



SUNNYVALE 24

PROJECT DESCRIPTION: FOUR LEVELS OF RESIDENTIAL TYPE V A

ZONING SUMMARY

PROJECT SITE NFORMATION	APN #	ADDRESS	ZONE	LOT AREA (SF)	LOT AREA (ACRE)
	204-03-003	210 W AHWANEЕ AVE, SUNNYVALE, CA 94085	24-UNIT CONDO PROJECT IN R-4 / PD ZONING DISTRICT	+/- 17,743	
	204-03-002	214 W AHWANEЕ AVE, SUNNYVALE, CA 94085		+/- 13,833	
	TOTAL			+/- 31,576	+/- 0.72

PROJECT CONSTRUCTION TYPE FOUR LEVELS OF RESIDENTIAL TYPE V A

		ALLOWED	PROPOSED	NOTES
SETBACKS	NORTH - FRONT	20'-0"	20'-0"	CITY OF SUNNYVALE CALIFORNIA - RESIDENTIAL ZONING STANDARDS
	EAST - SIDE	9'-0" @ GRND. + 3'-0" EA. LVL ABOVE	7'-0" @ GRND. 10'-0" @ 2ND LVL	
	WEST - SIDE	9'-0" @ GRND. + 3'-0" EA. LVL ABOVE	13'-0" @ 3RD & 4TH LVL	
	SOUTH - REAR	20'-0"	32'-5" @ GRND 32'-5" @ 2ND & 3RD LVL	
			43'-5" @ 4TH LVL	
DENSITY	MIN. 28 DU/AC	MAX. 36 DU/AC	33 DU/AC	CITY OF SUNNYVALE CALIFORNIA - RESIDENTIAL ZONING STANDARDS
FLOOR AREA RATIO	N/A		1.68	SUNNYVALE MUNICIPAL CODE - 19.32 - TABLE 19.32.020
NUMBER OF STORIES	4		4	
BUILDING HEIGHT	55'		48'-6" BLDG. HGT.	CITY OF SUNNYVALE CALIFORNIA - RESIDENTIAL ZONING STANDARDS
LOT COVERAGE	40% + 5% PER GREEN BLDG. PROGRAM		44% - 13,895 S.F.	

PARKING SUMMARY

		REQUIRED		PROVIDED		NOTES
GUEST & RESIDENTS	2-3 BEDROOM	2 CAR / DU	48 STALLS	48 STALLS	38 ASSIGNED / COVERED 10 UNASSIGNED / UNCOVERED	STATE STANDARDS W/ DENSITY BONUS LAWS
	TOTAL	48 STALLS		48 STALLS		

UNIT SUMMARY

PLAN	DESCRIPTION	QUANTITY	NET AREA (SF)	TOTAL NET AREA (SF)	GROSS AREA (SF)	TOTAL GROSS AREA (SF)	PRIVATE DECK (SF)	GARAGE GROSS AREA (PRVD)
A	2 BED / 2 BATH	4	1,112 - 1200	4,624	1,197 - 1,276	4,946	90 - 115	400 S.F.
A alt	2 BED / 2 BATH	2	918	1,836	1,000	2,000	95	400 S.F.
B	2 BED / 2 BATH	4	1,100 - 1,206	4,612	1,175 - 1,288	4,926	80 - 90	400 S.F.
B alt	2 BED / 2 BATH	2	1,015	2,030	1,111	2,222	90	400 S.F.
C	3 BED / 2 BATH	8	1,305 - 1,375	10,720	1,390 - 1,454	11,376	90 - 115	400 S.F. - 435 S.F.
D	3 BED / 2 BATH	4	1,418 - 1,481	5,798	1,525 - 1,588	6,226	90 - 120	435 S.F. - 494 S.F.
TOTAL		24		29,620		31,696	2,360	400 S.F. MIN. GROSS REQ'D*

BUILDING SUMMARY

PLAN	DESCRIPTION	GROSS AREA (SF)
1ST LEVEL	GARAGE, LOBBY & TRASH	12,950
2ND LEVEL	DWELLING UNITS & DECKS	14,093
3RD LEVEL	DWELLING UNITS	13,351
4TH LEVEL	DWELLING UNITS	12,592
TOTAL		52,986

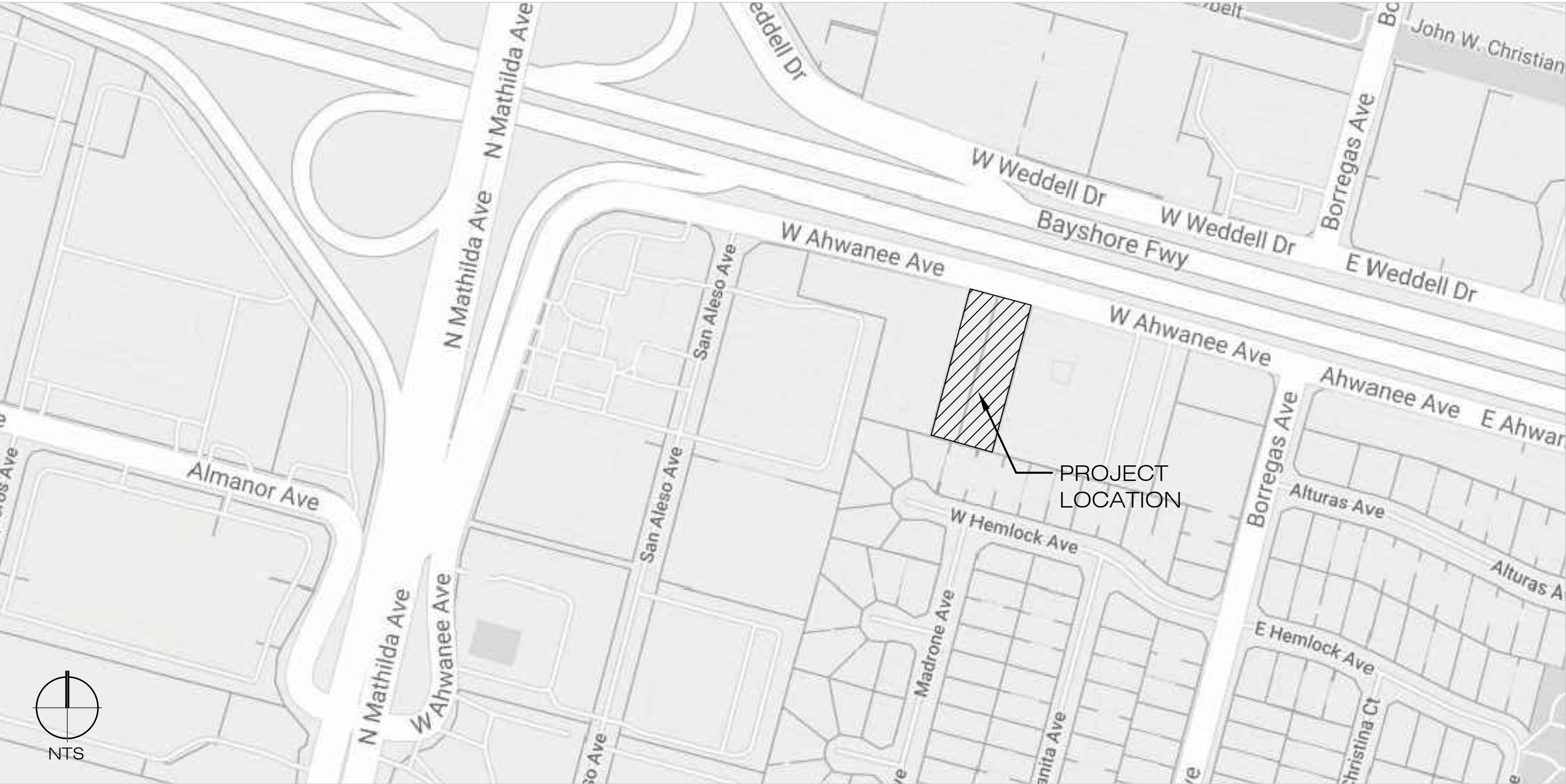
TRASH SUMMARY

	REQUIRED	PROVIDED	NOTES
MULTI-FAMILY UNITS	FOR EVERY 10 UNITS : 1 (3 CYD) GARBAGE 2 (96 GAL) RECYCLING -MAXIMUM OF 3 SERVICE DAYS PER WEEK	2 (3 CYD) GARBAGE CONTAINER 2 (96 GAL.) RECYCLING CART -SERVICED THREE TIMES A WEEK 2 (35 GAL.) FOR ORGANICS -SERVICED TWICE A WEEK	CITY OF SUNNYVALE DESIGN GUIDELINES - FOR SOLID WASTE AND RECYC. FACILITIES TABLE A

OPENSACE / AMMENITY SUMMARY

		REQUIRED		PROPOSED		NOTES
LANDSCAPED AREA		375 S.F. / DU	(375 S.F. x 24 DU = 9,000 S.F.)	9,200 S.F.	9,200 S.F. TOTAL AREA 2,760 S.F. HARDSCAPE	CITY OF SUNNYVALE CALIFORNIA - LANDSCAPING REQUIREMENTS
				2,760 S.F. / 9,200 S.F. = 30% HARDSCAPE		*UP TO 30% HARDSCAPE ALLOWED
USABLE OPEN SPACE		*380 S.F. / DU				CITY OF SUNNYVALE CALIFORNIA - LANDSCAPING REQUIREMENTS
	COMMON OPEN SPACE	300 S.F. / DU	(300 S.F. x 24 = 7,200 S.F.)	8,140 S.F.	2,250 S.F. @ GROUND 5,890 S.F. @ ROOF	*300 S.F. TO BE COMMON OPEN SPACE / 80 S.F. TO BE PRIVATE OPEN SPACE
	PRIVATE OPEN SPACE	80 S.F. / DU	(80 S.F. x 24 = 1,920 S.F.)	0 S.F. = 0 S.F. / DU	SEE EXHIBITS FOR CLARIFICATION	
	TOTAL		(380 S.F. x 24 = 9,120 S.F.)		8,140S.F. = 339 SF / DU	

VICINITY MAP



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PROJECT SUMMARY

[illegible]

4.5 Environmental Quality	<p>4.505.2 Concrete slab foundations. Vapor retarder and capillary break is installed at slab-on-grade foundations.</p> <p>4.503.3 Moisture content of building materials. Moisture content of building materials used in wall and floor framing is checked before enclosure.</p>
	<p>4.507.2 Heating and air-conditioning system design. Duct systems are sized, designed, and equipment is selected using the following methods:</p> <ol style="list-style-type: none"> 1. Establish heat loss and heat gain values according to ANSI/ACCA 7 Manual J-2011 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D-2014 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.
Chapter 7 Installer and Special Inspector Qualifications	<p>702.1 Installer Training. HVAC system installers are trained and certified in the proper installation of HVAC systems.</p>
	<p>702.2 Special Inspection. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.</p> <p>703.1 Documentation. Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.</p>

4.5 Environmental Quality

4.504.1 Covering of duct openings and protection of mechanical equipment during construction. Duct openings and other related air distribution component openings shall be covered during construction.

4.504.2 Finish material pollutant control.

4.504.2.1 Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.

4.504.2.2 Paints and coatings. Paints, stains and other coatings shall be compliant with VOC limits.

4.504.2.3 Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MR limits for VOC and other toxic compounds.

4.504.2.4 Verification. Documentation shall be provided to verify that compliant VOC limit finish materials have been used.

4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:

1. Carpet and Rug Institute's Green Label Plus Program.
2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.)
3. NSF ANSI 140 at the Gold level.
4. Scientific Certifications Systems Indoor Advantage™ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.4 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring

1. Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Product Catalog, Tabataba.
2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).

4.504.5 Composite wood products: Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in AB 615 Air Toxics Control Measure for Composite Wood (17CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.

4.4 Material Conservation and Resource Efficiency	<p>4.406.1 Rodent proofing. Annual repairs across pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.</p>
4.4 Material Conservation and Resource Efficiency	<p>4.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following:</p> <ol style="list-style-type: none"> 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section 4.408.3; or 4. The waste stream reduction alternative, per Section 4.408.4.
4.4 Material Conservation and Resource Efficiency	<p>4.410.1 Operation and maintenance manual. An operation and maintenance manual shall be provided to the building occupant or owner.</p>
4.4 Material Conservation and Resource Efficiency	<p>4.410.2 Recycling by Occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.</p>

4.3 Water Efficiency and Conservation	<p>4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4.</p> <p>4.303.1.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.</p> <p>Note: The effective flush volume of dual flush toilets is defined as the composite, average t1ush volume of two reduced flushes and one full flush.</p>
	<p>4.303.1.3 Showerheads. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.</p> <p>4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.</p> <p>Note: A hand-held shower shall be considered a Showerhead.</p>
	<p>4.303.1.4 Faucets.</p> <p>4.303.1.4.1 Residential lavatory faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.</p> <p>4.303.1.4.3 Metering faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle.</p> <p>4.303.1.4.4 Kitchen faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.</p> <p>Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.</p>
	<p>4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.</p>
4.3 Water Efficiency and Conservation	

4.1 Planning and Design	4.106. 4 EV Charging. Provide capability for electric vehicle charging in one- and two-family dwellings and in townhouses with attached private garages; and 12.5% of total parking spaces, as specified, for multi-family dwellings.
4.2 Energy Efficiency	4.201. 1 Scope Building meets or exceeds the requirements of the California Building Energy Efficiency Standards



LEGEND

1 PERIMETER WALL	5 LOBBY	11 LANDSCAPE	15 TRANSFORMER	22 WATER RETENTION BASIN
2 PROPERTY LINE	7 ELECTRICAL ROOM	12 GUEST PARKING	16 TRASH / RECYCLING	23 STORM WATER DRAINAGE PLANTER
3 ELEVATOR	9 MAILBOXES	13 LINE OF UNIT ABOVE	20 FIRE HYDRANT TYP.	24 LOADING AREA
4 EXIT STAIR	10 4'-0" WALKWAY	14 GAS METER LOCATION	21 VISION TRIANGLE	

--- PEDESTRIAN CIRCULATION / PATH OF TRAVEL
--- VEHICULAR CIRCULATION / PATH OF TRAVEL

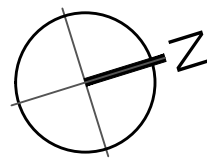
CAL GREEN GENERAL NOTES:

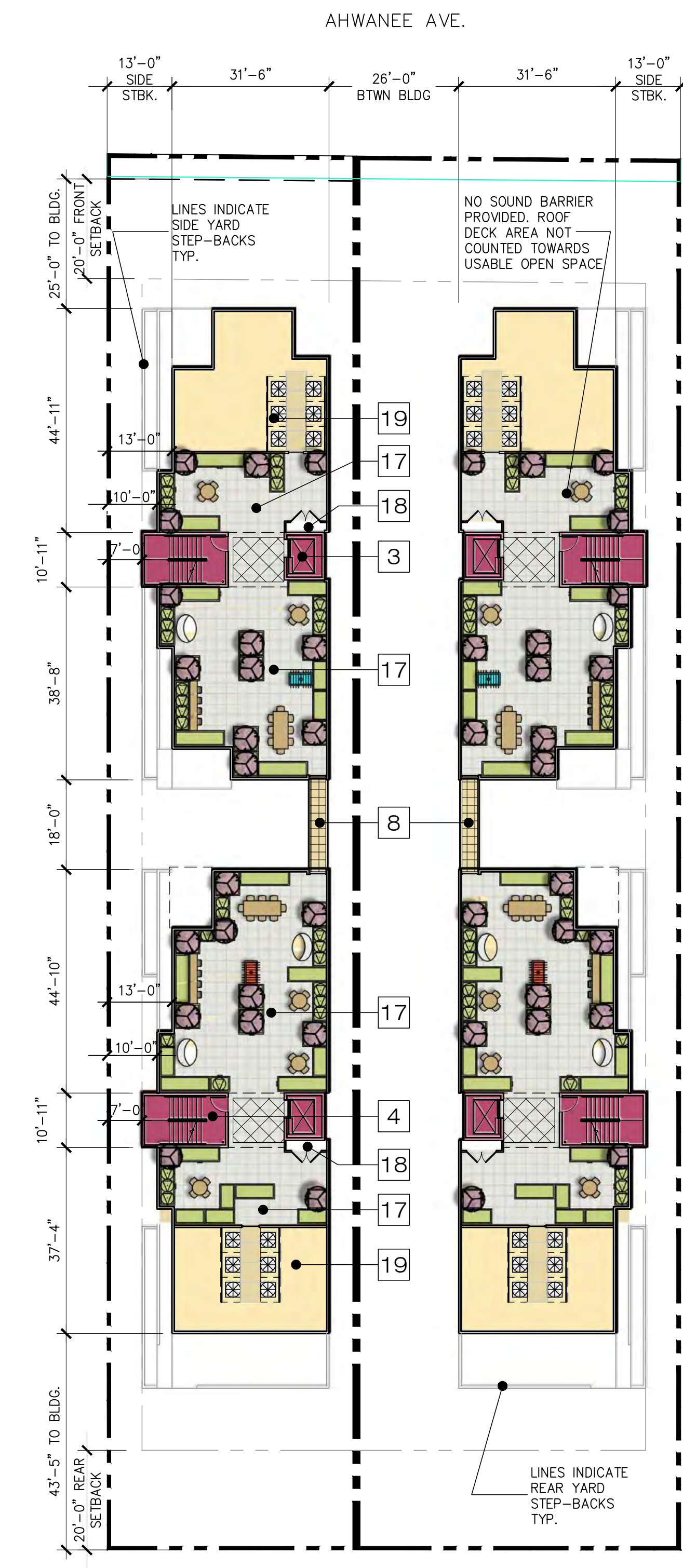
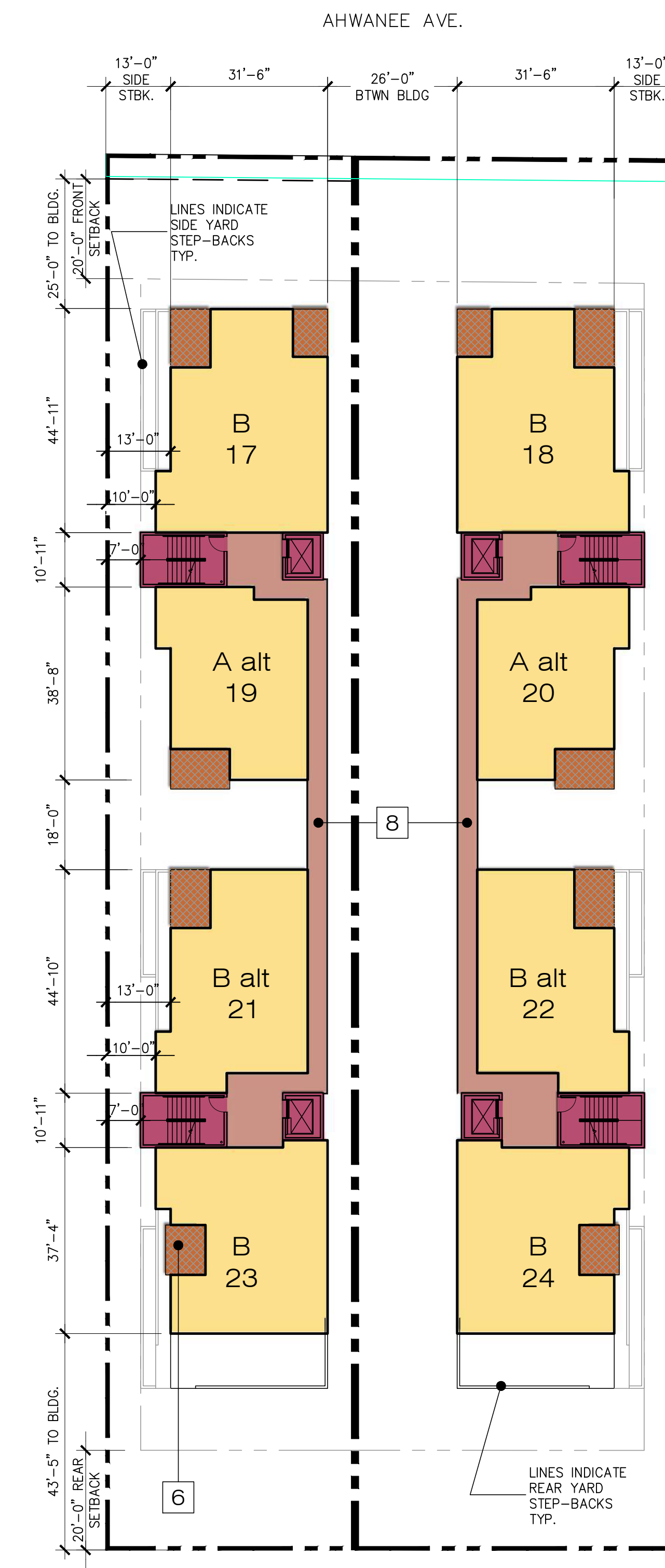
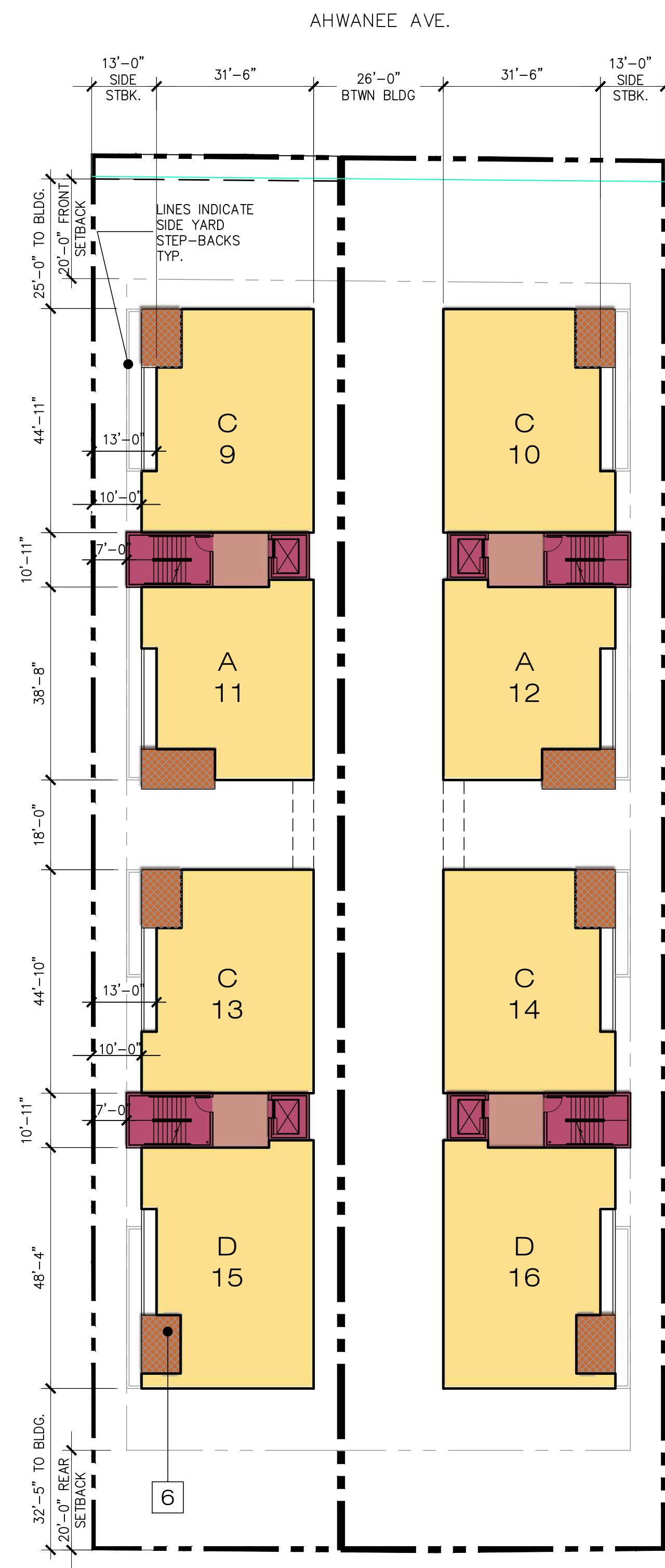
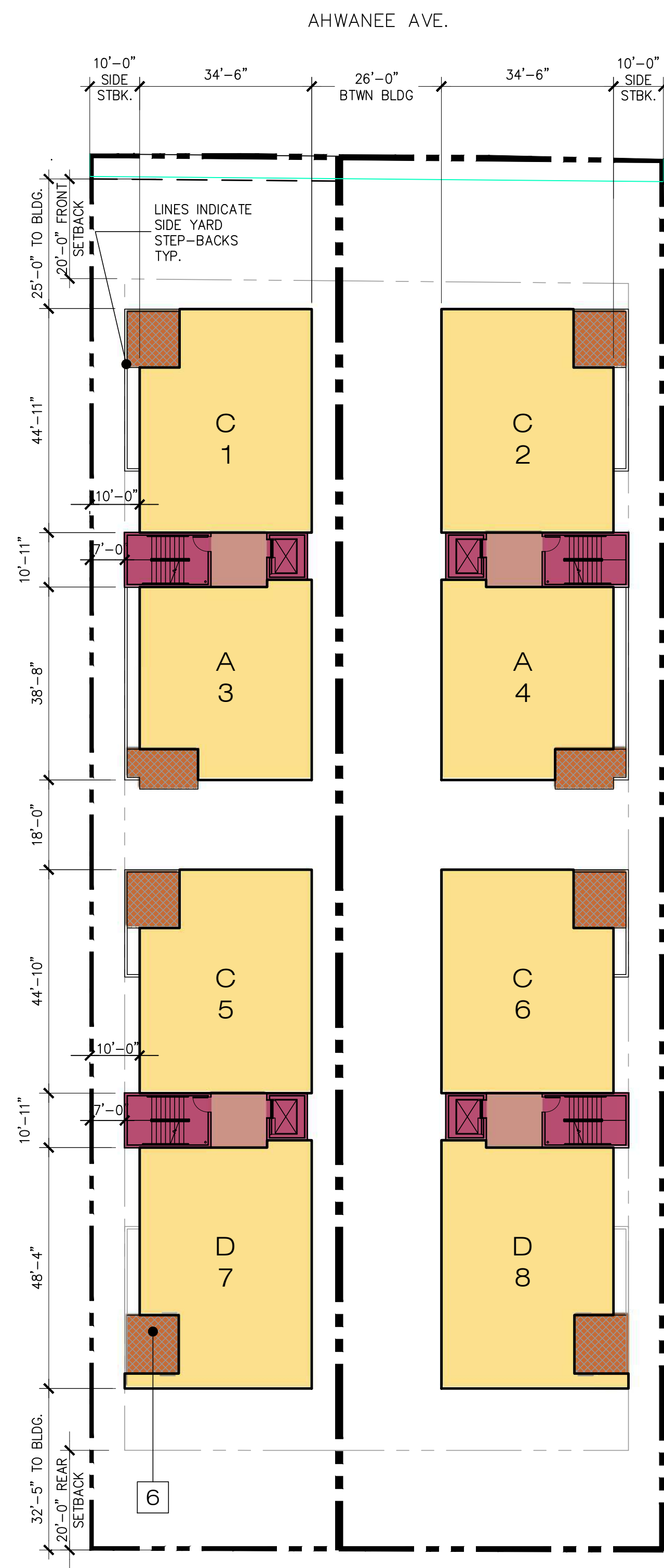
4.410.2 Recycling by Occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.

