



P.O. Box 1834  
Danville, CA 94526-6834  
Tel: 510.331.6059

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CHIANG RESIDENCE  
575 CRAWFORD DRIVE  
SUNNYVALE, CA 94087

# CHIANG RESIDENCE

## ABBREVIATIONS

A.F.F.	Above Finished Floor	I.D.	Inside Diameter
APPROX.	Approximate	INT.	Interior
BLDG.	Building	LAM.	Laminate
CAB.	Cabinet	MAX.	Maximum
CLG.	Ceiling	MFR.	Manufacturer
CLR.	Clear	MIN.	Minimum
COL.	Column	MISC.	Miscellaneous
CONC.	Concrete	MTD.	Mounted
CONT.	Continuous	(N)	New
CTR.	Center	N.I.C.	Not in Contract
DTL.	Detail	No. or #	Number
DIA.	Diameter	N.T.S.	Not to Scale
DM.	Dimension	O.C.	On Center
DN.	Down	OPP.	Opposite
DWG.	Drawing	REQ'D.	Required
(E)	Existing	RM.	Room
EA.	Each	SSD.	See structural drawing
EP.	Electrical panel	STD.	Standard
EQ.	Equal	STOR.	Storage
EXT.	Exterior	SUSP.	Suspended
F.E.C.	Fire Extinguisher Cabinet	TYP.	Typical
		U.O.N.	Unless Otherwise Noted
FLUOR.	Fluorescent	V.I.F.	Verify in Field
F.O.S.	Face of Studs	W.	Width
FURR.	Furring		
GA.	Gauge		
GYP.	Gypsum		
HPWR.	Hardwore		

## SYMBOL

DETAIL SYMBOL—SEE ELEVATION AND DETAIL SHEETS		NORTH ARROW
		ALIGN
		ELEVATION REFERENCE SYMBOLS
		REVISION (CLUDED AROUND EXTENT OF REVISION)

## SCOPE OF WORK

- DEMOLISHING OF EXISTING 1-STORY HOUSE AND A STORAGE SHED
- CONSTRUCTION OF A NEW 2-STORY SINGLE-FAMILY HOME, INCLUDING (5) BEDROOMS, (4) BATHROOMS, (1) GREAT ROOM, A LAUNDRY CLOSET, DEN, DINING ROOM & KITCHEN
- CONSTRUCTION OF A NEW ATTACHED 2-CAR GARAGE AND DRIVEWAY
- INSTALLATION OF NEW FIRE SPRINKLER SYSTEM THROUGHOUT
- M.E.P. WORKS PER NEW CONSTRUCTION

## PROJECT DATA

PROJECT ADDRESS:	575 CRAWFORD DR. SUNNYVALE, CA 94087
ZONE DISTRICT:	R-0
ASSESSORS PARCEL #:	201-34-010
LOT AREA:	9,750 S.F.
NO. OF STORIES:	2
ALLOWABLE F.A.R.:	3,600 SF
LOT COVERAGE ALLOWABLE (2 STORY):	3,900 SF
FIRST FLOOR FRONT SETBACK:	20'
FIRST FLOOR COMBINED SIDE SETBACK:	15'
FIRST FLOOR REAR SETBACK:	20'
SECOND FLOOR FRONT SETBACK:	25'
SECOND FLOOR COMBINED SIDE SETBACK:	21'
SECOND FLOOR REAR SETBACK:	20'
HEIGHT LIMIT:	30'
EXISTING RESIDENCE (CONDITIONED AREA):	948 SF
EXISTING GARAGE (UNCONDITIONED AREA):	587 SF
EXISTING COVERED ENTRY PORCH:	28 SF
EXISTING STORAGE SHED (TO BE DEMOLISHED):	370 SF
EXISTING TOTAL F.A.R.:	1,535 SF
EXISTING TOTAL LOT COVERAGE:	1,933 SF
PROPOSED FIRST FLOOR (CONDITIONED AREA):	2,349.6 SF
PROPOSED SECOND FLOOR (CONDITIONED AREA):	1,464.9 SF
PROPOSED GARAGE (UNCONDITIONED AREA):	441.5 SF
PROPOSED COVERED ENTRY PORCH:	36 SF
PROPOSED TOTAL F.A.R.:	4,256 SF = 43.6% > 3,600 SF
PROPOSED TOTAL LOT COVERAGE:	2,827.1 SF = 28.9% < 3,900 SF
FLOOR AREA HAS MORE THAN 15'-0" CEILING:	285 SF

## PROJECT DIRECTORY

**OWNER**  
CHAOLIN CHIANG  
575 CRAWFORD DRIVE  
SUNNYVALE, CA 94087

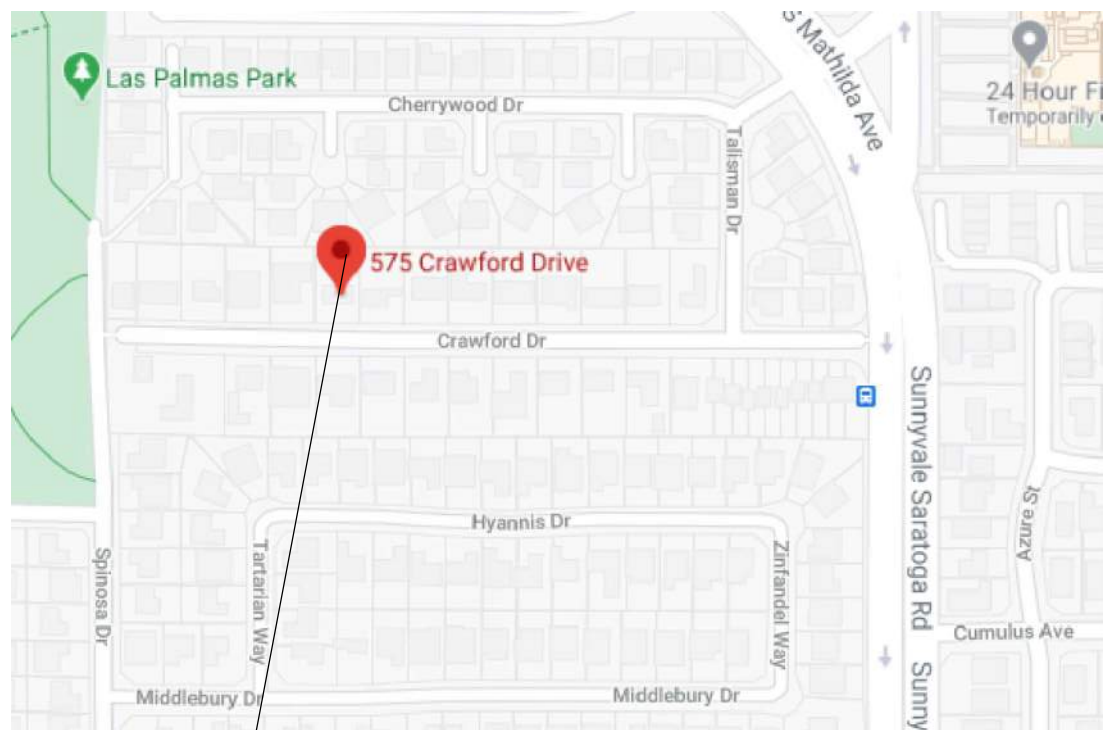
**LAND SURVEYOR**  
ALPHA LAND SURVEYS, INC.  
P.O.BOX 1146  
MORGAN HILL, CA 95038  
T: 831-438-4453  
CONTACT: CURT DUNBAR

**CIVIL**  
BOWMAN & WILLIAMS  
3949 RESERACH PARK CT. #100  
SOQUEL, CA 95073  
T: 831-426-3560  
CONTACT: BENJAMIN RYLANDER

**ARCHITECTURAL**  
DENG DESIGN STUDIO  
P.O.BOX 1834  
DANVILLE, CA 94526-6834  
T: 510-331-6059  
CONTACT: JEREMY DENG  
dengdesignstudio@gmail.com

**LANDSCAPE**  
AMBIENCE GARDEN DESIGN  
530 LAWRENCE EXPWY  
P.O.BOX 377  
SUNNYVALE, CA 94085  
T: 408-990-6999  
CONTACT: CHRISTINA JANREGUI

## VICINITY MAP



SITE

## ARCHITECTURAL DESIGN STATEMENT

THIS CONTEMPORARY-STYLE HOME IS DESIGNED TO PROMOTE AMPLE OPEN SPACES BY UTILIZING ABUNDANT NATURAL LIGHT. THE GREAT ROOM AND KITCHEN AREA EXTEND TO THE BACK PATIO WITH MODERN DOUBLE-SLIDING DOORS, CREATING A SPACIOUS LOCATION FOR CASUAL GATHERINGS. A MODERN FLOATING STAIRCASE IS AN EXTRAORDINARY FOCAL POINT THAT TIES TOGETHER PUBLIC AND PRIVATE SPACES OF THE HOME. THE HOME CONTAINS A LAVISH MASTER SUITE AS WELL AS A SIZABLE GUEST SUITE, EACH WITH THEIR OWN BATHROOM AND WALK-IN CLOSET. MODERN STONE AND WOOD MATERIALS ARE USED TO PROMOTE THE CONTEMPORARY EXTERIOR, WHILE STAYING COMPATIBLE WITH NEIGHBORING HOMES.

## SUNNYVALE FIRE DEPARTMENT NOTES

- COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE SUNNYVALE MUNICIPAL CODE (SMC), CALIFORNIA FIRE CODE (CFC), TITLE 19 CALIFORNIA CODE OF REGULATIONS, AND SUNNYVALE FIRE PREVENTION PROCEDURES/REQUIREMENTS.
- AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13D IS REQUIRED THROUGHOUT EACH STRUCTURE.
- BASEMENTS AND SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE PLANE SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING (ESCAPE WINDOW) IN ACCORDANCE WITH CFC SECTION 1030.1. (CFC 1030)
- LANDSCAPING AND LOCATION OF SLEEPING ROOMS RELATIVE TO PROPERTY LINES SHALL BE LOCATED SO AS TO PROVIDE APPROVED LADDER ACCESS TO EACH SLEEPING ROOM.
- APPROVED LADDER ACCESS CONSISTS OF A MAXIMUM 70 DEGREE CLIMBING ANGLE, AT LEAST 3 FEET OF CLEAR SPACE BEHIND THE BASE OF THE LADDER TO ALLOW ACCESS AND APPROVED CONCRETE OR GRAVEL LADDER PADS HAVING A MINIMUM DIMENSION OF 3' X 6' AND POSITIONED SO THAT THE 6' LENGTH IS PERPENDICULAR TO THE STRUCTURE.
- PROVIDE APPROVED SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS THROUGHOUT EACH STRUCTURE.

## BUILDING CODE ANALYSIS

ALL WORKS SHALL CONFORM TO FOLLOWING CODES:

2019 C.R.C.; 2019 C.B.C.; 2019 CMC; 2019 CPC; 2019 CEC; 2019 CFC; 2019 CALIFORNIA ENERGY CODE; 2019 CALGREEN STANDARD CODE; SUNNYVALE MUNICIPAL CODE; SUNNYVALE FIRE PREVENTION PROCEDURES/REQUIREMENTS; AND AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL GOVERNMENT ARE APPLICABLE TO THIS PROJECT.

CONSTRUCTION TYPE:	V-B
OCCUPANCY:	R-3 & U
FIRE PROTECTION:	AUTOMATIC FIRE SPRINKLER SYSTEM
OFF-STREET PARKING:	2-CAR GARAGE + 2 UNCOVERED SPACES

## DEFERRED SUBMITTALS

GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTING (2) COPIES OF EACH LISTED BELOW DEFERRED SUBMITTAL ITEMS TO THE ARCHITECT OR DESIGNER/ENGINEER-OF-RECORD FOR REVIEW FIRST, THEN FORWARD TO THE LOCAL BUILDING/FIRE DEPARTMENT WITH NOTATIONS INDICATING THAT THE SUBMITTAL CONFORM TO THE DESIGN OF THE BUILDING.

- ROOF TRUSS SHOP DRAWINGS
- AUTOMATIC FIRE SPRINKLER SYSTEM DRAWINGS

## DRAWING INDEX

<b>LAND SURVEY</b> LS-1	SURVEY MAP
<b>CIVIL</b> C-1.0	SITE PLAN
<b>ARCHITECTURAL</b> A-0.0	TITLE SHEET 3-D COLOR RENDERING SINGLE-FAMILY HOME DESIGN TECHNIQUES SHADOW ANALYSIS STREET ELEVATION ARCHITECTURAL SITE PLAN FLOOR AREA CALCULATIONS PROPOSED 1ST FLOOR PLAN PROPOSED 2ND FLOOR PLAN PROPOSED ROOF PLAN PROPOSED BUILDING EXTERIOR ELEVATIONS PROPOSED BUILDING EXTERIOR ELEVATIONS PROPOSED BUILDING CROSS SECTIONS CALGREEN RESIDENTIAL MANDATORY MEASURES CHECKLIST
A-0.1	
A-0.2	
A-0.3	
A-0.4	
A-0.5	
A-100.1	
A-100.2	
A-200	
A-500.1	
A-500.2	
A-600	
GB-1	
<b>LANDSCAPE</b> L-1 L-2 L-3	LANDSCAPE PLAN IRRIGATION PLAN HYDROZONE PLAN

Project Name:

Issue & Revisions:	Date:
ISSUED FOR PLANNING REVIEW	09/22/20
FOR PLANNING COMMENTS	04/06/21
FOR PLANNING COMMENTS	05/14/21
FOR PLANNING COMMENTS	07/06/21

Jeremy Deng

Sheet Name  
**TITLE SHEET**

Project No.	150215
By:	JD
Reviewed:	MC
Scale:	

A-0.0





**View from Crawford Drive (with extended porch roof)**





**View from Crawford Drive (without extended porch roof)**



**FINISH MATERIAL SAMPLE/COLOR BOARD**

575 CRAWFORD DR. SUNNYVALE, CA 94087



**Exterior Wall Finish**

Manufacturer: Quarry Mills

Style: Versailles Natural Stone Veneer

Colors: Gray Tones

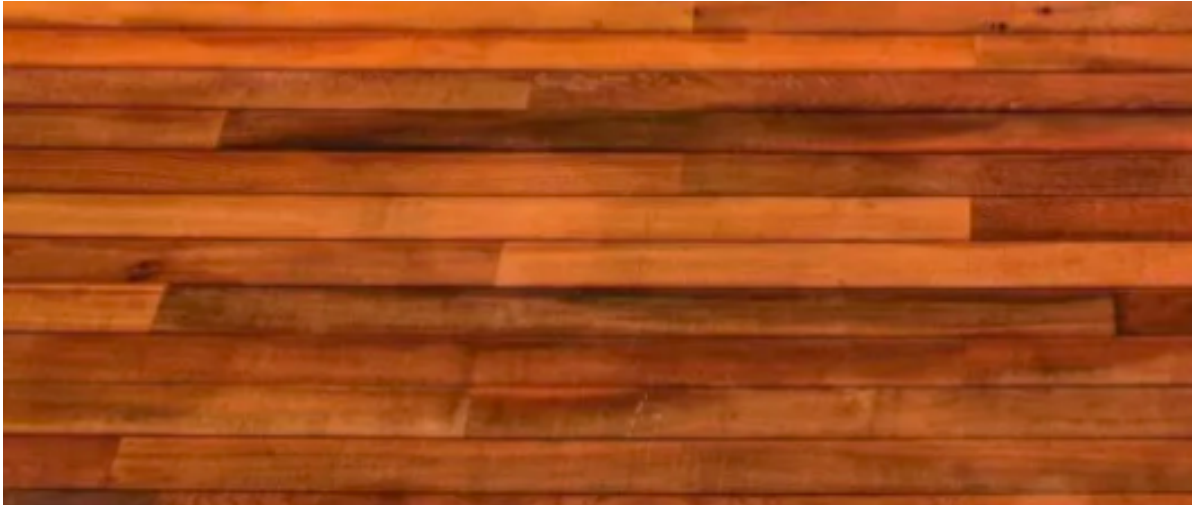
Size: 5" H. x 4"-16" L.



**Exterior Wall Cement Plaster**

Color: White with Fine Texture

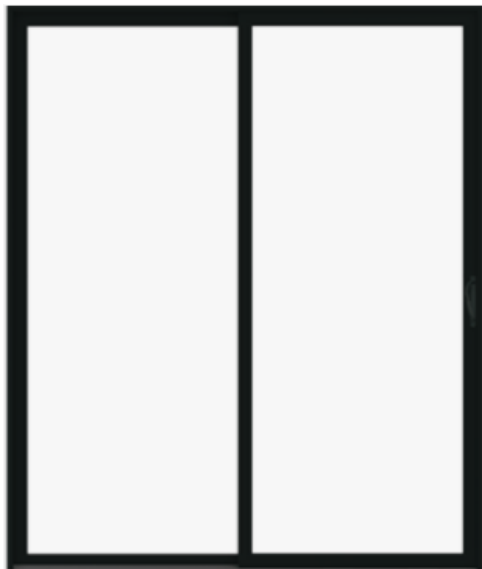




**Exterior Wood Siding Panel**

Location: Canopy at Front Porch, First-Floor Side & Rear Walls

Color: Cherry (To Match Garage Door)



**Window & Patio Door**

Manufacturer: Anderson Window & Door

Model: 100 Series

Frame Material/Glaze: Composite/Low-E Clear Dual-Pane Glass

Setting: 2" Window Recess from Face of Exterior Wall





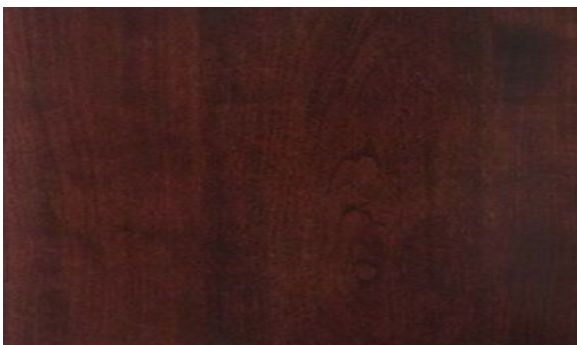
**Main Entry Door**

Manufacturer: Jeld-Wen

Model: W02M All Panel

Material: Solid Core Wood Door

Color: Cherry (To Match Garage Door)





**Garage Door**

Manufacturer: Clopay

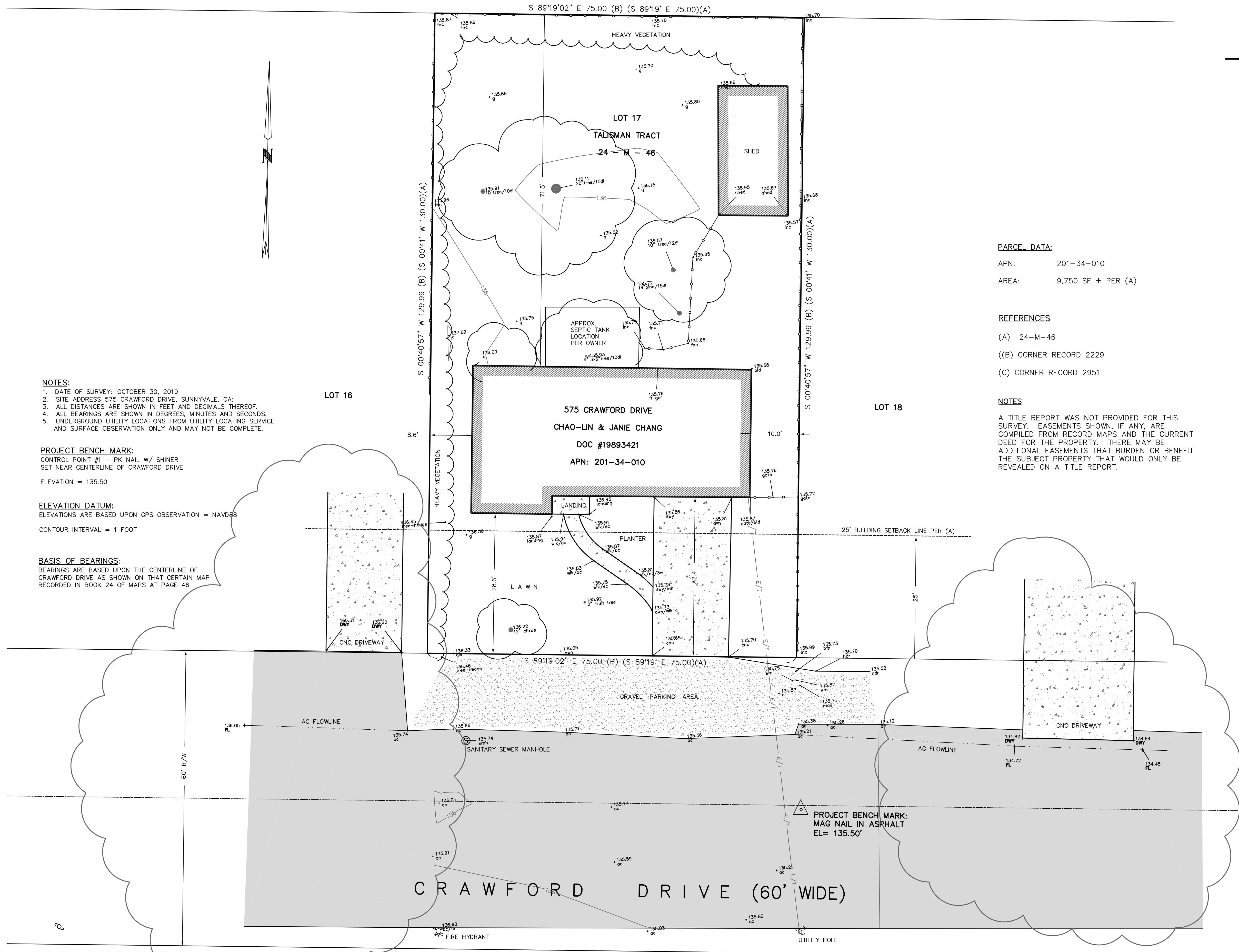
Style: Design 5 (Long Windows Down Side-Right Side). Accent Strip Spliced. Horizontal  
Cladding Spliced.

