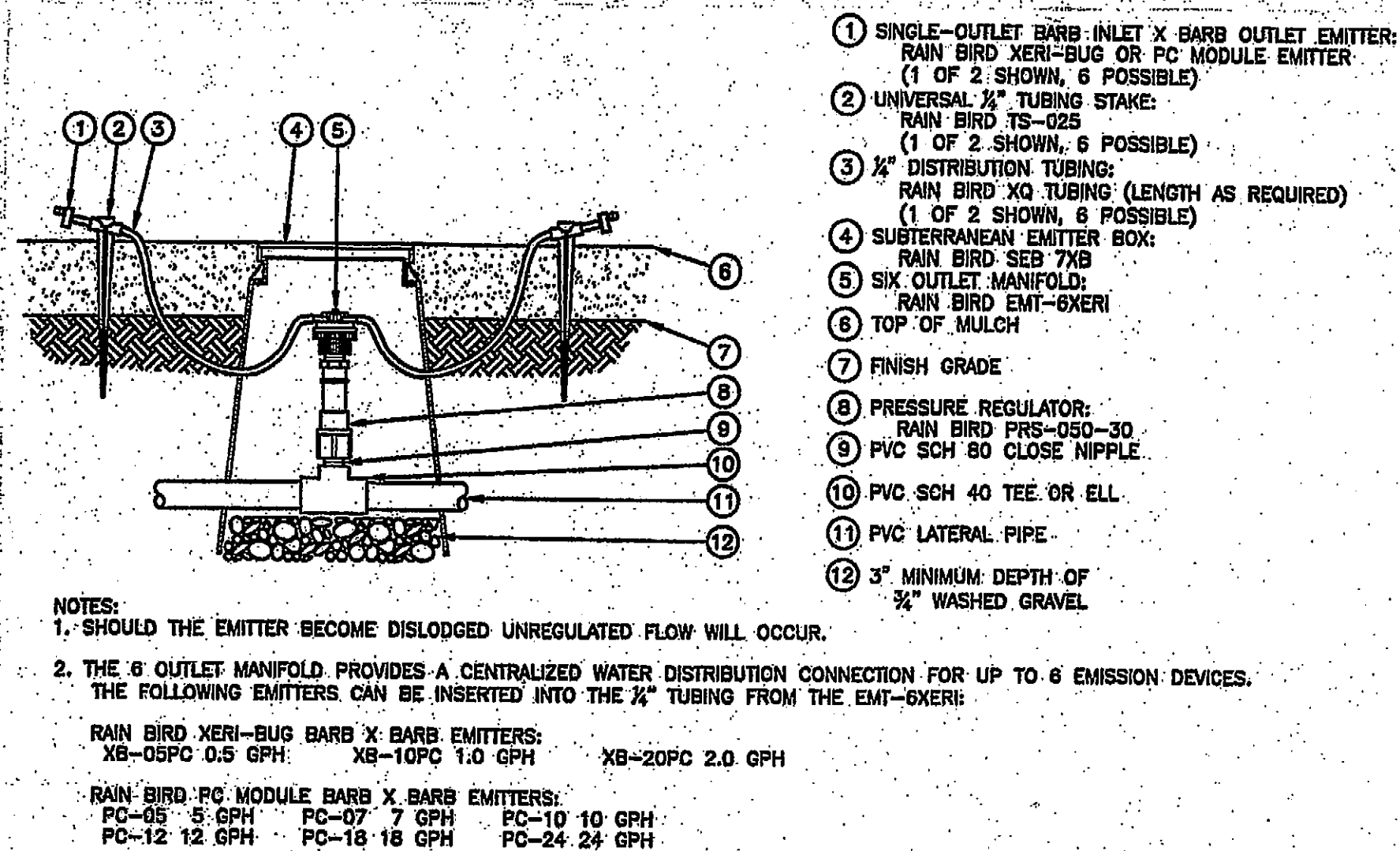
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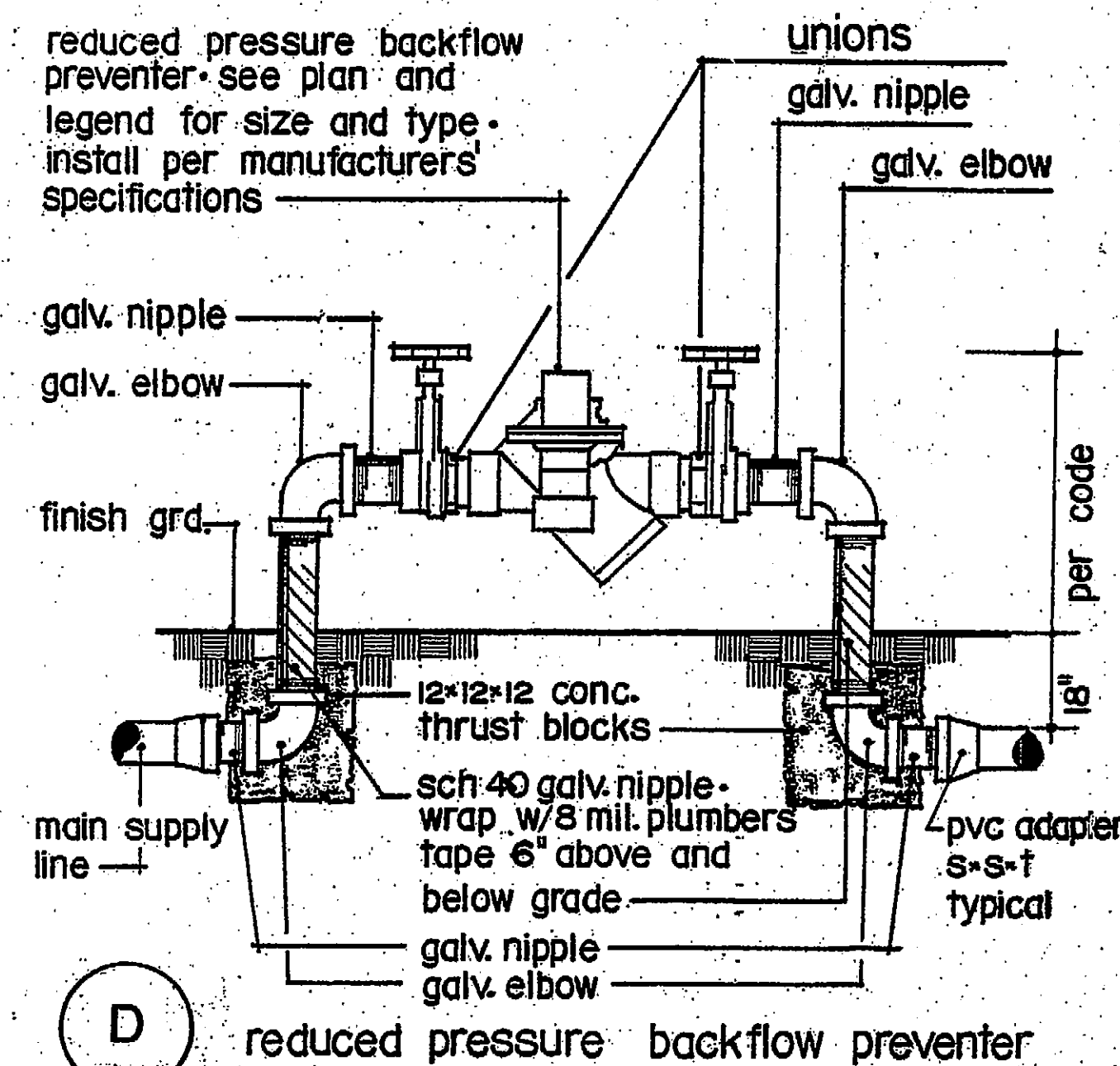