SITE PLAN

SUNNYVALE 24

scale: 1" = 10'-0"

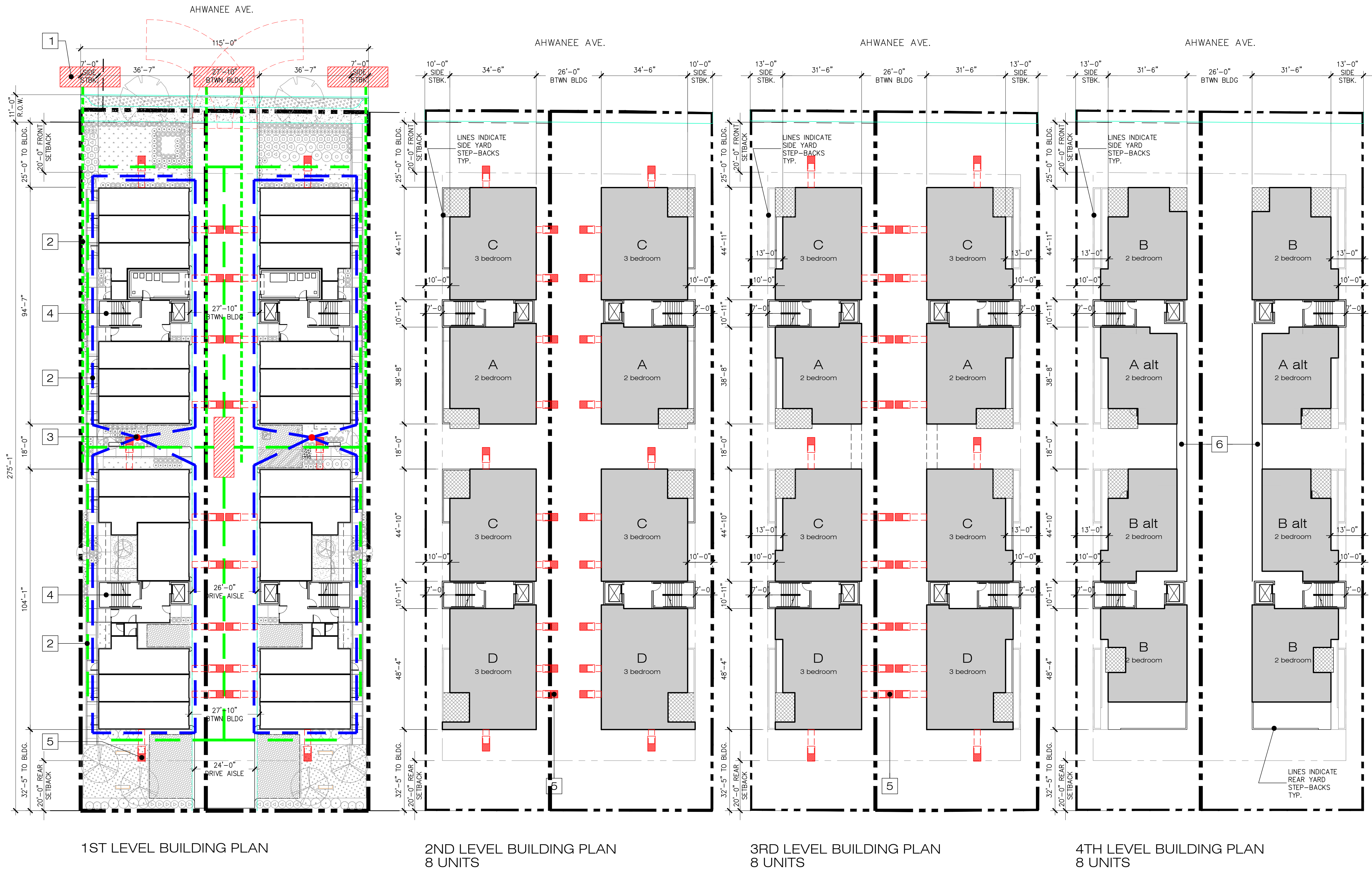




1 PERIMETER WALL	5 LOBBY	17 ROOF DECK
2 PROPERTY LINE	6 TYP. MIN. 80 S.F. PRIVATE DECK	18 ELEVATOR ROOM
3 ELEVATOR	8 EXIT BALCONY	19 MECH. EQUIP. AREA
4 EXIT STAIR	13 LINE OF UNIT ABOVE	

SUNNYVALE 24





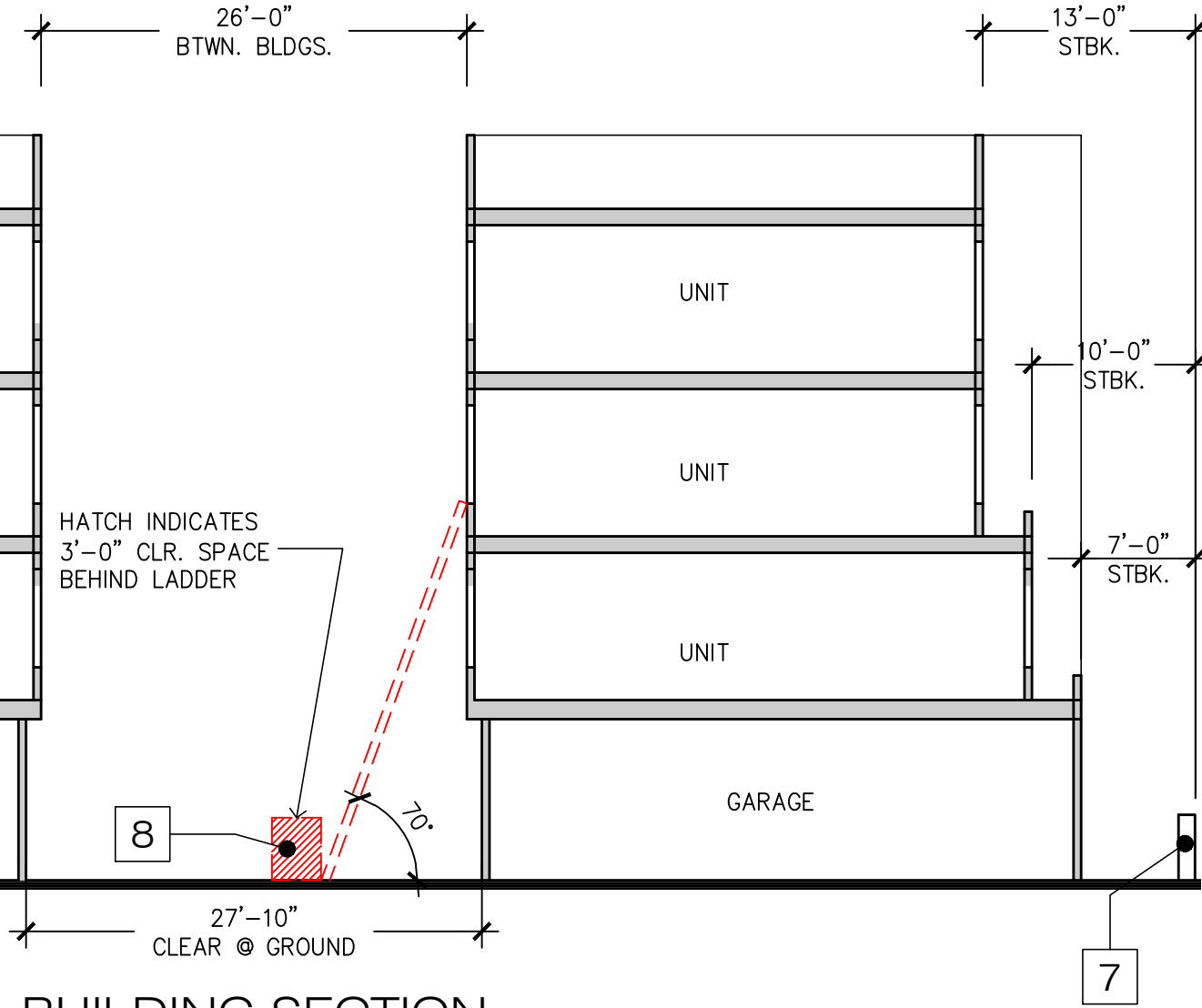
LEGEND

- | | | |
|------------------------------------|---|--------------------------------|
| 1 FIRE TRUCK TYP. | 5 TYP. 3x6' LADDER PAD | FIRE HYDRANT HOSE PULL |
| 2 150'-0" HOSE PULL | 6 EXIT BALCONY | FIRE TRUCK HOSE PULL |
| 3 FIRE HYDRANT | 7 PERIMETER WALL | FIRE DEPARTMENT TURNING RADIUS |
| 4 EXIT STAIR W/ WET STANDPIPE TYP. | 8 3'-0" MIN. CLEARANCE BEHIND LADDER TYP. | |

NOTE:
BASEMENTS AND SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE PLANE SHALL HAVE AT LEAST ONE APPROVED EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING (RESCUE WINDOW) IN ACCORDANCE WITH CFC SECTION 1029 AS AMENDED BY SMC.

FIRE DEPARTMENT GENERAL NOTES:

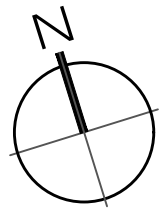
- Each residence shall be protected throughout with an approved automatic sprinkler system designed and installed in accordance with NFPA (CFC/SMC 903).
- A fire alarm system may be required. (CFC/SMC 907)
- The parking structure shall be equipped throughout with an approved automatic sprinkler system and standpipe system.
- All buildings shall have approved radio coverage for emergency responders in accordance with Section 510 of the California Fire Code and local standards. Radio retransmission equipment may be required in areas lacking sufficient coverage. Refer to SMC 16.52.230, Emergency Responder radio coverage and CFC Appendix J for additional details. (SMC 510.1)
- Wherever a new structure obstructs the line of sight emergency radio communications to existing buildings or to any other locations, the developer of the structure is required to provide and install radio retransmission equipment necessary to restore communication capabilities. Such equipment shall be located in an approved space or area within the new structure. (SMC 510.1.1)
- Comply with CBC 1007.8 Two-way communication system.
- Comply with SMC 505.3 and provide site directory
- Comply with CFC 906.1 for fire extinguisher in unit.
- Comply with CBC 1007.2.1 Elevators required.
- Trash enclosures, within 5 feet of building exterior walls or overhangs require fire protection.
- Knox boxes (key boxes) will be required in accordance with Sunnyvale Fire Prevention guidelines.
- Prior to any combustible construction or materials on site, provide fire access drives and operational on-site fire protection systems.
- Required means of egress during construction. Each level above the first story in new multi-story buildings that require two exit stairways shall be provided with at least two usable exit stairways after the floor decking is installed. The stairways shall be continuous and discharge to grade level. Stairways serving more than two floor levels shall be enclosed (with openings adequately protected) after exterior walls and windows are in place. Exception: In new multi-story buildings, one of the required exit stairs may be obstructed on not more than two contiguous floor levels for the purpose of stairway construction (i.e. installation of gypsum board, painting, flooring, etc.). [SMC 1411.1]



FIRE DEPARTMENT ACCESS

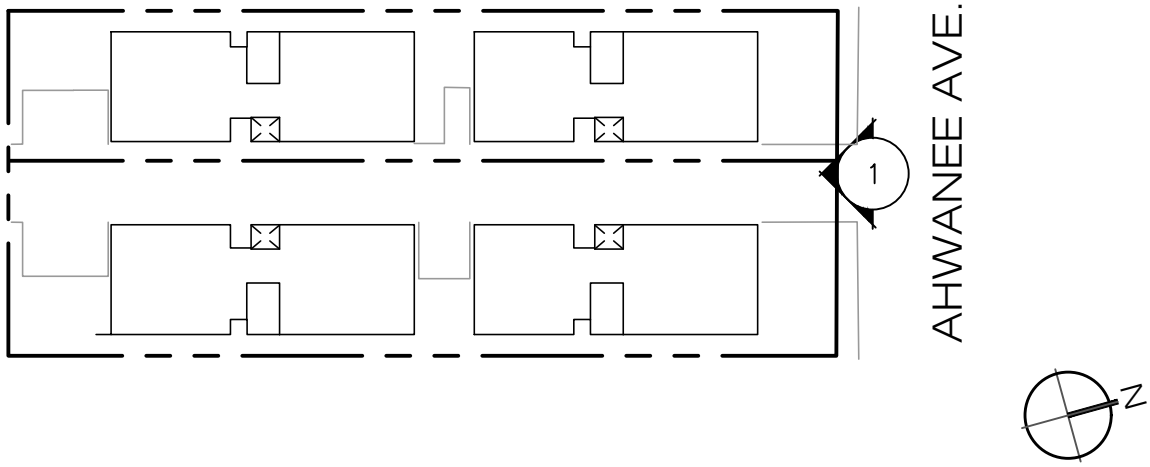
SUNNYVALE 24

scale: 1" = 20'-0"





LEGEND	
1 PERIMETER WALL	6 GUARDRAIL
2 STONE VENEER	7 VINYL WINDOW
3 STUCCO	8 STOREFRONT
4 SIDING	9 GARAGE DOOR
5 METAL CANOPY	10 ROLL-UP DOOR / GATE



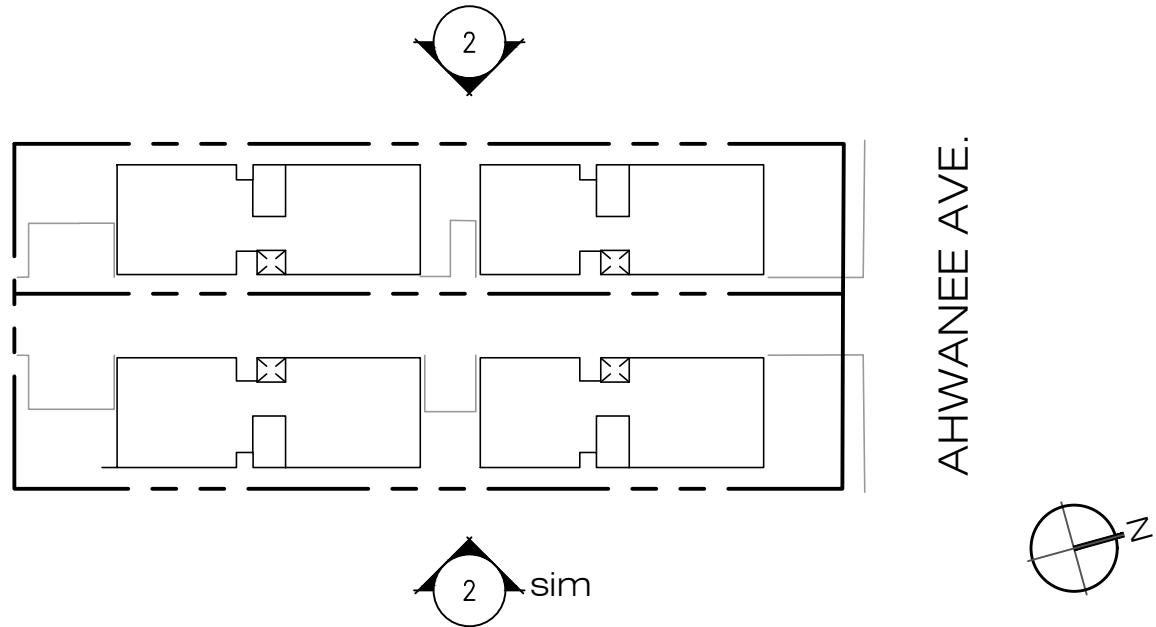
FRONT ELEVATION

SUNNYVALE 24





LEGEND	
1 PERIMETER WALL	6 GUARDRAIL
2 STONE VENEER	7 VINYL WINDOW
3 STUCCO	8 STOREFRONT
4 SIDING	9 GARAGE DOOR
5 METAL CANOPY	10 ROLL-UP DOOR / GATE