Glass: Frosted

Color: Cherry

Size: 16' L x 8' H.





**NOTES:**  
1. DATE OF SURVEY: OCTOBER 30, 2019  
2. SITE ADDRESS 575 CRAWFORD DRIVE, SUNNYVALE, CA:  
3. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.  
4. ALL BEARINGS ARE SHOWN IN DEGREES, MINUTES AND SECONDS.  
5. UNDERGROUND UTILITY LOCATIONS FROM UTILITY LOCATING SERVICE AND SURFACE OBSERVATION ONLY AND MAY NOT BE COMPLETE.

**PROJECT BENCH MARK:**  
CONTROL POINT #1 - PK NAIL W/ SHINER  
SET NEAR CENTERLINE OF CRAWFORD DRIVE  
ELEVATION = 135.50

**ELEVATION DATUM:**  
ELEVATIONS ARE BASED UPON GPS OBSERVATION = NAVD83  
CONTOUR INTERVAL = 1 FOOT

**BASIS OF BEARINGS:**  
BEARINGS ARE BASED UPON THE CENTERLINE OF CRAWFORD DRIVE AS SHOWN ON THAT CERTAIN MAP RECORDED IN BOOK 24 OF MAPS AT PAGE 46

**PARCEL DATA:**  
APN: 201-34-010  
AREA: 9,750 SF ± PER (A)

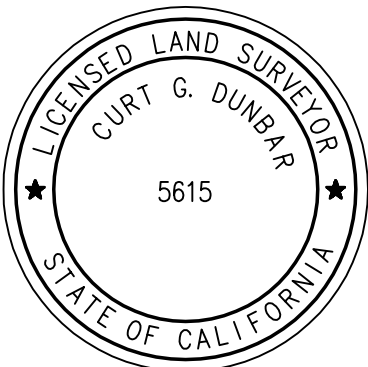
**REFERENCES**  
(A) 24-M-46  
((B) CORNER RECORD 2229  
(C) CORNER RECORD 2951

**NOTES**  
A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. EASEMENTS SHOWN, IF ANY, ARE COMPILED FROM RECORD MAPS AND THE CURRENT DEED FOR THE PROPERTY. THERE MAY BE ADDITIONAL EASEMENTS THAT BURDEN OR BENEFIT THE SUBJECT PROPERTY THAT WOULD ONLY BE REVEALED ON A TITLE REPORT.

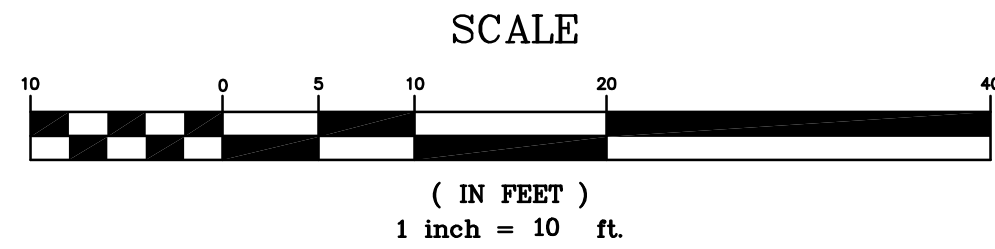
SYMBOL LEGEND			
○ AD	AREA DRAIN	○ RWLUG	RAIN WATER LEADER TO UNDERGROUND
⊙	BENCHMARK	○ RWLS	RAIN WATER LEADER SPLASH
⊞ BFP	BLOW OFF PREVENTOR	⊙	SANITARY SEWER MANHOLE
⊙	BOLLARD/POLE	⊙	STORM DRAIN MANHOLE
⊙	CATCH BASIN	⊙	STREET LIGHT / PARKING AREA LIGHT
○ CO	CLEAN OUT	△	SURVEY CONTROL POINT
⊙	DROP INLET	⊙	SIGN
⊙	ELECTRIC CONTROL BOX	⊙	UTILITY POLE
⊙	ELECTROVALVE/SIGNAL POLE	⊙	WATER VALVE
⊙	FIRE HYDRANT	⊙	WATER VALVE
⊙	GAS METER	⊙	WATER VALVE
⊙	HOSE BIB	⊙	TREE WITH TRUNK DIAMETER
⊙	HANDICAP PARKING	⊙	TREE LINE
⊙	SPOT ELEVATION WITH DESCRIPTION	⊙	ASPHALT PAVED AREAS
⊙	INDEX ELEVATION CONTOUR	⊙	CONCRETE PAVED AREAS
⊙	INTERMEDIATE ELEVATION CONTOUR	⊙	GRAVEL PAVED AREAS

LINE TYPE LEGEND	
---	ASPHALT BERM
---	CONCRETE CURB
---	OBERHEAD ELECTRIC & TELEPHONE
---	UNDERGROUND SANITARY SEWER LINE
---	UNDERGROUND WATER LINE
---	UNDERGROUND STORM DRAIN LINE
---	UNDERGROUND COMMUNICATION LINE
---	FENCE LINE (CHAIN LINK) BUILDING LINE
---	EDGE OF DIRT ROAD
---	PROPERTY LINE
---	HAND RAILING
---	LANE STRIPE
---	FOG STRIPE
---	ROOF OVERHANG
---	EASEMENT LINE
---	ADJOINING PROPERTY LINES
---	RIGHT OF WAY LINE
---	BUILDING EAVE LINE
---	CENTER LINE
---	FLOW LINE
---	BUILDING LINE

ABBREVIATION LEGEND			
AB	ASEAL-BERM	HVLT	HIGH VOLTAGE VAULT
AD	AREA DRAIN	ICV	IRRIGATION CONTROL VALVE
BFP	BACK FLOW PREVENTOR	JP	JOINT UTILITY POLE
BOL	BOLLARD	MON	MONUMENT
BW	BACK OF WALK	PL	PLANTER
CB	CATCH BASIN	RWD	REDWOOD TREE
COL	COLUMN	SDCO	STORM DRAIN CLEANOUT
COM	COMMUNICATION BOX	SDMH	STORM DRAIN MANHOLE
CC/CNC	CONCRETE (SPOT ELEVATION)	SDOI	STORM DRAIN INLET
COR	BUILDING CORNER	SLB	STREET LIGHT BOX
CPNT	CONTROL POINT	SO FT	SQUARE FEET
DOC. NO.	DOCUMENT NUMBER	SSCO	SANITARY SEWER CLEANOUT
E BX	ELECTRIC BOX	SSMH	SANITARY SEWER MANHOLE
ELEC	ELECTRIC	LITE	STREET LIGHT
EP	EDGE OF PAVEMENT	TC	TOP CURB
FDC	FIRE DEPARTMENT CONNECTION	TYP	TYPICAL
FL	FLOWLINE	VLT	VAULT (UNKNOWN UTILITY)
FNC	FENCE	VG	VALLEY GUTTER
G/GND	GROUND SPOT ELEVATION	WM	WATER METER
GV	GATE VALVE	WV	WATER VALVE
HC	HANDICAPPED		
HDR	HEADER BOARD		



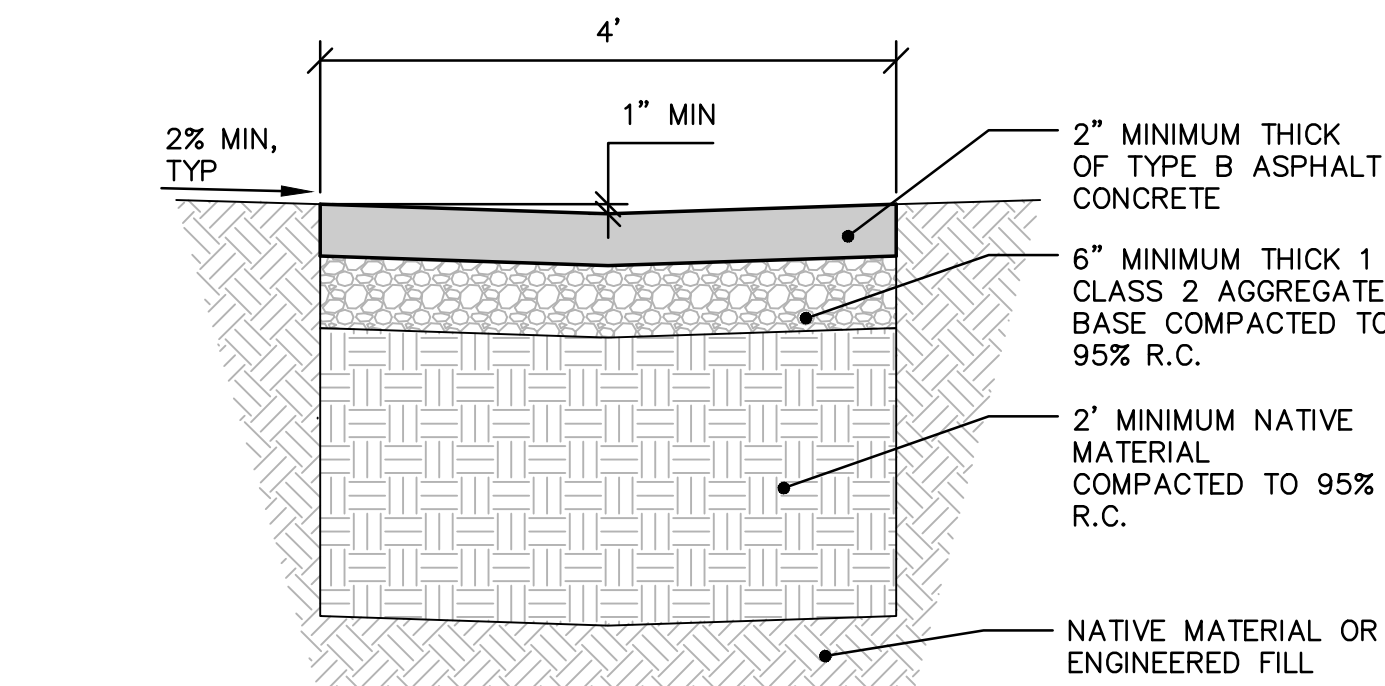
CURT DUNBAR, PLS 5615



UPDATED CRAWFORD OFFSITE AREA 1/4/21

ALPHA LAND SURVEYS, INC.			
4444 SCOTT'S VALLEY DR. #7 SCOTT'S VALLEY, CA 95066 (831) 438-4453	P.O. BOX 1148 MORGAN HILL, CA 95038 (831) 438-4453	SURVEY MAP OF 575 CRAWFORD DRIVE CITY OF SUNNYVALE SANTA CLARA COUNTY	SHEET 1 OF ONE
1" = 10'	DATE: OCT 2019	JOB#: 2019-147	





- NOTES:

1. ASPHALT TO BE MIXED WITH AGGREGATE SHALL BE PERFORMANCE GRADE 64-10
2. ASPHALT CONCRETE SHALL CONFORM TO SECTION 39 OF CALTRANS STANDARD SPECIFICATIONS
3. ASPHALT CONCRETE AGGREGATE SHALL BE ½" MAXIMUM, MEDIUM

4' WIDE AC V-DITCH

**SCALE:**  $3/4"=1'-0"$

## LEGEND

FLOWLINE

## ROOF OUTLINE

SANITARY SEWER LATERAL

(E) SEWER MAIN

WATER LATERAL

SAWCUT LINE

PROPERTY LINE

(N) ASPHALT CONCRETE

## HARDSCAPE PER ARCHITECTURAL PLANS

(E) GRAVEL

(E) ASPHALT PAVEMENT

(E) HARDSCAPE

### GENERAL NOTES

1. WATER SERVICE IN THIS AREA IS PROVIDED BY CALWATER. PLEASE CONTACT CALWATER AT (650) 917-0920 OR (650) 917-1380 FOR ALL WATER RELATED ISSUES.
2. CONSTRUCTION RELATED MATERIALS, EQUIPMENT, ETC. MUST BE STORED ON SITE UNLESS PERMITTED IN ADVANCE BY THE PUBLIC WORKS DEPARTMENT. THIS IS TO AVOID CAUSING SAFETY AND/OR OPERATIONAL ISSUES FOR THE MOVEMENTS OF PEDESTRIANS, CYCLISTS AND VEHICULAR TRAFFIC.
3. PRIOR TO ANY WORK IN THE PUBLIC RIGHT-OF-WAY, OBTAIN AN ENCROACHMENT PERMIT WITH INSURANCE REQUIREMENTS FOR ALL PUBLIC IMPROVEMENTS INCLUDING A TRAFFIC CONTROL PLAN PER THE LATEST CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS TO BE REVIEWED AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. FOLLOW THE ATTACHED LINK FOR THE ENCROACHMENT PERMIT APPLICATION AND REQUIREMENTS." [HTTP://SUNNYVALE.CA.GOV/DEPARTMENTS/PUBLIC+WORKS/ENGINEERING/ENCROACHMENT+PERMITS/](http://sunnyvale.ca.gov/departments/public+works/engineering/encroachment+permits/)
4. INCREMENTAL SEWER CONNECTION FEE FOR STANDARD OCCUPANCY BASED ON APPROPRIATE FEE SCHEDULE AT TIME OF BUILDING PLAN REVIEW WILL APPLY.



Sunnyvale

## POOL AND SEPTIC TANK REMOVAL

**THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2020**

## BUILDING DIVISION REQUIREMENTS

A demolition permit is required for the removal of all pools or underground septic tanks. Permits are required prior to the demolition work. Following is a listing of the general requirements based on the 2019 California Building Code, 2019 California Residential Code, and 2019 California Plumbing Code. This brochure is intended to provide general information, and the Building Safety Division for any questions or additional information.

- Swimming pools shall be drained to the sanitary sewer clean out. Swimming pools shall not be drained to street, gutter or storm drain. If the property is on a septic system and there is no sanitary sewer clean out, contact the Environmental Services Department at (408) 730-7270 for guidance.
- If the shell of the pool or septic tank is to remain, a minimum of four holes (each a minimum 1" in diameter) shall be drilled into the bottom of the pool floor or septic tank (one of the holes shall be at the deepest point).
- The pool or septic tank shell shall be filled with crushed rock material (3/4" minimum size to 1-1/2" maximum size) for a minimum of 12" deep at the bottom and then clean fill, or other approved material, can be added on top to match adjacent grade level.
- All gas, water, and sewer lines to the pool shall be securely capped off with an approved fitting (gas line is required to have a screw joint fitting). (CPC 722, 1206.3)
- All electrical pool equipment, including the breaker in the electrical panel, shall be removed.
- If a structure is to be constructed above or near the filled area, a geotechnical report/letter prepared by a soils engineer will be required.

## PERMIT PROCESS

## Building Permit Review

Building permits for most pool removals are available on-line at [Sunnyvale.ca.gov](http://Sunnyvale.ca.gov). Permits can also be obtained at the One-Stop Permit Center, which is open between the hours of 8 a.m. to 12:30 p.m. and 1 to 5 p.m.

## Building Permit Application Requirements

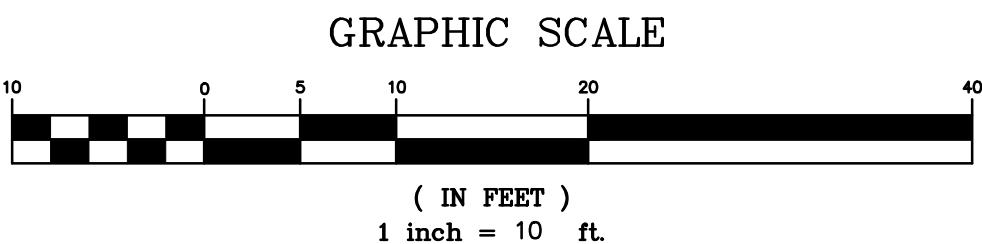
- A completed Building Permit Worksheet application (available at the One-Stop Permit Center or on-line at [Sunnyvale.ca.gov](http://Sunnyvale.ca.gov)) - *only one copy of this item needed*
  - An approval letter from the Homeowner's Association (if applicable).
  - Site plan showing the location of the pool or septic tank to be removed.
- Fee

## nspections

- Two inspections are required: an in-progress and a final. The in-progress should be scheduled when the holes along the pool floor or septic tank have been drilled and before it is filled. The final inspection should be scheduled after all work is completed.

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7444  
Building and Planning Division representatives are available 8 a.m. - 12:30 p.m. and 1 p.m. - 5 p.m.  
Sunnyvale.ca.gov - Search "Planning and Building"

Rev. 11/2013



Know what's below.  
**Call** before you dig



2/9/21

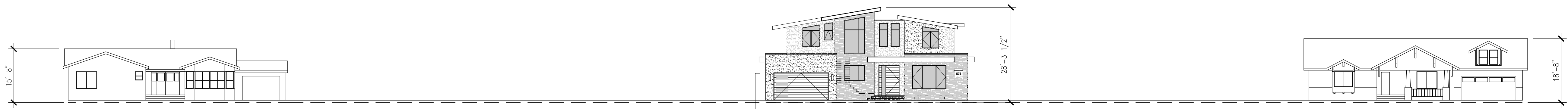
## DISCLAIMER

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APN 201-34-010

REVISED				
<b>BOWMAN &amp; WILLIAMS</b> CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS  3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560			<b>SITE PLAN</b>   CHANG RESIDENCE 575 CRAWFORD DRIVE SITUATED IN SUNNYVALE, CA 94087	
SCALE 1" = 10'-0"			DRAWN JEE	JOB NO. 28209
DATE 02/09/21			CHECKED BRR	INDEX
DESIGN JEE/BRR			DWG NAME	FILE NO.