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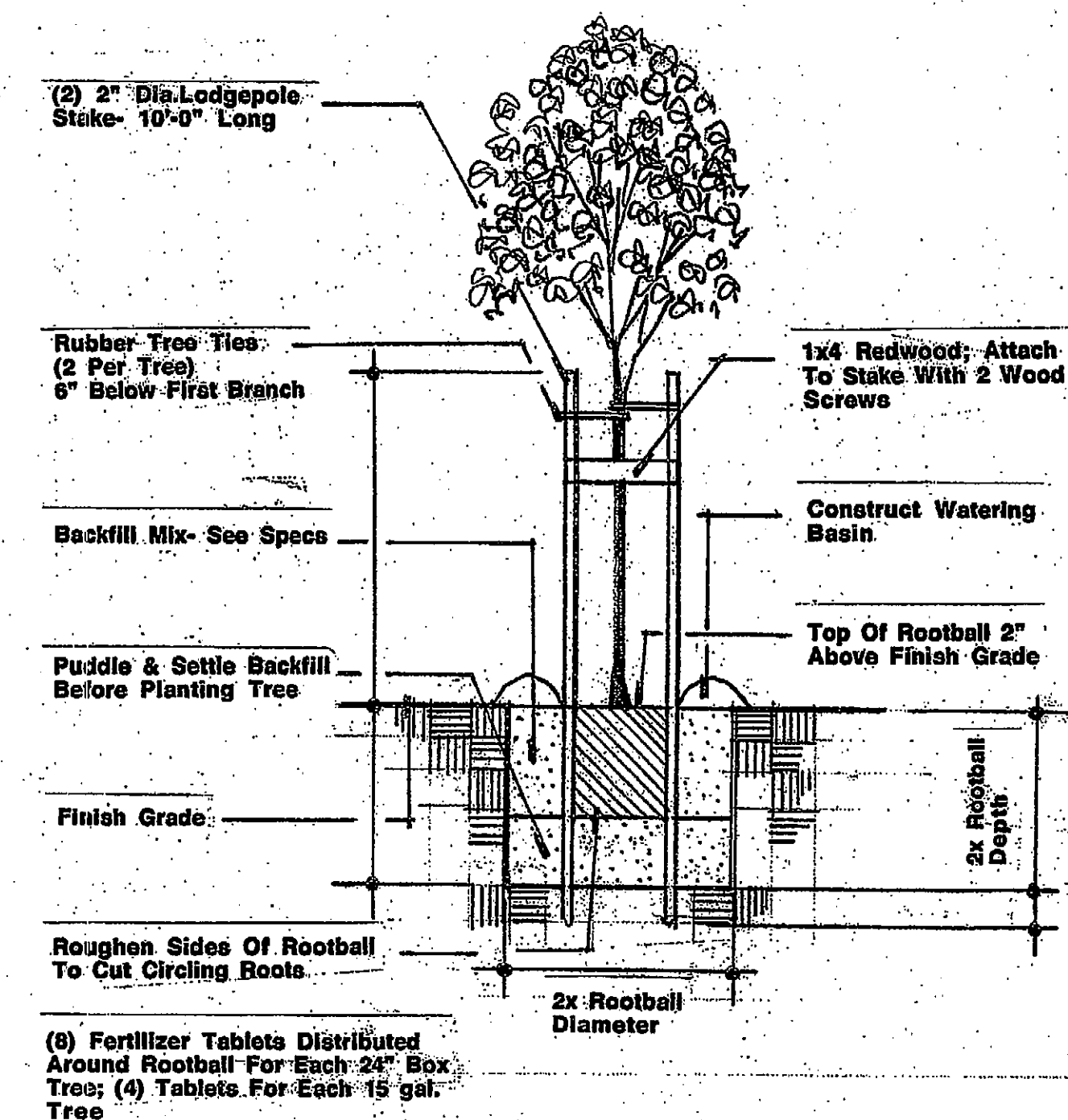
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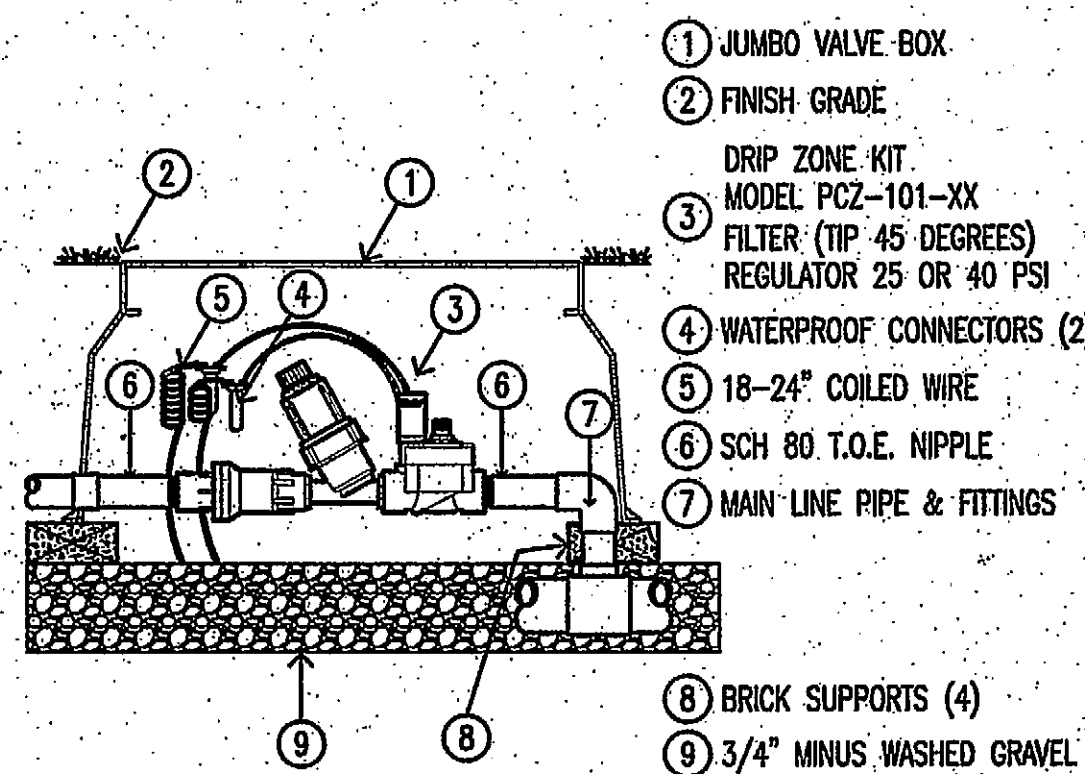
