

PROJECT DATA TABLE

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
General Plan	Low Density Residential	Same	--
Zoning District	R-1	Same	--
Lot Size (s.f.)	6,278	Same	--
Gross Floor Area (s.f.)	2,831	2,941	45% (2,825 s.f.)
Lot Coverage	29%	29%	40% max.
Floor Area Ratio (FAR%)	45%	47%	45% or 3,600 s. f. whichever is less
No. of Buildings On-Site	1	Same	NA
Building Height	26'	Same	30' max.
No. of Stories	2	Same	2 max.
Building Setbacks			
1 st Floor			
Front	21'-6"	Same	20' min.
Sides	7'-9" and 8'-9"	Same	6' min.
Combined/Total Side	14'-6"	Same	12'-7" min.
Rear	20'	16'-6"	20' min.
2nd floor			
Front	44'-6"	Same	25' min.
Sides	8' and 9'	Same	7' min.
Combined/Total Side	17'	Same	19' min.
Rear	28'-6"	Same	20' min.
Parking			
Total Spaces	4	4	4 min.
Covered	2	2	2 min.
Uncovered	2	2	2 min.

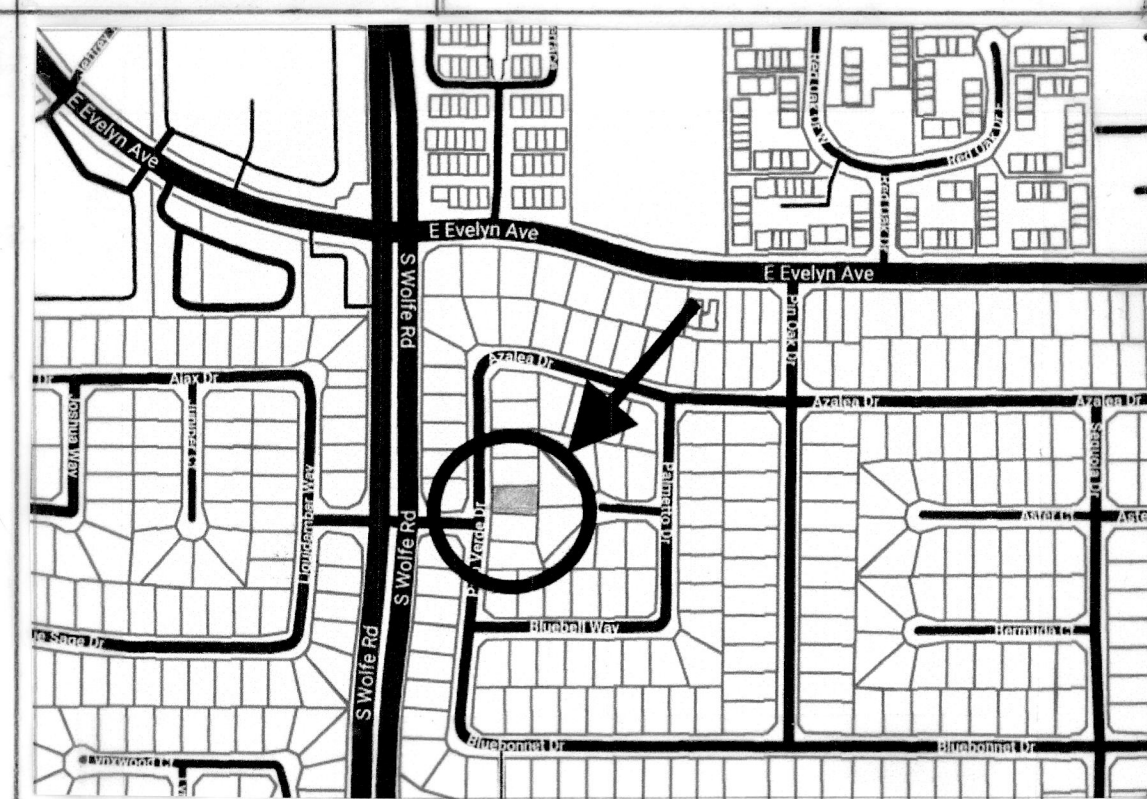
Starred items indicate deviations from Sunnyvale Municipal Code requirement

NOTE:

Automatic irrigation system's controllers installed at the time of final inspection shall be weather based.

SCOPE OF WORK

- A first floor addition and remodel to an existing two-story, single-family dwelling to consist of:**
1. Addition to the 1/2 Bathroom within the existing Entry Porch
 2. A complete Kitchen remodel and extension within the existing rear Porch roof line.
 3. An extension of the Laundry Room within the existing Garage.
 4. Minor interior remodel to the transition from the Kitchen to the Dining Room and Foyer to the Living Room.
 5. Raise the Living Room floor to match the rest of the floors throughout the First Floor.
 6. Rebuild rear deck area and incorporate a built-in BBQ and open trellis.

VICINITY MAP**PROJECT DATA**

A.P.N.	213-03-030
ZONING	R1 Single Family
OCCUPANCY	R-0
BUILDING TYPE	VB
Fire sprinklers	No
A. PARCEL SIZE	Approx. 6,278 s. f.
B. EXISTING ATTACHED GARAGE	441 s. f.
C. EXISTING PORCHES, Entry & Rear	143 s. f.
D. EXISTING LIVING AREA, 1 st FLR.	1,262 s. f.
E. EXISTING LIVING AREA, 2nd FLR.	1,128 s. f.
F. TOTAL EXISTING LIVING AREA	2,390 s. f.
G. EXISTING F.A.R.	45% @ 2,831
H. TOTAL PROPOSED NEW LIVING AREA	129 s. f.
I. TOTAL PROPOSED LIVING AREA	2,519 s. f.
J. ADJUSTED GARAGE AREA	422 s. f.
K. ENTRY PORCH	39 s. f.
L. BUILDING COVERAGE, (D+G+I+K)	29% @ 1,852 s. f.
M. PROPOSED FLOOR AREA RATIO, (H+K)	47% @ 2,941 s. f.
N. ALLOWABLE FLOOR AREA RATIO	45% @ 2,825 s. f.