- 579 CRAWFORD DR.
- 1-STORY STRUCTURE
  - SHINGLE ROOF
  - CEMENT PLASTER FINISHED EXTERIOR WALLS

- 575 CRAWFORD DR. (PROPOSED)
- 2-STORY STRUCTURE
  - BUILD-UP ROOF
  - CEMENT PLASTER/LEDGE STONE VENEER/ACCENT WOOD PANELS FINISHED EXTERIOR WALLS

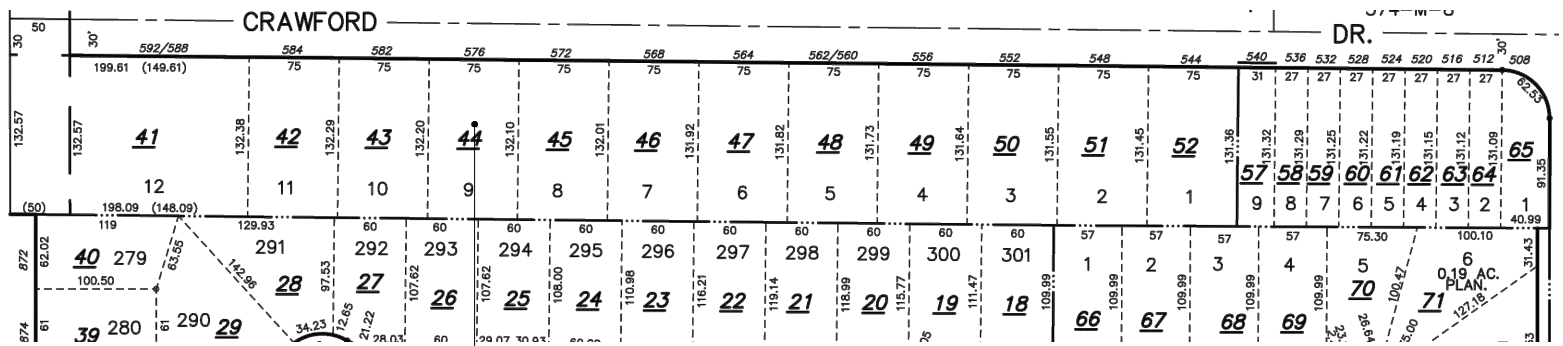
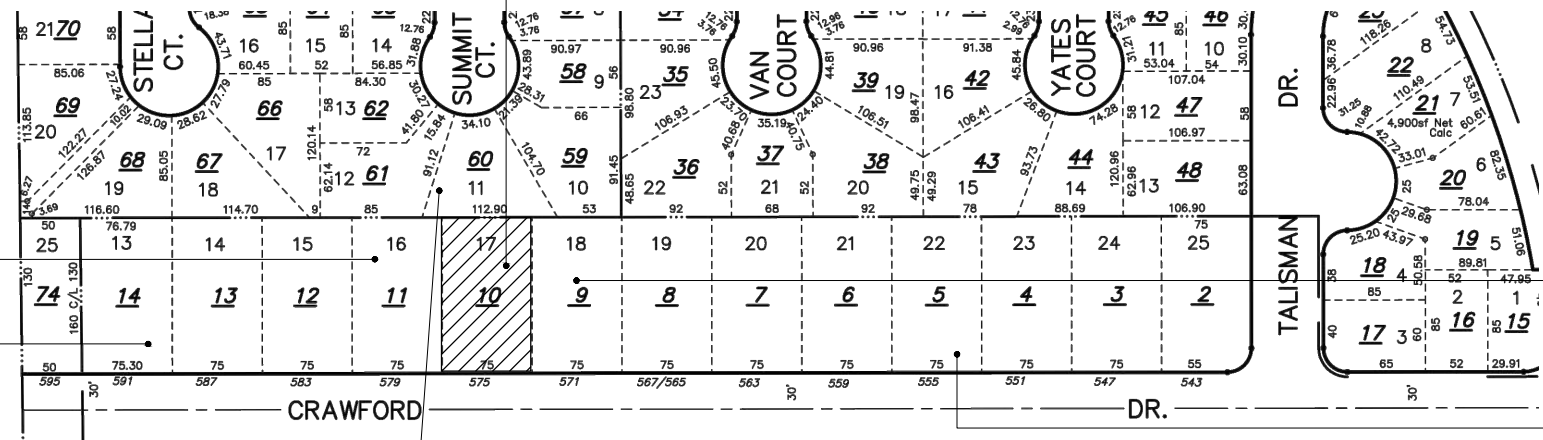
- 571 CRAWFORD DR.
- 1-STORY STRUCTURE
  - SHINGLE ROOF
  - CEMENT PLASTER/LEDGE STONE FINISHED EXTERIOR WALLS



- 591 CRAWFORD DR.
- 2-STORY STRUCTURE
  - SHINGLE ROOF
  - CEMENT PLASTER FINISHED EXTERIOR WALLS



- 852 SUMMIT CT.
- 2-STORY STRUCTURE
  - TILE ROOF
  - CEMENT PLASTER & STONE VENEER FINISHED EXTERIOR WALLS

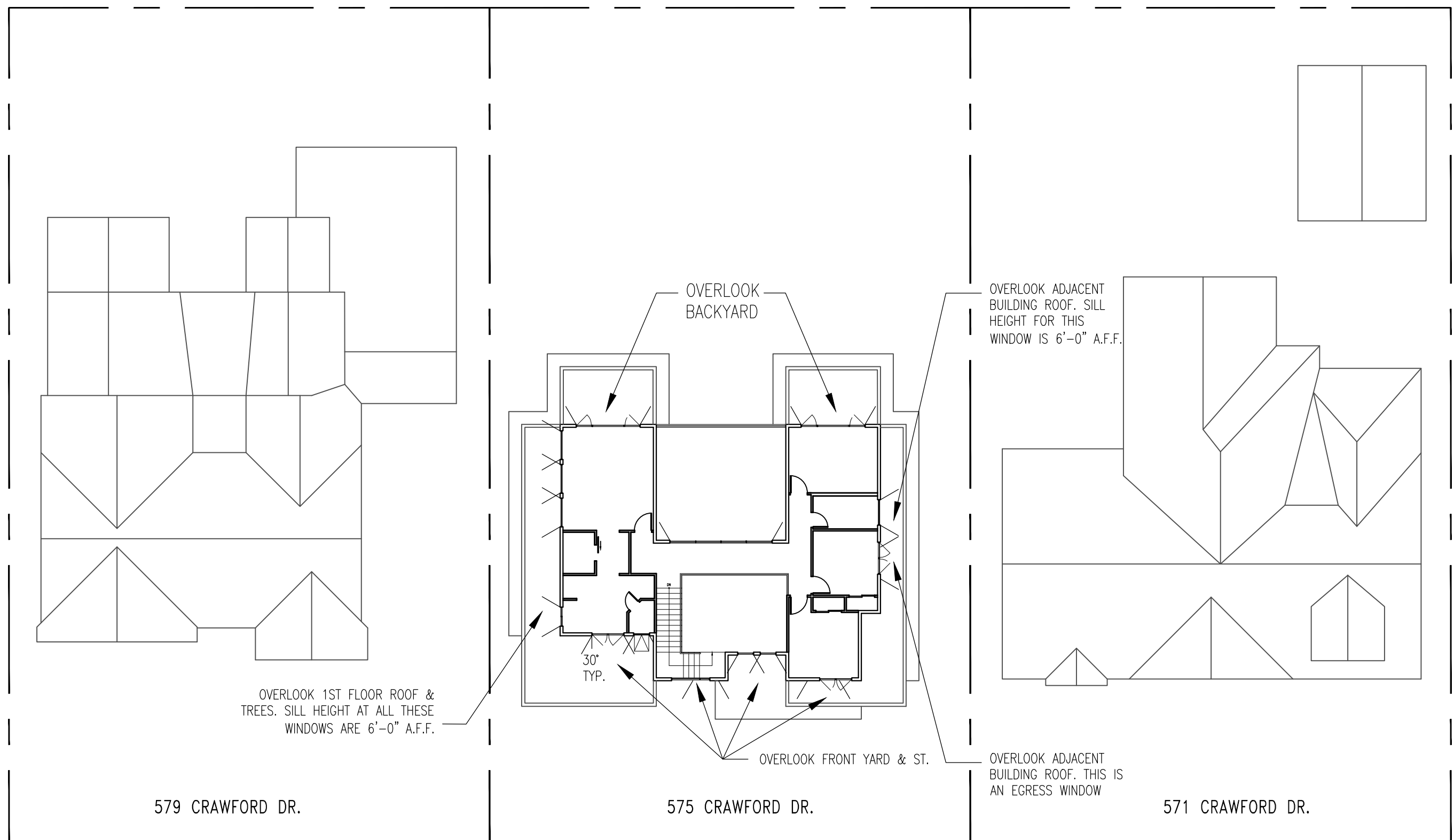


- 555 CRAWFORD DR.
- 2-STORY STRUCTURE
  - TILE ROOF
  - CEMENT PLASTER FINISHED EXTERIOR WALLS



- 576 CRAWFORD DR.
- 2-STORY STRUCTURE
  - TILE ROOF
  - CEMENT PLASTER/LEDGE STONE FINISHED EXTERIOR WALLS

## NEIGHBORHOOD CONTEXT SURVEY



## SITE WITH VIEW



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# CHIANG RESIDENCE

575 CRAWFORD DRIVE  
SUNNYVALE, CA 94087

Project Name:

Issue & Revisions:	Date:
ISSUED FOR PLANNING REVIEW	09/22/20
FOR PLANNING COMMENTS	04/06/21
FOR PLANNING COMMENTS	05/14/21
FOR PLANNING COMMENTS	07/06/21

Jeremy Deng

Sheet Name  
**SINGLE FAMILY HOME  
DESIGN TECHNIQUES**

Project No. 150215  
By: JD  
Reviewed: MC  
Scale: 1/16"=1'-0"

# A-0.1





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CHIANG RESIDENCE  
575 CRAWFORD DRIVE  
SUNNYVALE, CA 94087

Project Name:

Issue & Revisions:	Date:
ISSUED FOR PLANNING REVIEW	09/22/20
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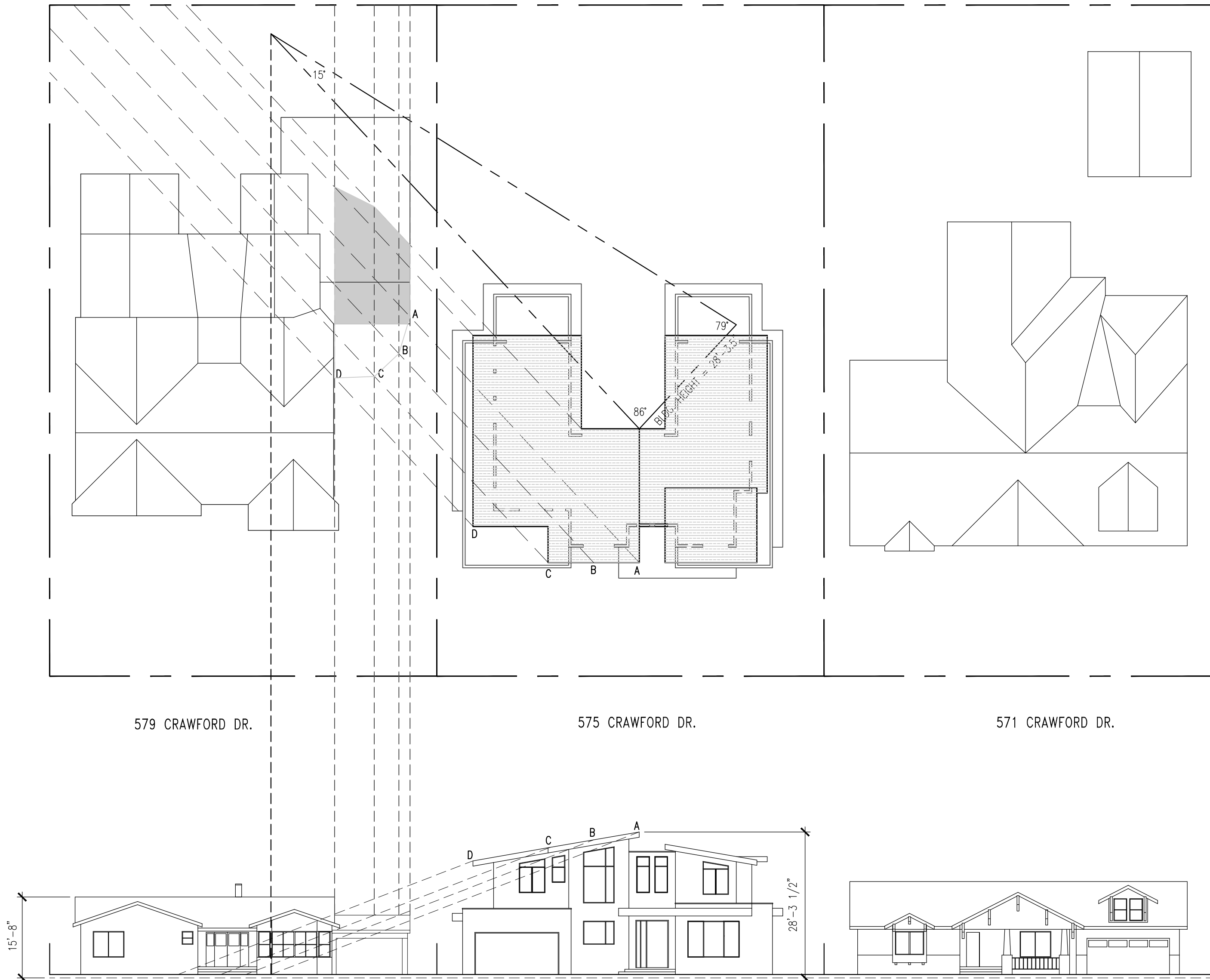
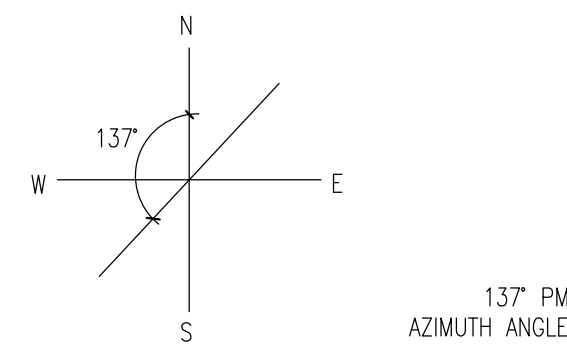
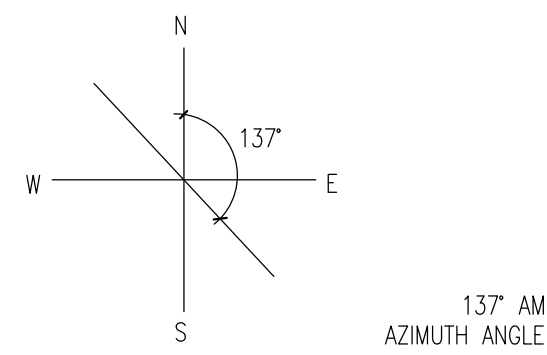
Jeremy Deng

Sheet Name

SHADOW ANALYSIS

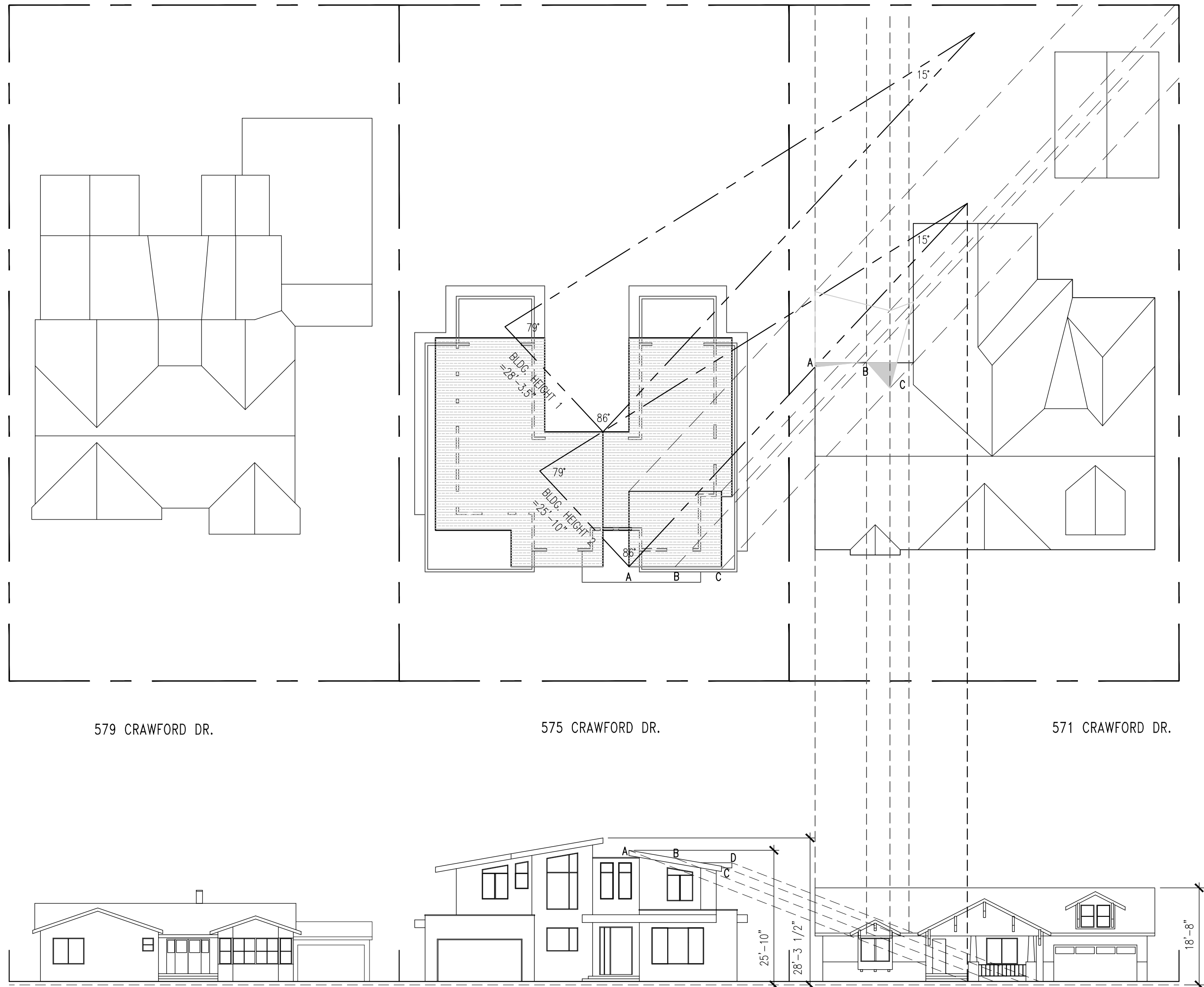
Project No.	150215
By:	JD
Reviewed:	MC
Scale:	1/16"=1'-0"

A-0.2



AM = 320.7 SF / 3,880 SF = 8.2%

SOLAR ACCESS & SHADOW ANALYSIS – 9AM DECEMBER 21ST



PM = 16.4 SF / 3,306 SF = 0.5%

SOLAR ACCESS & SHADOW ANALYSIS – 3PM DECEMBER 21ST





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575 CRAWFORD DRIVE  
SUNNYVALE, CA 94087

Project Name:

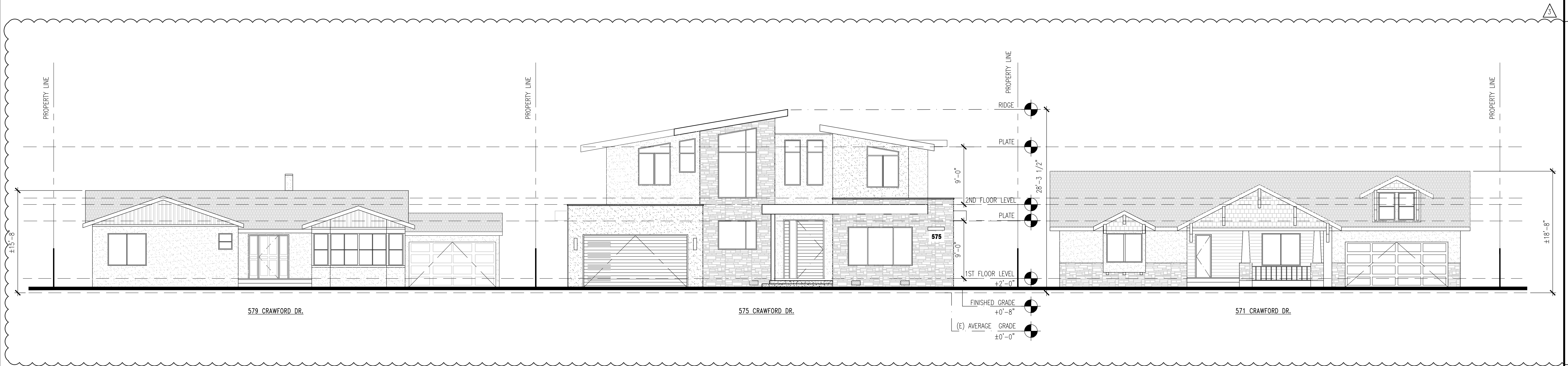
Issue & Revisions:	Date:
ISSUED FOR PLANNING REVIEW	09/22/20
△1 FOR PLANNING COMMENTS	04/06/21
△2 FOR PLANNING COMMENTS	05/14/21
△3 FOR PLANNING COMMENTS	07/06/21

Jeremy Deng

Sheet Name  
STREETSCAPE ELEVATION

Project No. 150215  
By: JD  
Reviewed: MC  
Scale: 1/8"=1'-0"

A-0.3



1 CRAWFORD STREET ELEVATION

Scale: 1/8"=1'-0"





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# CHIANG RESIDENCE

575 CRAWFORD DRIVE  
SUNNYVALE, CA 94087

Project Name:

Issue & Revisions:	Date:
ISSUED FOR PLANNING REVIEW	09/22/20
FOR PLANNING COMMENTS	04/06/21
FOR PLANNING COMMENTS	05/14/21
FOR PLANNING COMMENTS	07/06/21

Jeremy Deng

Sheet Name

SITE PLAN

Project No.	150215
By:	JD
Reviewed:	MC
Scale:	1/8"=1'-0"

## A-0.4

### LEGEND

- PROPERTY LINE
- NEW CONCRETE PAVEMENT
- EXISTING HOUSE PERIMETER WALL
- EXISTING +6'-0" HT. FENCING LINE
- STORM WATER DRAINAGE DIRECTION