A 6 OUTLET EMITTER MANIFOLD



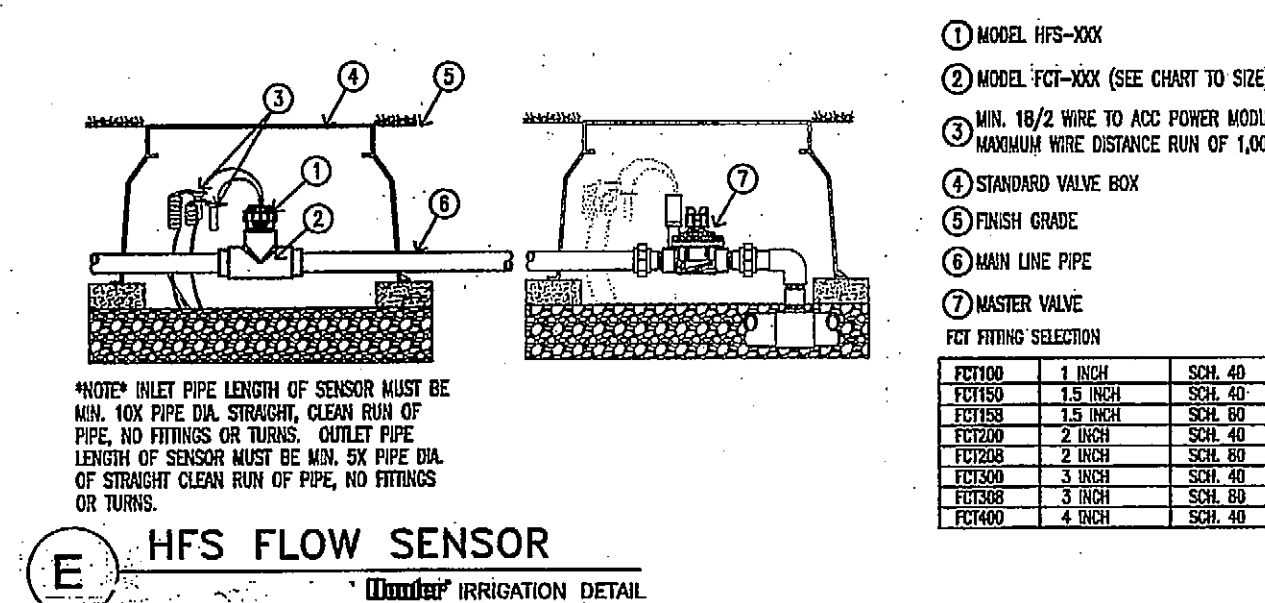
D reduced pressure backflow preventer



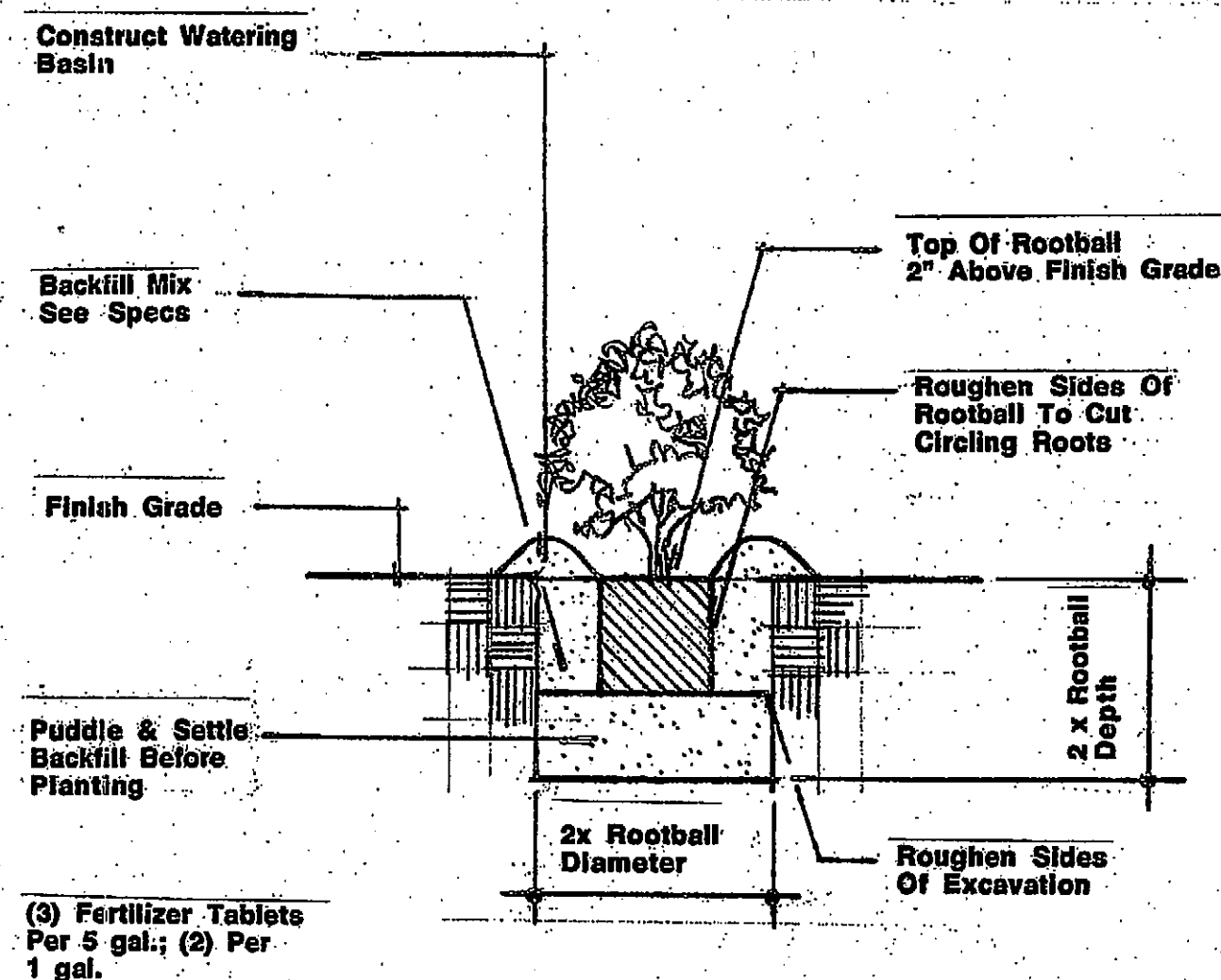