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WASTE MANAGEMENT

A MINIMUM OF 75% OF THE NON-HAZARDOUS CONSTRUCTION & DEMOLITION WASTEGENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGC 4.408

DRAWING INDEX

A1	SITE PLAN, NOTES, DATA
CG1	CALGREEN MANDATORY MEASURES CHECKLIST
A2	"AS BUILT" FIRST FLOOR PLAN
A3	"AS BUILT" SECOND FLOOR PLAN
A4	PROPOSED FIRST FLOOR PLAN, NOTES, WALL LEGEND
A5	PROPOSED EXTERIOR ELEVATIONS
A6	EXISTING EXTERIOR ELEVATIONS, STREETSCAPE ELEVATIONS

COMMON ABBREVIATIONS

ABBREVIATION	DESCRIPTION
C.	Center Line
Cab.	Cabinet
Cant.	Cantilever
D.	Dryer
D.S.	Down Spout
D.W.	Dish Washer
(E)	Existing
EQ.	Equal
F.A.U.	Forced Air Unit
FIN.	Finish
F.F.	Finish Floor
FLU.	Fluorescent
G.F.I.	Ground Fault Interrupter
LAV.	Lavatory
L.T.	Laundry Tub
MIN.	Minimum
(N)	New
N.T.S.	Not To Scale
O.C.	On Center
P. & S.	Pole and Shelf
QTY.	Quantity
REF.	Refrigerator
R.A.G.	Return Air-Grille
(R)	Relocate
REQ.	Required
SIM.	Similar
S.	Sink
S.F.	Square Feet
SYM.	Symbol
TEMP.	Tempered
T.B.D.	To Be Determined
T.O.S.	Top Of Slab
T.P.L.	Top Plate Line
(TYP.)	Typical
U.O.N.	Unless Otherwise Noted
W/C	Water Closet
W.	Washer
W/H	Water Heater
W/P	Weather Proof
W/S	Weather Strip
WD.	Wood

GENERAL NOTES

1. All new construction work; Architectural, Mechanical, Electrical, Fire protection, Etc., shall conform to the 2016 C.R.C., and any other local codes.
2. Field verify all dimensions and conditions prior to commencing work. Report any discrepancies Hayes & Associates immediately before proceeding with work.
3. All dimensions are taken from face of stud to face of stud, (F.O.S.), unless otherwise noted on plans.
4. Written dimensions shall take precedence over scaled dimensions. Do not scale drawings.
5. All sleeping rooms must meet the emergency egress requirements in Chapter 2, Section 202 and Chapter 3, Section 310.1 - 310.4, 2016 C.R.C.
6. Sleeping rooms must conform to Section 310.1-310.4, 2016 C.R.C.
 - a. Maximum window net clear opening height of 44" from finished floor.
 - b. Minimum net clear opening width of 20", minimum net clear opening height of 24", and a minimum net area of 5.7 square feet for total opening.
7. All tub and shower enclosures and plastic materials shall be an approved shatterproof material. Section R308, 2016 C.R.C.
8. Staircase design shall comply with Chapter 3, Section R311.7, 2016 C.R.C.
9. Attic ventilation shall not be less than 1/150 of the total area of the attic or per Chapter 8, Section 806 of the 2016 C.R.C.
10. Installation of roofing material shall comply with Chapter 9, Section R905, 2016 C.R.C.
11. All exterior wall coverings shall conform to Chapter 7, Section R703 of the 2016 C.R.C.
12. Building paper is required behind all sheetrock at all water splash areas.
13. Metal flashing shall comply with Chapter 7, Sections R703.4, R703.8 and Chapter 9, Section R903.2, R905 of the 2016 C.R.C.
14. Provide insulation blocks at all eave vents.
15. Glass shall comply with Section R308 of the 2016 C.R.C. Federal Glazing Regulations.
16. Hayes & Associates are not responsible for deviation from the plans during construction by the owner or his/her contractor, or any other individual.

APPLICABLE CODES:

THE 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA BUILDING CODE, 2016 CA FIRE CODE, 2016 CA MECHANICAL CODE, 2016 CA PLUMBING CODE, 2016 CA ELECTRICAL CODE, 2016 FIRE CODE, TITLE 24, PART 6 CALIFORNIA ENERGY CODE (2016 ED.), 2016 "CAL GREEN" BUILDING STANDARDS.