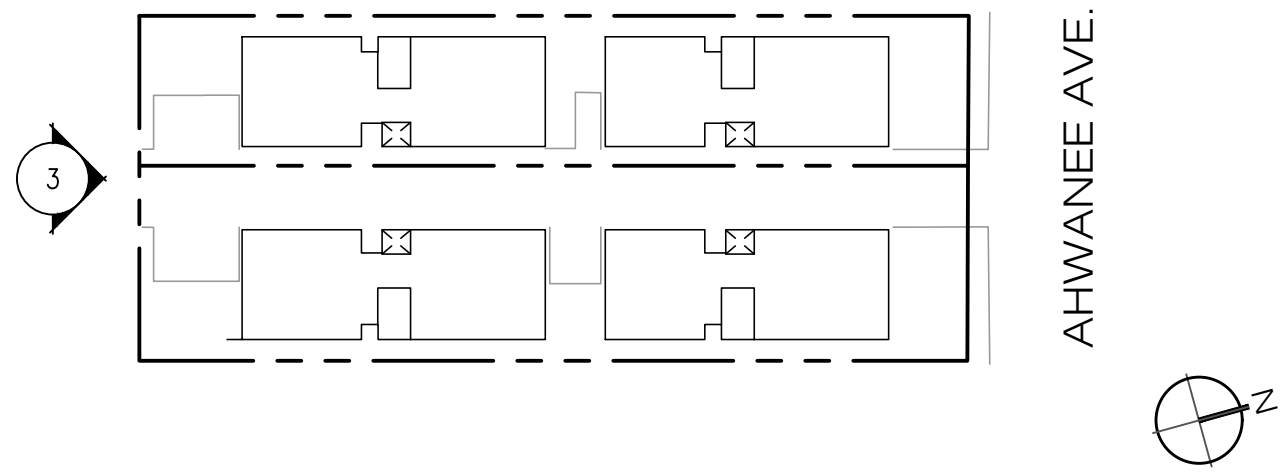
SIDE ELEVATION

SUNNYVALE 24





LEGEND	
1 PERIMETER WALL	6 GUARDRAIL
2 STONE VENEER	7 VINYL WINDOW
3 STUCCO	8 STOREFRONT
4 SIDING	9 GARAGE DOOR
5 METAL CANOPY	10 ROLL-UP DOOR / GATE



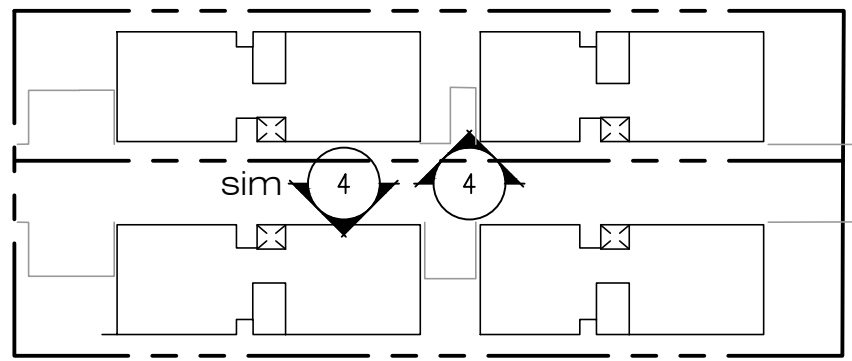
REAR ELEVATION

SUNNYVALE 24

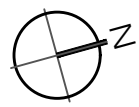




LEGEND	
1 PERIMETER WALL	6 GUARDRAIL
2 STONE VENEER	7 VINYL WINDOW
3 STUCCO	8 STOREFRONT
4 SIDING	9 GARAGE DOOR
5 METAL CANOPY	10 ROLL-UP DOOR / GATE



AHWANEE AVE.



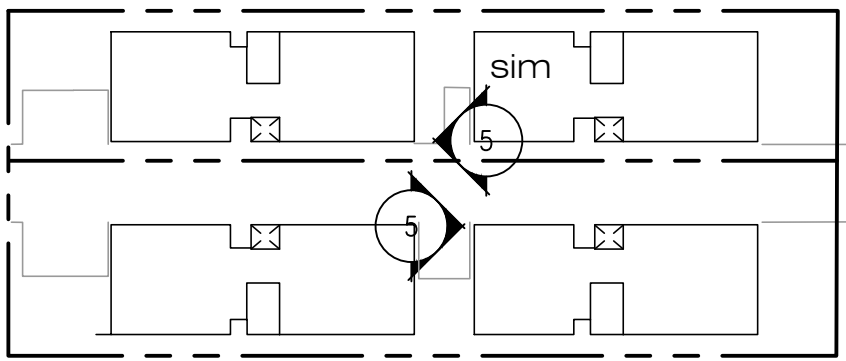
GARAGE ELEVATION

SUNNYVALE 24

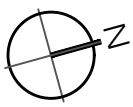
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LEGEND	
1 PERIMETER WALL	6 GUARDRAIL
2 STONE VENEER	7 VINYL WINDOW
3 STUCCO	8 STOREFRONT
4 SIDING	9 GARAGE DOOR
5 METAL CANOPY	10 ROLL-UP DOOR / GATE



AHWANEE AVE.



INTERIOR ELEVATION

SUNNYVALE 24



CAL GREEN GENERAL NOTES:

- 4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4.
- 4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.
- 4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:
- 1.Carpet and Rug Institute's Green Label Plus Program.
 - 2.California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
 - 3.NSFI ANSI 140 at the Gold level.
 - 4.Scientific Certifications Systems Indoor Advantage™ Gold.
- 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
- 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.
- 4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:
- 1.Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
 - 2.Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
 - 3.Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
 - 4.Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 201 0 (also known as Specification 01350).
- 4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93.220 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.

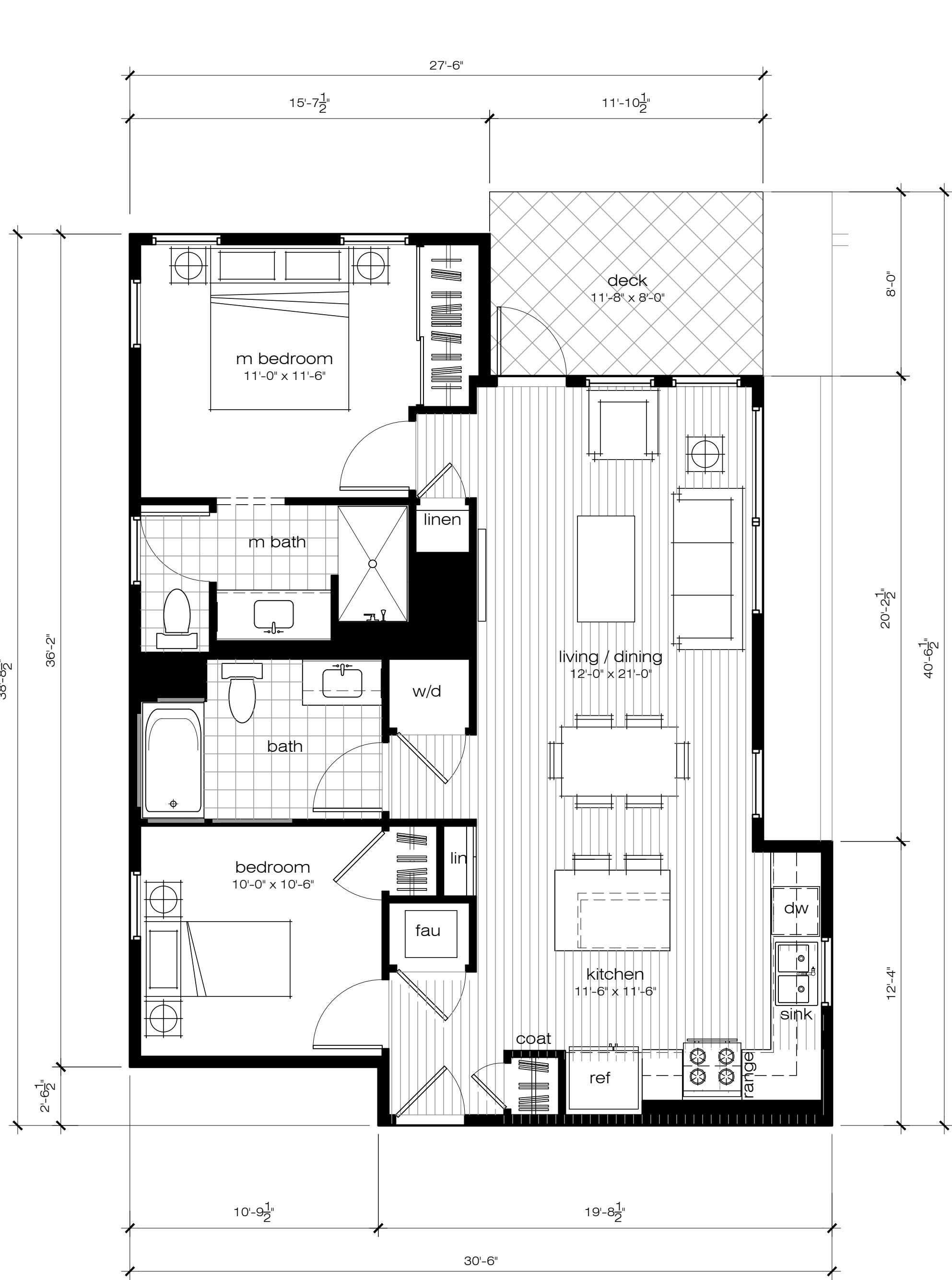
UNIT PLANS



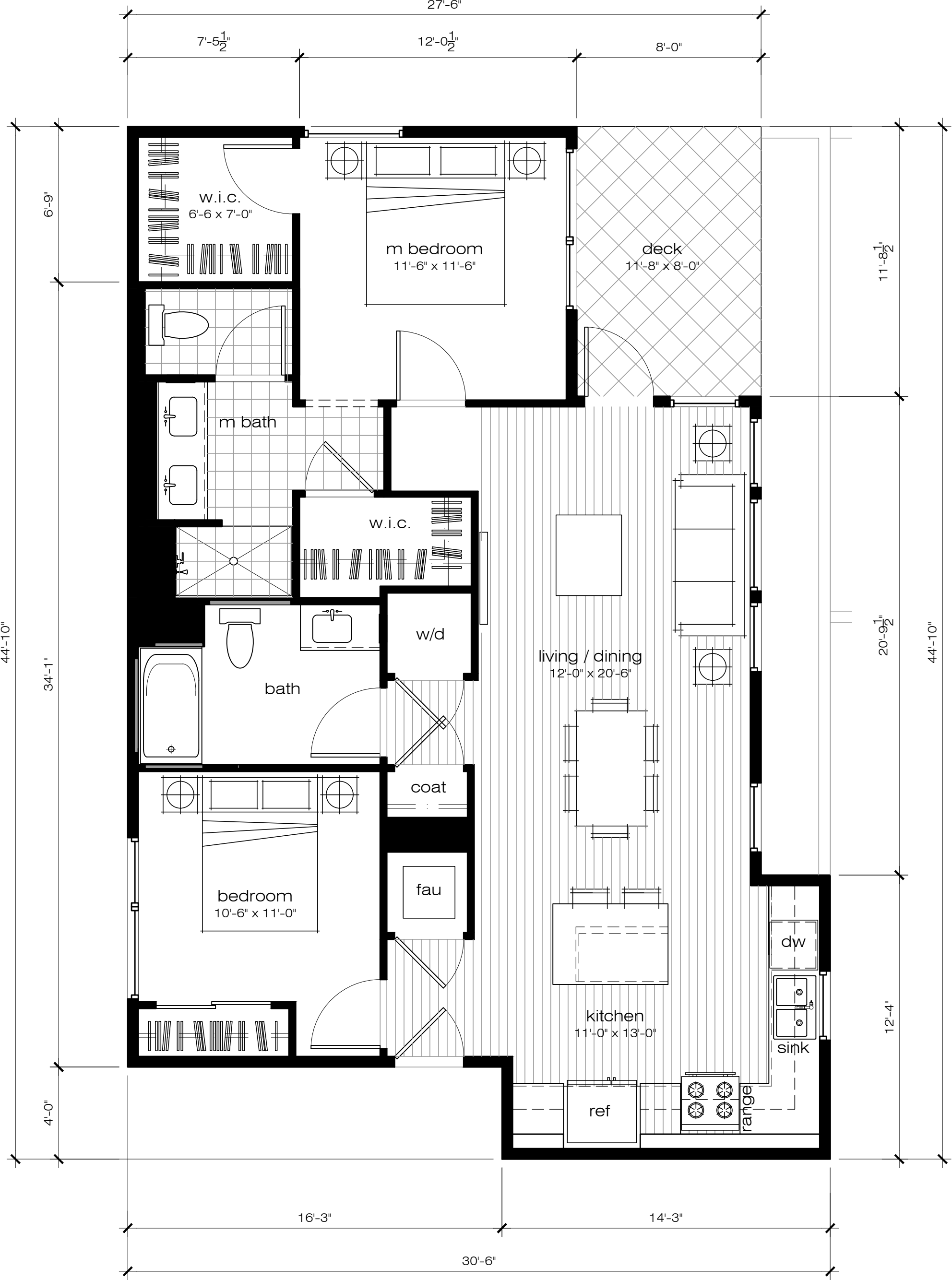
PLAN A
2 BEDROOM + 2 BATH
GROSS AREA: 1,197 S.F.
NET AREA: 1,112 S.F.
DECK AREA: 90 S.F.



PLAN B
2 BEDROOM + 2 BATH
GROSS AREA: 1,288 S.F.
NET AREA: 1,206 S.F.
DECK AREA: 90 S.F.



PLAN A alt
2 BEDROOM + 2 BATH
GROSS AREA: 1,000 S.F.
NET AREA: 918 S.F.
DECK AREA: 95 S.F.



PLAN B alt
2 BEDROOM + 2 BATH
GROSS AREA: 1,111 S.F.
NET AREA: 1,015 S.F.
DECK AREA: 90 S.F.

CAL GREEN GENERAL NOTES:

- 4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4.
- 4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.
- 4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:
- 1.Carpet and Rug Institute's Green Label Plus Program.
 - 2.California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
 - 3.NSFI ANSI 140 at the Gold level.
 - 4.Scientific Certifications Systems Indoor Advantage™ Gold.
- 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
- 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.
- 4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:
- 1.Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
 - 2.Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
 - 3.Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
 - 4.Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 201 0 (also known as Specification 01350).
- 4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93J20 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.

UNIT PLANS

CAL GREEN GENERAL NOTES:

4.303.1 Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4303.1.1 through 4303.1.4.4.

4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.

4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following:

- 1.Carpet and Rug Institute's Green Label Plus Program.
- 2.California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.)
- 3.NSFI ANSI 140 at the Gold level.
- 4.Scientific Certifications Systems Indoor Advantage™ Gold.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following:

- 1.Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
- 2.Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program).
- 3.Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
- 4.Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 201 0 (also known as Specification 01350).

4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93.220 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.



PLAN C

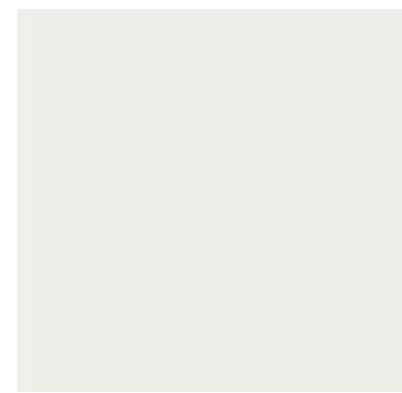
3 BEDROOM + 2 BATH
GROSS AREA: 1,390 S.F.
NET AREA: 1,305 S.F.
DECK AREA: 90 S.F.