### KEY NOTES

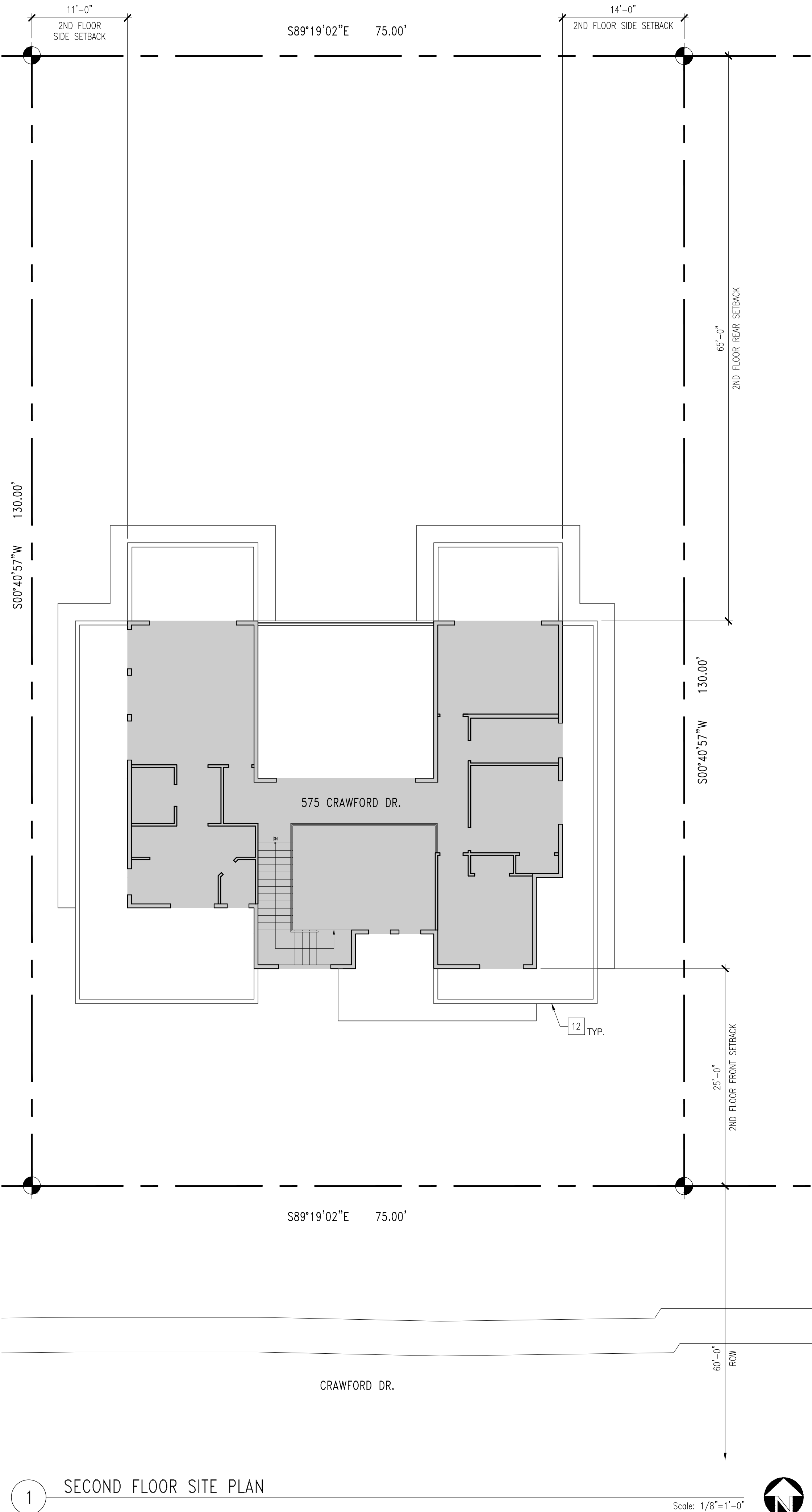
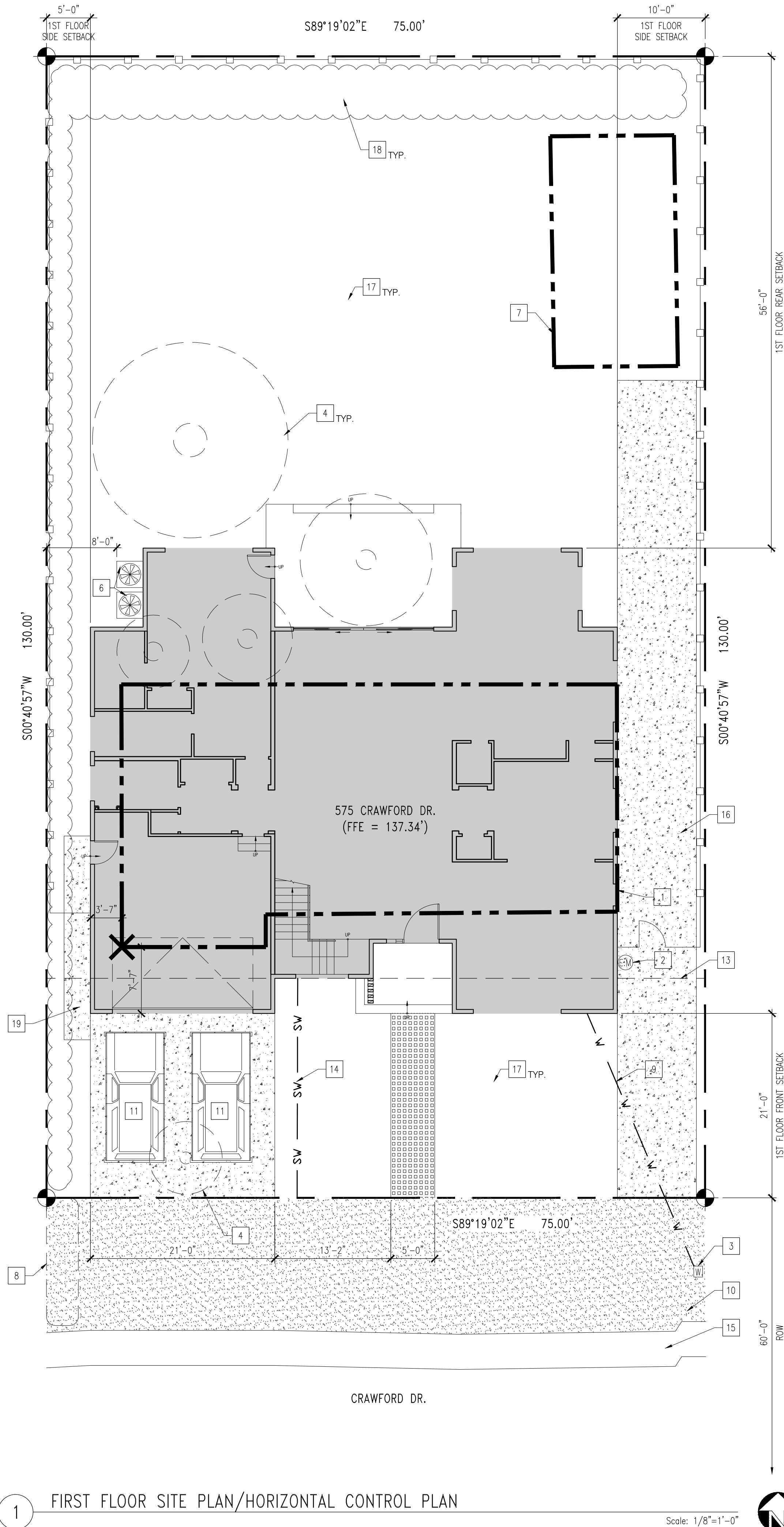
- REMOVE (E) GAS METER AND CAP OFF GAS LATERAL AS REQUIRED
- RELOCATE ELECTRICAL METER TO THIS NEW LOCATION W/ 200-AMP LOAD PANEL
- (E) WATER METER TO BE REPLACE. SEE CIVIL PLAN C-1.0
- EXISTING TREES WERE REMOVED ON 2/5/21 (TREE REMOVAL PERMIT # 2020-7139)
- (N) 21'-0" W. x 21'-0" L. CONCRETE DRIVEWAY W/ (2) UNCOVERED PARKING SPACES
- TWO (N) 36" SQ. x 4" THK. A/C CONDENSER CONCRETE PADS
- REMOVE (E) STORAGE SHED
- (E) TREE-HEDGE ALONG WITH NEW PROPOSED DRIVEWAY WAS REMOVED PER PUBLICWORKS COMMENTS
- (N) WATER MAIN SUPPLY LINE. SEE CIVIL PLAN C-1.0
- (E) GRAVEL PARKING AREA TO REMAIN
- (2) NEW UNCOVERED PARKING SPACES
- NEW 1ST FLOOR ROOF BELOW
- 25'-0" BLDG. SETBACK LINE PER TRACT 671/LOT 17. THIS REQUIREMENT IS ELIMINATED BY THE PLANNING DEPARTMENT
- NEW SANITARY SEWER LATER WITH CLENDUT. SEE CIVIL PLAN C1.0
- 4'-0" W. FLOW LINE. SEE CIVIL PLAN C-1.0
- (N) WALKWAY PER LANDSCAPE PLAN L-1. PROVIDE MIN. 1/2" EXPANSION JOINT ALONG BUILDING FOUNDATION AND WALL FRAMING AND 1'-0" AWAY FROM THE WOODEN FENCE
- (N) LANDSCAPING AREA PER LANDSCAPE PLAN L-1
- (E) TREE-HEDGE TO REMAIN
- (N) 3'-0" WIDE REINFORCED CONCRETE WALKWAY. PROVIDE MIN. 2% SLOPE TO DRAIN WATER AWAY FROM THE BUILDING

### PUBLIC WORK DEPARTMENT NOTES

- WATER SERVICE IN THIS AREA IS PROVIDED BY CALWATER. CONTACT CALWATER AT (650)917-0920 OR (650)917-1380 FOR ALL WATER RELATED ISSUES.
- CONSTRUCTION RELATED MATERIALS, EQUIPMENTS, EXT. MUST BE STORED ON SITE UNLESS PERMITTED IN ADVANCE BY THE PUBLIC WORKS DEPARTMENT. THIS IS TO AVOID CAUSING SAFETY AND/OR OPERATIONAL ISSUES FOR THE MOVEMENTS OF PEDESTRIANS, CYCLISTS & VEHICULAR TRAFFIC.
- PRIOR TO ANY WORK IN PUBLIC RIGHT-WAY, OBTAIN AN ENCROACHMENT PERMIT WITH INSURANCE REQUIREMENTS FOR ALL PUBLIC IMPROVEMENTS INCLUDING A TRAFFIC CONTROL PLAN PER THE LATEST CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS TO BE REVIEWED & APPROVED BY THE DEPARTMENT OF PUBLIC WORKS.
- INCREMENTAL SEWER CONNECTION FEE FOR STANDARD OCCUPANCY BASED ON APPROPRIATE FEE SCHEDULE AT THE TIME OF BUILDING PLAN REVIEW WILL APPLY

### STORM WATER DRAINAGE & RETENTION DURING CONSTRUCTION

- ERODED SEDIMENTS AND POLLUTANTS SHALL BE RETAINED ON SITE AND SHALL NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE COVERED AND/OR PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND SHALL NOT CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED TOXIC STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY AND SHALL NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- NON-STORM WATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED ON THE PROJECT SITE.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL IT CAN BE APPROPRIATELY DISPOSED OF OR RECYCLED.
- TRASH AND CONSTRUCTION -RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF STORM WATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE STREET/PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.
- RETENTION BASINS OF SUFFICIENT SIZE SHALL BE PROVIDED TO RETAIN STORM WATER RUNOFF ON-SITE AND SHALL BE PROPERLY LOCATED TO COLLECT ALL TRIBUTARY SITE RUNOFF.
- WHERE RETENTION OF STORM WATER RUNOFF ON-SITE IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, RUNOFF MAY BE CONVEYED TO THE STREET AND THE STORM DRAIN SYSTEM PROVIDED THAT AN APPROVED FILTERING SYSTEM IS INSTALLED AND MAINTAINED ON-SITE DURING THE CONSTRUCTION DURATION.







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575 CRAWFORD DRIVE  
SUNNYVALE, CA 94087

Project Name:

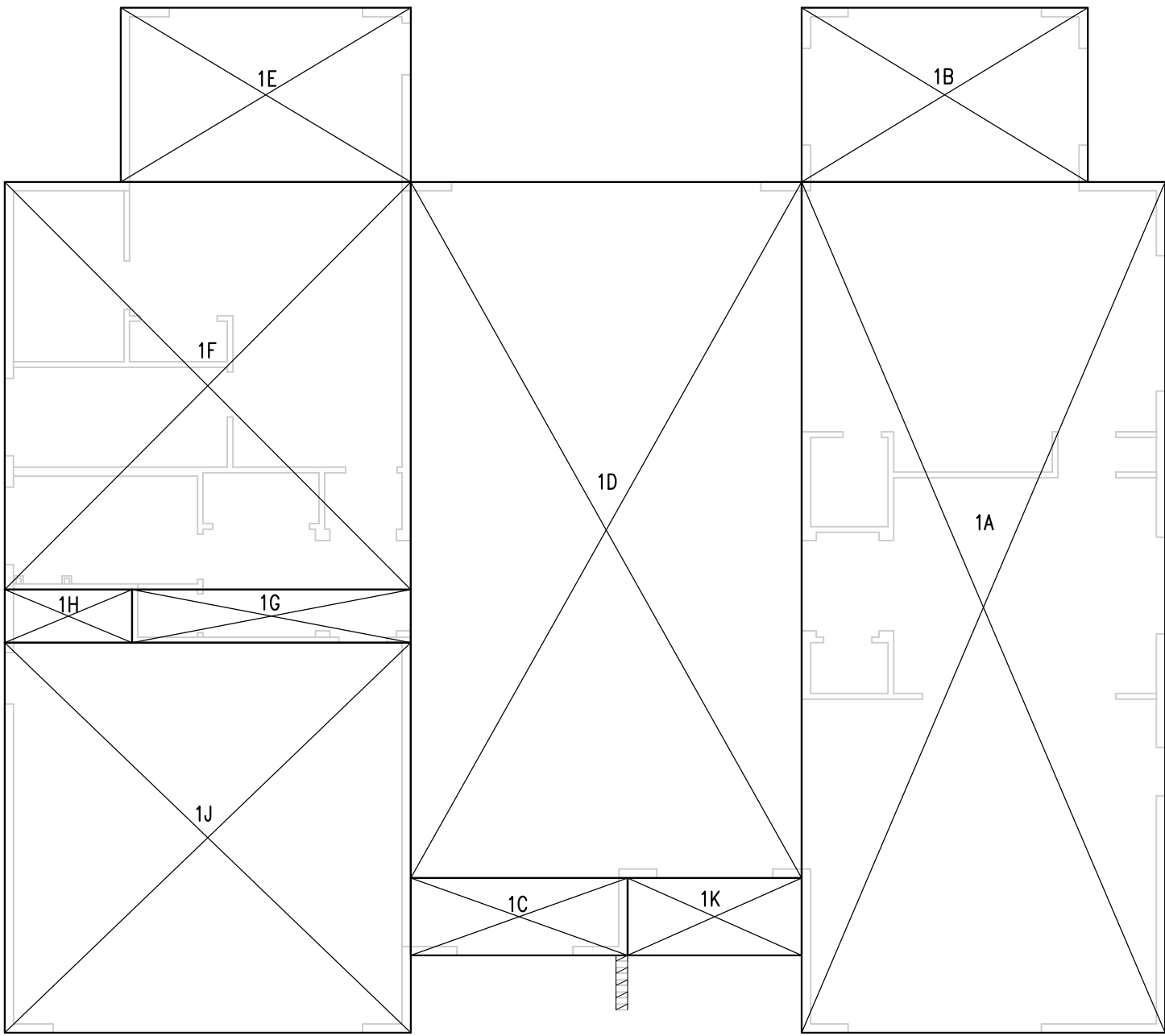
Issue & Revisions:	Date:
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FOR PLANNING COMMENTS	07/06/21

Jeremy Deng

Sheet Name  
FLOOR AREA CALCULATIONS

Project No.	150215
By:	JD
Reviewed:	MC
Scale:	

A-0.5



FIRST FLOOR (CONDITIONED)

1A	826.8 SF
1B	133.1 SF
1C	44.8 SF
1D	727.5 SF
1E	135 SF
1F	442.8 SF
1G	39.6 SF

FIRST FLOOR TOTAL: 2,349.6 SF

SECOND FLOOR (CONDITIONED)

2A	123.8 SF
2B	168.8 SF
2C	267.5 SF
2D	46.6 SF
2E	62 SF
2F	301.3 SF
2G	271.2 SF
2H	223.7 SF

SECOND FLOOR TOTAL: 1,464.9 SF

ATTACHED GARAGE (UNCONDITIONED)

1H	18.1 SF
1J	423.4 SF

GARAGE TOTAL: 441.5 SF

COVERED ENTRY PORCH

1K	36 SF
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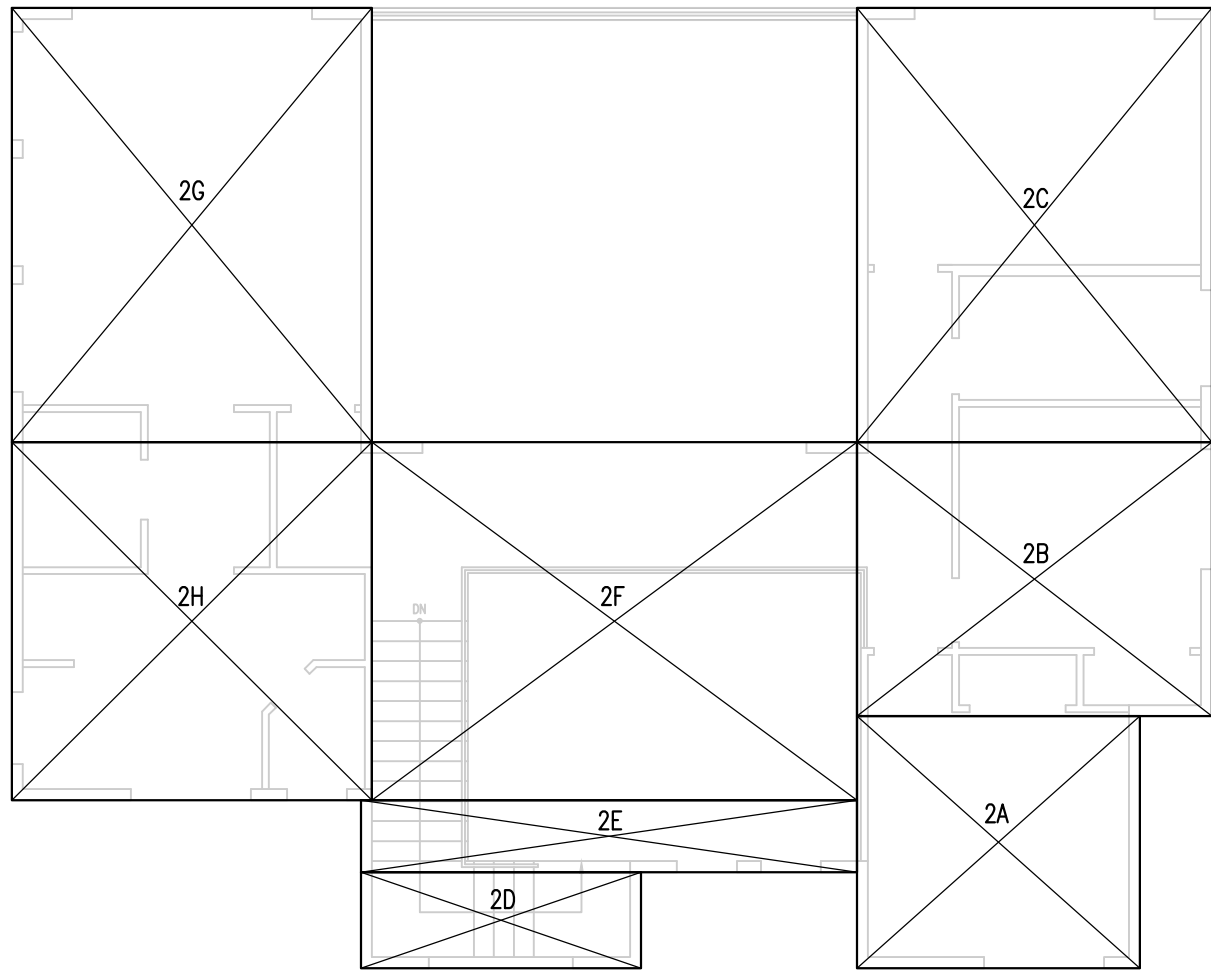
COVERED PORCH TOTAL: 36 SF

TOTAL F.A.R.: 2,349.6+1,464.9+441.5 = 4,256 SF>3,600 SF (ALLOWABLE)  
= 43.6% LOT SIZE

TOTAL LOT COVERAGE: 2,349.6+441.5+36 = 2,827.1 SF<3,900 SF (MAX. ALLOW.)  
= 28.9% LOT SIZE

1 1ST FLOOR AREA CALCULATIONS

Scale: 1/8" = 1'-0"



Scale: 1/8" = 1'-0"

2 2ND FLOOR AREA CALCULATIONS





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FOR PLANNING COMMENTS	07/06/21

Jeremy Deng

Sheet Name  
**FIRST FLOOR PLAN**

Project No. 150215  
By: JD  
Reviewed: MC  
Scale: 1/4"=1'-0"