1 Tree Staking



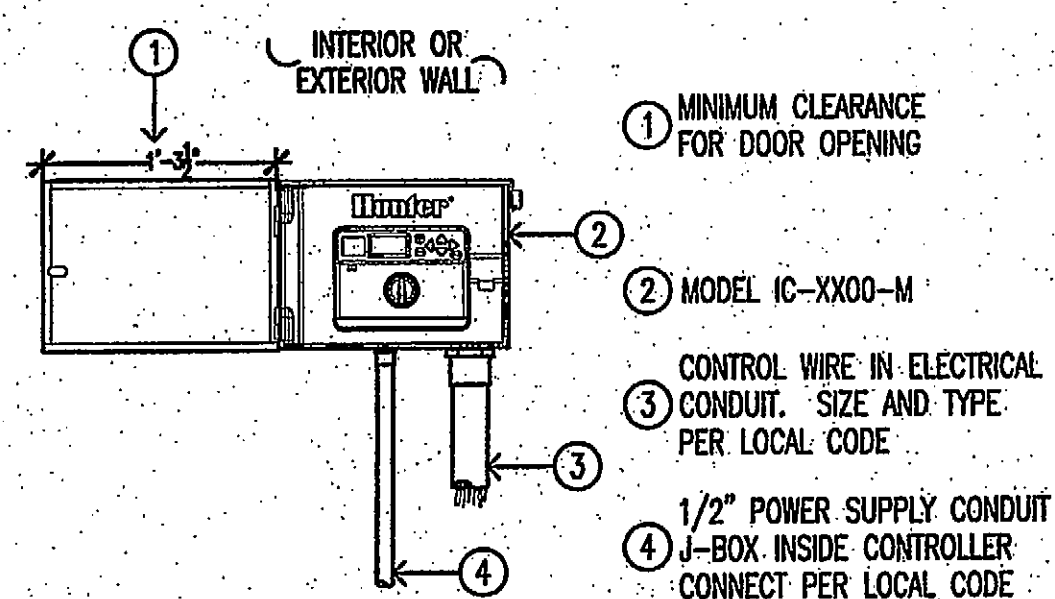
B DRIP CONTROL ZONE
SCALE: 1.5" = 1'-0" Irrigation Detail



E HFS FLOW SENSOR