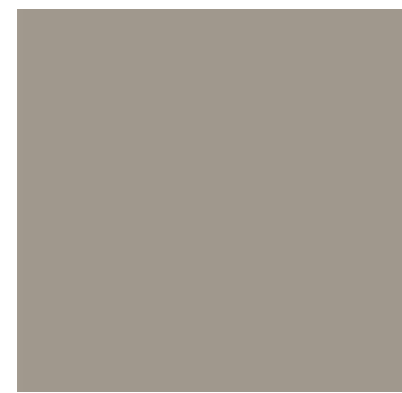
PLAN D

3 BEDROOM + 2 BATH
GROSS AREA: 1,525 S.F.
NET AREA: 1,418 S.F.
DECK AREA: 90 S.F.

UNIT PLANS



A Sherwin Williams
SW 7006
EXTRA WHITE



C Sherwin Williams
SW 7642
PAVESTONE



B Sherwin Williams
SW 2860
SAGE



D Sherwin Williams
SW 7048
URBANE BRONZE



1 COMPOSITE SHIPLAP SIDING



2 STONE VENEER



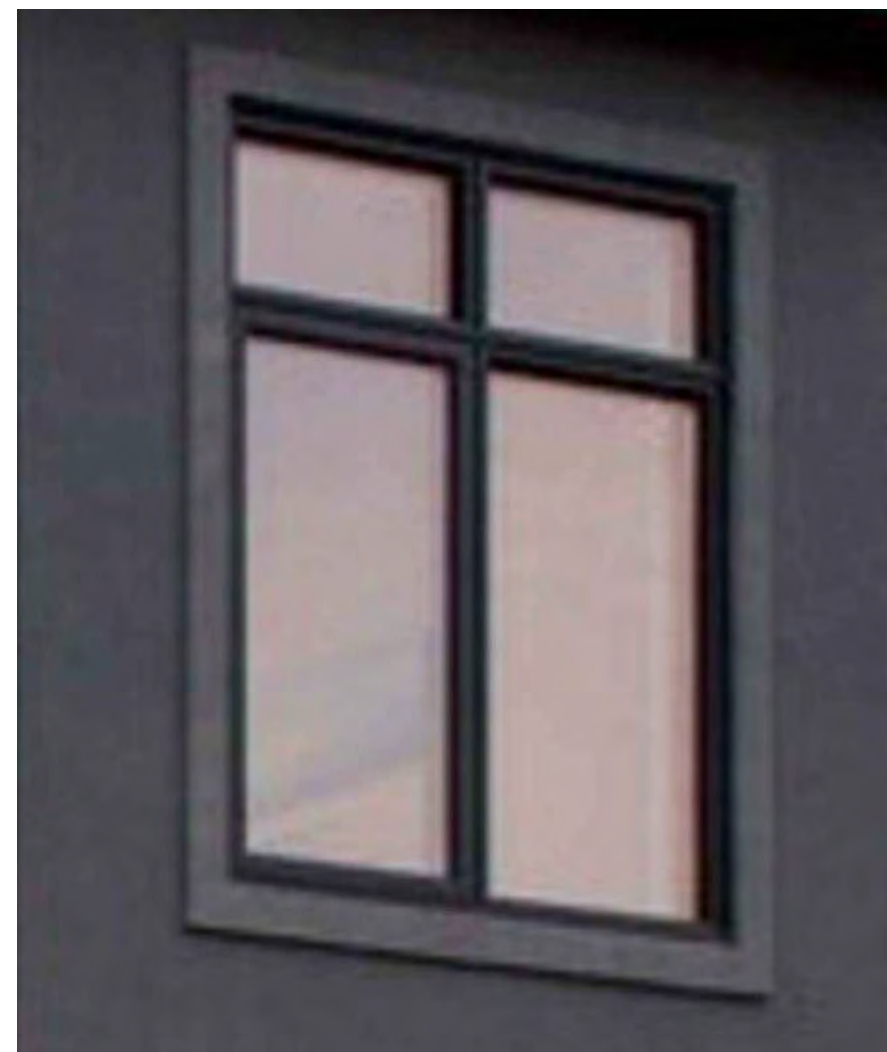
3 STUCCO
20-30 FINE SAND FLOAT



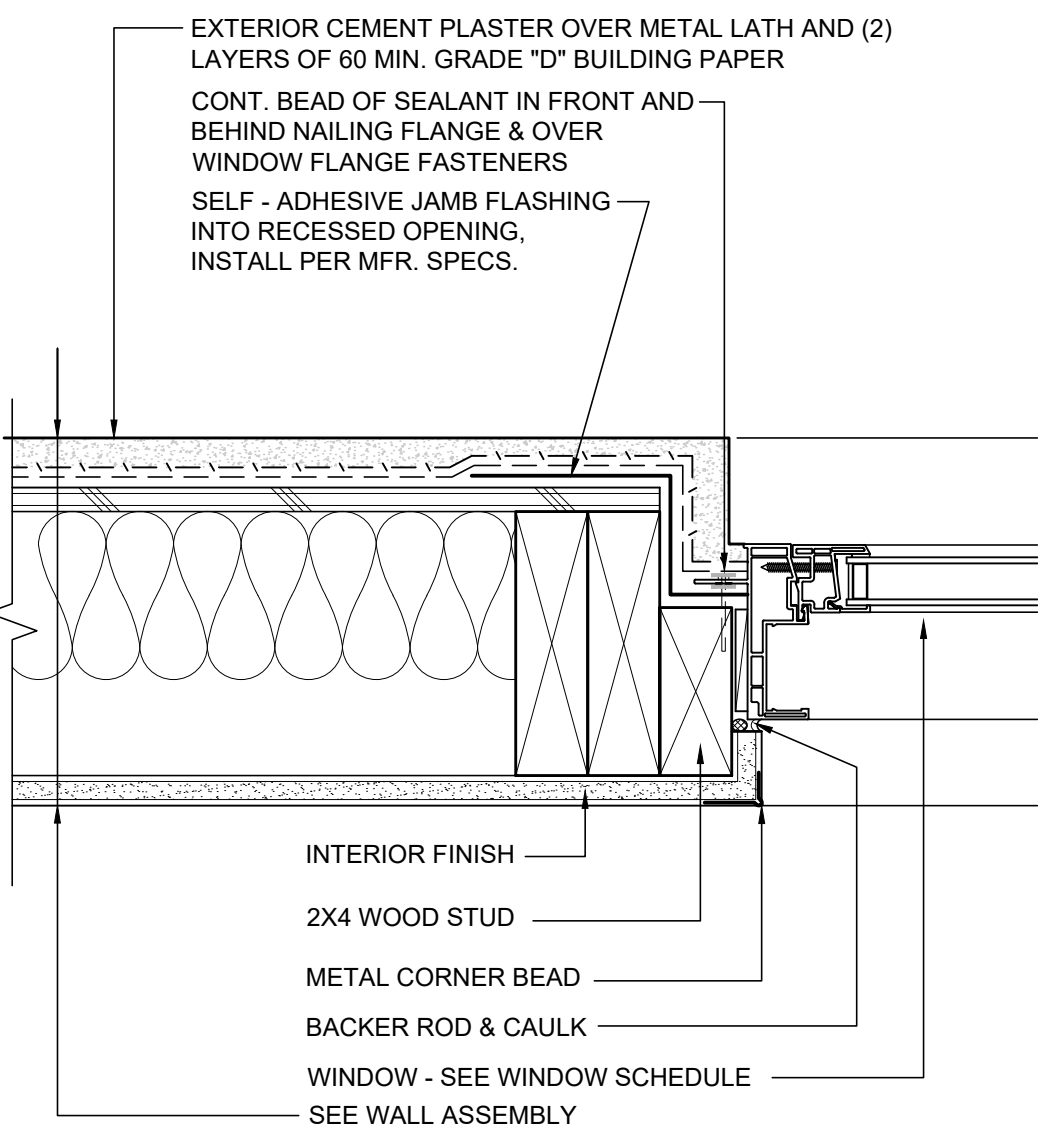
4 GARAGE ROLL UP DOOR



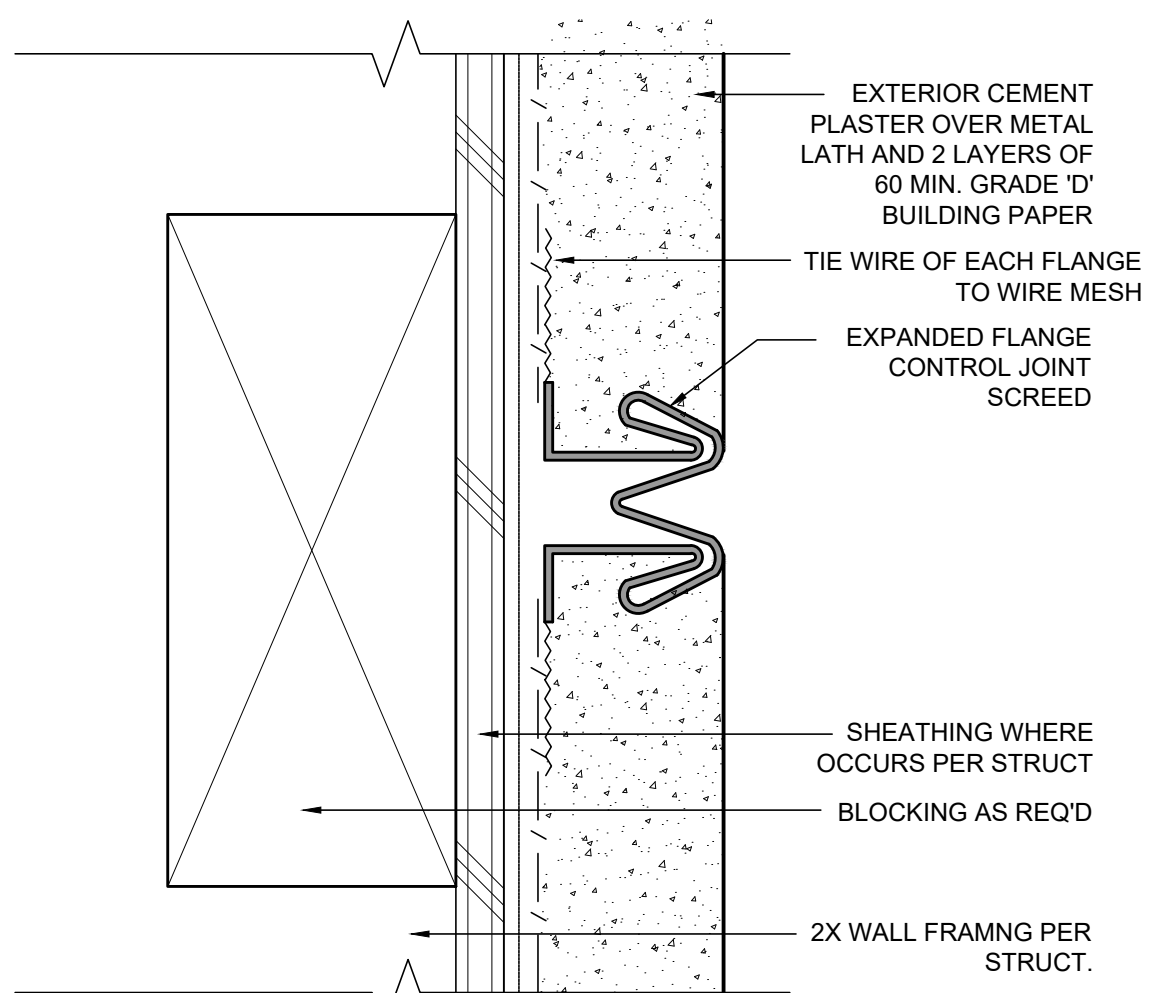
5 RAILING



6 MILGARD VINYL WINDOW



TYPICAL SEMI-RECESSED WINDOW JAMB
SCALE: 3/8"=1'-0"



NOTE:
1. SEE EXTERIOR ELEVATIONS FOR LOCATION OF CONTROL JOINTS
2. CONTROL JOINTS TO STOP SHORT 1/4" OF WINDOWS AND DOORS

STUCCO CONTROL JOINT (VERTICAL/HORIZONTAL)
SCALE: 1"=1"



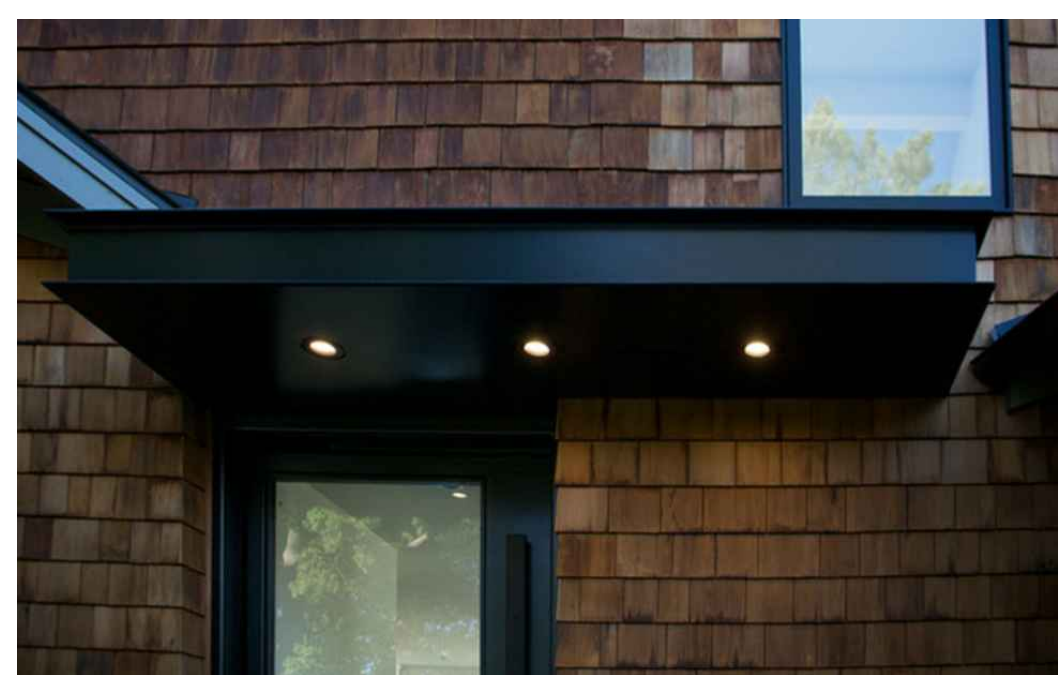
7 TRASH ROLL UP DOOR



8 ROOF SHINGLES



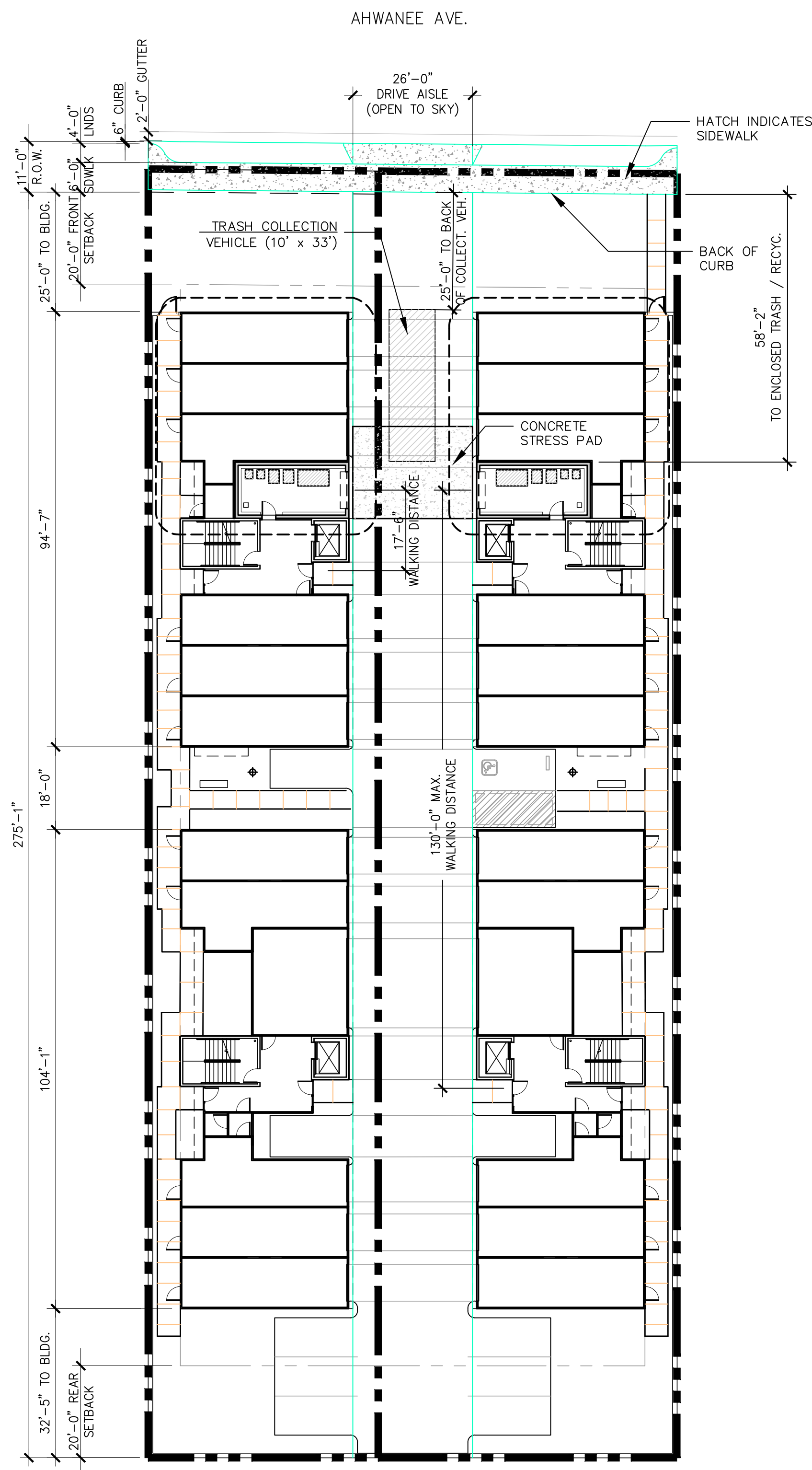
9 EXTERIOR DOOR



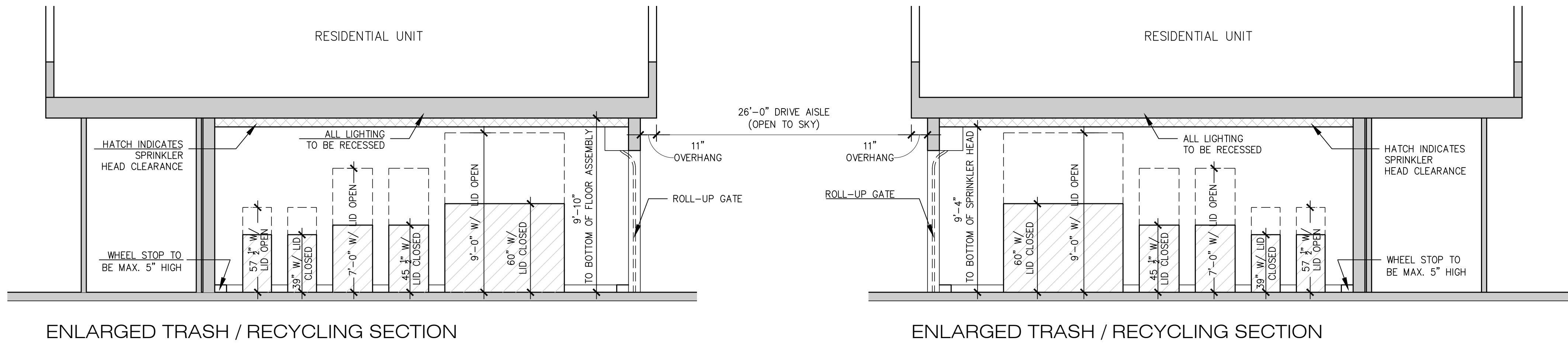
10 METAL CANOPY

MATERIAL BOARD

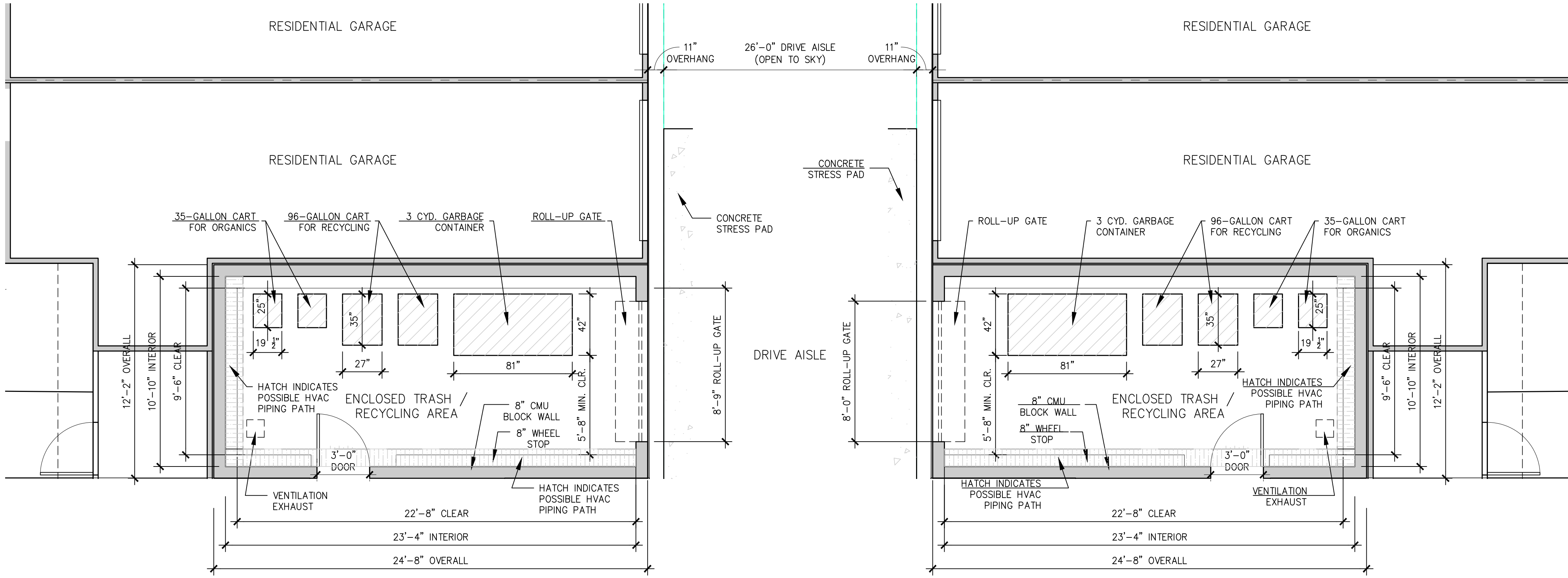
SUNNYVALE 24



1ST LEVEL BUILDING REFERENCE PLAN
SCALE: 1" = 20'-0"



ENLARGED TRASH / RECYCLING SECTION



ENLARGED TRASH / RECYCLING ENCLOSURE

RECYC. & TRASH ENCLOSURE



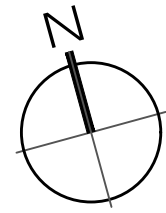
DEC. 21 - 9 am
TOTAL ROOF: 17,000 S.F.
SHADED ROOF AREA: 1,650 S.F.
COVERAGE PERCENTAGE: 10%