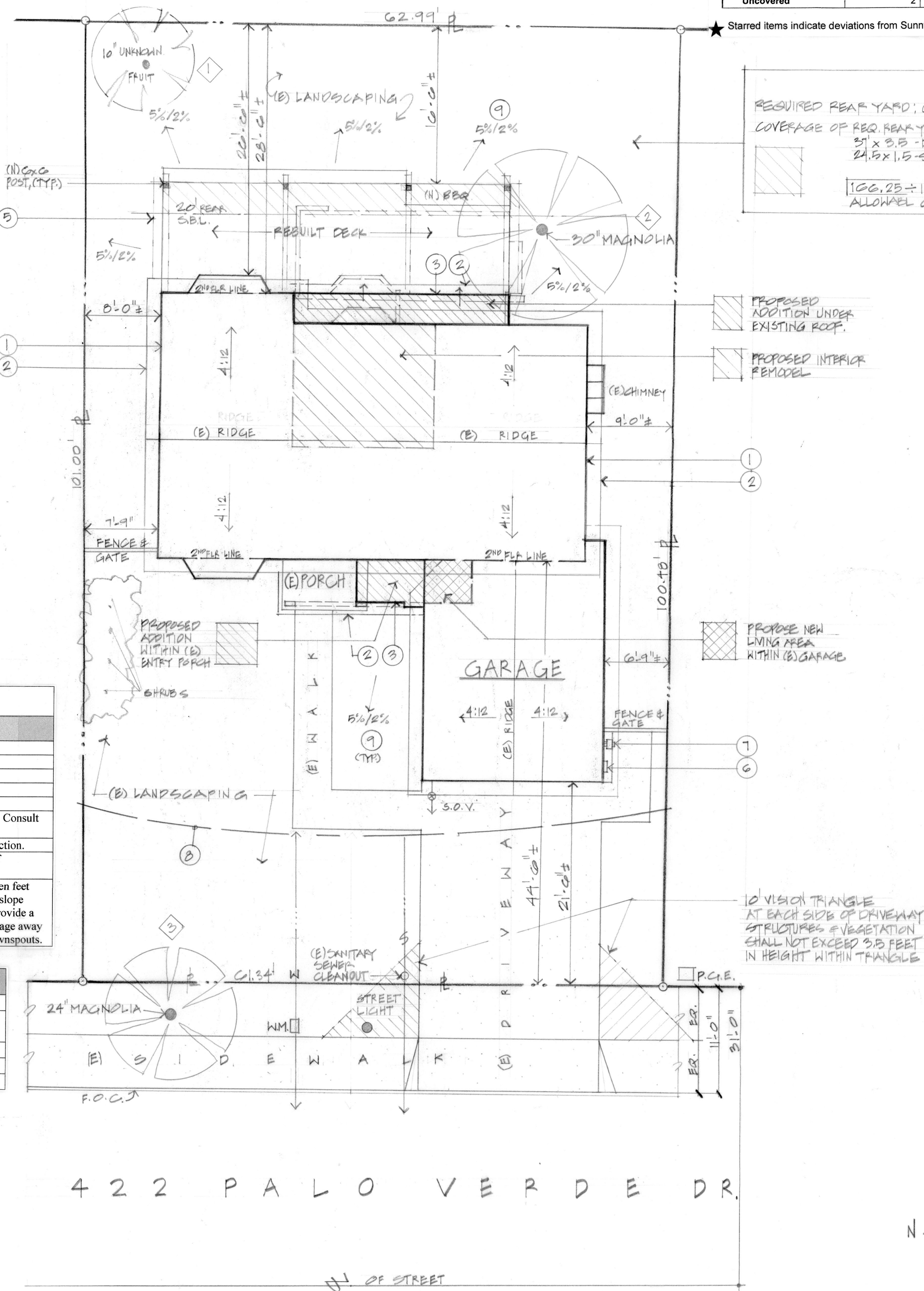
NOTES

SYM.	DESCRIPTION
1	Line of the existing building. (Typ.)
2	Line of the existing roof overhang. (Typ.)
3	Line of the new building. (Typ.)
4	Line of the new roof overhang. (Typ.)
5	Line of new open trellis structure.
6	Existing electrical panel and meter. Upgrade as needed. Consult the owner.
7	Existing gas meter. Protect from damage during construction.
8	Provide 8" fiber rolls, (waddles) during the entire time of construction.
9	Provide a 5% slope away from the building for the first ten feet wherever impervious surfaces occur then maintain a 2% slope thereafter. Where impervious surfaces abut a building, provide a 2% minimum slope away from the building. Direct drainage away from adjacent properties. Provide splash blocks at all downspouts.

TREE TABLE

Symbol	Type	Trunk Dia.	Remarks
1	Unknown fruit	10"	To Remain
2	Magnolia	30"	To Remain
3	Magnolia	24"	To Remain

NOTE: No protected trees exist on the site.

SITE PLAN

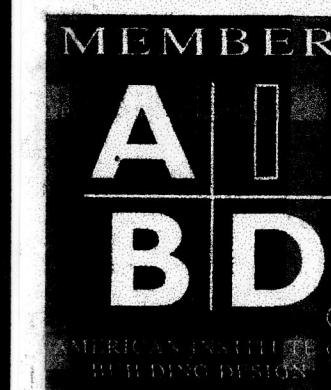
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DRAWN J.C. 4/15/16	CHECKED
DATE 4/15/16	SCALE AS NOTED
JOB NO.	SHEET
A1	OF SHEETS



CALGREEN RESIDENTIAL MANDATORY CHECKLIST

THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2020

Following is a standardized checklist of the 2019 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (Chapter 4). This checklist is required for all new buildings and additions/alterations that increase the building's conditioned area. The requirements shall apply only to and/or within the specific area of the addition or alteration.

CALGreen Reference	Description	Designer's Comments with Plan Sheet Reference	City Field Inspection Verification
4.1 Planning and Design	4.106.2 Storm Water Drainage and Retention during construction. A plan is developed and implemented to manage storm water drainage during construction.	Sheet: A1	Initials and Date:
4.1 Planning and Design	4.106.3 Grading and paving. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings	Sheet: A1	Initials and Date:
4.1 Planning and Design	4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages shall install a listed raceway to accommodate a dedicated 208.240-volt branch circuit	Sheet: N/A	Initials and Date:
4.1 Planning and Design	4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces capable of supporting future EVSE.	Sheet: N/A	Initials and Date:
4.1 Planning and Design	4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE.	Sheet: N/A	Initials and Date:
4.2 Energy Efficiency	4.201.1 Scope Compliance with the California Energy Commission mandatory standards.	Sheet: T24	Initials and Date:

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7444
Building and Planning Division representatives are available 8 a.m. - 12:30 p.m. and 1 p.m. - 5 p.m.
Sunnyvale.ca.gov - Search "Planning and Building"

Rev. 1/2020
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4.5 Environmental Quality	4.503.3 Moisture content of building materials. Moisture content of building materials used in wall and floor framing is checked before enclosure.	Sheet: S1	Initials and Date:
4.5 Environmental Quality	4.504.1 Covering of duct openings and protection of mechanical equipment during construction. Duct openings and other related air distribution component openings shall be covered during construction.	Sheet: A4	Initials and Date:
4.5 Environmental Quality	4.504.2 Finish material pollutant control. Adhesives, sealants and caulks. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. Paints and coatings. Paints, stains and other coatings shall be compliant with volenimits. Aerosol paints and coatings. Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Verification. Documentation shall be provided to verify that compliant voe limit finish materials have been used.	Sheet: CG1	Initials and Date:
4.5 Environmental Quality	4.504.3 Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold. Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.	Sheet: A4	Initials and Date:

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4.3 Water Efficiency and Conservation	4.303.1.1 Water Closets. Effective flush volume of all water closets shall not exceed 1.28 gallons per flush.	Sheet: A4	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.1.2 Urinals. The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush.	Sheet: N/A	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.1.3 Showerheads. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. When a shower is served by more than one showerhead, the combined flow rate of all shower heads shall not exceed 1.8 gallons per minute at 80 psi.	Sheet: A4	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.1.4 Faucets. Residential lavatory faucets shall not exceed 1.2 gpm at 60 psi. Lavatory faucets in common and public use areas in residential buildings shall not exceed 0.5 gpm at 60 psi. Metering faucets installed in residential buildings shall not deliver more than 0.2 gallons per cycle. Kitchen faucets shall not exceed 1.8 gpm at 60 psi.	Sheet: A4	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed per the California Plumbing Code.	Sheet: A4	Initials and Date:
4.3 Water Efficiency and Conservation	4.304.1 Outdoor potable water use in landscape areas. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWEL0).	Sheet: N/A	Initials and Date:
4.3 Water Efficiency and Conservation	4.305.1 Recycled water supply systems. Newly constructed residential developments, where recycled water is available from a municipal source may be required to have recycled water supply systems installed.	Sheet: N/A	Initials and Date:

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4.5 Environmental Quality	4.504.4 Resilient flooring systems. Where resilient flooring is installed, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following: 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).	Sheet: A4	Initials and Date:
4.5 Environmental Quality	4.504.5 Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those section s, as shown in Table 4.504.5.	Sheet: A4	Initials and Date:
4.5 Environmental Quality	4.505.2 Concrete slab foundations. Vapor retarder and capillary break is installed at slab-on-grade foundations.	Sheet: S1	Initials and Date:
4.5 Environmental Quality	4.507.2 Heating and air-conditioning system design. Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 or equivalent. 2. Size duct systems according to ANSI/ACCA 1	Sheet: A4	Initials and Date:

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4.4 Material Conservation and Resource Efficiency	4.406.1 Rodent Proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents.	Sheet: S1	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste.	Sheet: A1	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.408.2 Construction waste management plan. Submit a construction waste management plan.	Sheet: A1	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.410.1 Operation and maintenance manual. An operation and maintenance manual shall be provided to the building occupant or owner.	Sheet: A4	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.410.2 Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, readily accessible areas shall be identified for the collection of recycling.	Sheet: N/A	Initials and Date:
4.5 Environmental Quality	4.503.1 Fireplaces. Any installed gas fireplace shall be a direct-vent sealed-combustion type.	Sheet: N/A	Initials and Date:

Page 3 of 6

Chapter 7: Installer and Special Inspector Qualifications	Manual D-2014 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual 5-2014 or equivalent.		
	702.1 Installer Training. HVAC system installers are trained and certified in the proper installation of HVAC systems. 702.2 Special Inspection. Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting. 703.1 Documentation. Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.	Sheet: A4	Initials and Date:

Page 6 of 6

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A I
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THE TAPELLA RES

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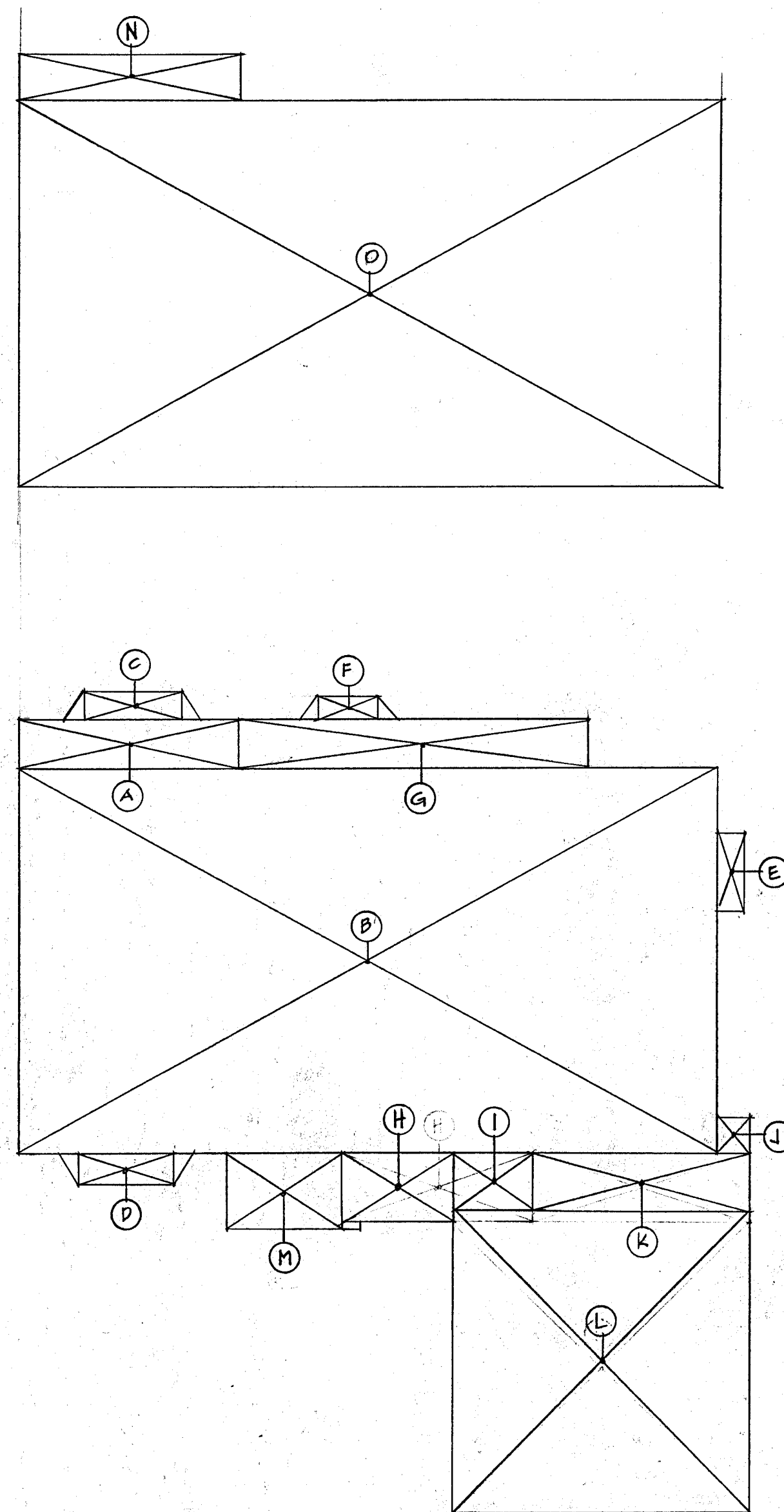
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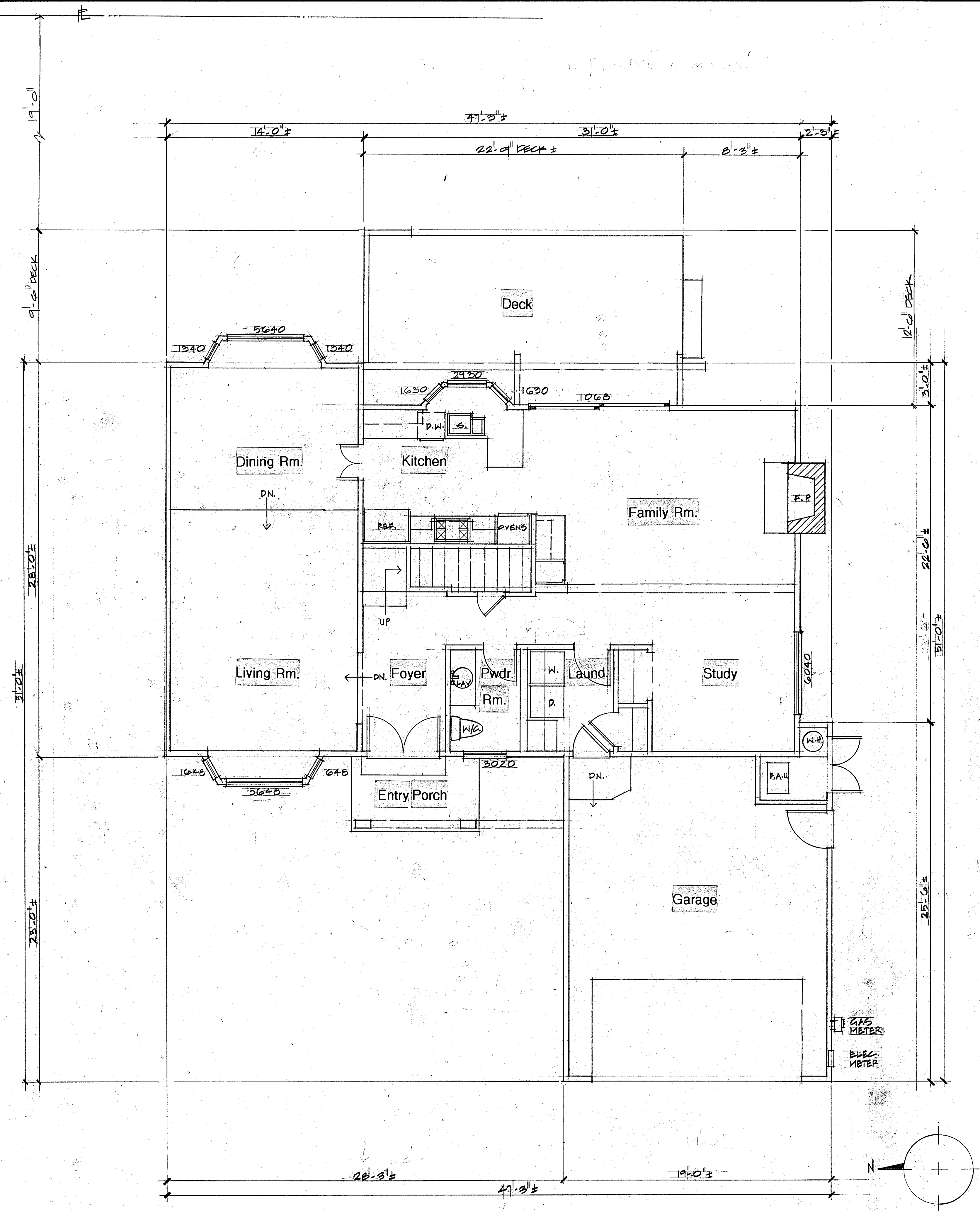
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**FLOOR AREA TABLE**