**A-100.1**

## FLOOR PLAN GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS SHALL BE AS SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT NOTIFY DESIGNER. FLOOR PLAN BY DESIGNER TAKES PRECEDENCE OVER ALL OTHER PLANS. **ALL WALLS/PARTITIONS ARE DIMENSIONED FROM STUDS TO STUDS.**
- CONTRACTOR SHALL REPORT TO DESIGNER OR STRUCTURAL ENGINEER FOR ANY DISCREPANCY BETWEEN PLANS, INCLUDING ARCHITECTURAL AND STRUCTURAL DRAWINGS. ANY DISCREPANCY NOT REPORTED TO THE DESIGNER OR STRUCTURAL ENGINEER WILL ABSOLVE THE DESIGNER OR STRUCTURAL ENGINEER FROM ANY LIABILITY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS PRIOR TO STARTING ANY FIELD WORK.
- ANY DEVIATION CALLED BY THE FIELD CONDITIONS, OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLANS SHALL BE REPORTED IN WRITTEN TO THE DESIGNER OR STRUCTURAL ENGINEER. ANY DISCREPANCY NOT REPORTED TO THE DESIGNER OR STRUCTURAL ENGINEER WILL ABSOLVE THE DESIGNER OR STRUCTURAL ENGINEER FROM ANY LIABILITY.
- AT ALL PERIMETER CONDITIONS WHERE DEMO OCCURS SHALL BE PATCHED AND REPAIRED. ALL EXISTING WALLS DAMAGED SHALL BE REPAIRED AS REQUIRED.
- USE 5/8" "WONDERBOARD" OR "DUROCK" CEMENT BOARD AROUND TUB/SHOWER AREA, KITCHEN & UTILITY ROOM. BOARD SHALL BE MIN. 72" HIGH FROM DRAIN INLET.
- ALL WINDOW AND EXTERIOR DOORS SHALL BE DBL. GLAZED. PROVIDE WEATHER-STRIPPED FOR OUT-SWINGING DOOR.
- NEW TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL, 2019 CRC SECTION R308.1.
- WATER HEATER SHALL BE SEISMIC ALLY ANCHORED TO INCLUDE ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER 1/3 OF ITS VERTICAL DIMENSION. THE LOWER STAIRS/ANCHORD LOCATED TO MAINTAIN A MIN. DISTANCE OF 4" ABOVE THE CONTROLS.
- WATER HEATER MUST BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL SIZED DRAIN OF GALVANIZED STEEL OR HAND DRAWN COPPER TO THE OUTSIDE OF THE BLDG. WITH THE END OF THE PIPE NOT MORE THAN (2) TWO FT. OR LESS SIX INCHES ABOVE THE GRADE, POINTING DOWNWARD. THE TERMINAL AND BEING UNTHREADED.
- FLOOR LEVEL CHANGE SHALL NOT BE MORE THAN 1/2". EXCEPT a) IF STAIRS ARE USED AND DOOR(S) DO NOT SWING OVER THE TOP STEP; b) LANDINGS AT EXTERIOR DOORWAY PER 2019 CRC SEC. R311.3.1.
- GLASS DOORS AND WINDOWS SUBJECT TO HUMAN IMPACT MUST HAVE SAFETY GLAZING, OR PROTECTIVE GRILL.
- PROVIDE EXHAUST VENTILATION FOR WHOLE-BUILDING MECHANICAL VENTILATION SYSTEM PER 2008 RESIDENTIAL COMPLIANCE MANUAL. EXHAUST FAN MUST SUPPLY 5 AIR CHANGES PER HOUR & MIN. 20CFM IN ALL BATHROOMS. KITCHEN EXHAUST FAN SHALL SUPPLY 5 AIR CHANGES PER HOUR. IF HOOD IS USED AS EXHAUST FAN, IT MUST BE DUCTED TO OUTSIDE. EXHAUST FAN CONTROL SWITCH SHALL BE LABELED & PROPERTY OWNER SHALL PROVIDE WITH INSTRUCTIONS ON HOW TO OPERATE THE SYSTEM.
- PROVIDE HEATING EQUIPMENT SUFFICIENT TO MEET REQUIREMENTS SET FORTH IN 2019 CRC SEC. R303.10 AT 36" ABOVE FLOOR & 24" FROM EXTERIOR WALL IN EACH HABITABLE AREA.
- HEIGHT OF COMBUSTIBLE MATERIAL ABOVE KITCHEN RANGE SHALL BE 30" (UNPROTECTED) 24" (PROTECTED).
- WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISHED WALL MATERIALS SHALL HAVE CONSTRUCTED OF MATERIAL NOT ADVERSELY AFFECTED BY WATER (IF GYP. BD. IS TO BE USED, IT MUST BE APPROVED W.G. BOARD INSTALLED ACCORDING TO 2019 CRC SEC. R702.3.7 & R702.4.
- THE TUB/SHOWER VALVES SHALL BE PRESSURE BALANCED AND THE TEMP. RATING SET TO 120 DEGREES OR LESS.
- EMERGENCY ESCAPE WINDOWS FOR SLEEPING ROOMS MUST:
  - MIN. NET CLEAR OPERABLE AREA 5.7 SF.
  - MIN. NET CLEAR OPERABLE WIDTH 20 INCHES.
  - MIN. NET CLEAR OPERABLE HEIGHT 24 INCHES.
  - MAX. 44" HEIGHT FROM BOTTOM OF CLEAR OPENING TO THE FINISHED FLOOR
- INSTALL A SMOOTH METAL DUCT AS DRYER VENT EXHAUST TO OUTSIDE WITH A BACKDRAFT DAMPER.
- SHOWER STALLS AND TUB ENCLOSURES MUST CONFORM WITH THE REQUIREMENTS PER 2019 CPC.
- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. 36" AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS, ATTIC VENTS OR ANY OPENINGS INTO THE BUILDING PER 2019 CMC.
- DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE & LIVING AREA SHALL BE 26 GA. MIN. PER 2019 CRC SECTION R302.5.2
- PROVIDE 1/2" GYP. BD. DRAFTSTOPS IN USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF FLOOR/CEILING ASSEMBLY. DRAFTSTOPS SHALL BE INSTALLED SO THAT SPACE OF CONCEALED SPACE DOES NOT EXCEED 1,000 S.F. AND DIVIDED APPRX. EQUAL. DRAFTSTOPS SHALL BE INSTALLED IN FLOOR/CEILING ASSEMBLIES UNDER: a) CEILING IS SUSPENDED; b) FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB OR PERFORATED MEMBERS.
- PROVIDE 1/2" GYP. BD. OR 2x WOOD FIREBLOCKING @ FOLLOWING LOCATIONS:
  - IN CONCEALED SPACES OF WOOD STUD WALL & PARTITION, INCLUDING FURRED SPACES & PARALLEL ROWS OF STUDS OR STAGGERED STUDS AT a) VERTICALLY @ CEILING & FLOOR LEVEL; b) HORIZONTALLY @ INTERVALS NOT EXCEEDING 10'-0".
  - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES AT SOFFITS, DROP CEILING & COVER CEILING.
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT T/B OF RUN.
  - AT OPENINGS AROUND VENTS, PIPES DUCTS, CABLES & WIRES @ CEILING & FLOOR LEVEL. W/AN APPROVED MATERIALS TO RESISTANT THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BR REQUIRED TO MEET THE ASTM E136 REQUIREMENTS.

## LEGEND

- NEW EXTERIOR WALL. 2x6 D.F. #2 WOOD STUD FRAMED WALL PER STRUCT. PLANS WITH 7/8" 3-COAT CEMENT PLASTER OVER METAL LATH OVER (2) LAYERS D-GRADE BLDG. PAPER (INDEPENDENTLY WRAPPED) OVER APA RATED 1/2" OSB OR PLYWD SHEATHING AT EXTERIOR SIDE; BATT INSULATION PER T-24 CALCS.; AND 1/2" GYP. BD. AT INTERIOR SIDE
- NEW INTERIOR CEILING HEIGHT PARTITION PER STRUCT. PLANS WITH 1/2" GYP. BD. AT ALL SIDES (2x6 FRAMING FOR ALL PLUMBING WALLS)
- NEW INTERIOR FULL-HEIGHT AREA SEPARATION WALL PER STRUCT. PLANS WITH R-13 BATT INSULATION & FULL HEIGHT 5/8" TYPE "X" GYP. BD. CONTINUOUS FROM FOUNDATION TO ROOF SHEATHING AT GARAGE SIDE & 1/2" GYP. BD @ ROOM SIDE
- NEW ANDERSON SERIES 100 WINDOW OR EQ. LOW-E DUAL PANE GLAZE & COMPOSITE FRAME. REFER TO T-24 CALCULATIONS FOR U-VALUE.  
NOTE: ALL EXTERIOR WINDOWS & SLIDING DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY & BEAR A LABEL IDENTIFYING MANUF. PERFORMANCE CHARACTERISTICS & APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH AAMA/WDMA/CSA 101/1.5.2/4440. EXTERIOR SIDE-HINGED DOORS SHALL BE TESTED & LABELED AS CONFORMING TO AAMA/WDMA/CSA 101/1.5.2/4440 OR COMPLY CBC 1709A.5.1.
- NEW EXTERIOR/INTERIOR DOOR. EXTERIOR SIDE-HINGED DOORS SHALL BE TESTED & LABELED AS CONFORMING TO AAMA/WDMA/CSA 101/1.5.2/4440 OR COMPLY CBC 1709A.5.1.

## UNDER-FLOOR VENTILATION CALCULATION (PER 2019 CRC CHAPTER 4, SECTION R408.2)

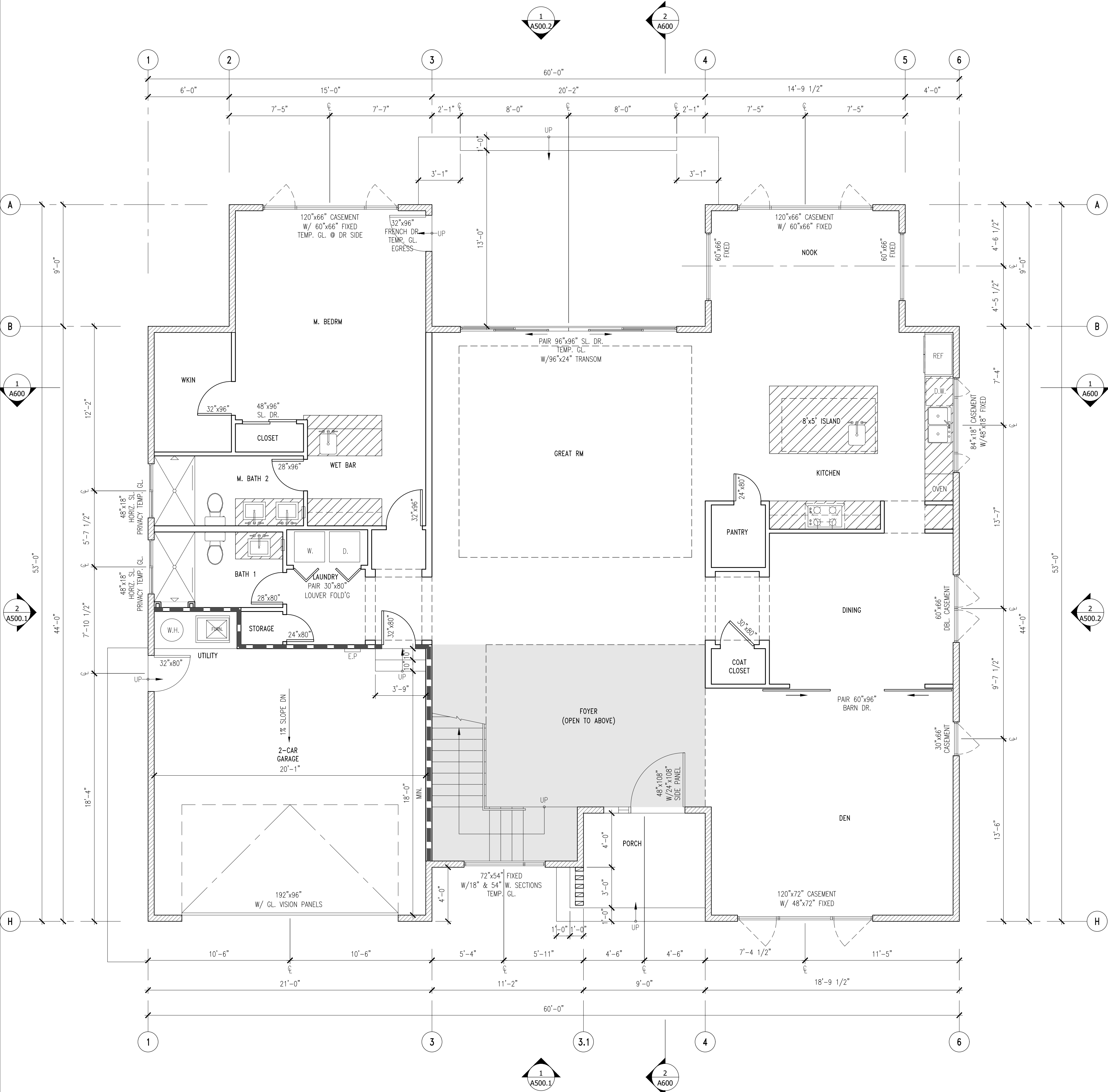
VENTILATION AREA REQUIRED	2,240 S.F./150 = 15 S.F.
VENTILATION AREA PROVIDED	16" x 7" x (31) EA. = 15 S.F.

### NOTE:

- REFER TO ELEVATION SHEET FOR UNDER-FLOOR VENT LOCATIONS.
- UNDER-FLOOR VENTS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH OPENINGS OF 1/8" MIN. AND 1/4" MAX IN DIMENSION.
- PROVIDE AT LEASE (1) OPENING WITHIN (3) FT. OF EA. CORNER OF BLDG.

## PLUMBING FIXTURE NOTES (PER 2019 CALGREEN CODE)

- TOILET SHALL NOT EXCEED 1.28 GALLONS PER FLUSH.
- SHOWERHEADS SHALL HAVE A MAX. FLOW RATE NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI. WHEN A SHOWER IS SERVED BY MORE THAN 1 SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALE SHALL MAX. 1.8 GALLONS PER MINUTE AT 80 PSI. OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY 1 SHOWER OUTLET TO BE IN OPERATE AT A TIME. A-HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.
- LAVATORY FAUCET FLOW RATE SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. MIN. FLOW RATE 0.8 GALLONS PER MINUTE AT 20 PSI.
- LAVATORY FAUCET FLOW RATE LOCATED AT OUTSIDE OF DWELLINGS OR SLEEPING UNITS SHALL NOT EXCEED 0.5 GALLONS PER MINUTE AT 60 PSI.
- KITCHEN FAUCET FLOW RATE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCET MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAX. RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI & MUST DEFAULT TO MAX. FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- INSTALL AT LEASE ONE QUALIFIED ENERGY STAR DISHWASHER OR CLOTHES WASHERS
- METERING FAUCETS SHALL NOT DELIVER MORE THAN 0.2 GALLONS PER CYCLE



1 FIRST FLOOR PLAN

Scale: 1/4"=1'-0"







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Jeremy Deng

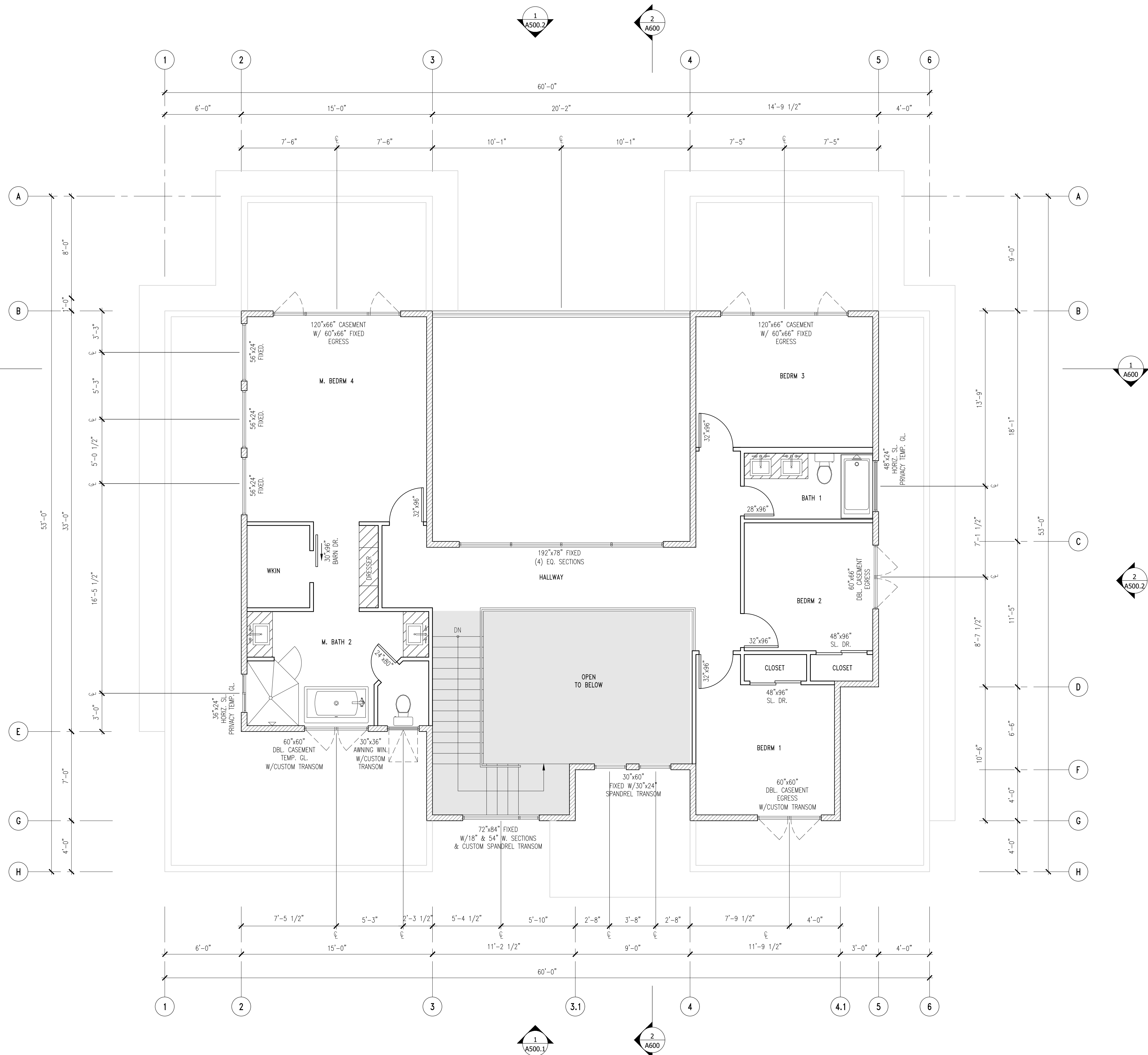
Sheet Name

SECOND FLOOR PLAN

Project No. 150215  
By: JD  
Reviewed: MC  
Scale: 1/4"=1'-0"

A-100.2

REFER TO SHEET A-100.1 FOR FLOOR  
GENERAL NOTES & LEGEND



1 SECOND FLOOR PLAN

Scale: 1/4"=1'-0"







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Tel: 510.331.6059

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CHIANG RESIDENCE  
575 CRAWFORD DRIVE  
SUNNYVALE, CA 94087

Project Name:

Issue & Revisions:	Date:
ISSUED FOR PLANNING REVIEW	09/22/20
FOR PLANNING COMMENTS	04/06/21
FOR PLANNING COMMENTS	05/14/21
FOR PLANNING COMMENTS	07/06/21

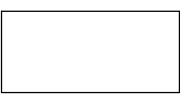
Jeremy Deng

Sheet Name  
1ST & 2ND FLOOR ROOF PLAN

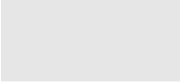
Project No. 150215  
By: JD  
Reviewed: MC  
Scale: 1/4"=1'-0"

A-300

LEGEND



NEW 2ND FLOOR LOW-SLOPE OR FLAT ROOF, 4-PLY BUR ROOF SYSTEM,  
ROOFING  
ASSEMBLY PER MANUF. SPECIFICATIONS  
-1/2" CDX PLYWOOD SHEATHING, 5 PLY,  
-WOOD RAFTER FRAME, SEE ROOF PLAN  
-R-30 BATT INSULATION



NEW 1ST FLOOR FLAT ROOF 4-PLY BUR ROOF SYSTEM



DENOTE DIRECTION OF DRAINAGE



(N) 26GA. GALVANIZE SHEET METAL DOWNSPOUT

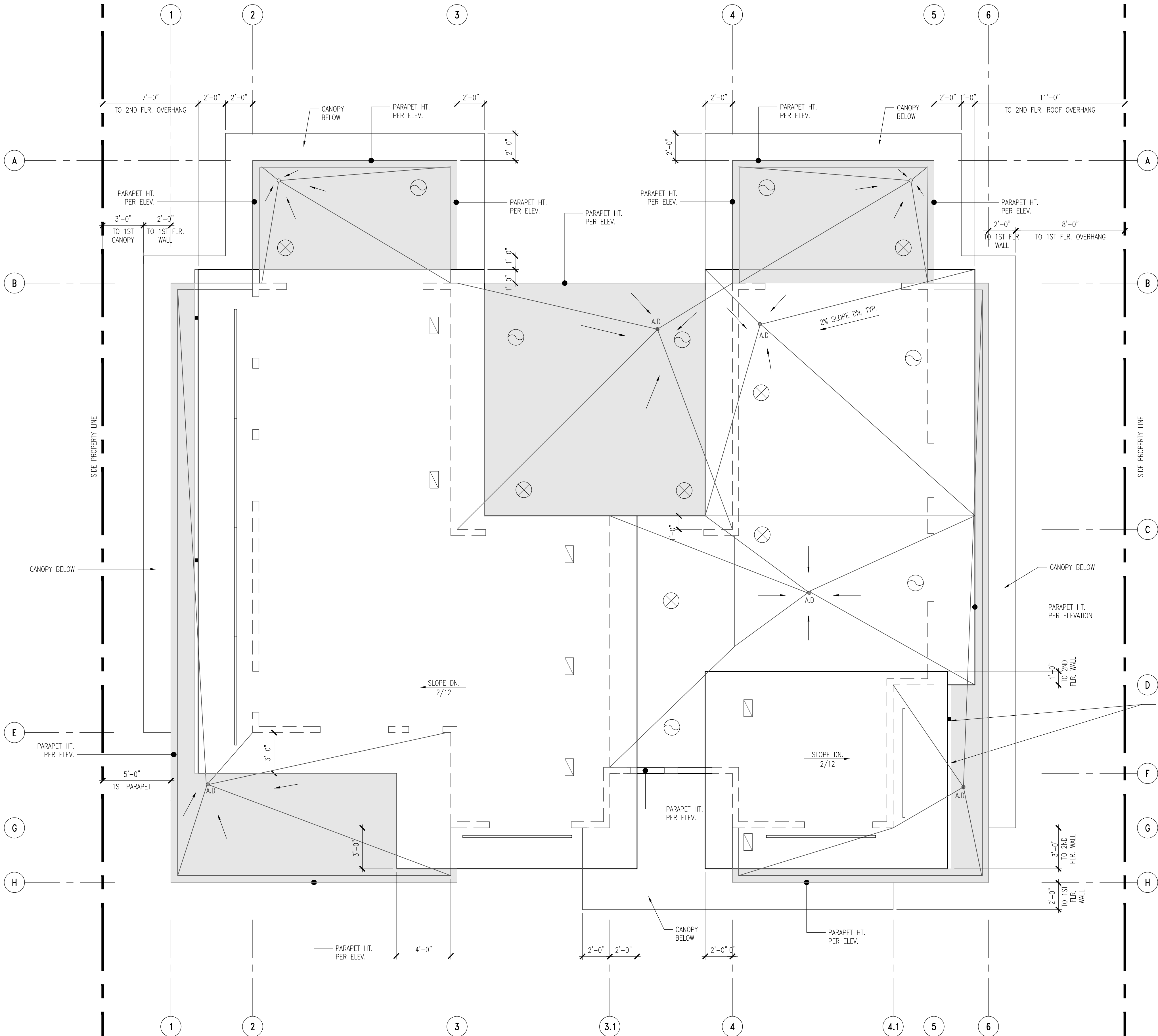


(N) STORM WATER AREA DARIN

ATTIC SPACE VENTILATION CALCULATION

(PER 2019 CRC SECTION R806.2)