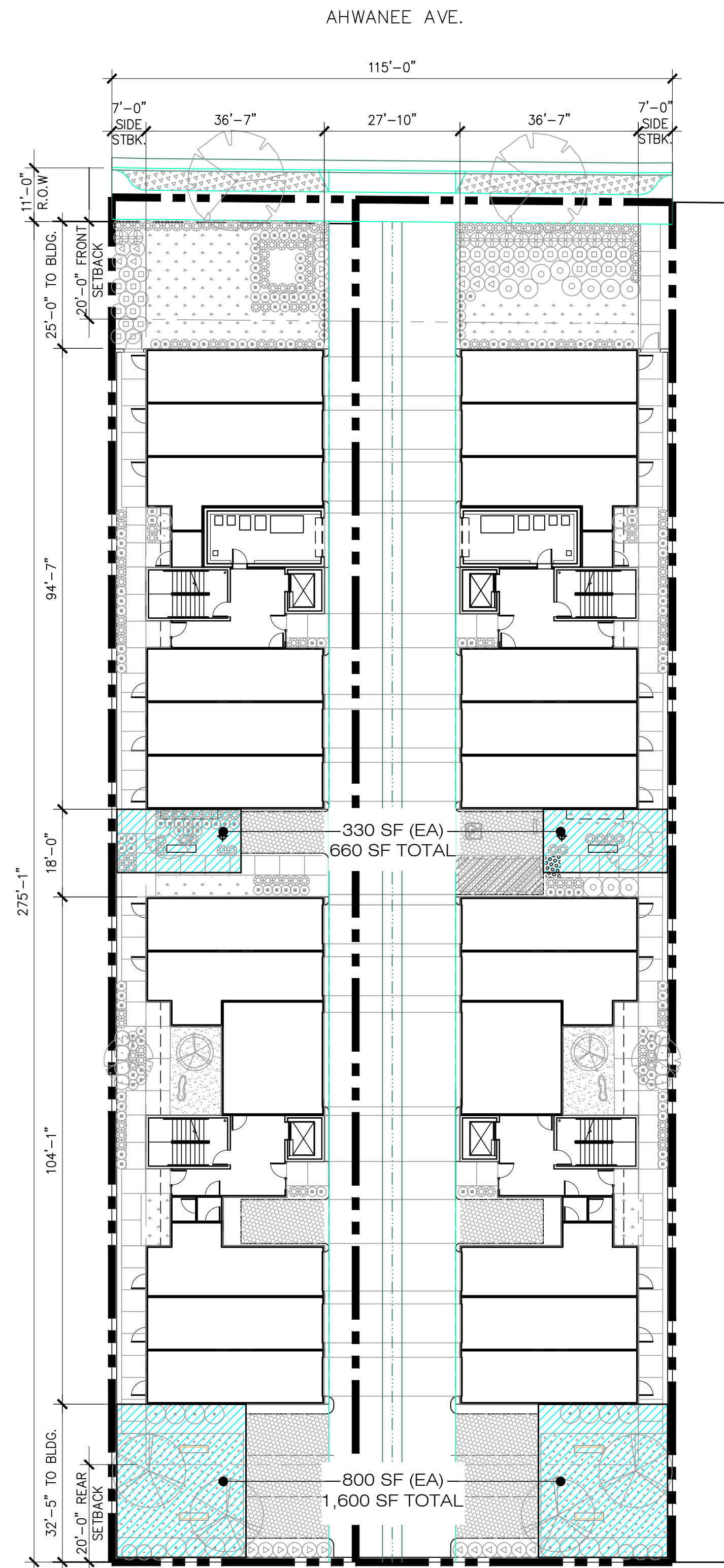


DEC. 21 - 3 pm
TOTAL ROOF: 31,175 S.F.
SHADED ROOF AREA: 1,950 S.F.
COVERAGE PERCENTAGE: 6%

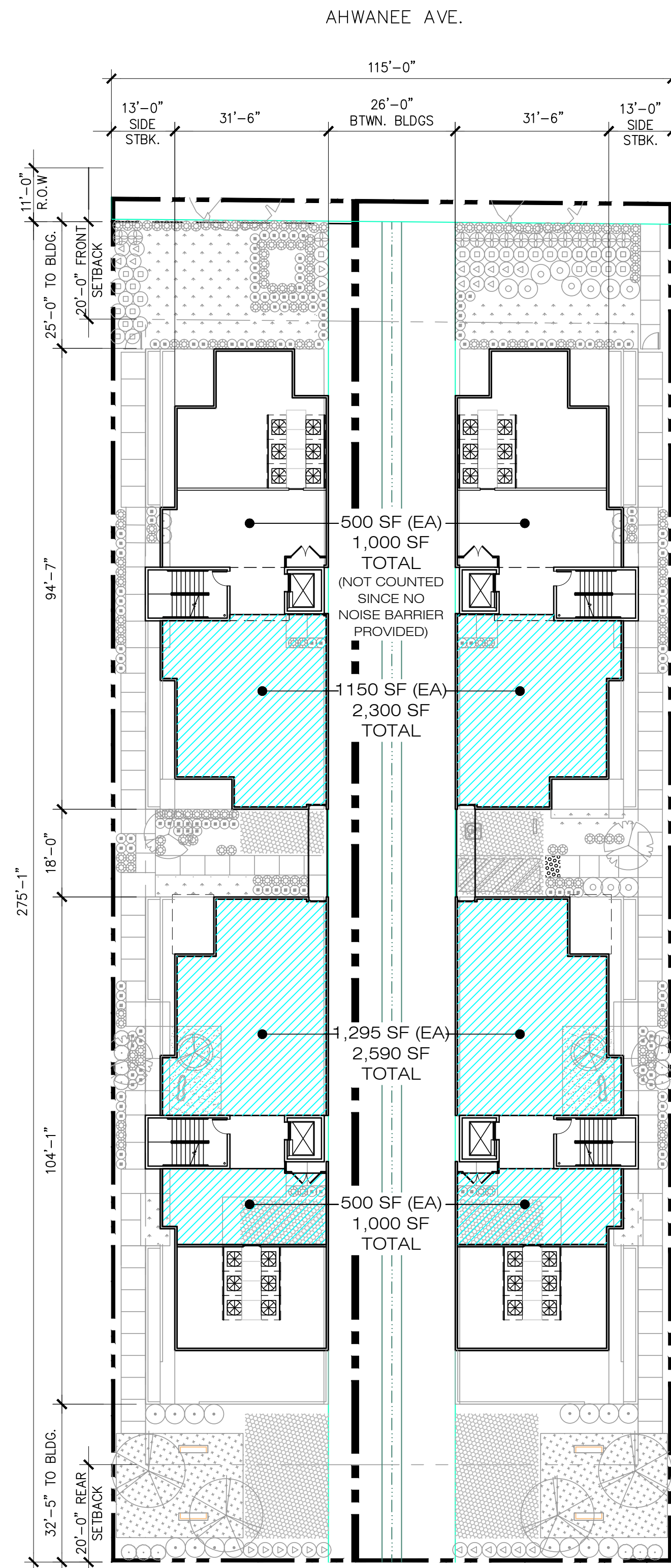
SHADOW STUDY

SUNNYVALE 24





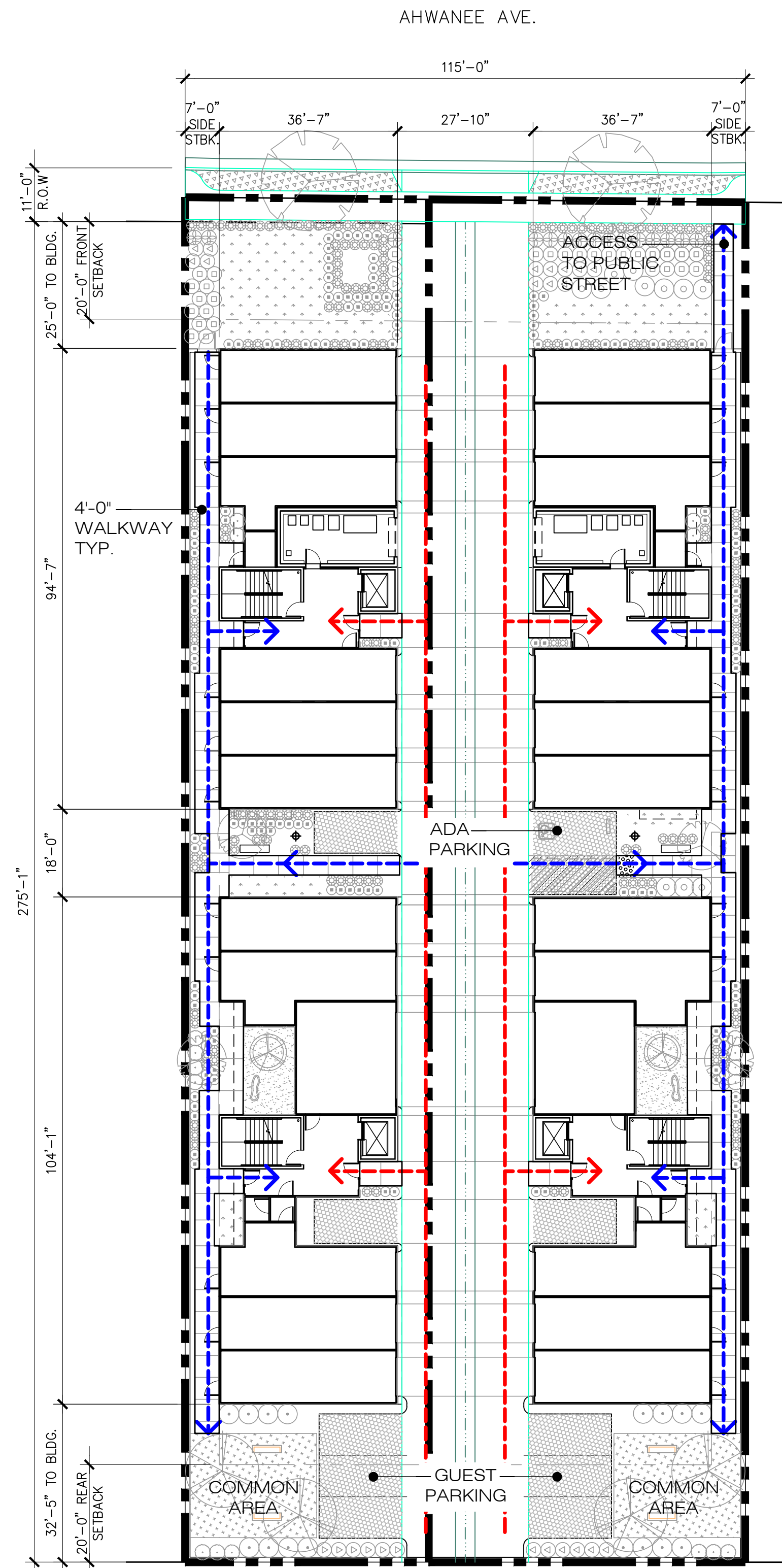
1ST LEVEL - COMMON OPEN SPACE
2,250 SF USABLE OPEN SPACE PROVIDED



ROOF PLAN - COMMON OPEN SPACE
5,890 SF USABLE OPEN SPACE PROVIDED

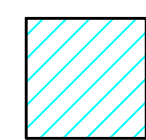


1ST LEVEL - LANDSCAPED AREA
9,200 SF LANDSCAPE AREA
2,760 SF HARDSCAPE AREA

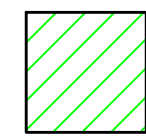


1ST LEVEL - PATH OF TRAVEL

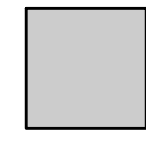
LEGEND



COMMON OPEN SPACE
TOTAL PROVIDED: 8,140 SF (300 SF/DU = 7,200 SF REQUIRED)
*MEETS 12x12' MIN. & 200 SF MIN.



LANDSCAPED AREA
TOTAL PROVIDED: 9,200 SF (9,000 SF REQUIRED)



HARDSCAPE WITHIN LANDSCAPED AREA
TOTAL HARDSCAPE: 2,760 SF (2,760 SF / 9,200 SF = 30%)
*MAX. 30% HARDSCAPE ALLOWED

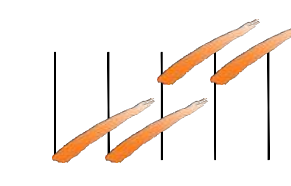
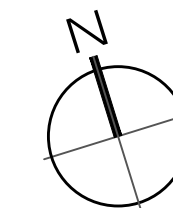
--- ADA PATH OF TRAVEL

--- PATH OF TRAVEL

SUNNYVALE 24

scale: 1" = 20'-0"

0 20 40 60 80 100

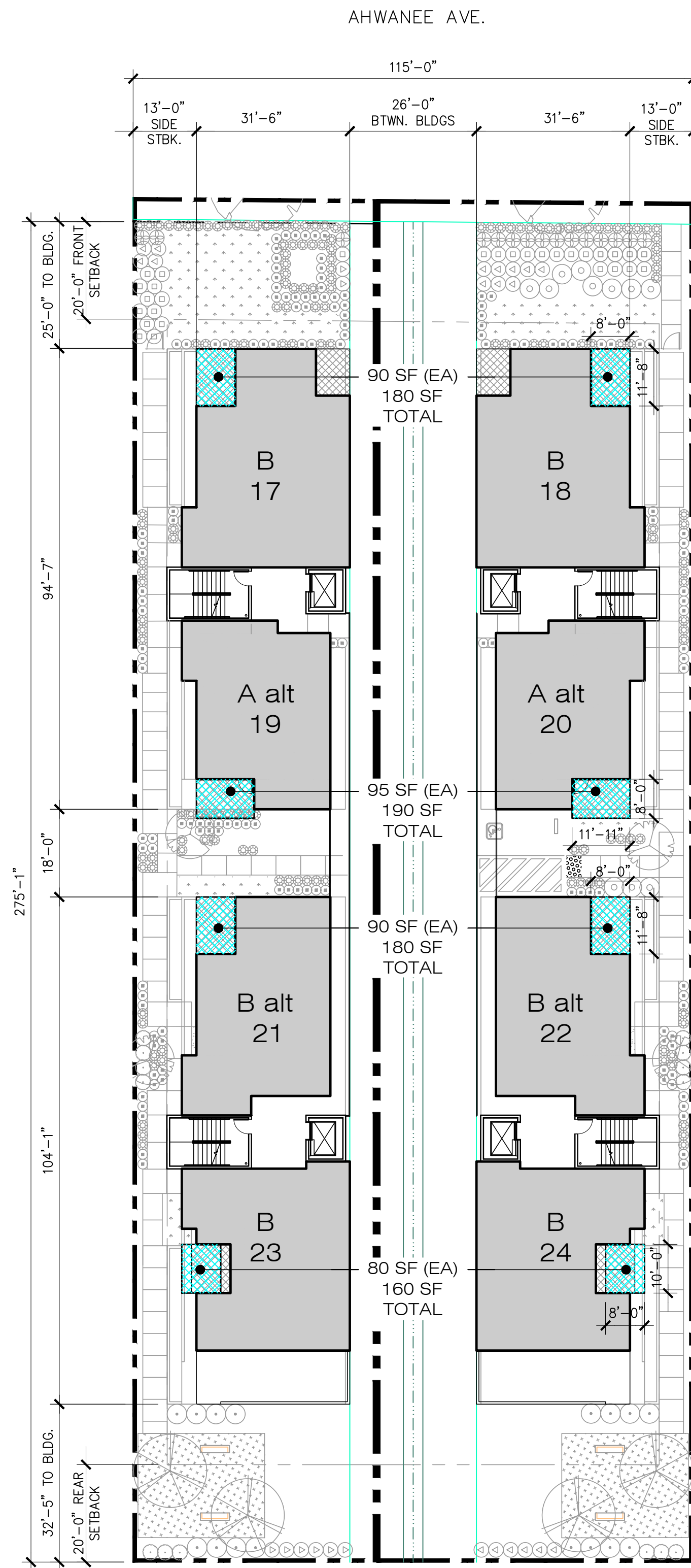
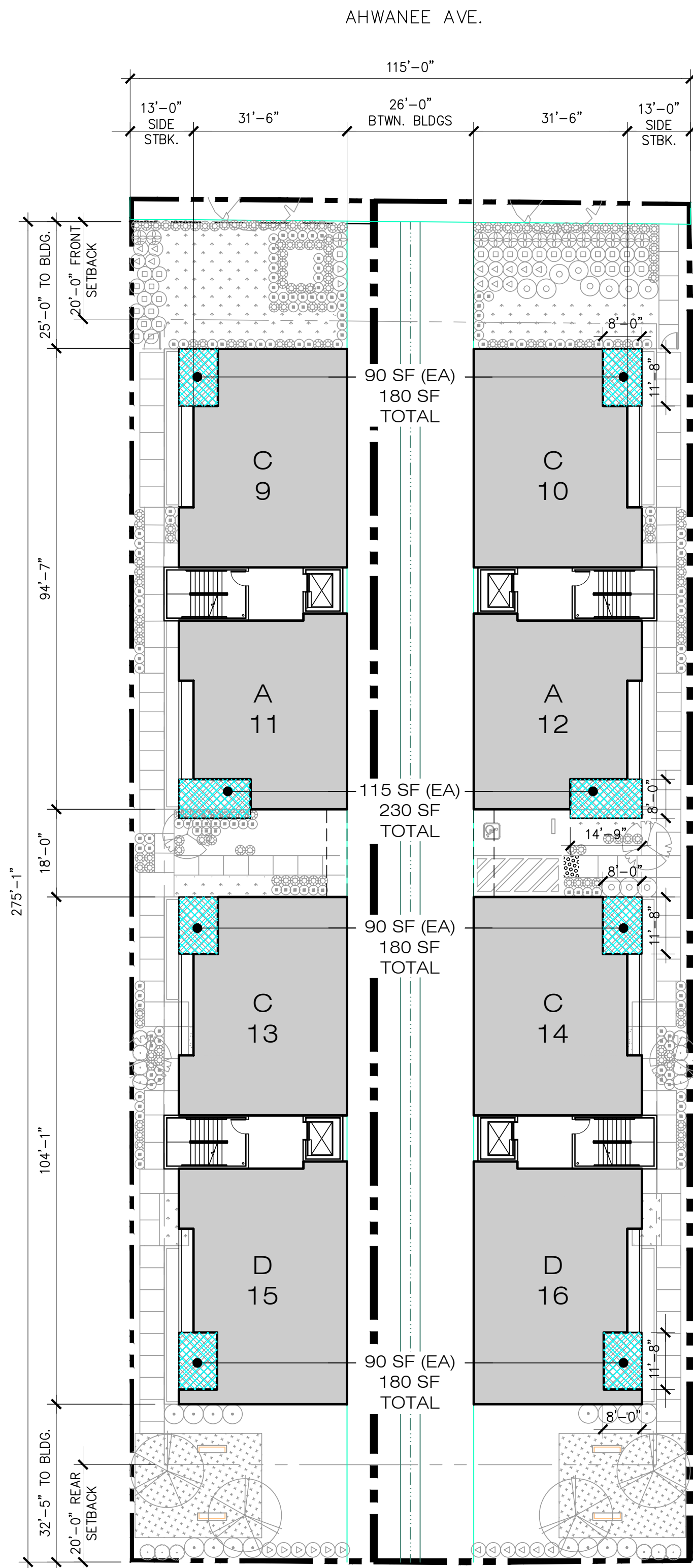
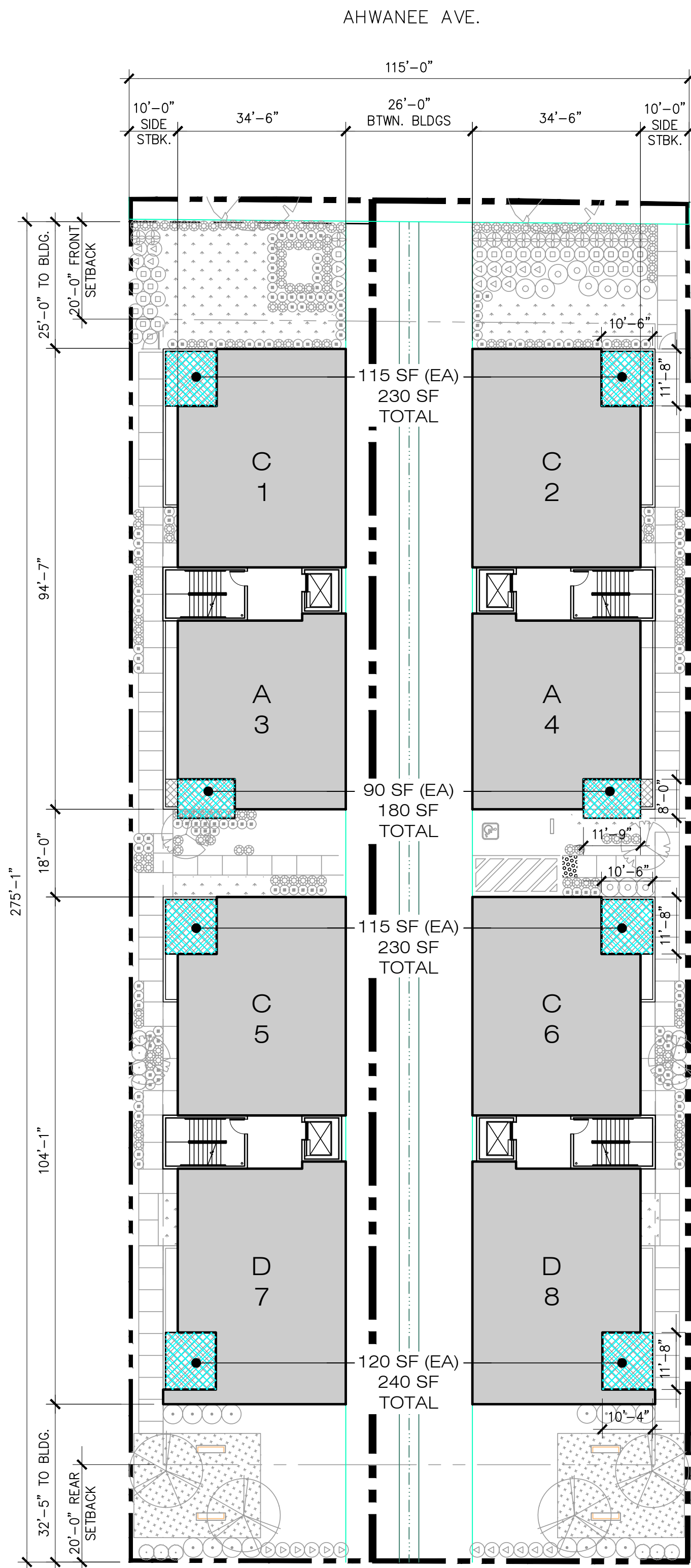


WITHEE MALCOLM
ARCHITECTS

2251 west 190th street torrance | ca 90504 | 310.217.8885 | witheemalcolm.com

Job No. B8051 Date: October 22, 2019

SD
16



LEGEND

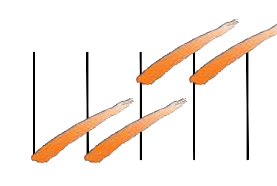
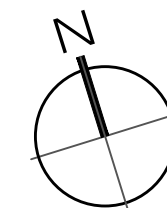
- COMMON OPEN SPACE (SEE SD-16 FOR EXHIBIT)
TOTAL PROVIDED: 8,140 SF (300 SF/DU = 7,200 SF REQUIRED)
*MEETS 12x12' MIN. & 200 SF MIN.
- PRIVATE OPEN SPACE (NOT COUNTED TOWARDS USABLE OPEN SPACE)
TOTAL PROVIDED: 2,360 SF (80 SF/DU = 1,920 SF REQUIRED)
*MEETS 7x7' MIN. & 80 SF MIN.