Lot Area: 6,278 sq. ft.

Section	Remarks	Dimensions in feet	Area, (sq. ft.) (Rounded)
A	Existing Living Area, 1 st Flr.	14 x 3	42
B	Existing Living Area, 1 st Flr.	42.75 x 25	1,181
C	Existing Living Area, 1 st Flr. Bay wdw.	6 x 2 + 3	15
D	Existing Living Area, 1 st Flr. Bay wdw.	6 x 2 + 3	15
E	Existing Living Area, 1 st Flr. Chimney	1.75 x 5	9
F	New Living Area, 1 st Flr. Bay wdw.	3.5 x 1.75 + 3	9
G	New Living Area, 1 st Flr. Under existing roof	22.66 x 3	68
H	New Living Area, 1 st Flr. Within existing Entry Porch	7.33 x 4.5	33
I	New Living Area, 1 st Flr. Within existing Garage	5 x 3.75	19
Total Proposed New Living Area			129
J	Existing Garage	2.25 x 2.5	6
K	Existing Garage	14 x 3.75	53
L	Existing Garage	19 x 19.25	366
M	Entry Porch	7.5 x 5 + 1	39
N	Existing Living Area, 2 nd Flr.	14 x 3	42
O	Existing Living Area, 2 nd Flr.	45 x 25 - 39	1,086
TOTAL PROPOSED F.A.R. - All living areas + Garage			(47%) 2,941
CURRENT ALLOWABLE F.A.R. (Per city code)			(45%) 2,825

F.A.R. DIAGRAM & TABLE



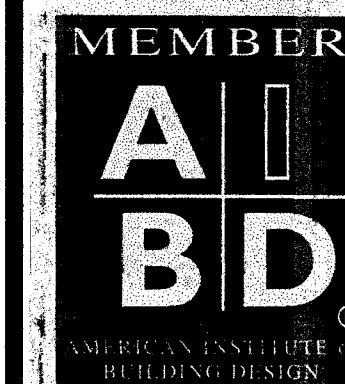
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 PSH & JP
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DATE 2.19.20