Irrigation Detail

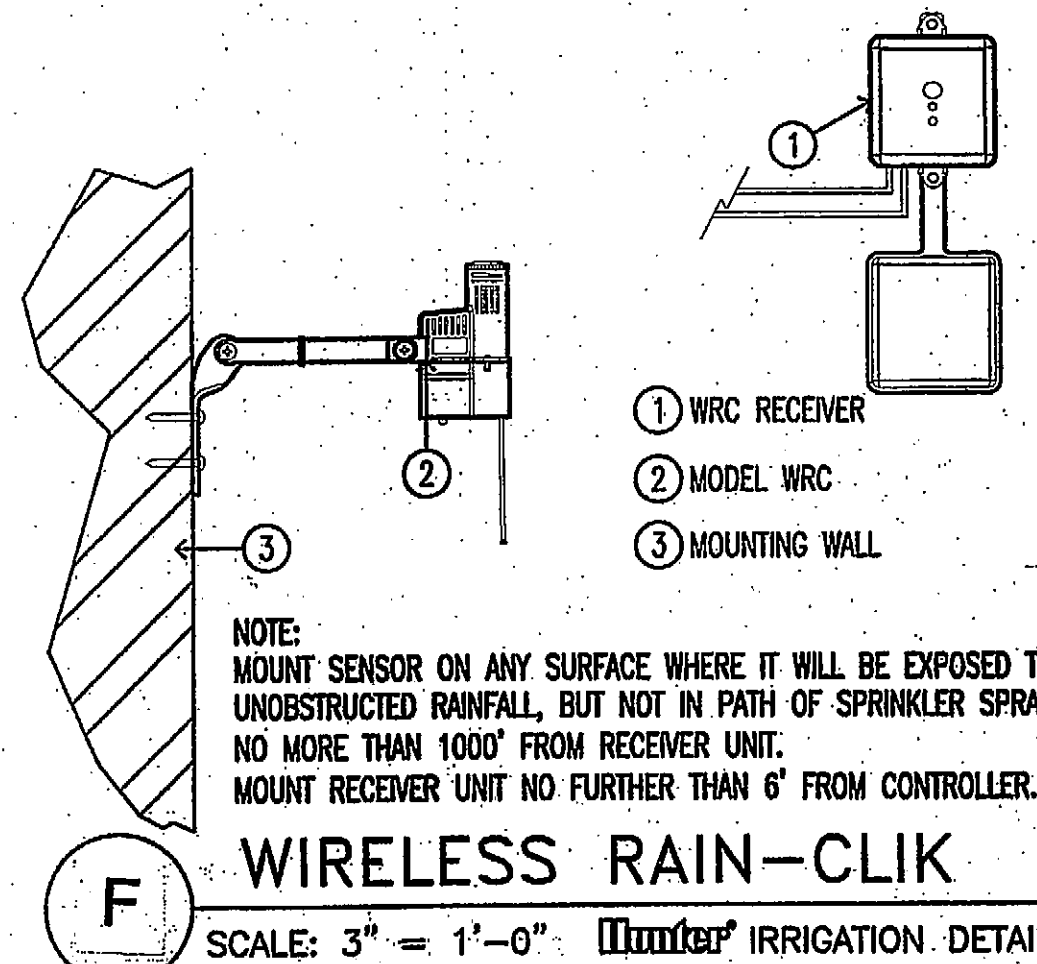


2 Shrub Planting

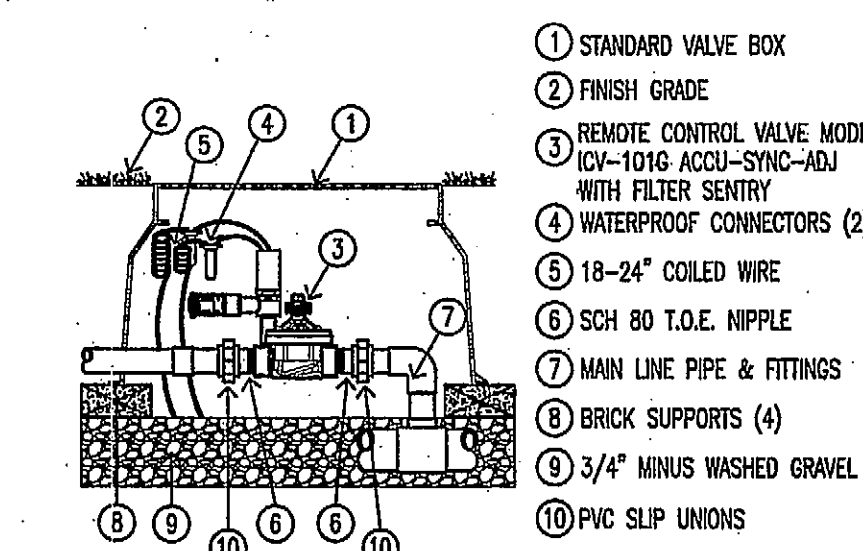


NOTE
SPECIFY 6, 12, 18, 24, 30, 36, 42 STATION MODEL CONTROLLER. MOUNT CONTROLLER WITH LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND 110 or 220 VAC SOURCE.

C 1-CORE METAL CONTROLLER
SCALE: 1" = 1'-0" Irrigation Detail



F WIRELESS RAIN-CLIK
SCALE: 3" = 1'-0" Irrigation Detail



G ICV 1" GLOBE VALVE
Irrigation Detail