TOTAL USABLE OPEN SPACE REQUIRED: 9,120 SF = 380 SF/DU
TOTAL USABLE OPEN SPACE PROVIDED: 8,140 SF = 339 SF/DU

SUNNYVALE 24

scale: 1" = 20'-0"

0 20 40 60 80 100



WITHEE MALCOLM
ARCHITECTS

2251 west 190th street torrance | ca 90504 | 310.217.8885 | witheemalcolm.com

Job No. B8051 Date: October 22, 2019

SD
17

PRIVATE OPEN SPACE EXHIBIT

NOTE: DUE TO HAVING NO SOUND MITIGATION, PRIVATE DECKS (PRIVATE OPEN SPACE) DO NOT MEET CITY'S NOISE STANDARDS. PRIVATE DECKS ARE NOT COUNTED TOWARDS "USABLE OPEN SPACE"



AERIAL 1



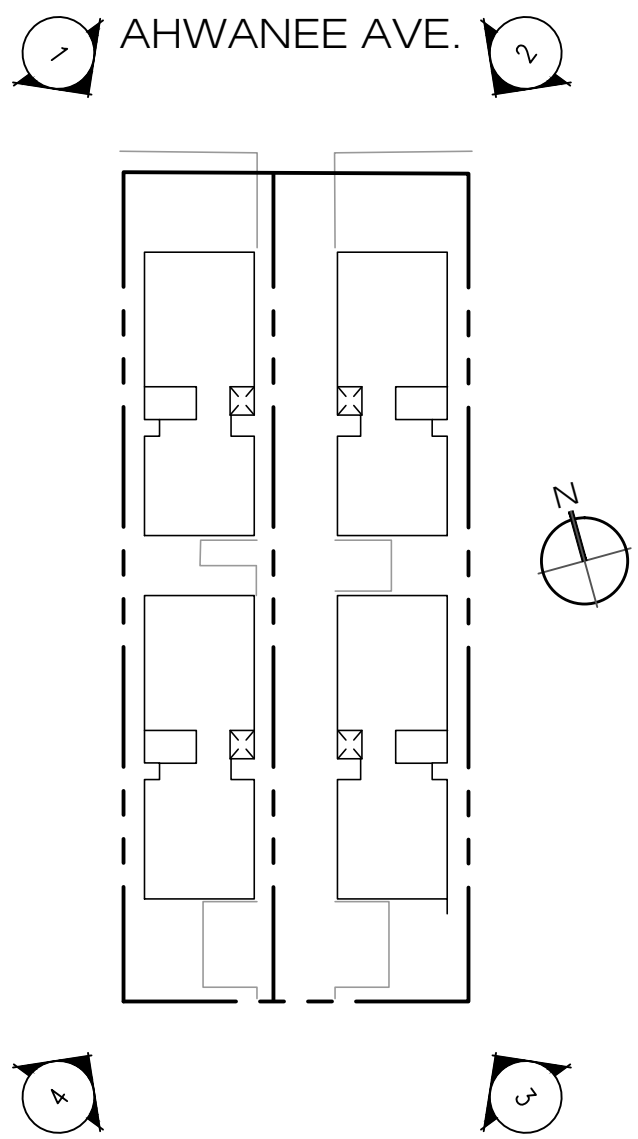
AERIAL 2



AERIAL 3



AERIAL 4



AERIAL VIEWS



VIEW 1



VIEW 2



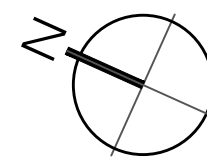
VIEW 3

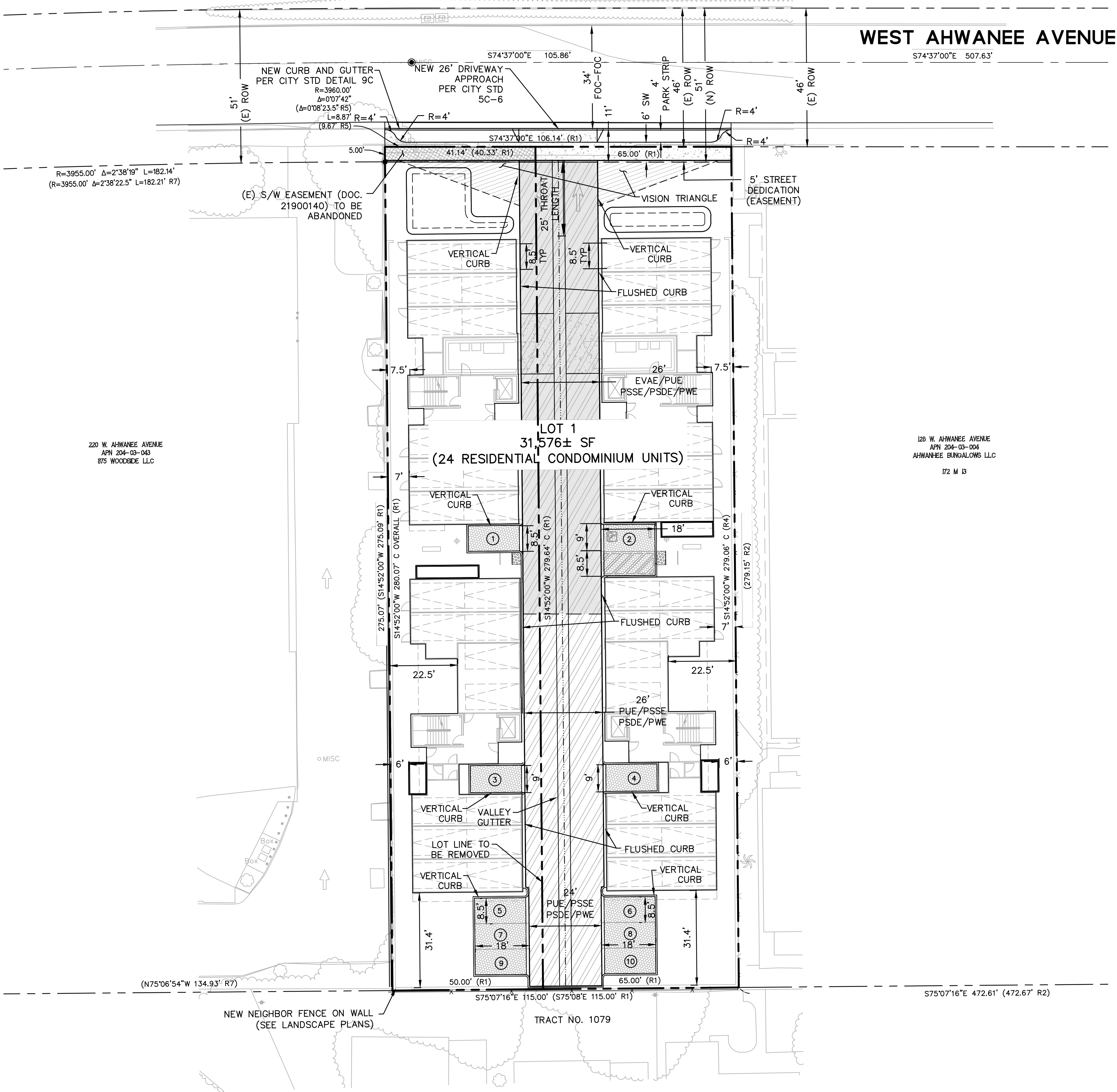


REFERENCE PLAN

RESIDENTIAL VIEWS

SUNNYVALE 24





LEGEND

	PROPOSED	EXISTING
PROJECT BOUNDARY	— — — — —	— — — — —
EASEMENT LINE	— — — — —	— — — — —
STREET CENTERLINE	— — — — —	— — — — —
FLUSHED CURB	— — — — —	— — — — —
CURB AND GUTTER	— — — — —	— — — — —
ROLLED CURB AND GUTTER	— — — — —	— — — — —
VISION TRIANGLE AREA	— — — — —	— — — — —
SLURRY SEAL COAT	— — — — —	— — — — —
PERVIOUS CONCRETE	— — — — —	— — — — —
EVAE	— — — — —	— — — — —
PUE, PSSE, PSDE, PWE	— — — — —	— — — — —

ABBREVIATIONS

C&G	= CURB & GUTTER
CSV	= CITY OF SUNNYVALE
(E)	= EXISTING
ESMT	= EASEMENT
EVAE	= EMERGENCY VEHICLE ACCESS EASEMENT
PG&E	= PACIFIC GAS & ELECTRIC COMPANY
DET	= DETAIL
DWY	= DRIVEWAY
LS	= LANDSCAPE STRIP
(N)	= NEW
PGE	= PACIFIC GAS & ELECTRIC EASEMENT
PUE	= PUBLIC UTILITY EASEMENT
PSDE	= PRIVATE STORM DRAIN EASEMENT
PSSE	= PRIVATE SANITARY SEWER EASEMENT
PWE	= PRIVATE WATER EASEMENT
ROW	= RIGHT OF WAY
STD	= STANDARD
STDE	= STREET DEDICATION EASEMENT
SW	= SIDEWALK
TYP	= TYPICAL

PROJECT DATA

1. OWNER:	TAPTI, LLC
2. DEVELOPER:	TAPTI, LLC 1481 PERALTA BOULEVARD FREMONT, CA 94536 CONTACT: KISHORE POLAKALA (408) 420-2268
3. CIVIL ENGINEER:	BKF ENGINEERS 1730 N. FIRST STREET, SUITE 600 SAN JOSE, CA 95110 CONTACT: PATRICK CHAN (408) 467-9100
4. PROPERTY:	PARCEL A AS SHOWN ON A PARCEL MAP FILED FEBRUARY 15, 1985 IN BOOK 539 OF MAPS, PAGE 26, SANTA CLARA COUNTY RECORDS.
5. ASSESSORS PARCEL NO.	204-03-003, 204-03-002
6. GENERAL PLAN	DOWNTOWN SPECIFIC PLAN
7. EXISTING ZONING:	DOWNTOWN SPECIFIC PLAN
8. PROPOSED ZONING:	DOWNTOWN SPECIFIC PLAN
9. EXISTING USE:	HIGH-DENSITY RESIDENTIAL
10. PROPOSED USE:	HIGH-DENSITY RESIDENTIAL
11. GROSS AREA:	0.74± ACRES
12. NET AREA:	0.72± ACRES
13. NUMBER OF UNITS:	24
14. NUMBER OF LOTS:	1 LOT (PROPOSED)
15. UTILITIES:	
A. WATER:	CITY OF SUNNYVALE
B. PRIVATE STREETS:	HOMEOWNER'S ASSOCIATION
C. SANITARY SEWER:	CITY OF SUNNYVALE
D. PRIVATE STREETS:	HOMEOWNER'S ASSOCIATION
E. STORM DRAIN:	CITY OF SUNNYVALE
F. PUBLIC STREETS:	HOMEOWNER'S ASSOCIATION
G. GAS/ELECTRIC:	PACIFIC GAS & ELECTRIC
H. TELEPHONE:	AT&T
I. CABLE TV:	COMCAST
16. BENCHMARK	CITY OF SUNNYVALE BENCHMARK NO. 58; BRASS DISK IN TOP OF CURB NEXT TO CATCH BASIN ON WEST SIDE OF MORSE AVENUE AT INTERSECTION OF MORSE AVENUE AND GLENDALE AVENUE. ELEVATION=30.946 FEET (NAVD 88)
17. BASIS OF BEARINGS:	THE BEARING NORTH 14°52'00" EAST OF THE CENTERLINE OF BORREGAS AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD IN BOOK 172 OF MAPS AT PAGE 13, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS SHOWN HEREON.
18. FLOOD ZONE:	THIS PROPERTY IS LOCATED WITHIN ZONE X AS SHOWN IN FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06085C0045H, DATED MAY 18, 2009.
19. LOT SIZE:	LOT 1 = 31,576 SF (0.72 AC)

GENERAL NOTES

- VESTING TENTATIVE MAP: THIS VESTING TENTATIVE MAP IS BEING FILED IN ACCORDANCE WITH ARTICLE 2, SECTION 86452 AND CHAPTER 4.5 OF THE SUBDIVISION ACT MAP.
- AREA: THE BOUNDARIES OF THIS SUBDIVISION CONTAIN 0.72 ACRES AND ARE PROPOSED FOR A ONE-LOT SUBDIVISION TO BE FURTHER DIVIDED INTO 24 RESIDENTIAL CONDOMINIUM UNITS VIA A SEPARATE INSTRUMENT.
- UTILITIES: AN UTILITY EASEMENT IN THE FAVOR OF PACIFIC GAS & ELECTRIC WILL BE CREATED TO FACILITATE MAINTENANCE OF GAS METERS AND ELECTRICAL SERVICES. SANITARY AND WATER SERVICE LATERALS BETWEEN THE BUILDINGS AND THE CLEANOUTS AND/OR WATER METERS WILL BE PRIVATELY OWNED AND MAINTAINED. THE STORM DRAINAGE SYSTEM WILL ALSO BE PRIVATELY OWNED AND MAINTAINED OR AS DESIGNATED.

SUNNYVALE 24-UNIT CONDO PROJECT

VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES C1.0



1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)

Job No. 20190238 Date. 06.05.19

WEST AHWANEE AVENUE

ABBREVIATIONS

BLDC	=	BUILDING CORNER
CONC	=	CONCRETE
DWY	=	DRIVEWAY
EB	=	ELECTRICAL BOX
FL	=	FLOW LINE
FNC	=	FENCE
GRD	=	GROUND
HCR	=	HANDICAP RAMP
LG	=	LIP OF GUTTER
SDCB	=	STORM DRAIN CATCH BASIN
SDMH	=	STORM DRAIN MANHOLE
SIG	=	SIGNAL
SSCO	=	SANITARY SEWER CLEAN OUT
SSMH	=	SANITARY SEWER MANHOLE
ST	=	STREET
TC	=	TOP OF CURB
V	=	VAULT
WM	=	WATER METER
WV	=	WATER VALVE

LEGEND

---	PROPERTY LINE
---	ADJACENT LOT LINE
---	WATER MAIN
---	ELECTRICAL LINE
---	SANITARY SEWER LINE
---	STORM DRAIN LINE
---	UNDERGROUND TELEPHONE
-X-	FENCE
EXISTING DRIVEWAY	CURB, GUTTER, AND SIDEWALK WITH DRIVEWAY
DI	CATCH BASIN
DI	STORM DRAIN INLET
PB	ELECTRIC PULLBOX
PB	ELECTRIC PULLBOX
GM	GAS METER
FH	FIRE HYDRANT
E BOX	ELECTRICAL BOX
U BOX	UTILITY BOX (GENERAL)
T BOX	TELEPHONE BOX
MH	MANHOLE (UNSPECIFIED)
T	TELEPHONE MANHOLE
SD	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSCO	SANITARY SEWER CLEANOUT
SSCO	SANITARY SEWER LATERAL
EL	ELECTROLIER
ST	STREETLIGHT
SLB	STREET LIGHT PULL BOX
JP	JOINT UTILITY POLE
TP	TELEPHONE POLE
SC	SURVEY CONTROL PT
SM	STREET MONUMENT (SURVEY)
S	SIGN (SINGLE POLE)
WM	WATER METER
WV	WATER VALVE
X	TREES TO BE REMOVED
O	TREES TO REMAIN

SUNNYVALE 24-UNIT CONDO PROJECT

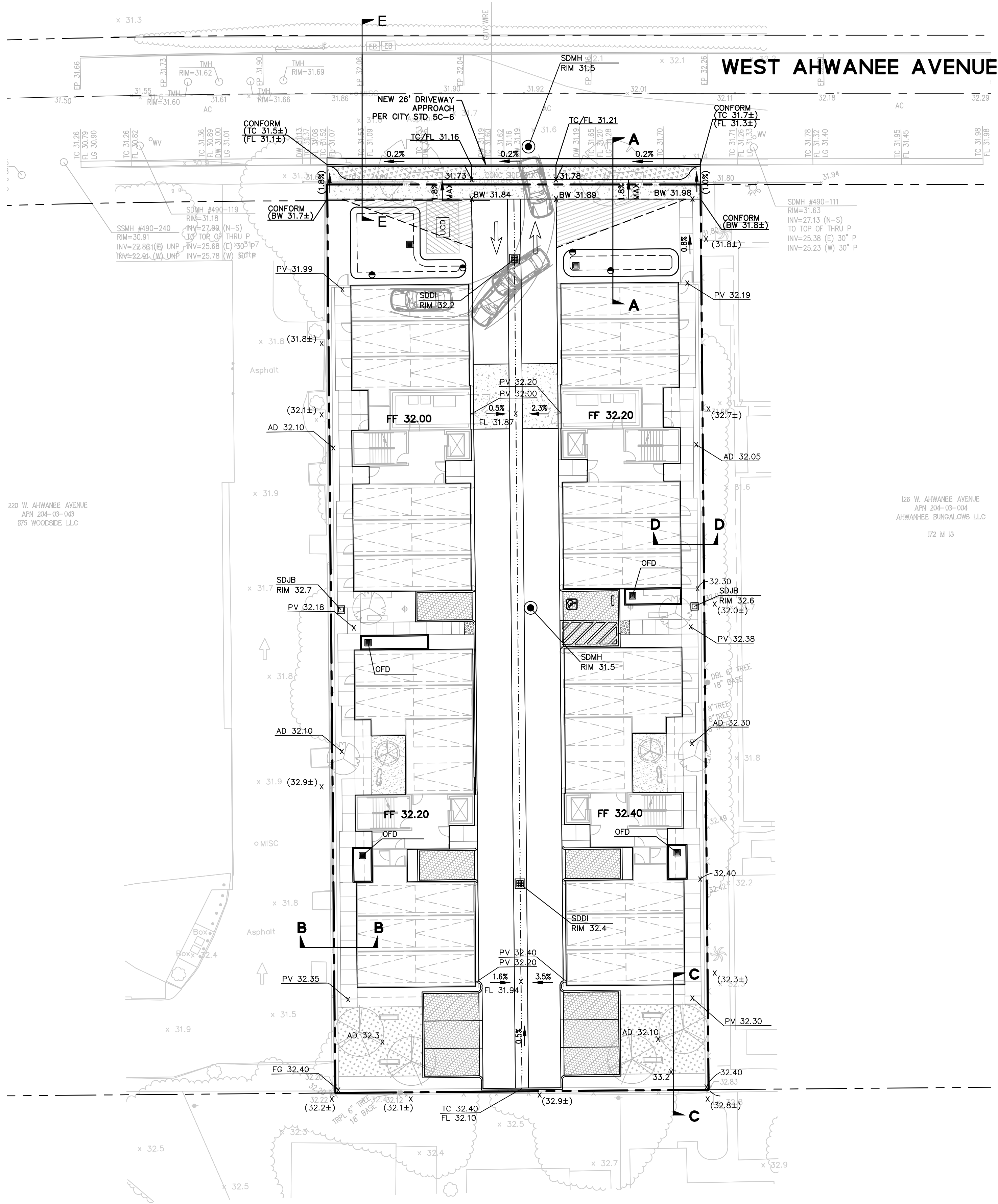
EXISTING CONDITIONS AND TREE REMOVAL PLAN C2.0



BKF 100+ YEARS
ENGINEERS . SURVEYORS . PLANNERS

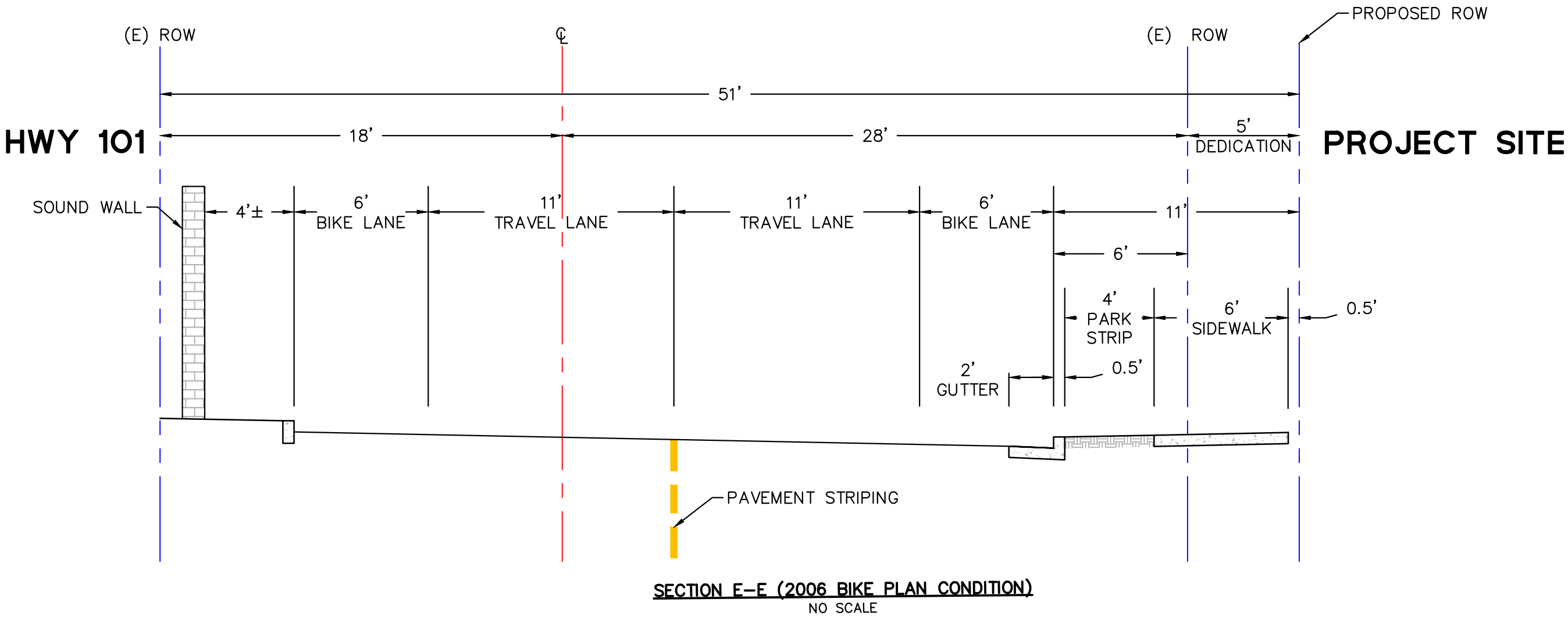
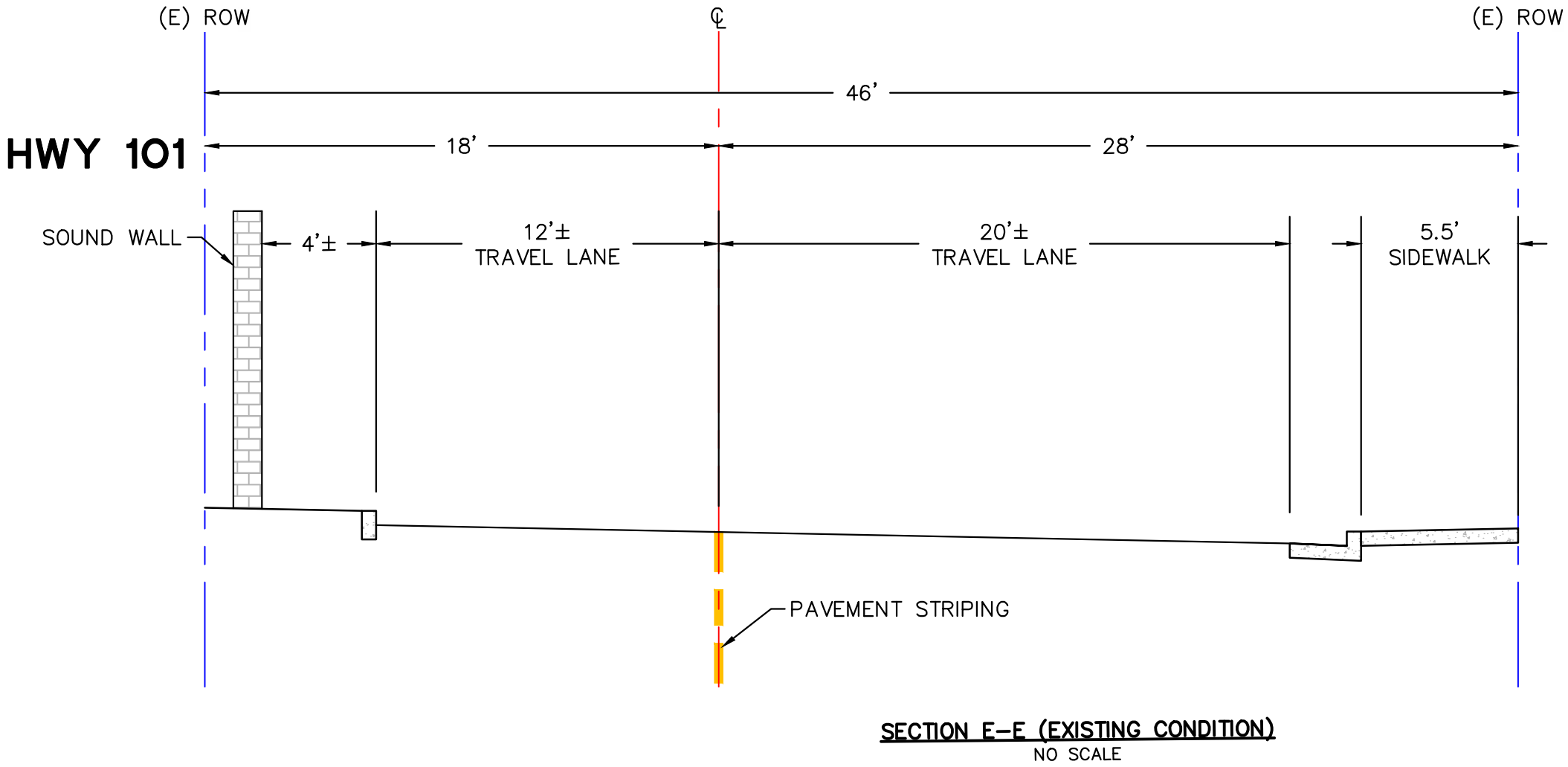
1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)