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A2

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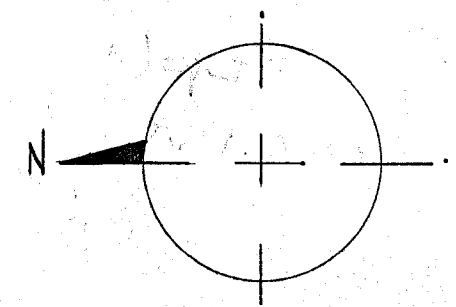
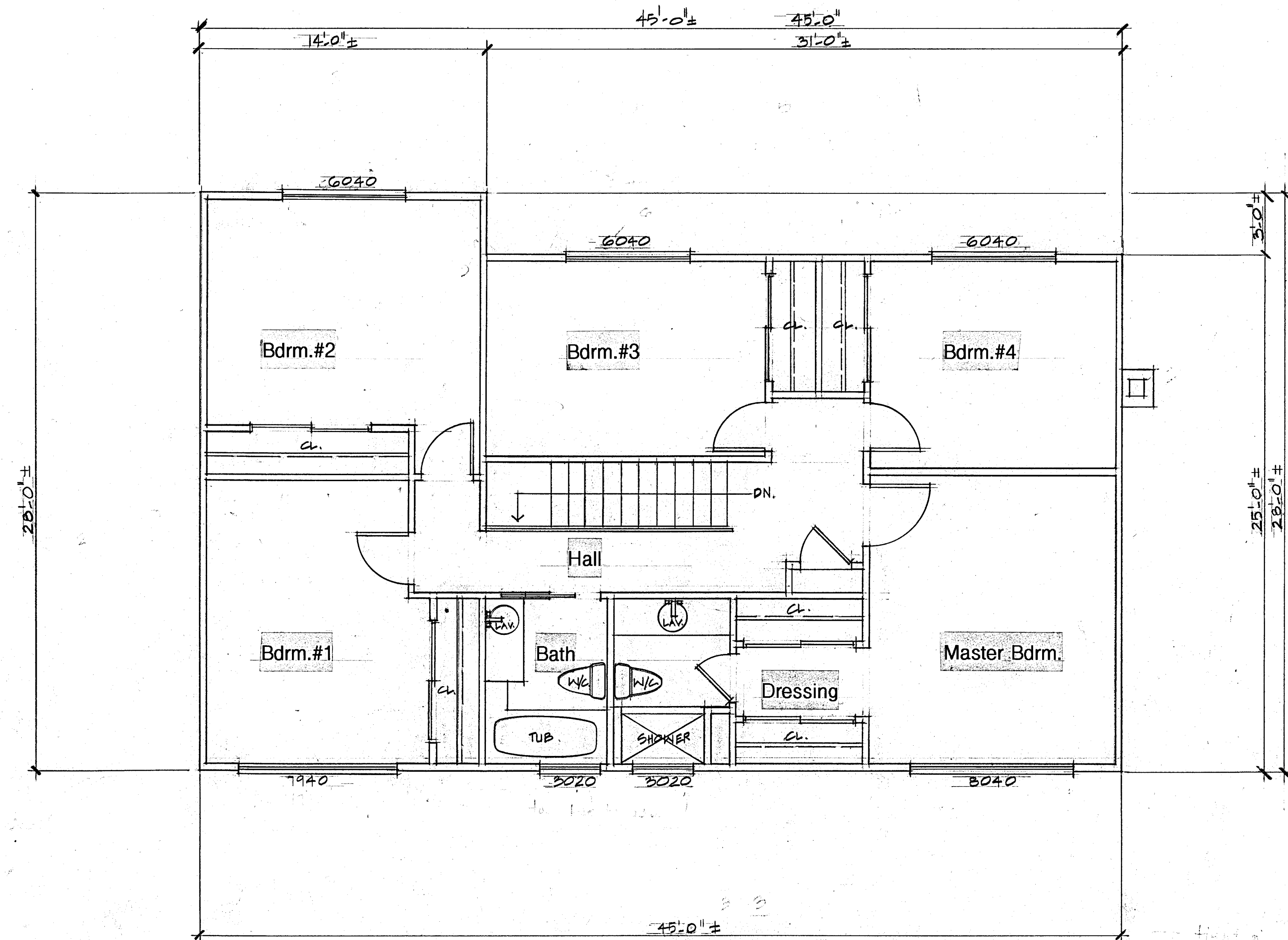
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"AS BUILT" 2ND FLOOR PLAN

$$\frac{1}{4}'' = 1 - 0''$$

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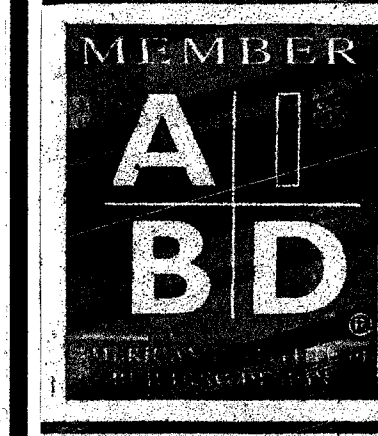
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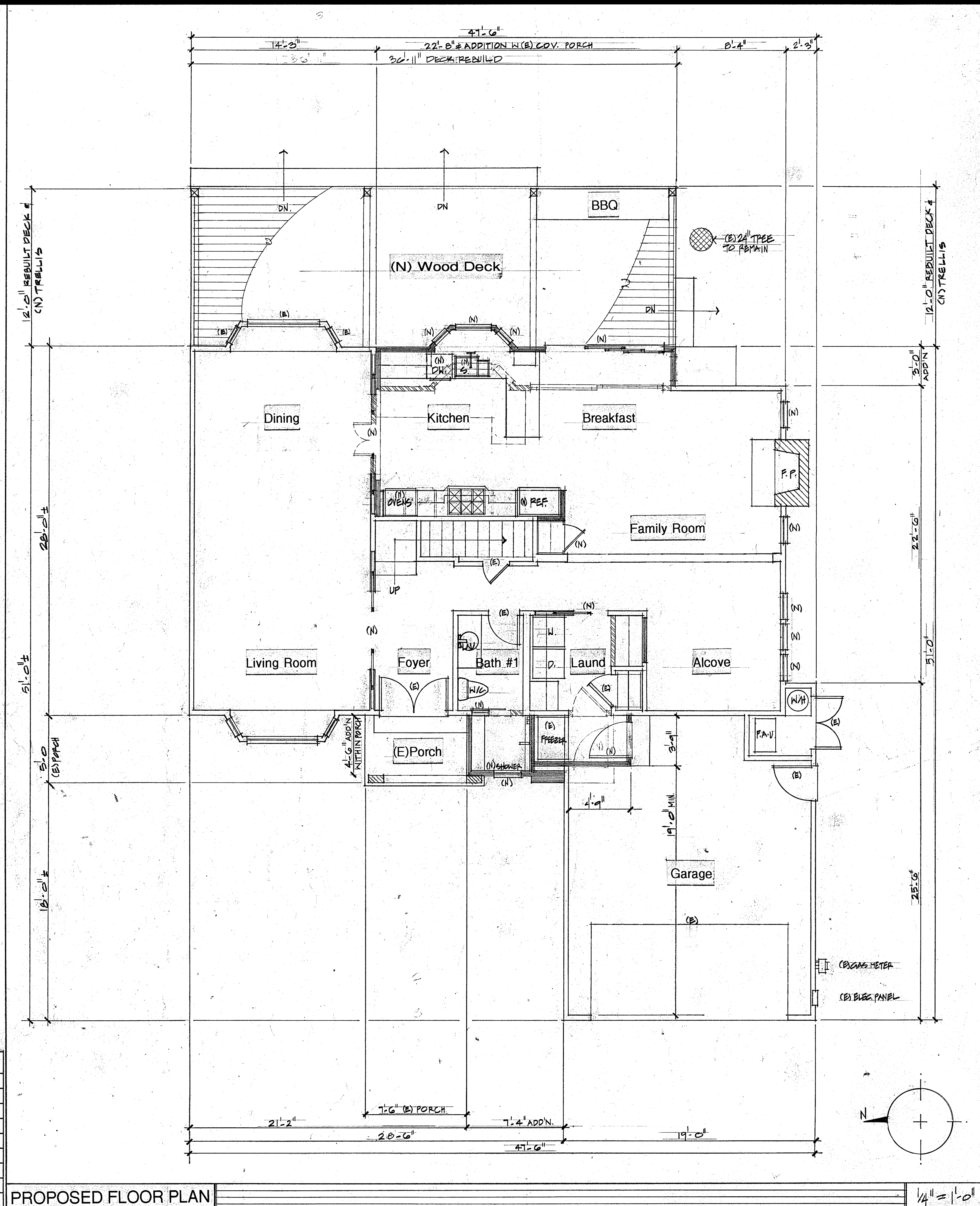