1ST FLOOR LEFT SIDE FLAT ROOF ATTIC SPACE AREA	389 S.F.
VENT AREA REQUIRED:	389/150 = 2.6 S.F.
ROOF INTAKE VENT	REQUIRED: 2.6 x 50% = 1.3 S.F. PROVIDED: 1 x (2) UNITS = 2 S.F. MFR: ACTIVE VENTILATION PRODUCT, INC. MODEL: PV-14-C06 1 SQFT NET FREE AREA PER UNIT
ROOF EXHAUST VENT	REQUIRED: 2.6 x 50% = 1.3 S.F. PROVIDED: 1 x (2) UNITS = 2 S.F. MFR: ACTIVE VENTILATION PRODUCT, INC. MODEL: AV-14-C06 1 SQFT NET FREE AREA PER UNIT
1ST FLOOR RIGHT SIDE FLAT ROOF ATTIC SPACE AREA	233 S.F.
VENT AREA REQUIRED:	233/150 = 1.6 S.F.
ROOF INTAKE VENT	REQUIRED: 1.6 x 50% = 0.8 S.F. PROVIDED: 1 x (1) UNIT = 1 S.F. MFR: ACTIVE VENTILATION PRODUCT, INC. MODEL: PV-14-C06 1 SQFT NET FREE AREA PER UNIT
ROOF EXHAUST VENT	REQUIRED: 1.6 x 50% = 0.8 S.F. PROVIDED: 1 x (1) UNIT = 1 S.F. MFR: ACTIVE VENTILATION PRODUCT, INC. MODEL: AV-14-C06 1 SQFT NET FREE AREA PER UNIT
1ST FLOOR REAR FLAT ROOF ATTIC SPACE AREA	238 S.F.
VENT AREA REQUIRED:	238/150 = 1.6 S.F.
ROOF INTAKE VENT	REQUIRED: 1.6 x 50% = 0.8 S.F. PROVIDED: 1 x (2) UNITS = 2 S.F. MFR: ACTIVE VENTILATION PRODUCT, INC. MODEL: PV-14-C06 1 SQFT NET FREE AREA PER UNIT
ROOF EXHAUST VENT	REQUIRED: 1.6 x 50% = 0.8 S.F. PROVIDED: 1 x (2) UNITS = 2 S.F. MFR: ACTIVE VENTILATION PRODUCT, INC. MODEL: AV-14-C06 1 SQFT NET FREE AREA PER UNIT
1ST FLOOR GREAT ROOM ROOF ATTIC SPACE AREA	355 S.F.
VENT AREA REQUIRED:	355/150 = 2.4 S.F.
ROOF INTAKE VENT	REQUIRED: 2.4 x 50% = 1.2 S.F. PROVIDED: 1 x (2) UNITS = 2 S.F. MFR: ACTIVE VENTILATION PRODUCT, INC. MODEL: PV-14-C06 1 SQFT NET FREE AREA PER UNIT
ROOF EXHAUST VENT	REQUIRED: 2.4 x 50% = 1.1 S.F. PROVIDED: 1 x (2) UNITS = 2 S.F. MFR: ACTIVE VENTILATION PRODUCT, INC. MODEL: AV-14-C06 1 SQFT NET FREE AREA PER UNIT
2ND FLOOR LOW-SLOPE ATTIC SPACE AREA	684 + 259 = 943 S.F.
VENT AREA REQUIRED:	943/150 = 6.3 S.F.
SOFFIT VENT	REQUIRED: 6.3 x 50% = 3.15 S.F. PROVIDED: 0.5 x (7) = 3.5 S.F. MFR: AIR VENT, INC. MODEL: CONTINUOUS ALUM. SOFFIT VENT SV202 9 SQ. IN. PER FOOT
ROOF EXHAUST VENT	REQUIRED: 4.6 x 50% = 2.3 S.F. PROVIDED: 0.5 x (5) = 2.5 S.F. MFR: O'HAGIN, LLC MODEL: TAPERED LOW-PROFILE STANDARD EXHAUST ROOF VENT 0.5 NET FREE SQUARE FEET PER (1) UNIT
2ND FLOOR FLAT ROOF ATTIC SPACE AREA	624 + 277 = 901 S.F.
VENT AREA REQUIRED:	901/150 = 6 S.F.
ROOF INTAKE VENT	REQUIRED: 6 x 50% = 3 S.F. PROVIDED: 1 x (3) UNITS = 3 S.F. MFR: ACTIVE VENTILATION PRODUCT, INC. MODEL: PV-14-C06 1 SQFT NET FREE AREA PER UNIT
ROOF EXHAUST VENT	REQUIRED: 6 x 50% = 3 S.F. PROVIDED: 1 x (3) UNITS = 3 S.F. MFR: ACTIVE VENTILATION PRODUCT, INC. MODEL: AV-14-C06 1 SQFT NET FREE AREA PER UNIT



1 1ST & 2ND FLOOR ROOF PLAN

Scale: 1/4"=1'-0"





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# CHIANG RESIDENCE

575 CRAWFORD DRIVE  
SUNNYVALE, CA 94087

Project Name:

Issue & Revisions:	Date:
ISSUED FOR PLANNING REVIEW	09/22/20
FOR PLANNING COMMENTS	04/06/21
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FOR PLANNING COMMENTS	07/06/21

Jeremy Deng

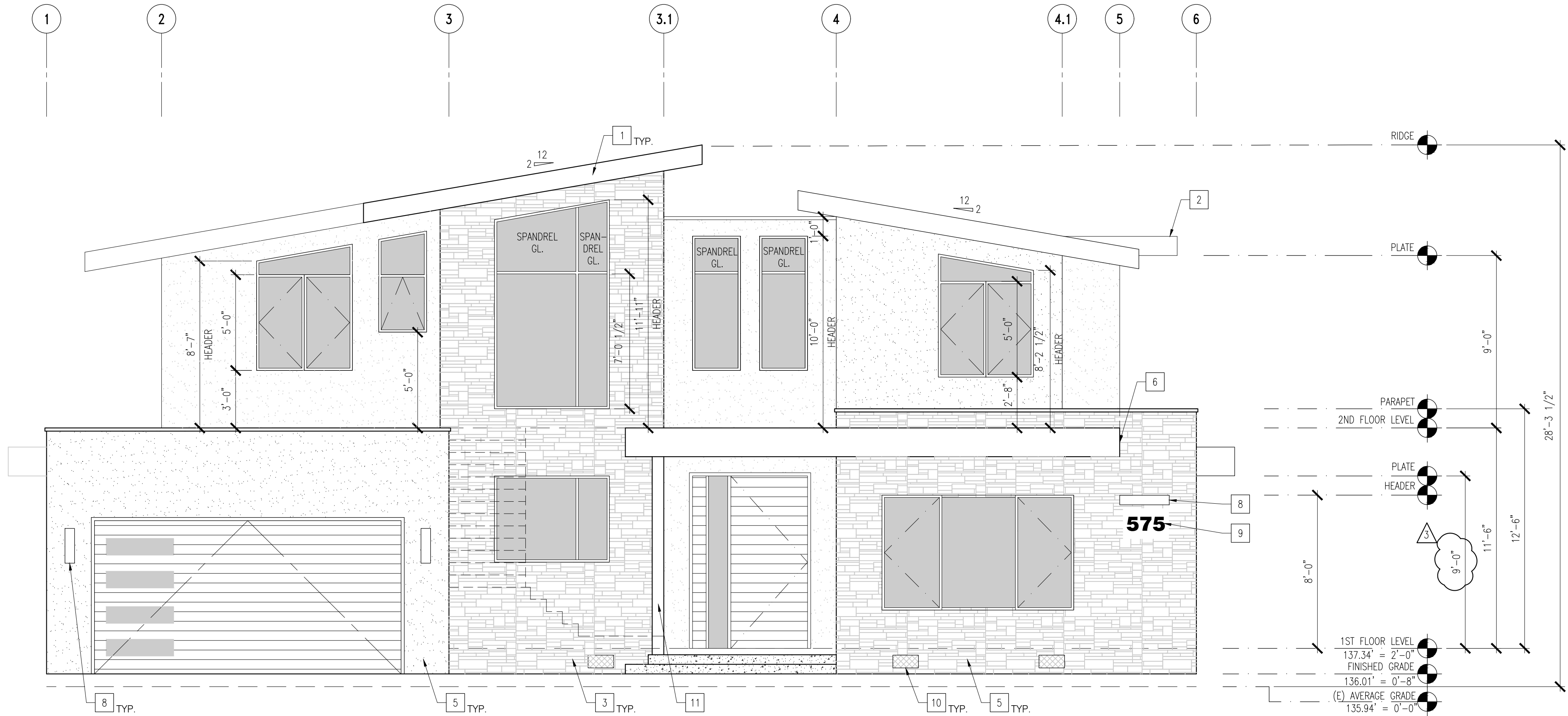
Sheet Name  
**EXTERIOR ELEVATIONS**

Project No. 150215  
By: JD  
Reviewed: MC  
Scale: 1/4"=1'-0"

## A-500.1

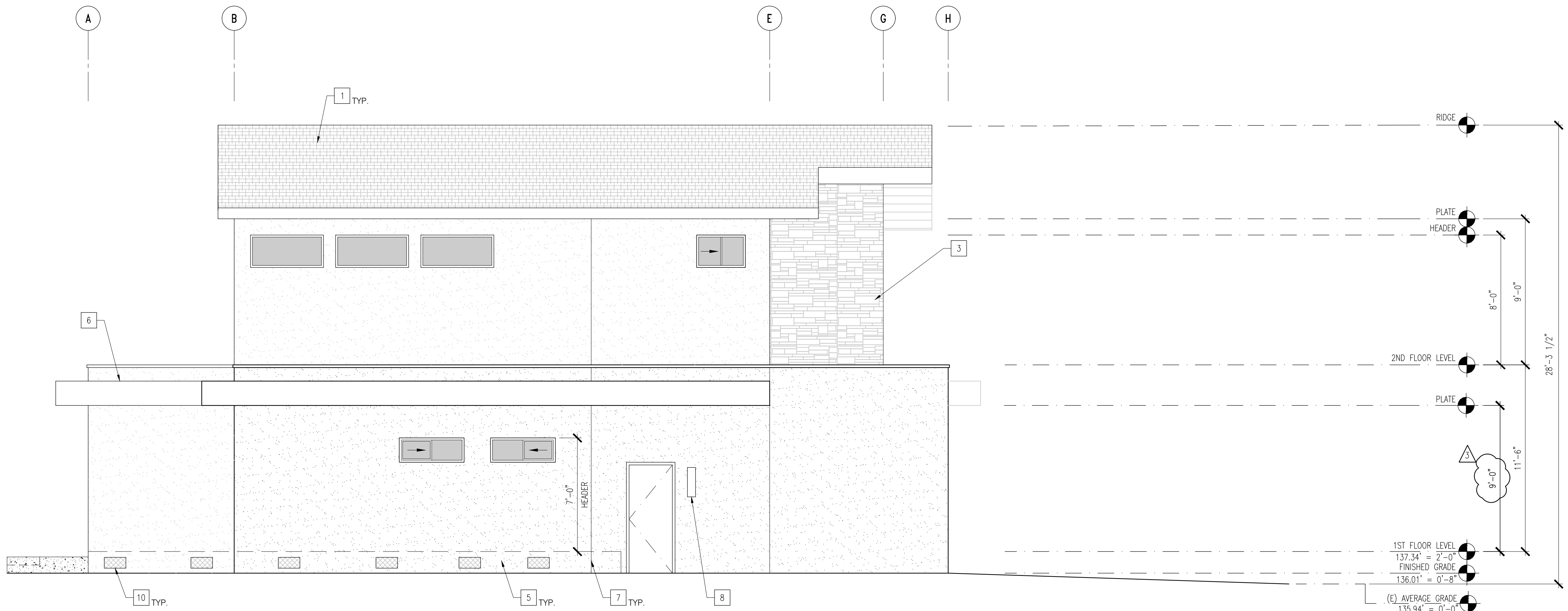
### EXTERIOR ELEVATION KEYNOTES

- (N) BUILT-UP LOW-SLOPE ROOF WITH PAINT FINISHED WOOD FASCIA
- (N) FLAT ROOF WITH PAINT FINISHED WOOD FASCIA
- (N) PORCELAIN TILE OR STONE VENEER CLADDING. SEE MATERIAL & FINISH SAMPLE BOARD
- (N) +42" HT. ALUM. FRAMED TEMP. GLASS GUAR
- (N) CEMENT PLASTER FINISH WITH FINE TEXTURE
- (N) 18" HT x 24" DEEP WOOD SIDING PANELING CANOPY WITH EXTERIOR GRADE STAIN FINISH
- (N) ALUM. CEMENT PLASTER EXPANSION JOINT. PAINTED FINISH. COLOR TO MATCH CEMENT PLASTER
- (N) DECORATIVE SURFACE MOUNTED LIGHT FIXTURE, TYP.
- ILLUMINATE STREET NUMBER. THE ADDRESS NEEDS TO BE MIN. 4" HIGH WITH A STROKE WIDTH 1/2" MIN. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND
- (N) UNDER-FLOOR VENT, TYP.
- (N) WOOD CANOPY SUPPORTING POST PER STRUCT. PLANS. WITH PAINTED FINISH. COLOR: BLACK



1 FRONT ELEVATION

Scale: 1/4"=1'-0"



2 LEFT SIDE ELEVATION

Scale: 1/4"=1'-0"





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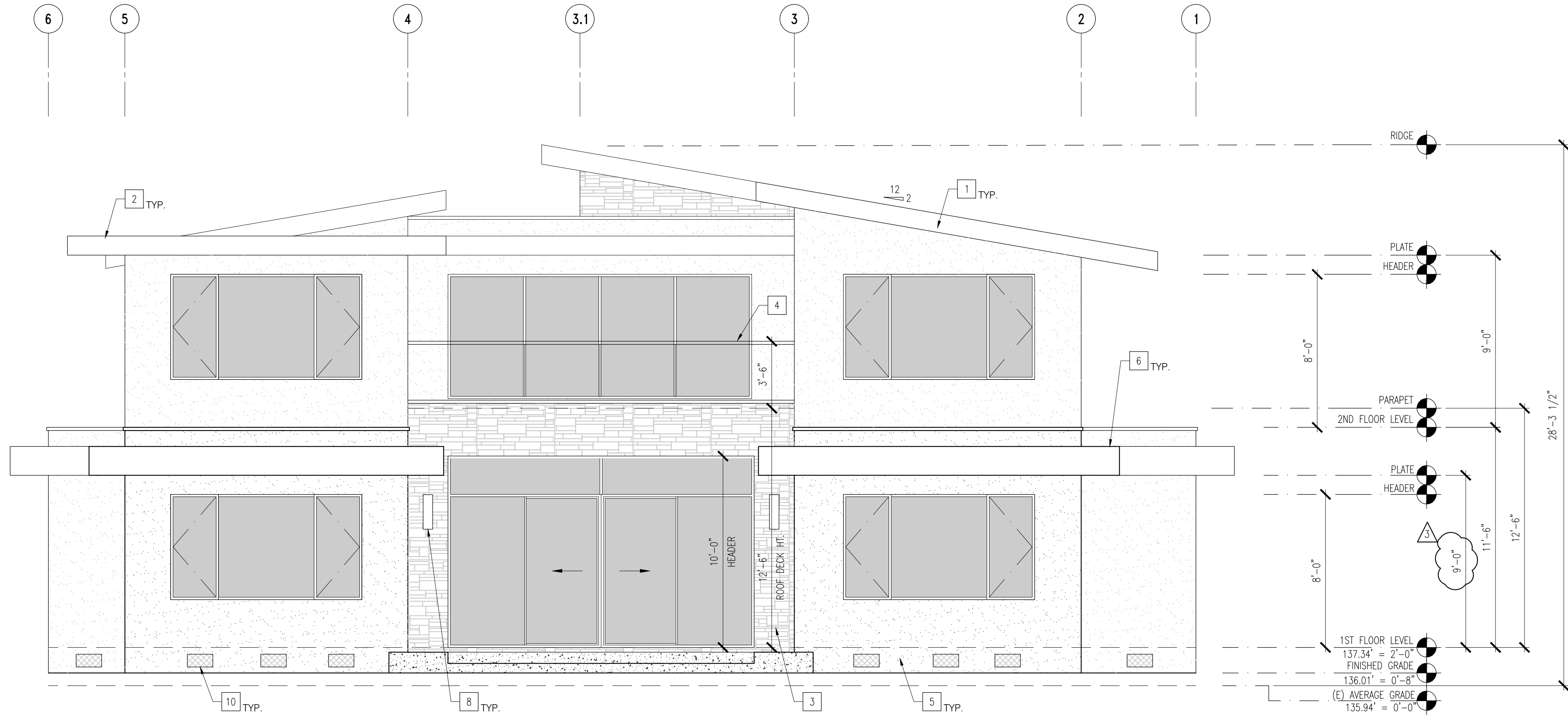
Jeremy Deng

Sheet Name  
EXTERIOR ELEVATIONS

Project No. 150215  
By: JD  
Reviewed: MC  
Scale: 1/4"=1'-0"

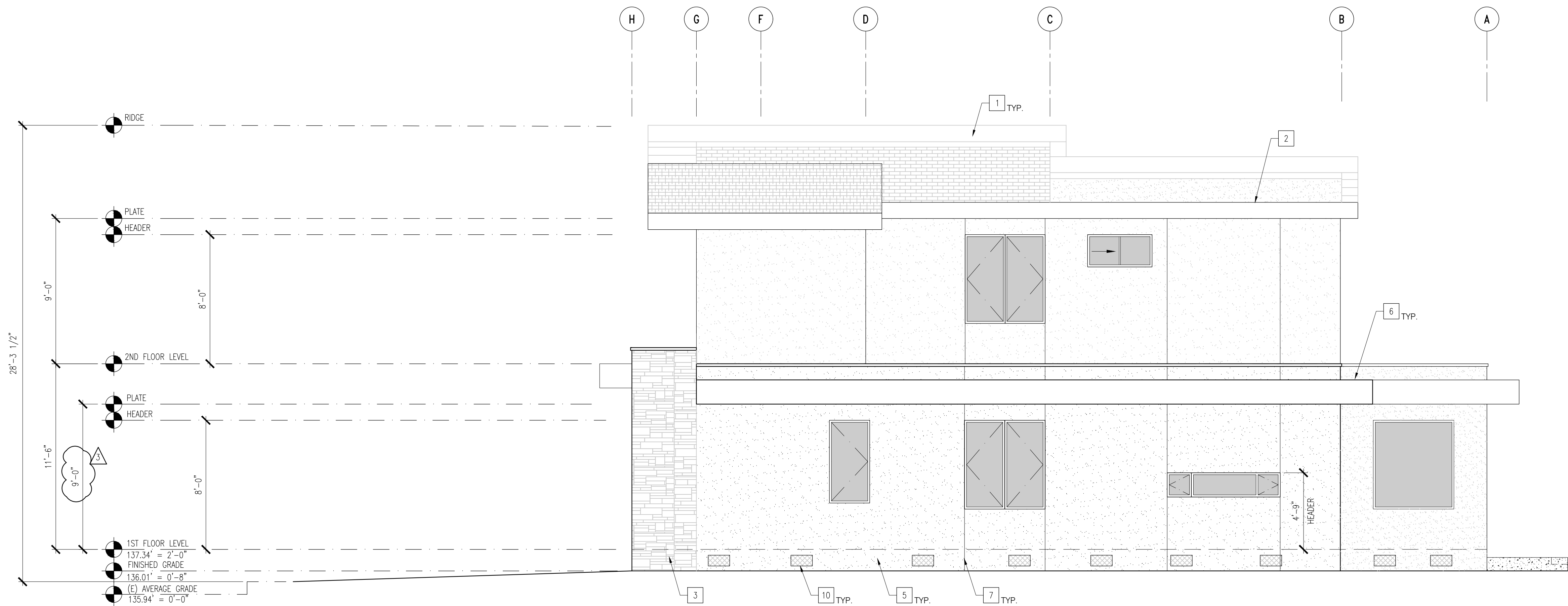
A-500.2

REFER TO SHEET A-500.1 FOR EXTERIOR FINISH KEYNOTES



1 REAR ELEVATION

Scale: 1/4"=1'-0"