DRAWING NAME: K:\2019\190238_Sunnyvale_W.Ahwanee\ENG\PLANNING\03WA-GD.dwg
PLOT DATE: 01-07-20 PLOTTED BY: hoon



WEST AHWANEER AVENUE

128 W. AHWANEER AVENUE
APN 204-03-004
AHWANEER BUNGALOWS LLC
ITZ M IS



LEGEND

PROPERTY LINE	---
LOT LINE	---
STREET CENTERLINE	---
FLUSHED CURB	---
CURB AND GUTTER	---
ROLLED CURB AND GUTTER	---
OVERLAND RELEASE	←
AREA DRAIN	● AD
STORM DRAIN INLET	■ DI
STORM DRAIN MANHOLE	● SDMH
STORMWATER MECHANICAL TREATMENT DEVICE	● TD
STORM DRAIN CLEANOUT	● SDCO
BIORETENTION BASIN	---
PERVIOUS CONCRETE	---
VISION TRIANGLE	---

ABBREVIATIONS

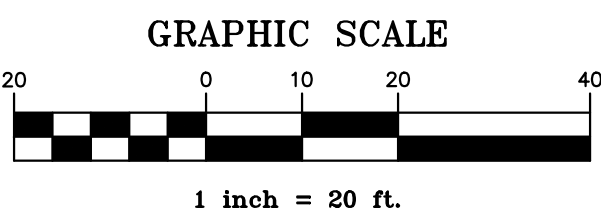
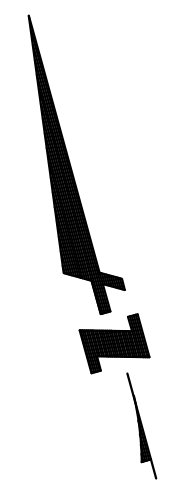
SYMBOL	DESCRIPTION
AC	HVAC UNIT
AD	AREA DRAIN
BB	BUBBLER BOX
BR	BIORETENTION BASIN
BW	BACK OF WALK
B/W	BOTTOM OF WALK
CB	CATCH BASIN
CC	CURB CUT (CURB OPENING)
CR	CROWN
CSV	CITY OF SUNNYVALE
DET	DETAIL
DI	DRAIN INLET
DWY	DRIVEWAY
(E)	EXISTING
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
GB	GRADE BREAK
GS	GARAGE SLAB
HP	HIGH POINT
JB	JUNCTION BOX
LG	LIP OF GUTTER
LP	LOW POINT
MH	MANHOLE
MIN	MINIMUM
NEW	NEW
(N)	NOT TO SCALE
N.T.S.	NOT TO SCALE
OFD	OVER FLOW DRAIN
PAE	PUBLIC ACCESS EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PV	PAVEMENT
SD	STORM DRAIN
STD	STANDARD
TC	TOP OF CURB
TW	TOP OF WALL
TRC	TOP OF ROLLED CURB
TYP	TYPICAL

PRELIMINARY GRADING &
DRAINAGE PLAN C3.0

BKF100+
ENGINEERS . SURVEYORS . PLANNERS
1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)

Job No. 20190238 Date. 06.05.19

SUNNYVALE 24-UNIT CONDO PROJECT



LEGEND

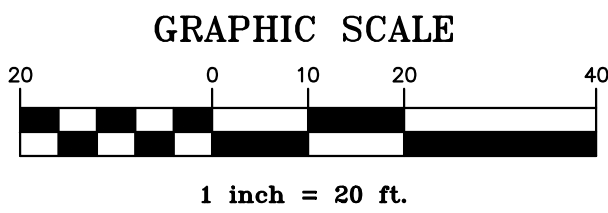
PROPERTY LINE	
LOT LINE	
STREET CENTERLINE	
CURB AND GUTTER	
VERTICAL CURB	
FLUSHED CURB	
ROLLED CURB AND GUTTER	
SANITARY LINE	
STORM DRAIN LINE (TREATED)	
STORM DRAIN LINE (UNTREATED)	
WATER LINE	
SANITARY SEWER LATERAL	
WATER SERVICE	
JOINT TRENCH	
AREA DRAIN	
STORM DRAIN INLET	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
STORM DRAIN MANHOLE	
STORMWATER MECHANICAL TREATMENT DEVICE	
STORM DRAIN CLEAN OUT	
STORM DRAIN CATCH BASIN	
STORM DRAIN JUNCTION BOX	
FIRE HYDRANT	
SUBSURFACE TRANSFORMER	
BACKFLOW PREVENTER	
WATER VALVE	
WATER METER (SIZING CALC. TBD BY MEP DURING FINAL DESIGN)	
PARKING LUMINAIRE (SEE LIGHTING PLANS FOR DETAILS)	
VISION TRIANGLE	

GENERAL UTILITY NOTES:

- ON-SITE WATER MAIN WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. THE ON-SITE WATER METERS WILL BE READ BY THE HOA.
- ON-SITE SANITARY SEWER AND STORM DRAIN AND ASSOCIATED STRUCTURES WILL BE OWNED AND MAINTAINED BY THE HOA.
- ALL SANITARY SEWER, STORM DRAIN AND WATER LINES AND ASSOCIATED STRUCTURES IN THE PUBLIC STREET WILL BE OWNED AND MAINTAINED BY THE CITY OF SUNNYVALE.
- THE HOA WILL BE RESPONSIBLE FOR MAINTENANCE OF STORMWATER TREATMENT AREAS.
- ON SITE LIGHT FIXTURES SHIELD TO AVOID LIGHT SPILLING OVER ONTO ADJACENT SITES.

SUNNYVALE 24-UNIT CONDO PROJECT

PRELIMINARY UTILITY PLAN
C4.0



BKF 100+
YEARS
ENGINEERS . SURVEYORS . PLANNERS

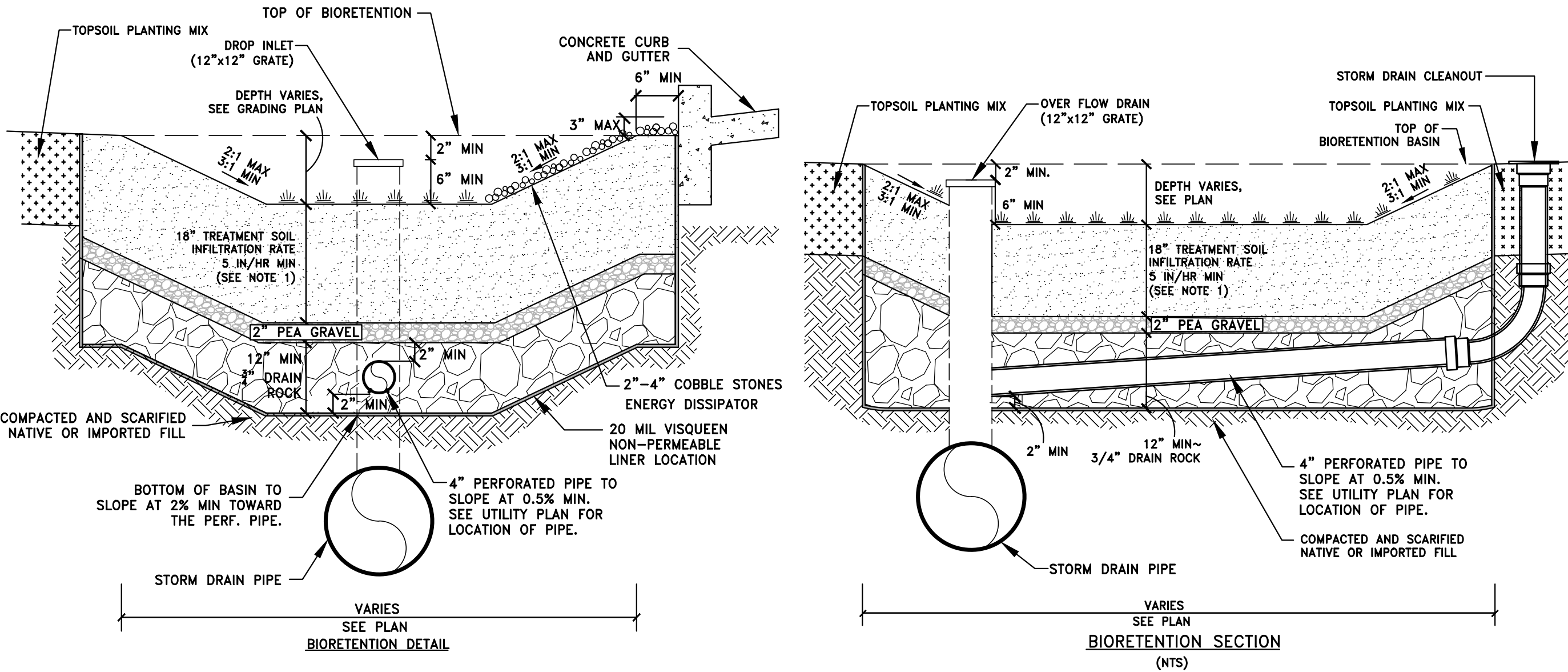
1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)

WEST AHWANEE AVENUE

LEGEND

- PROPERTY LINE
--- LOT LINE
--- TREATED STORM DRAIN LINE
--- SO --- UNTREATED STORM DRAIN LINE
- A-X** DRAINAGE AREA BOUNDARY
- BR-X** BIORETENTION AREA
- DRAINAGE SLOPE
- SDMH STORM DRAIN MANHOLE
DI DROP INLET
AD AREA DRAIN
JB JUNCTION BOX
BB BUBBLER BOX
SDCO STORM DRAIN CLEANOUT
RD STORM DRAIN ROOF DRAIN

AREAS DRAINAGE	DRAINAGE AREA SIZE (SF)	PERVIOUS SURFACE (SF)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SF)	WATER QUANTITY (SF)		PROPOSED TREATMENT CONTROLS
					REQUIRED	PROVIDED	
A-1	24,939	4,532	Landscape/Pervious Concrete	20,407	816	832	BR-1a BIORETENTION AREA BR-1b BIORETENTION AREA
A-2	1,956	94	Landscape/Pervious Concrete	1,862	74	78	BR-2 FLOW-THROUGH PLANTER
A-3	1,360	64	Landscape/Pervious Concrete	1,296	52	54	BR-3 FLOW-THROUGH PLANTER
A-4	1,360	64	Landscape/Pervious Concrete	1,296	52	54	BR-4 FLOW-THROUGH PLANTER
A-5	1,949	88	Landscape/Pervious Concrete	1,861	74	76	BR-5 FLOW-THROUGH PLANTER



- NOTE:
- FOR TREATMENT SOIL SPECIFICATIONS, SEE APPENDIX C IN SCVURPPP C3 STORMWATER HANDBOOK DATED APRIL 2012.
 - BACKFILL BIORETENTION ONLY WITH TREATMENT SOIL MATERIAL AND DRAIN ROCK AS SPECIFIED IN THIS DETAIL. ABSOLUTELY NO NATIVE MATERIAL SHALL BE USED FOR BACKFILL. CONTRACTOR SHALL COORDINATE WITH CIVIL ENGINEER PRIOR TO CONSTRUCTION.

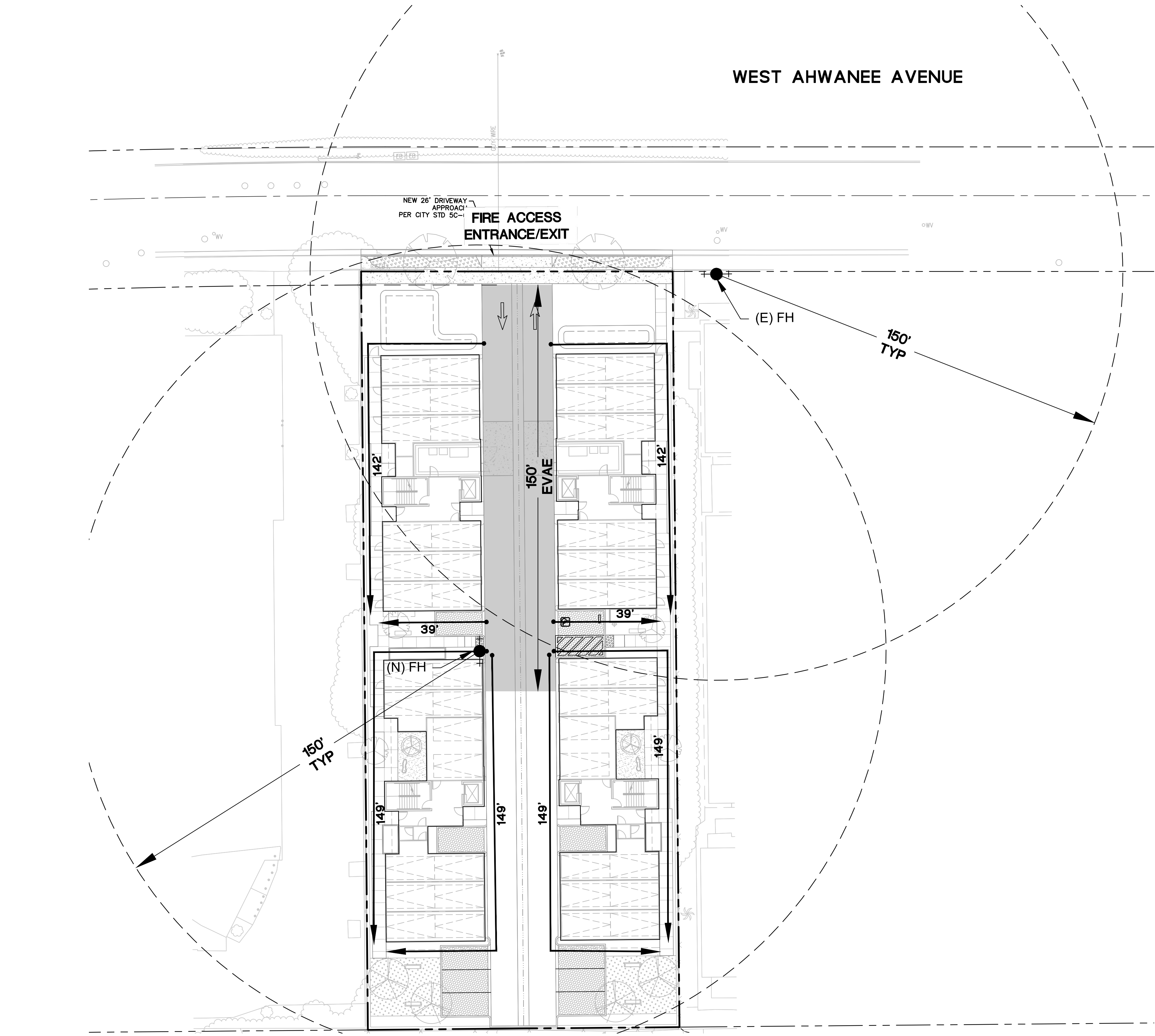
SUNNYVALE 24-UNIT CONDO PROJECT

PRELIMINARY STORMWATER
MANAGEMENT PLAN C5.0

BKF100+
ENGINEERS . SURVEYORS . PLANNERS
1730 N. FIRST ST.
SUITE 600
SAN JOSE, CA 95112
408-467-9100
408-467-9199 (FAX)

Job No. 20190238 Date. 06.05.19

DRAWING NAME: K:\2019\190238_Sunnyvale_W.Ahwanee\ENG\PLANNING\Sheets\05WA-SW.dwg
PLOT DATE: 01-07-20 PLOTTED BY: hoon



LEGEND

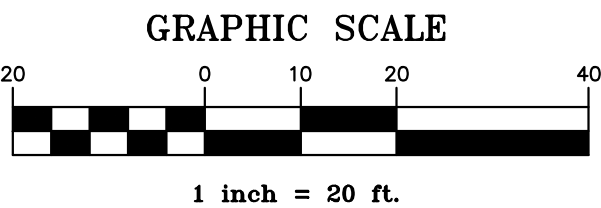
- PROPERTY LINE
- LOT LINE
- 26' EMERGENCY VEHICLE ACCESS ROAD (SEE NOTE 3)
- FIRE HOSE REACH FROM EVAE
- FIRE HYDRANT

- FIRE NOTES:**
1. THE PROJECT IS A R3 OCCUPANCY. THE ON-SITE FIRE HYDRANT CONNECTS TO THE WATER MAIN SYSTEM.
 2. ALL NEW HYDRANTS SHALL BE CLOW-RICH 865.
 3. THE APPROVED FIRE APPARATUS ACCESS ROADS WILL BE ASPHALT/CONCRETE PAVEMENT CAPABLE OF SUPPORTING A LOAD OF AT LEAST 90,000 LBS.