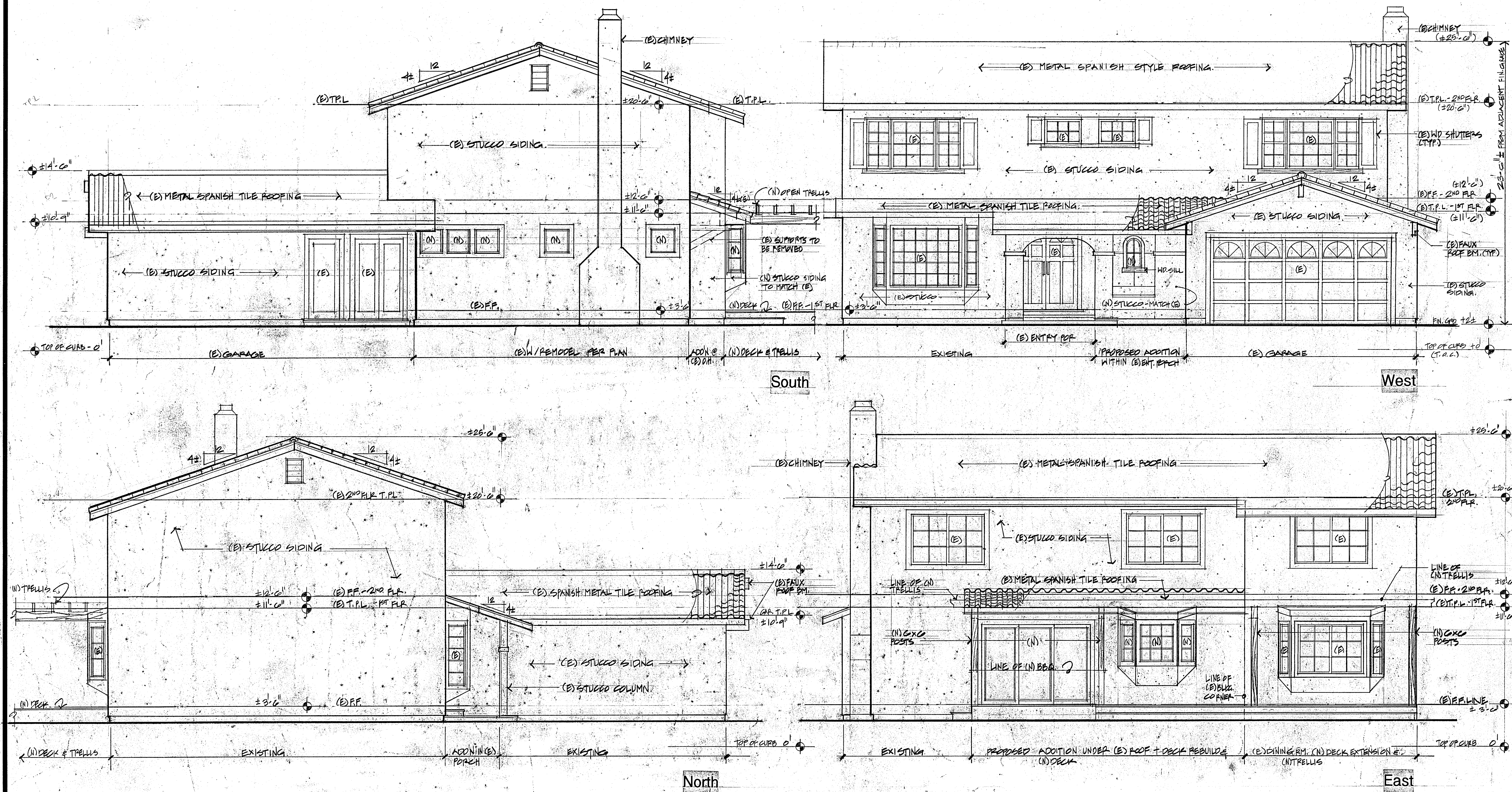
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WALL LEGEND	
	(E) 2x4 wood studs at 16" o.c., (Typ.), U.O.N.
	(N) 2x4 wood studs at 16" o.c., (Typ.), U.O.N.
	(E) stud wall to be removed
	2x6 wood studs at 16" o.c., (Typ.), U.O.N.
(E)	Existing
(N)	New
(Typ.)	Typical
U.O.N.	Unless Otherwise Noted
T.B.D.	To Be Determined

PROPOSED FLOOR PLAN





EXTERIOR ELEVATIONS

1/4" = 1'-0"

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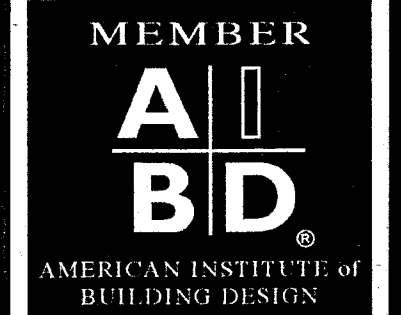
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dhs_hayes@att.net