2 RIGHT SIDE ELEVATION

Scale: 1/4"=1'-0"





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Jeremy Deng

Sheet Name

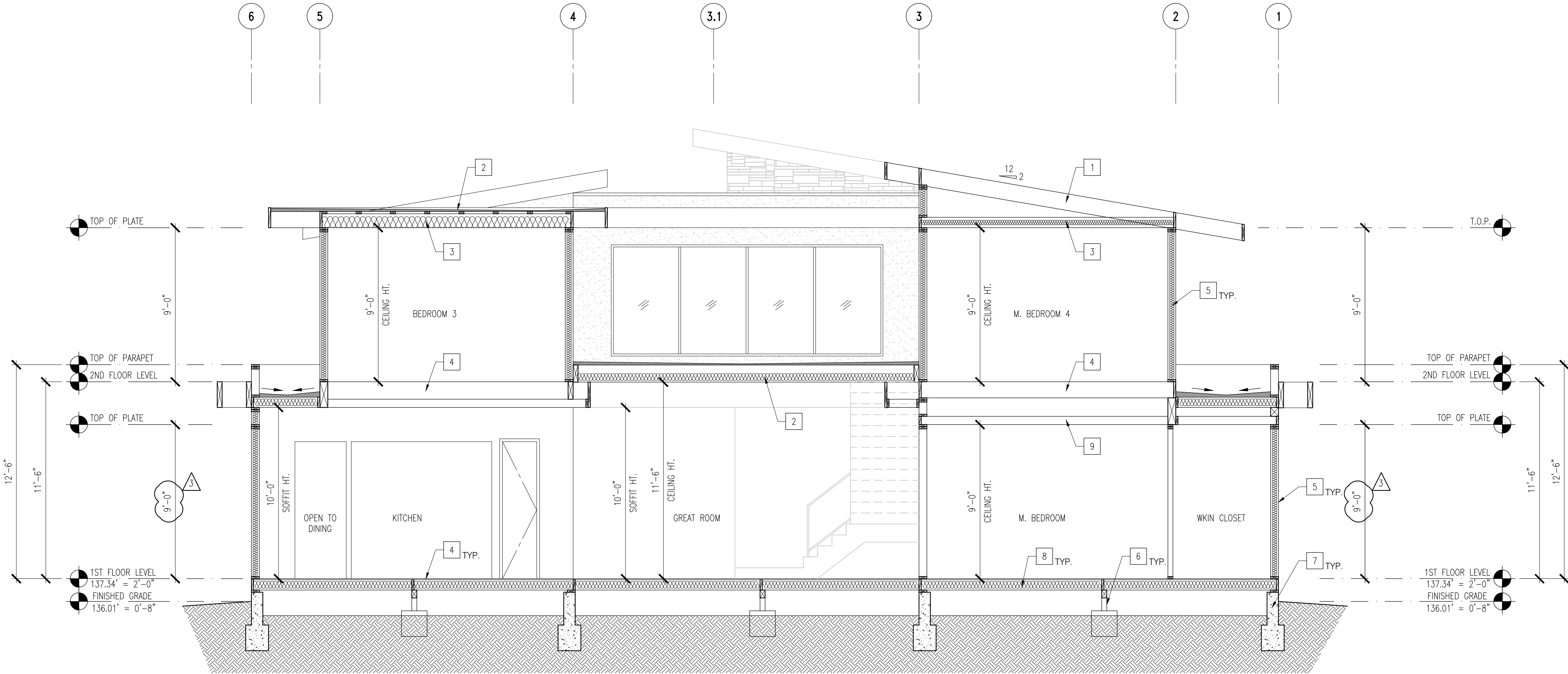
BUILDING CROSS SECTIONS

Project No. 150215  
By: JD  
Reviewed: MC  
Scale: 1/4"=1'-0"

A-600

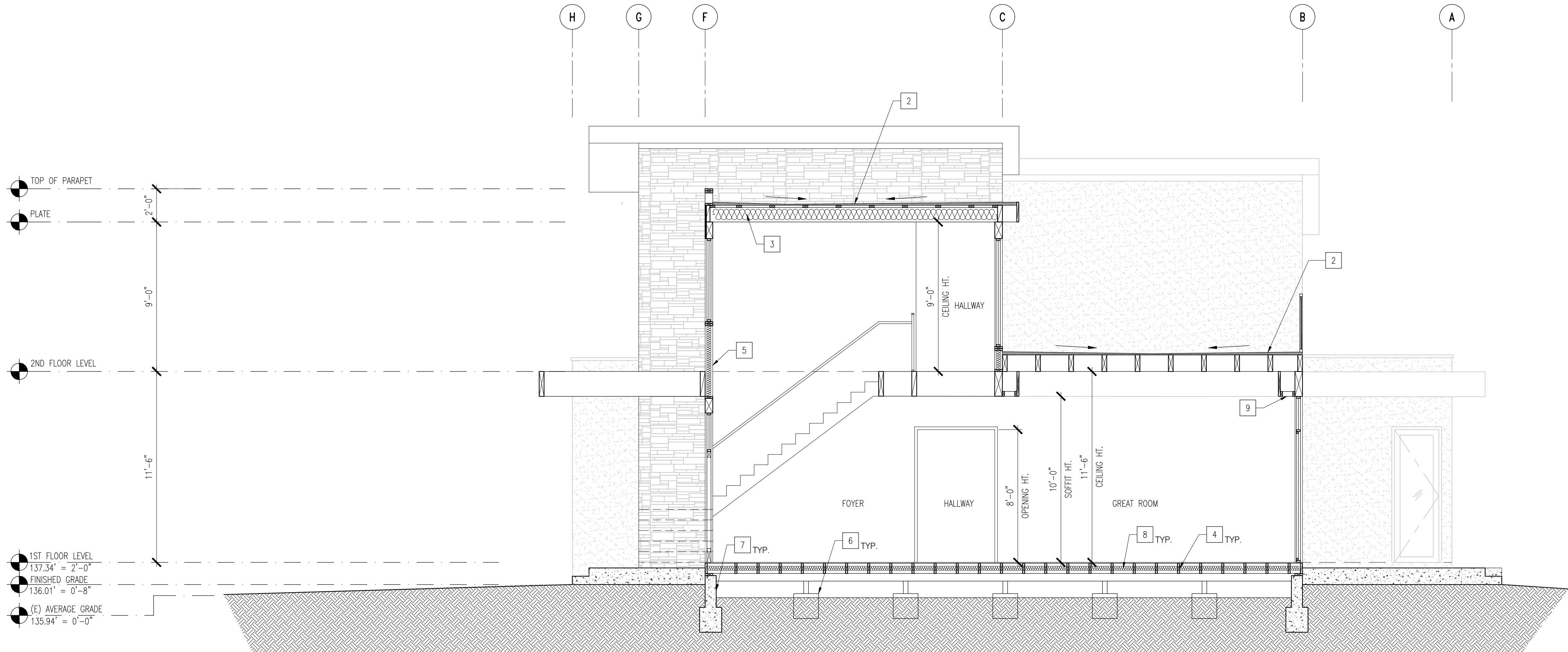
KEY NOTES

- (N) LOW-SLOPED ROOF FRAMING PER STRUCT. PLAN
- (N) FALT ROOF FRAMING PER STRUCT. PLAN
- (N) R-30 BATT INSULATION. SEE T-24 CALCULATION
- (N) FLOOR JOISTS AND SHEATHING PER STRUCT. PLAN
- (N) WOOD STUDS EXTERIOR WALL PER STRUCT. PLAN WITH R-15 BATT INSULATION
- (N) PIER PER STRUCT. PLANS
- (N) CONCRETE FOOTING PER STRUCT. PLAN
- (N) R-19 BATT INSULATION
- (N) CEILING JOISTS PER STRUCT. PLANS



1 BUILDING HORIZONTAL SECTION

Scale: 1/4"=1'-0"



2 BUILDING LONGITUDINAL SECTION

Scale: 1/4"=1'-0"





CALGREEN RESIDENTIAL MANDATORY CHECKLIST  
THESE REQUIREMENTS APPLY TO BUILDING PERMITS SUBMITTED ON OR AFTER JANUARY 1, 2020

Following is a standardized checklist of the 2019 California Green Building Standards Code (CalGreen) requirements that may be used to demonstrate compliance with the CalGreen Mandatory Measures (Chapter 4). This checklist is required for all new buildings and additions/alterations that increase the building's conditioned area. The requirements shall apply only to and/or within the specific area of the addition or alteration.

CALGreen Reference	Description	Designer's Comments with Plan Sheet Reference	City Field Inspection Verification
4.1 Planning and Design	4.106.2 <b>Storm Water Drainage and Retention during construction.</b> A plan is developed and implemented to manage storm water drainage during construction.	Sheet: A-0.4	Initials and Date:
4.1 Planning and Design	4.106.3 <b>Grading and paving.</b> Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings	Sheet: C-1.0 A-0.4	Initials and Date:
4.1 Planning and Design	4.106.4.1 <b>New one- and two-family dwellings and townhouses with attached private garages</b> shall install a listed raceway to accommodate a dedicated 208.240-volt branch circuit	Sheet: A-0.4	Initials and Date:
4.1 Planning and Design	4.106.4.2 <b>New multifamily dwellings.</b> If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces capable of supporting future EVSE.	Sheet: N/A	Initials and Date:
4.1 Planning and Design	4.106.4.3 <b>New hotels and motels.</b> All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE.	Sheet: N/A	Initials and Date:
4.2 Energy Efficiency	4.201.1 <b>Scope</b> Compliance with the California Energy Commission mandatory standards.	Sheet: T-24.1 T-24.2 T-24.3	Initials and Date:

One-Stop Permit Center at City Hall, 456 W. Olive Ave., 408-730-7444  
Building and Planning Division representatives are available 8 a.m. - 12:30 p.m. and 1 p.m. - 5 p.m.  
Sunnyvale.ca.gov - Search "Planning and Building"

Rev. 1/2020  
Page 1 of 6

4.3 Water Efficiency and Conservation	4.303.1.1 <b>Water Closets.</b> Effective flush volume of all water closets shall not exceed 1.28 gallons per flush.	Sheet: A-100.1	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.1.2 <b>Urinals.</b> The effective flush volume of wall-mounted urinals shall not exceed 0.125 gallons per flush.	Sheet: N/A	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.1.3 <b>Showerheads.</b> Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. When a shower is served by more than one showerhead, the combined flow rate of all shower heads shall not exceed 1.8 gallons per minute at 80 psi.	Sheet: A-100.1	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.1.4 <b>Faucets.</b> Residential lavatory faucets shall not exceed 1.2 gpm at 60 psi. Lavatory faucets in common and public use areas in residential buildings shall not exceed 0.5 gpm at 60 psi. Metering faucets installed in residential buildings shall not deliver more than 0.2 gallons per cycle. Kitchen faucets shall not exceed 1.8 gpm at 60 psi.	Sheet: A-100.1	Initials and Date:
4.3 Water Efficiency and Conservation	4.303.2 <b>Standards for plumbing fixtures and fittings.</b> Plumbing fixtures and fittings shall be installed per the California Plumbing Code.	Sheet: A-100.1	Initials and Date:
4.3 Water Efficiency and Conservation	4.304.1 <b>Outdoor potable water use in landscape areas.</b> Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWEL0).	Sheet: L-1	Initials and Date:
4.3 Water Efficiency and Conservation	4.305.1 <b>Recycled water supply systems.</b> Newly constructed residential developments, where recycled water is available from a municipal source may be required to have recycled water supply systems installed.	Sheet: L-1	Initials and Date:

Page 2 of 6

4.4 Material Conservation and Resource Efficiency	4.406.1 <b>Rodent Proofing.</b> Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents.	Sheet: G.C./HOME OWNER	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.408.1 <b>Construction waste management.</b> Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste.	Sheet: G.C.	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.408.2 <b>Construction waste management plan.</b> Submit a construction waste management plan.	Sheet: G.C.	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.410.1 <b>Operation and maintenance manual.</b> An operation and maintenance manual shall be provided to the building occupant or owner.	Sheet: G.C.	Initials and Date:
4.4 Material Conservation and Resource Efficiency	4.410.2 <b>Recycling by occupants.</b> Where 5 or more multifamily dwelling units are constructed on a building site, readily accessible areas shall be identified for the collection of recycling.	Sheet: N/A	Initials and Date:
4.5 Environmental Quality	4.503.1 <b>Fireplaces.</b> Any installed gas fireplace shall be a direct-vent sealed-combustion type.	Sheet: N/A	Initials and Date:

Page 3 of 6

4.5 Environmental Quality	4.503.3 <b>Moisture content of building materials.</b> Moisture content of building materials used in wall and floor framing is checked before enclosure.	Sheet: G.C.	Initials and Date:
4.5 Environmental Quality	4.504.1 <b>Covering of duct openings and protection of mechanical equipment during construction.</b> Duct openings and other related air distribution component openings shall be covered during construction.	Sheet: G.C.	Initials and Date:
4.5 Environmental Quality	4.504.2 <b>Finish material pollutant control.</b> <b>Adhesives, sealants and caulks.</b> Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. <b>Paints and coatings.</b> Paints, stains and other coatings shall be compliant with voelimits. <b>Aerosol paints and coatings.</b> Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. <b>Verification.</b> Documentation shall be provided to verify that compliant voe limit finish materials have been used.	Sheet: G.C.	Initials and Date:
4.5 Environmental Quality	4.504.3 <b>Carpet systems.</b> All carpet installed in the building interior shall meet the testing and product requirements of one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) 3. NSF1 ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold. <b>Carpet cushion.</b> All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. <b>Carpet adhesive.</b> All carpet adhesive shall meet the requirements of Table 4.504.1.	Sheet: N/A	Initials and Date:

Page 4 of 6

4.5 Environmental Quality	4.504.4 <b>Resilient flooring systems.</b> Where resilient flooring is in stalled, at least 80 percent of floor area receiving resilient flooring shall comply with one or more of the following: 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (alsoknown as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 201 0 (also known as Specification 01350).	Sheet: G.C.	Initials and Date:
4.5 Environmental Quality	4.504.5 <b>Composite wood products.</b> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those section s, as shown in Table 4.504.5.	Sheet: G.C.	Initials and Date:
4.5 Environmental Quality	4.505.2 <b>Concrete slab foundations.</b> Vapor retarder and capillary break is installed at slab-on-grade foundations.	Sheet: N/A	Initials and Date:
4.5 Environmental Quality	4.507.2 <b>Heating and air-conditioning system design.</b> Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 or equivalent. 2. Size duct systems according to ANSI/ACCA 1	Sheet: G.C.	Initials and Date:

Page 5 of 6

	Manual D-2014 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual 5-2014 or equivalent.	G.C.	
Chapter 7: Installer and Special Inspector Qualifications	702.1 <b>Installer Training.</b> HVAC system installers are trained and certified in the proper installation of HVAC systems.  702.2 <b>Special Inspection.</b> Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they areinspecting.  703.1 <b>Documentation.</b> Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.	Sheet: G.C.	Initials and Date:

Page 6 of 6



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Jeremy Deng

Sheet Name  
RESIDENTIAL MANDATORY  
CALGREEN CHECKLIST

Project No.	150215
By:	JD
Reviewed:	MC
Scale:	NONE

GB-1

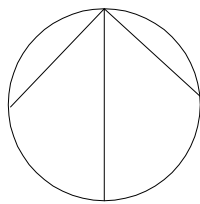


Revisions      Date      By

Plans By:  
Ambience Garden Design  
530 Lawrence Expwy  
Mailbox #377  
Sunnyvale, CA 94085  
C-27 Lic #1003318  
LA Lic #6251

Phone: (408) 990-6999  
(By Appointment Only)  
www.gardenzine.com

Landscape Plan



NORTH

Chiang Residence  
575 Crawford Dr.  
Sunnyvale, CA

Scale: 1/8" = 1'-0"

Date: 2/19/2021

Drawn By: TAJ

Job No.

L-1

PLANTING NOTES

SOIL PREP

USE 4 CU. YDS. ORGANIC AMENDMENT/ 1000 SQ. FT. IN ALL GROUNDCOVER AND TURF AREAS. INCORPORATE INTO SOIL BY TILLING TO A DEPTH OF 6 INCHES.

PLANT MATERIAL

A. QUALITY AND SIZE OF PLANT MATERIALS SHOULD CONFORM TO THE CALIFORNIA GRADING CODE OF NURSERY STOCK, NO. 1 GRADE. THIS REQUIRES THAT STOCK, WHEN SOLD, SHOULD NOT BE DEAD OR IN A DYING CONDITION, FROZEN, OR DAMAGED, AND SHOULD NOT SHOW EVIDENCE OF HAVING HAD ROOT RESTRICTION IN PREVIOUS CONTAINERS OR BE ABNORMALLY POT-BOUND. ALL PLANTS SHOULD BE OF A REASONABLY UNIFORM AND STANDARDIZED SIZE FOR EACH SPECIES, WELL FORMED, AND IN A HEALTHY, FULLY ROOTED, THRIVING CONDITION.

B. ALL PLANTS SHOULD BE TRUE TO TYPE OR NAME, BY SPECIES AND VARIETY, AS REQUIRED BY THE CALIFORNIA FOOD AND AGRICULTURE CODE.

C. ALL PLANTS SHOULD BE TYPICAL OF THEIR SPECIES AND VARIETY AND SHOULD HAVE NORMAL HABIT OF GROWTH. THE TOP GROWTH SHOULD BE STRUCTURED PROPORTIONATELY SO THAT IT IS REPRESENTATIVE OF THE SPECIES.

D. ALL PLANTS SHOULD COMPLY WITH FEDERAL AND STATE LAWS REQUIRING INSPECTION FOR PLANT DISEASES AND INFESTATIONS. INSPECTION CERTIFICATE REQUIRED BY LAW SHOULD ACCOMPANY EACH SHIPMENT OF PLANTS, UNLESS PLANTS ARE AUTHORIZED TO BE COLLECTED.

E. CONTAINER-GROWN PLANTS SHOULD BE SUFFICIENTLY ESTABLISHED SO THAT A MINIMUM OF 75% OF EACH ROOT BALL STAYS INTACT DURING PLANTING. WHEN LIFTED BY THE TRUNK, THE TRUNK SHOULD RISE NO MORE THAN ONE INCH BEFORE THE SOIL SURFACE OF THE ROOT BALL BEGINS TO RISE. WHEN UNSUPPORTED, THE TRUNK OF TREES SHOULD LEAN NO MORE THAN 30 DEGREES FROM THE VERTICAL WHEN MEASURED WITHIN FOUR INCHES OF THE ROOT BALL.

PLANTING

DIG PLANTING HOLE TO A DEPTH 1-1/2 TIMES THE DEPTH OF THE ROOT BALL, AND TWICE AS WIDE. BACKFILL WITH 1/3 ORGANIC AMENDMENT AND 2/3 NATIVE SOIL. FERTILIZE WITH AGRIFORM FERTILIZER TABLETS ACCORDING TO PLANT SIZE.

1 GAL PLANT = 1 TABLET  
5 GAL PLANT = 3 TABLETS  
15 GAL PLANT = 5 TABLETS

BOX TREES = 1 TABLET/ (3) INCHES OF BOX WIDTH

BARK MULCH

INSTALL A 3 INCH LAYER OF SHREDDED GORILLA HAIR MULCH IN ALL SHRUB AND GROUNDCOVER AREAS.