SUNNYVALE 24-UNIT CONDO PROJECT

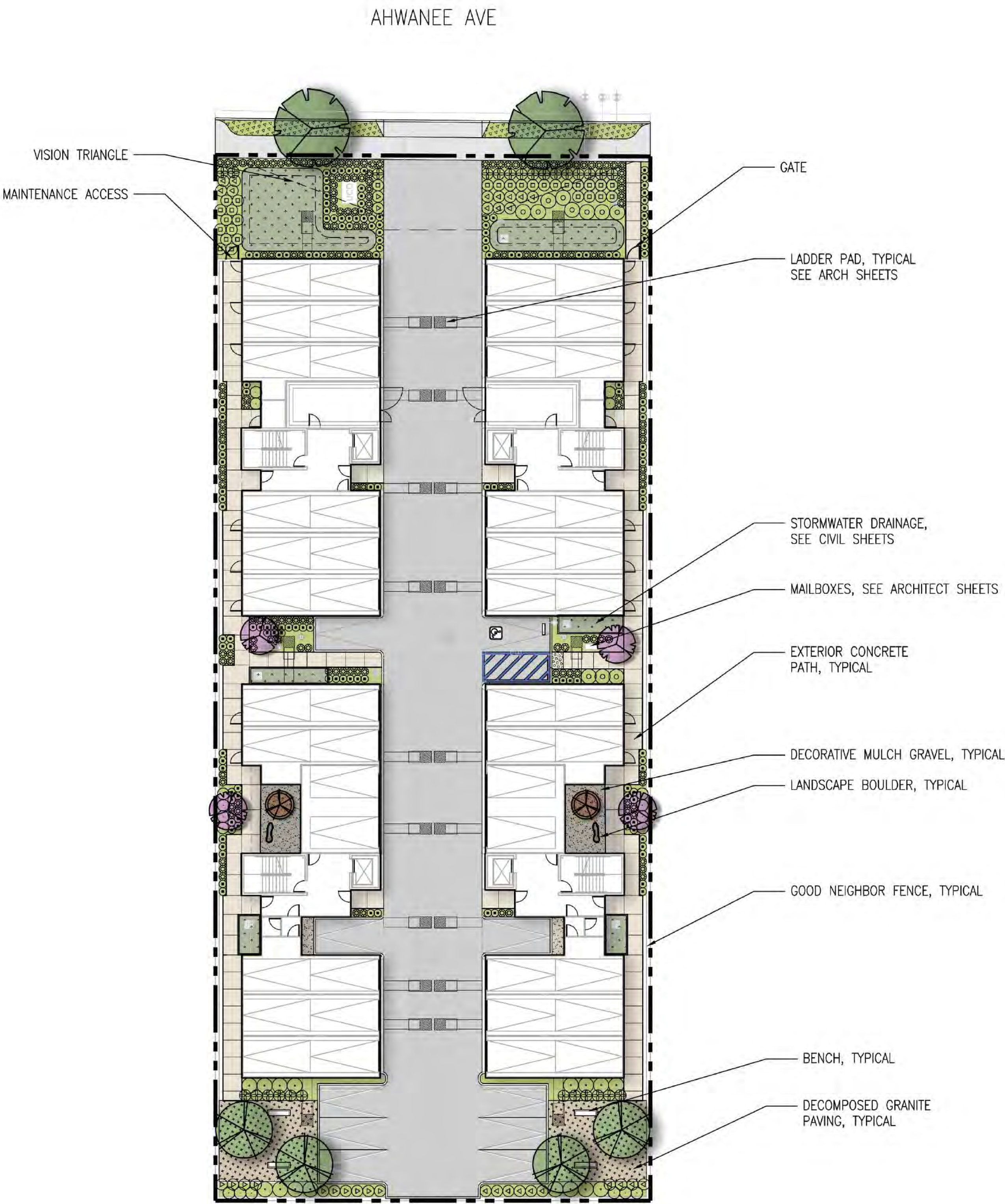
FIRE HYDRANT EXHIBIT

C6.0



BKF 100+ YEARS
ENGINEERS . SURVEYORS . PLANNERS

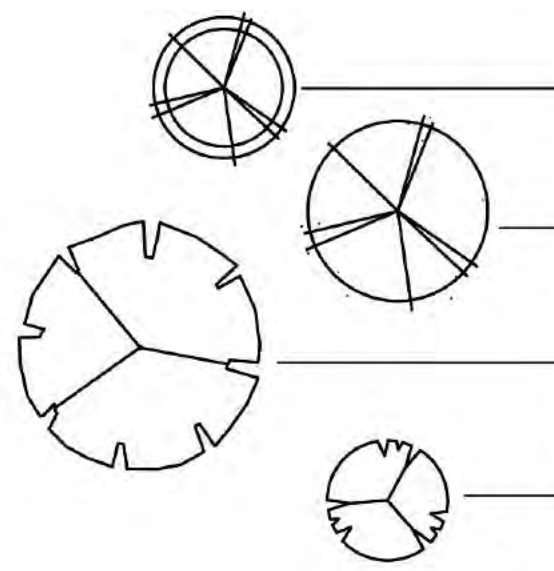
1730 N. FIRST ST.
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408-467-9100
408-467-9199 (FAX)



GROUND LEVEL



ROOF LEVEL

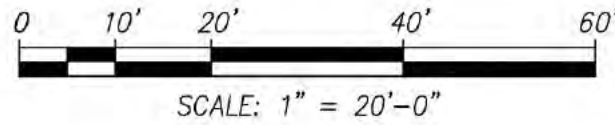
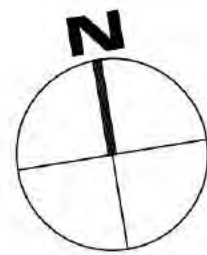


PLANT LIST						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WTR USE
TREES						
ACE CI	ACER CIRCINATUM	VINE MAPLE	24" BOX	PER PLAN	2	M
ARB MA	ARBUTUS 'MARINA'	STRAWBERRY TREE	24" BOX	PER PLAN	4	L
QUE KE	QUERCUS KELLOGGII	CALIFORNIA BLACK OAK	24" BOX	PER PLAN	2	L
CER OC	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	PER PLAN	40	L
SHRUBS						
○	ACACIA COGNATA 'COUSIN ITT'	ACACIA	5 GAL	4'-0" OC	15	L
⊗	ALOE 'JOHNSON'S HYBRID'	ALOE	1 GAL	2'-0" OC	90	L
⊙	ASPIDISTRA ELIATOR	CAST IRON PLANT	5 GAL	3'-0"	18	L
⊗	CLIVIA MINATA	ORANGE CLIVIA	1 GAL	2'-0"	90	M
⊙	ANIGOZANTHOS 'BUSH GOLD'	KANGAROO PAW	1 GAL	3'-0" OC	54	L
⊙	ANIGOZANTHOS 'CAPE AMAZON'	KANGAROO PAW	1 GAL	2'-0" OC	124	L
⊗	BULBINE FRUTESCENS	BULBINE	1 GAL	3'-0" OC	22	L
⊗	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	2'-0" OC	42	L
○	IRIS DOUGLASIANA	DOUGLAS IRIS	5 GAL	3'-0" OC	60	L
⊙	LOWANDRA LONGIFLORA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" OC	83	L
▽▽▽	ARCTOSTAPHYLOS 'EMERALD CARPET'	CARPET MANZANITA	1 GAL	4'-0"	41	L
STORMWATER PLANTING MIX						
▽	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL	2'-0" OC	40%	L
▽	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL	4'-0" OC	30%	L
▽	JUNCUS PATENS 'ELK BLUE'	CALIF. GRAY RUSH	1 GAL	2'-0" OC	30%	L

NOTE:
ALL PLANTING AREAS SHALL BE MAINTAINED WITH A 3" DEEP LAYER OF UN-DYED ORGANIC MULCH.

TREE REMOVAL AND REPLACEMENT LIST			
TREES TO BE REMOVED			
#	TYPE OF TREE	SIZE OF TREE	REPLACEMENT TREES
1	SCHINUS MOLLE*	OVER 24" DIAMETER	ONE 48" BOX TREE, OR TWO 36" BOX TREES, OR FOUR 24" BOX TREES
1	MAGNOLIA GRANDIFLORA*	12" - 18" DIAMETER	ONE 36" BOX TREE, OR TWO 24" BOX TREES
TOTAL REQUIRED REPLACEMENT TREES			6
TREE REPLACEMENT LIST			
#	TYPE OF TREE	SIZE OF BOX	
4	ARBUTUS UNEDO	24" BOX	REPLACEMENTS FOR SCHINUS MOLLE TREE AND MAGNOLIA GRANDIFLORA
2	QUERCUS KELLOGGII	24" BOX	
4	CERCIS OCCIDENTALIS	24" BOX	
TOTAL PROPOSED REPLACEMENT TREES			10

*SEE CIVIL PLANS FOR LOCATIONS



SCALE: 1" = 20'-0"

GROUND AND ROOF LEVEL
PRELIMINARY LANDSCAPE PLAN

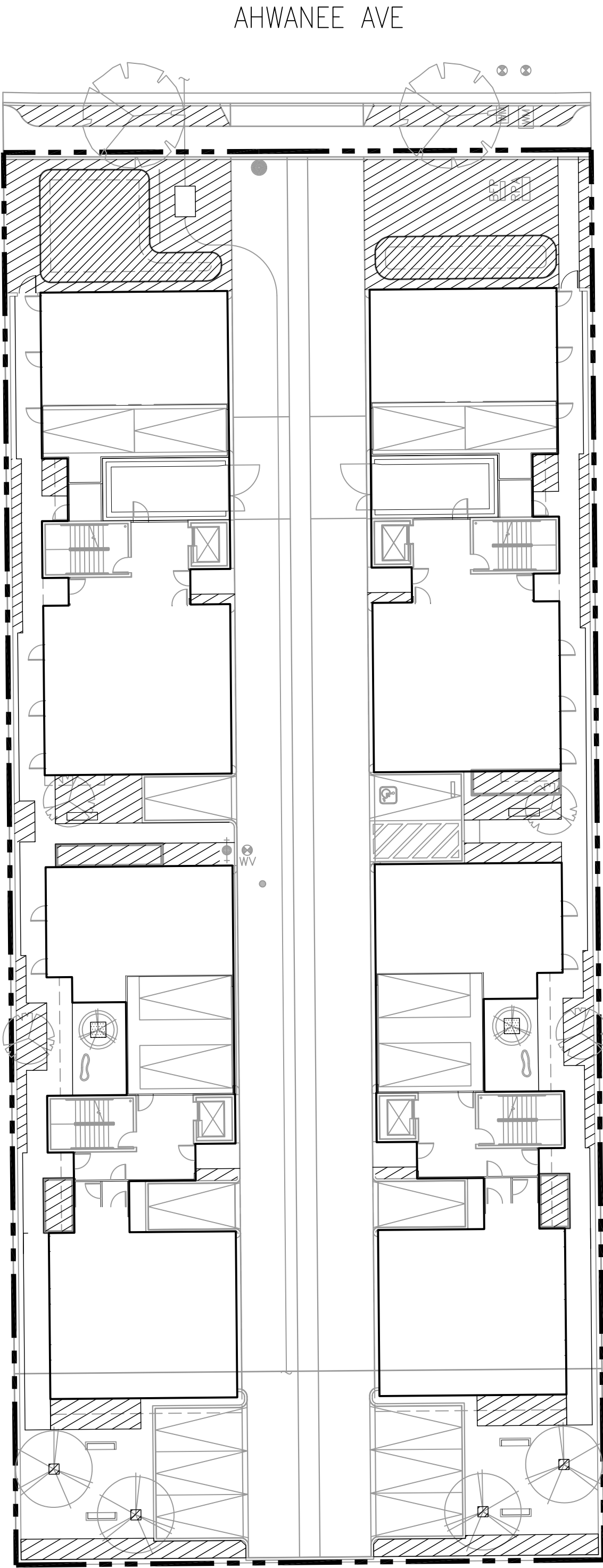
SUNNYVALE 24-UNIT CONDO PROJECT

HYDROZONE LEGEND							
SYMBOL	ZONE	HYDROZONE	PLANT TYPE	IRRIGATION TYPE	AREA (SF)	TOTAL (SF)	% LANDSCAPE
	1	LOW WATER USE	SHRUB/G.COVER	DRIP	5,176	5,360.0	100%
	2	LOW WATER USE	TREES	BUBBLER	184		
	3	MODERATE WATER USE	TREES	BUBBLER	8	8	<1%
TOTAL					5,368.0	100%	

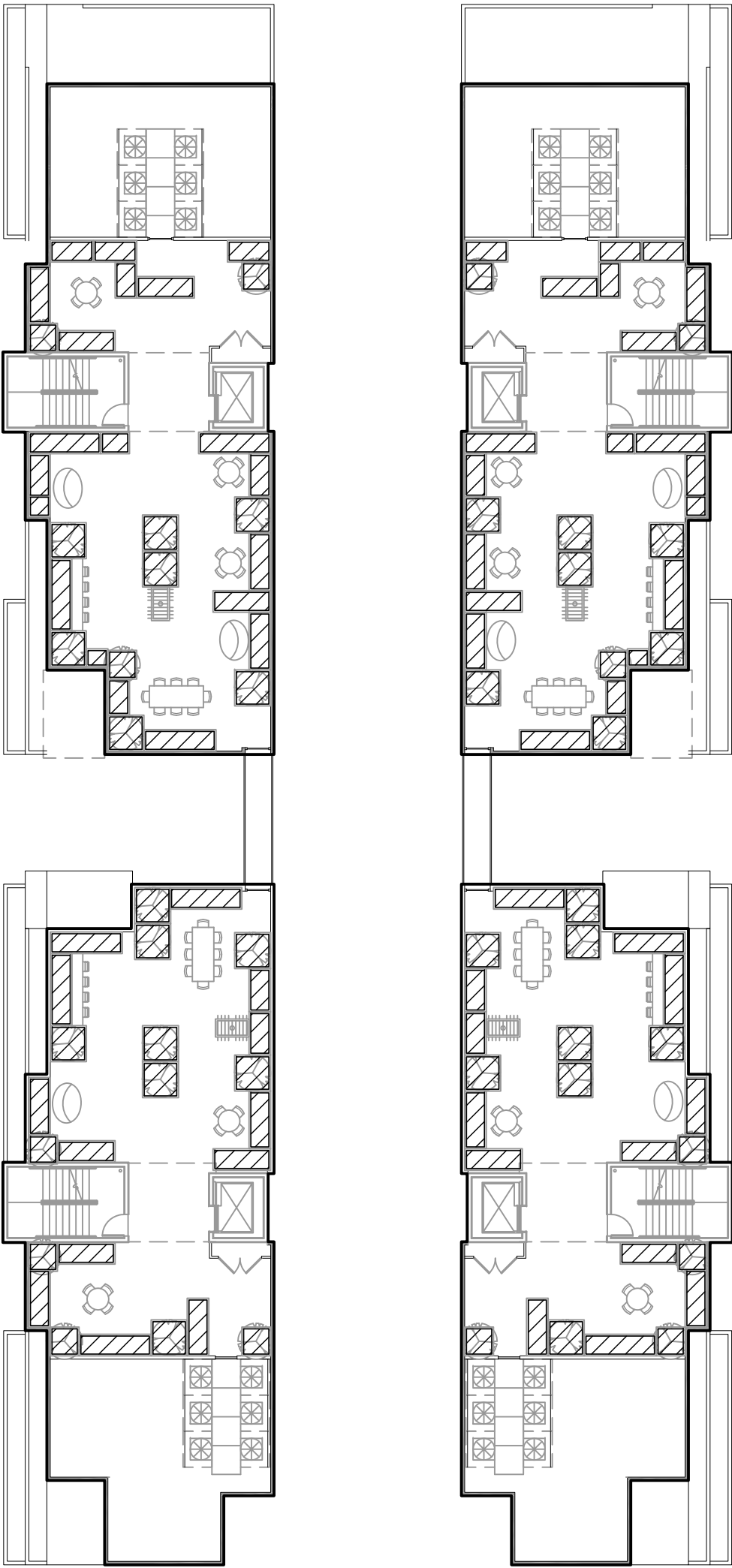
HYDROZONE INFORMATION TABLE							
REFERENCE ANNUAL ET ₀ FOR:		SAN JOSE (SUNNYVALE, WUCOLS)			45.3		
ET ADJUSTMENT FACTOR	.55	ET ADJ FACTOR PER MWEL & CALGREEN: 0.80= EXISTING NON-REHABILITATED LANDSCAPE, 0.65= SCHOOL 0.55= RESIDENTIAL, 0.45= NON-RESIDENTIAL		SLA ADDITIONAL WATER ALLOWANCE (1.0-ETAF)		0.45	
HYDROZONE	WUCOLS IV PLANT FACTOR (PF)	IRR METHOD DRIP:0.81 BUBB:0.81	ROTOR:0.75 SPRAY:0.75	IRRIGATION EFFICIENCY (IE)	ETAF ₂ (PF/IE)	LANDSCAPE AREA (SQ FT)	ESTIMATED TOTAL WATER USE (ETWU)
1	0.3	D		0.81	0.37	5176	1917.04
2	0.3	B		0.81	0.37	184	68.15
3	0.6	B		0.81	0.74	8	5.93
-	0	-		.81	0.00	0	0.00
-	0	-		.81	0.00	0	0.00
TOTAL						5368.00	1991.11
SPECIAL LANDSCAPE AREAS							
-				1		0	0.00
-				0		0	0.00
-				0		0	0.00
TOTAL LANDSCAPE AREA (LA + SLA)						5,368.00	
TOTAL ETWU	TOTAL ETWU ALL AREAS (SLA AND REGULAR LA)					TOTAL ETWU	55,922.35
MAWA	(ANNUAL ET ₀)(0.62 CONVERSION FACTOR) [(ET ADJUSTMENT FACTOR)(TOTAL LANDSCAPE AREA) + (1-ETAF)*SLA)]					MAWA	82,921.11
AVERAGE ETAF	SUM(ETAF ₂ X AREA) / TOTAL AREA (AVERAGE ETAF AS DESIGNED, EXCLUSIVE OF SLA _s)						0.37
SITEWIDE ETAF	TOTAL ETAF X AREA / TOTAL LANDSCAPE AREA (INCLUDES SLA _s)						0.37

IRRIGATION DESIGN INTENT

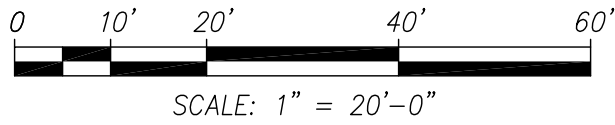
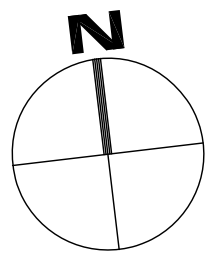
- THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL), CITY OF SUNNYVALE, AND SAN FRANCISCO PUBLIC UTILITIES COMMISSION (SFPUC).
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
- THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP, BUBBLER DISTRIBUTION, AND ROTOR WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
- ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT, INSTALLED BELOW-GRADE, AND DESIGNED FOR 100% COVERAGE.
- THE SYSTEM SHALL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.



GROUND LEVEL



ROOF LEVEL



SCALE: 1" = 20'-0"

HYDROZONE PLAN
PRELIMINARY LANDSCAPE PLAN

SUNNYVALE 24-UNIT CONDO PROJECT



TREES



ACER CIRCINATUM



ARBUTUS UNEDO



CERCIS OCCIDENTALIS



QUERCUS KELLOGGII

SITE FURNISHINGS



PRECAST PLANTERS



OUTDOOR LOUNGE SOFA



BENCH



LANDSCAPE BOULDER

SHRUBS



ACACIA COGNATA



ALOE JOHNSON'S HYBRID



ANIGOZANTHOS 'BUSH GOLD'



ANIGOZANTHOS
'CAPE AMAZON'



ROOFTOP DINING TABLE



FOOSBALL TABLE



BAR RAIL



GOOD NEIGHBOR
FENCING



BULBINE FRUTESCENS



CAREX TUMILICOLA



IRIS DOUGLASIANA



LOMANDRA 'BREEZE'

PAVING



LIGHT BROOM FINISH



DECOMPOSED
GRANITE



CONCRETE PAVERS



DECORATIVE MULCH GRAVEL

STORMWATER PLANTING



CAREX TUMILICOLA



CHONDROPETALUM TECTORUM



JUNCUS 'ELK BLUE'

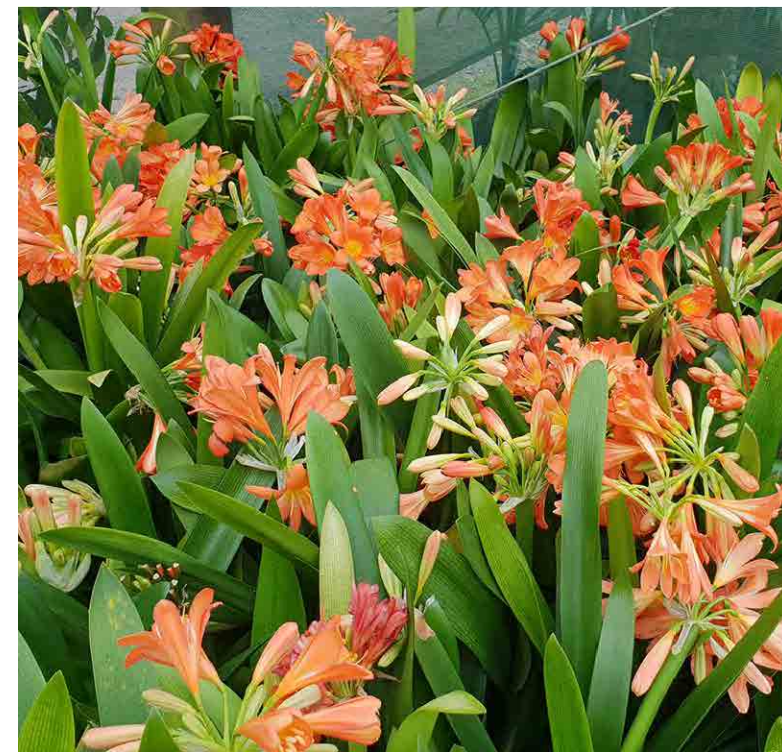
GROUNDCOVER



ARCTOSTAPHYLOS 'EMERALD CARPET'



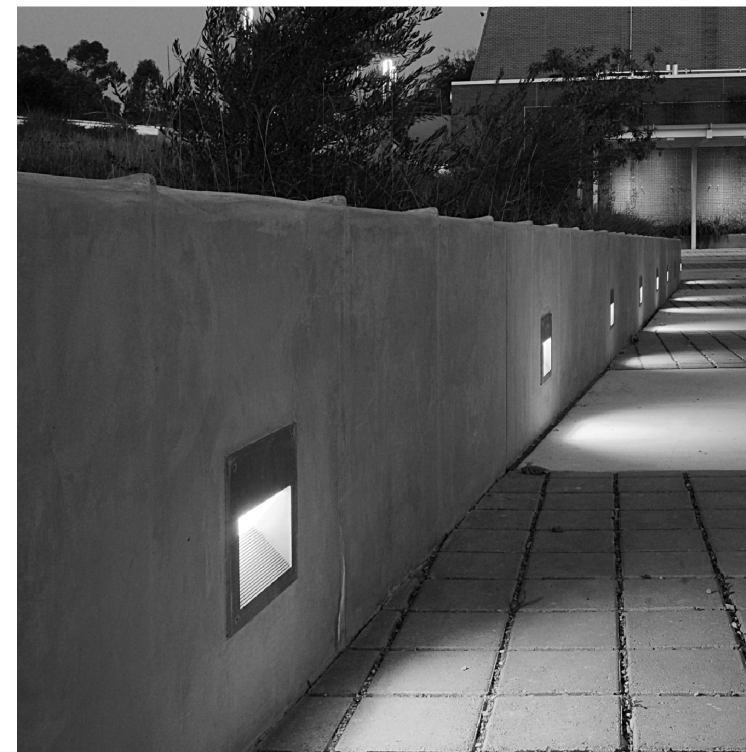
ASPIDISTRA ELIATOR



CLIVIA MINIATA

SHADE PLANTS

LANDSCAPE LIGHTING



RECESSED LED WALL LIGHT
IN PLANTER

PRECEDENT IMAGES
PRELIMINARY LANDSCAPE PLAN

SUNNYVALE 24-UNIT CONDO PROJECT