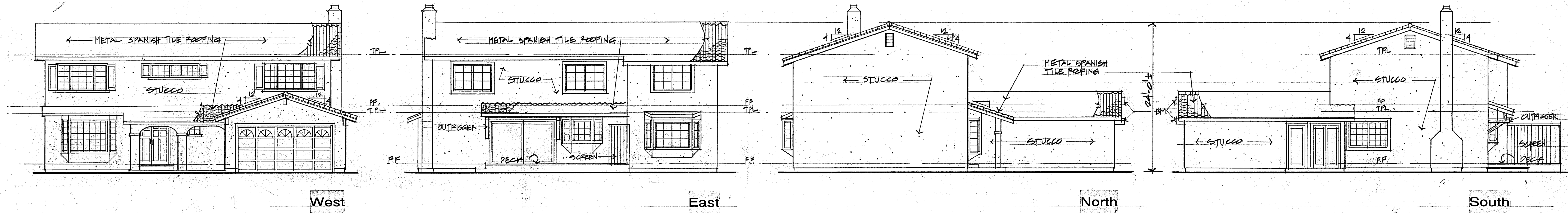
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THE TAPPELLA RES

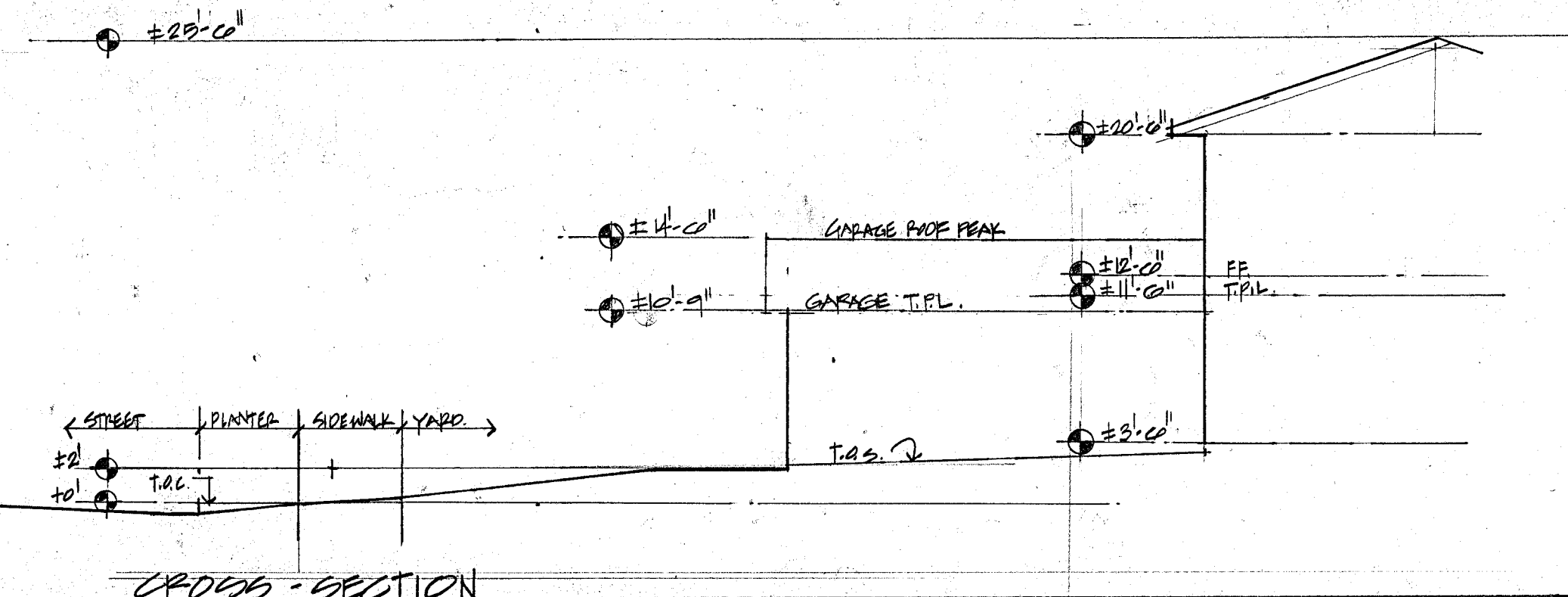
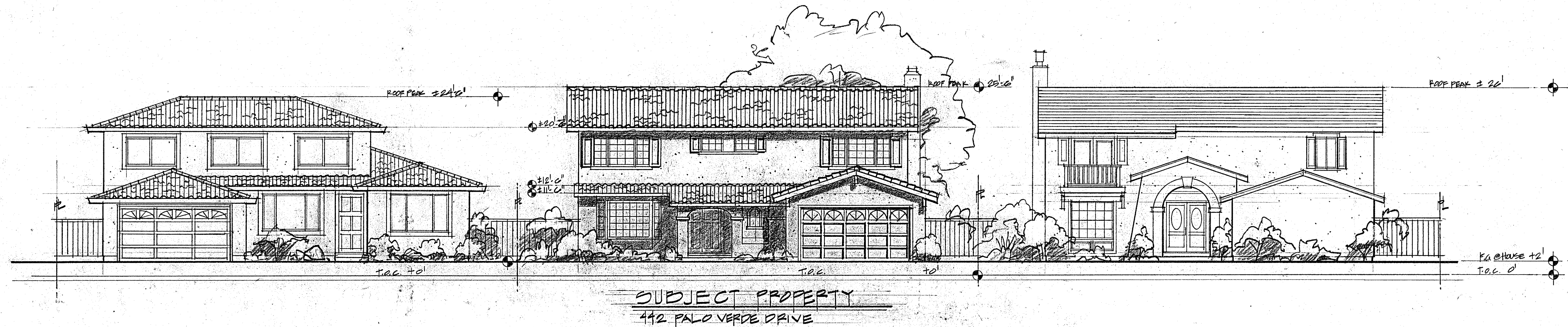
442 Palo Verde Dr.
Sunnyvale, CA 94086

DRAWN BY CHECKED
DATE 2.19.20
SCALE AS NOTED
JOB NO.
SHEET A6
OF SHEETS



EXISTING EXTERIOR ELEVATIONS

1/8" = 1'-0"



1/8" = 1'-0"

STREETSCAPE ELEVATIONS

1/8" = 1'-0"