GUARANTEE

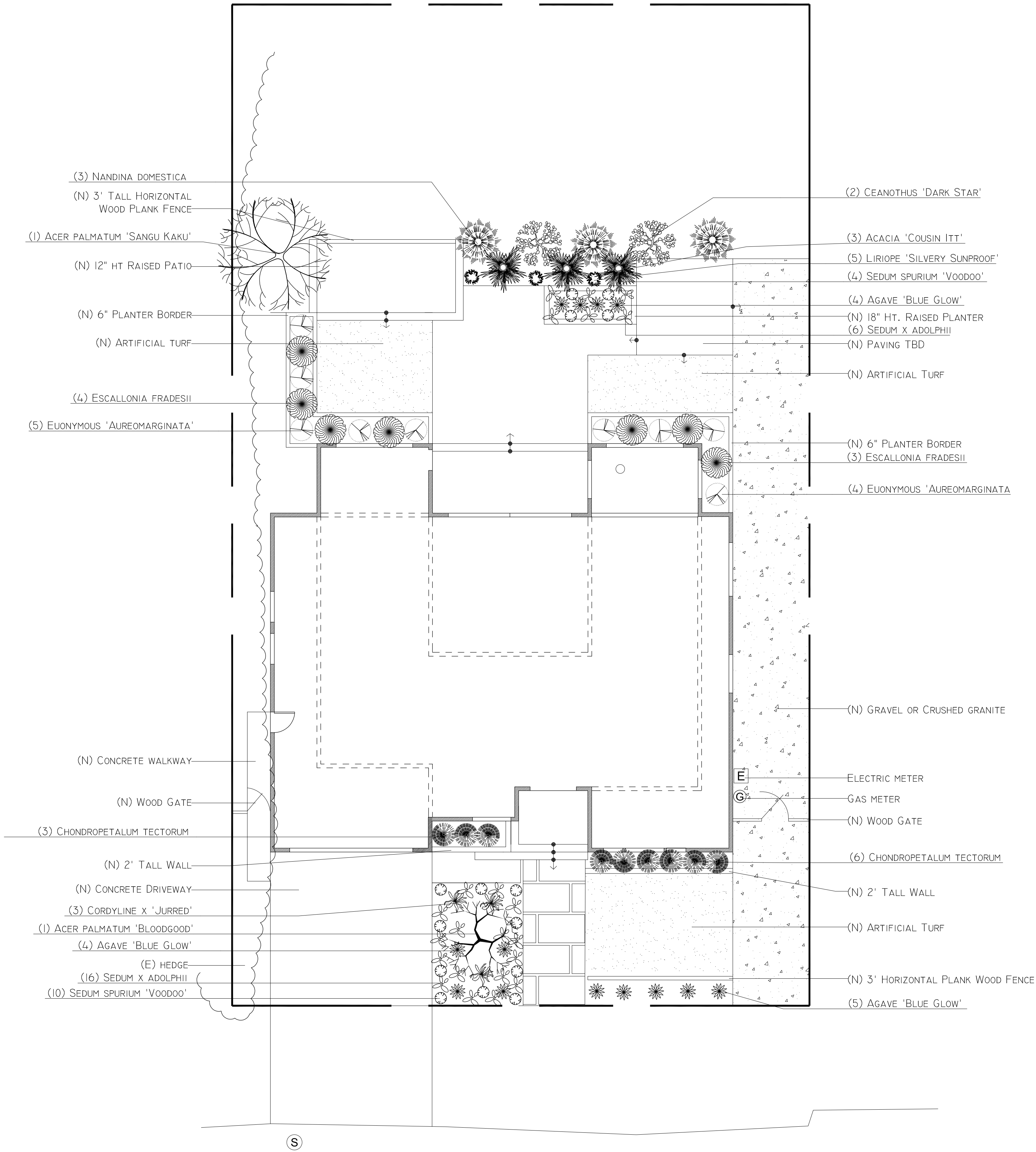
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL 1 GALLON, 5 GALLON, AND 15 GALLON PLANTS FOR A PERIOD OF 1 MONTH.

PLANT LEGEND

QUANTITY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	WUCOLS
3		ACACIA COGNATA 'COUSIN ITT'	COUSIN ITT LITTLE RIVER WATTLE	5-GAL	Low
1		ACER PALMATUM 'BLOODGOOD'	JAPANESE MAPLE	24" BOX MULTI	MODERATE
1		ACER PALMATUM 'SANGU KAKU'	CORAL BARK MAPLE	24" BOX MULTI	MODERATE
13		AGAVE 'BLUE GLOW'	BLUE AGAVE	1 GAL	Low
9		CHONDROPETALUM TECTORUM	CAPE REED	5-GAL	MODERATE
2		CEANOTHUS 'DARK STAR'	CALIFORNIA LILAC	5-GAL	Low
3		CORDYLINE X 'JURRED'	FESTIVAL GRASS CORDYLINE	5-GAL	Low
9		EUONYMUS JAPONICUS 'AUREOMARGINATUS'	GOLDEN EUONYMOUS	5-GAL	Low
3		LIRIOPE 'SILVERY SUNPROOF'	LIRIOPE	1 GAL	MODERATE
7		ESCALLONIA FRADESII	COMPACT ESCALLONIA	5-GAL	MODERATE
3		NANDINA DOMESTICA	HEAVENLY BAMBOO	5-GAL	Low
14		SEDUM SPURIUM 'VOODOO'	VOODOO SEDUM	4" POT	Low
22		SEDUM X ADOLPHII	ADOLPHII SEDUM	4" POT	Low

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND  
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LANDSCAPE AND IRRIGATION DESIGN PLAN

Christina Saunepi  
LANDSCAPE ARCHITECT LIC # 6251 2/19/2021



FRONT YARD AREA 1,497 SQ. FT.

FRONT HARDSCAPE AREA 623 SQ. FT. (41.6%)

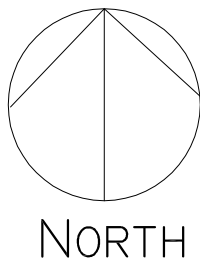


Revisions      Date      By

Plans By:  
Ambience Garden Design  
530 Lawrence Expwy  
Mailbox #377  
Sunnyvale, CA 94085  
C-27 Lic #1003318  
LA Lic # 6251

Phone: (408) 990-6999  
(By Appointment Only)  
www.gardendezine.com

Irrigation Plan



Chiang Residence  
575 Crawford Dr.  
Sunnyvale, CA

Scale: 1/8" = 1'-0"

Date: 2/19/2021

Drawn By: TAJ

Job No.

L-2

Irrigation Schedule

Station	Area	Type	Late Winter	Early Sprint	Late Spring	Early Summer	Late Summer	Early Fall	Late Fall	Early Winter	Frequency
1	Front Along House	Drip .4 gpm	N/A	30 min 50%	48 min 80%	60 min 100%	60 min 100%	48 min 80%	30 min 50%	as needed	2x's/Week
2	Front by Fence	Drip .4 gpm	N/A	15 min 50%	24 min 80%	30 min 100%	30 min 100%	24 min 80%	15 min 50%	as needed	1x's/Week
3	Planters at Back of House	Drip .4 gpm	N/A	30 min 50%	48 min 80%	60 min 100%	60 min 100%	48 min 80%	30 min 50%	as needed	2x's/Week
4	Rear Planters	Drip .4 gpm	N/A	15 min 50%	24 min 80%	30 min 100%	30 min 100%	24 min 80%	15 min 50%	as needed	2x's/Week
5	Rear Japanese Maple	Drip .4 gpm	N/A	30 min 50%	48 min 80%	60 min 100%	60 min 100%	48 min 80%	30 min 50%	as needed	2x's/Week

Note: This Irrigation Schedule is a guideline. Actual watering times may need to be adjusted to seasonal variations

IRRIGATION NOTES

SCOPE

FURNISH ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT REQUIRED TO INSTALL THE IRRIGATION SYSTEM SPECIFIED ON THE PLANS.

PROTECTION

CALL DIG ALERT 811 TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY WORK.

DRAWINGS

THESE PLANS ARE SCHEMATIC. ACTUAL MAINLINE AND LATERAL LINES SHALL BE LOCATED IN LANDSCAPE BEDS IF POSSIBLE. ALL OTHER MAINLINE OR LATERALS UNDER PAVING AND/OR WALKWAYS SHALL BE SLEEVED IN SCH 40 PVC PIPE (2 TIMES THE DIAMETER OF THE ENCLOSED PIPE.)

GENERAL

ALL IRRIGATION EQUIPMENT SHALL BE NEW AND UNUSED.

PLASTIC PIPE AND FITTINGS

SHALL BE TYPE I, POLY VINYL CHLORIDE. IT SHALL BE FREE FROM CRACKS OR DEFECTS. MAINLINE SHALL BE SCH 40 PVC. LATERAL LINES SHALL BE SCH 40 PVC.

SLEEVES

ALL MAINLINE OR LATERALS UNDER PAVING AND/OR WALKWAYS SHALL BE SLEEVED IN SCH 40 PVC PIPE (2 TIMES THE DIAMETER OF THE ENCLOSED LINE)

ALL CONTROL WIRES SHALL BE SLEEVED SEPARATELY FROM THE MAIN OR LATERAL LINES UNDER CONCRETE WALKS AND/OR DRIVEWAYS.

PIPE AND CONTROL WIRE INSTALLATION

MAINLINES SHALL HAVE A MINIMUM OF 18 INCHES OF COVER. LATERALS SHALL HAVE 12 INCHES OF COVER. LOCATE CONTROL WIRES UNDERNEATH MAINLINES.

PRESSURE TESTING

AFTER ALL LINES ARE CONNECTED AND FLUSHED OUT, CAP ALL OUTLETS AND TEST MAINLINES AT A STATIC PRESSURE OF 50PSI FOR A CONTINUOUS 24 HOUR PERIOD. CHECK ALL JOINTS FOR LEAKS AND MAKE NECESSARY REPAIRS.

COVERAGE TEST

PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE ADJUSTED FOR COVERAGE AND PROPER FUNCTIONING.

GUARANTEE

IRRIGATION MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR.

IRRIGATION LEGEND

WATER METERS

QUANTITY	SYMBOL	DESCRIPTION	SIZE
1		WATER METER	1"

POINT OF CONNECTION

QUANTITY	SYMBOL	DESCRIPTION	SIZE
1		AT CORNER OF HOUSE	12.00 GPM @ 50.00 PSI

BACKFLOW PREVENTION

QUANTITY	SYMBOL	DESCRIPTION	SIZE
1		REDUCED PRESSURE BACKFLOW PREVENTOR	1"

CONTROLLERS

QUANTITY	SYMBOL	DESCRIPTION	SIZE
1		RACHIO 8 STATION EXTERIOR CONTROLLER HUNTER RAINCLIK RAIN SENSOR	8 ZONES

PIPE (MAINLINE)

QUANTITY	SYMBOL	DESCRIPTION	SIZE
150 FT		SCHEDULE 40 PVC PIPE	1"

VALVES

QUANTITY	SYMBOL	DESCRIPTION	SIZE
1		KING BROTHERS BALL VALVE	1"
5		IRRITROL 700 SERIES VALVE WITH DRIP FILTER/PRESS. REG.	3/4"

PIPE SLEEVES

QUANTITY	SYMBOL	DESCRIPTION	SIZE
205'		SCHEDULE 40 PVC PIPE	1-1/2"

PIPE (LATERAL)

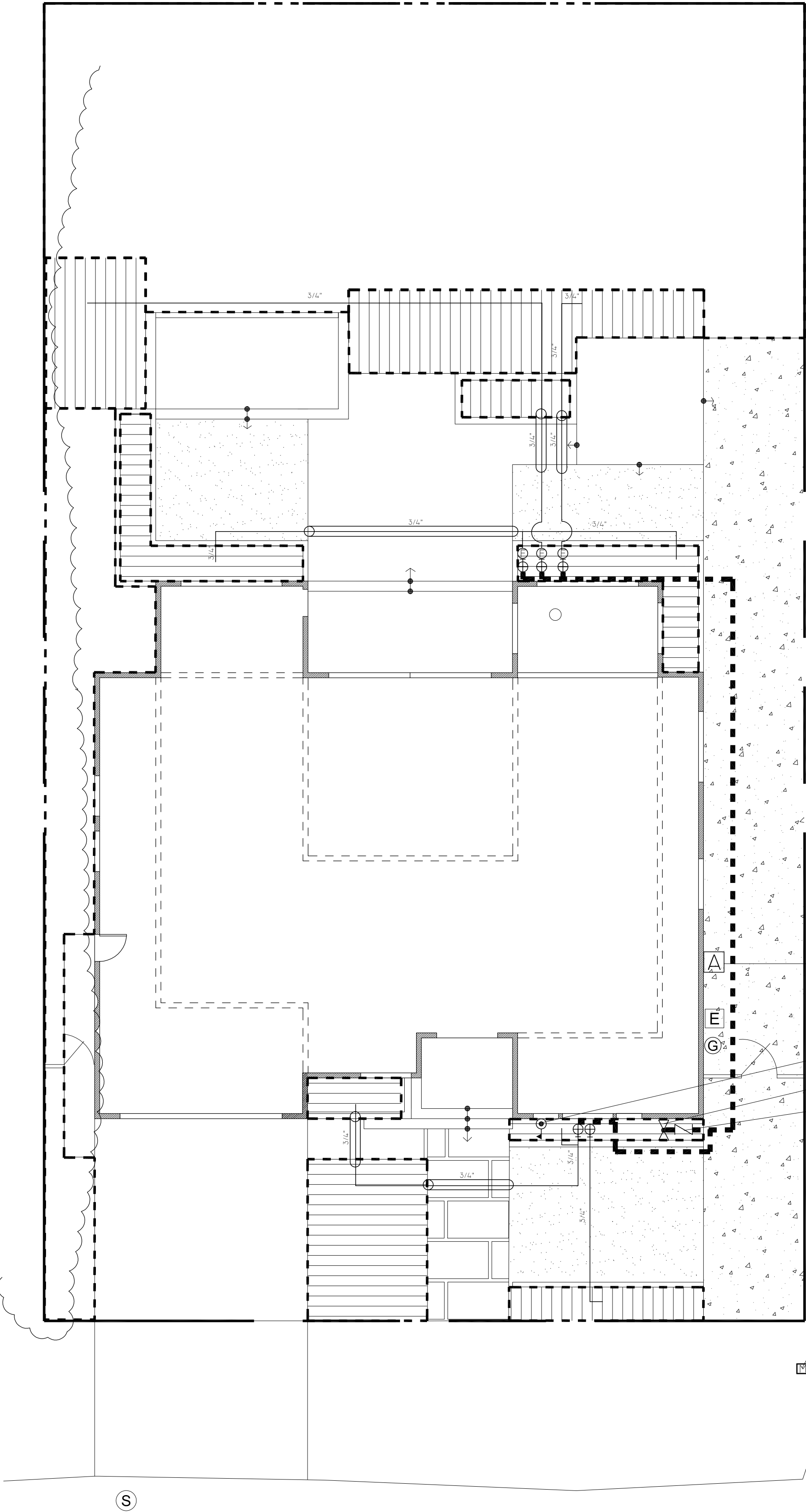
QUANTITY	SYMBOL	DESCRIPTION	SIZE
60'		SCHEDULE 40 PVC PIPE	3/4"

DRIP

QUANTITY	SYMBOL	DESCRIPTION	SIZE
		NETAFIM TECHLINECV, .6GPH, 12" o.c.	1/2"

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*Christina Jang*  
LANDSCAPE ARCHITECT Lic # 6251 2/19/2021





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Hydrozone Plan



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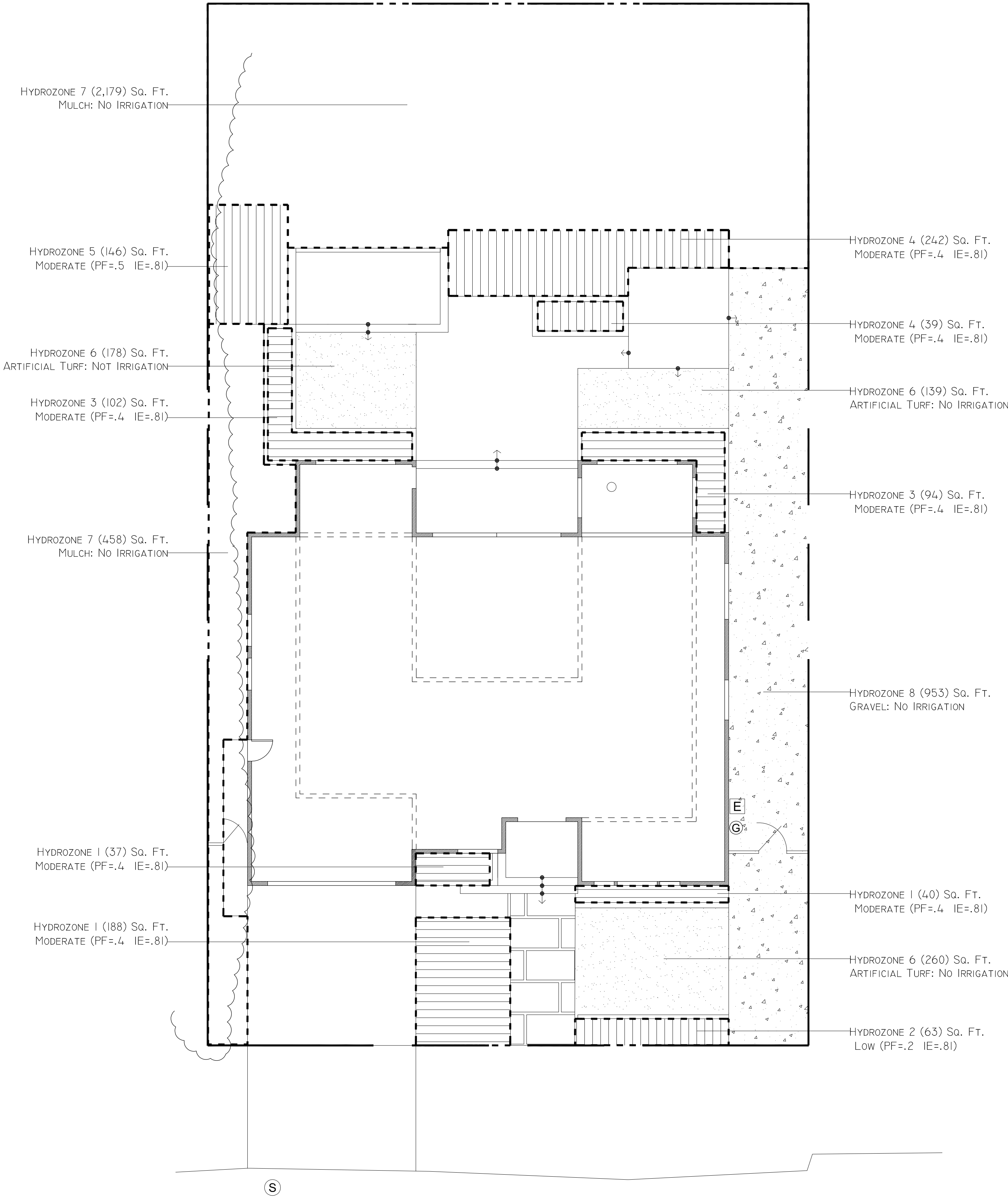
Scale: 1/8" = 1'-0"

Date: 2/19/2021

Drawn By: TAJ

Job No.

L-3



Maximum Applied Water Allowance Calculations for New and Rehabilitated Residential Landscapes		
Enter value in Pale Blue Cells		
Tan Cells Show Results		
Messages and Warnings		
Click on the blue cell on right to Pick City Name	San Jose	Name of City
ET <sub>o</sub> of City from Appendix A	45.30	ET <sub>o</sub> (inches/year)
	0	Overhead Landscape Area (ft <sup>2</sup> )
	5118	Drip Landscape Area (ft <sup>2</sup> )
	0	SLA (ft <sup>2</sup> )
Total Landscape Area	5,118.00	
Results: (ET <sub>o</sub> ) x (0.62) x [(0.55 x LA) + (1.0 - 0.55) X SLA]	79,070.54	Gallons
	10,570.23	Cubic Feet
	105.70	HCF
	0.24	Acre-feet
	0.08	Millions of Gallons
MAWA calculation incorporating Effective Precipitation (Optional)		
ET <sub>o</sub> of City from Appendix A	45.30	ET <sub>o</sub> (inches/year)
Total Landscape Area	5,118.00	LA (ft <sup>2</sup> )
Special Landscape Area	0.00	SLA (ft <sup>2</sup> )
		Total annual precipitation (inches/year)
Enter Effective Precipitation	0.00	Eppt (in/yr)(25% of total annual precipitation)
Results: MAWA = [(ET <sub>o</sub> - Eppt) x (0.62)] x [(0.55 x LA) + ((1.0 - 0.55) x SLA)]		Gallons
		Cubic Feet
		HCF
		Acre-feet
		Millions of Gallons

Estimated Total Water Use						
Equation: ETWU = ET <sub>o</sub> x 0.62 x [(PF x HA)/IE] + SLA; Considering precipitation ETWA = (ET <sub>o</sub> -Eppt) x 0.62 x [(PF x HA)/IE] + SLA						
Enter values in Pale Blue Cells						
Tan Cells Show Results						
Messages and Warnings						
Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.						
Plant Water Use Type		Plant Factor				
Very Low		0 - 0.1				
Low		0.2 - 0.3				
Medium		0.4 - 0.6				
High		0.7 - 1.0				
SLA		1				
Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (4) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft <sup>2</sup> ) Without SLA	Irrigation Efficiency (IE)	(PF x HA (ft <sup>2</sup> ))/IE
Zone 1	Drip	Medium	0.40	205	0.81	131
Zone 2	Drip	Low	0.30	63	0.81	16
Zone 3	Drip	Medium	0.40	196	0.81	97
Zone 4	Drip	Medium	0.40	201	0.81	139
Zone 5	Drip	Medium	0.50	146	0.81	90
Zone 6			0.00	572		
Zone 7			0.00	2,632		
Zone 8			0.00	953		
	SLA			0		472
	Sum			5,118		0
Results						
MAWA = 79,071			ETWU = 13,261	Gallons	ETWU complies with MAWA	
			1,773	Cubic Feet		
			18	HCF		
			0	Acre feet		
			0	Millions of Gallons		

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