

Revisions	Description	Revision date
△1		
△2		
△3		
△4		

consultants

Structural Engineer

Civil Engineer

Title 24 Compliance

Surveyor

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Cranberry Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

titlesheet

Date: 9.27.2021

Scale: n.t.s.

Drawn by: pq

a0.1

GENERAL NOTES

- 1

CONSTRUCTION: Drawings shall not be scaled for dimensional information. All partition dimensions are to existing finish face of walls unless otherwise noted. Patch, repair and align new work to match existing in material, shape, size, color, etc. unless otherwise noted.

The contractor and all subcontractors shall verify all conditions and dimensions in the field and notify the designer or owner of any discrepancies before proceeding withany work. No changes shall be made to any plan without prior comment of the designer.

All work shall be done in a first-class workmanlike manner by qualified mechanics skilled in their respective trades.

The contractor shall comply with all rules and regulations of city, state and federal regulatory agencies having jurisdiction over the work. The contractor shall obtain building permit, process and complete all controlled inspection reports and secure final sign off.

The contractor shall submit to the designer all fabrication shop drawings. The contractor shall submit to the owner all finish samples, fixture cuts, tec. for review prior to purchase and installation.

The contractor shall remove from the project site all rubbish and waste materials for its or subcontractor's work.

The contractor and all subcontractors shall proceed with environmentally-conscious methods and materials where specified and/or elsewhere where possible.
- 2

Only work detailed on these plans is approved for construction. Any additional work required not detailed on these plans must be submitted separately as a revision to the project. Revisions may require new plans, permits and additional fees.
- 3

Permit Expiration & Renewal - Once a permit is issued, an inspection is required within 180 days thereafter or the permit will expire. Additional fees are required to reinstate an expired permit. All expired plans must be revised to comply with current code requirements.

GENERAL CONDITIONS

- 1

INSURANCE: The contractor shall maintain such insurance as will protect himself and/or the owner from direct, assumed and contingent liability for claims for damage, for personal injuries, including death, and/or damage to property, which may arise from operations under this contract whether such operations be by himself or any subcontractor or anyone directly or indirectly employed by either of them.

The contractor shall also require that each of his subcontractors shall carry proper and adequate policies covering Workmen's and Public Liability as well as all liability assumed under the contract covering the contractor and the owner. Original policies taken out in the name of the subcontractor shall be delivered by the contractor at the time the contract is signed.
- 2

INDEMNIFICATION: Should any person, persons or property be injured or damaged, including uninjured resulting or causing death, by the contractor, or by any subcontractor, or by any person or persons employed under them in the course of the performance by them of this agreement or otherwise resulting from any actions or operation under this agreement, whether by negligence or otherwise, said contractor shall alone be liable, responsible and answerable therefore and does hereby agree, to and with the said owner to hold harmless and indemnify the owner and designer from all claims, suits, actions, costs, counsel fees, expenses, damages, adjustments or decrees by reason thereof.
- 3

GUARANTEES: The Contractor shall deliver to the Owner upon completion of all work under this Contract his written guarantee, made out to the Owner, guaranteeing all work under the Contract to be free from faulty materials, improper workmanship and against unusual wear and agreeing to replace or re-execute, without cost to the Owner, any work that is improper or imperfect, and to make good replacements or re-execution, for a period of one(1) year following final payment.

Neither final certificate for payment, nor any provision in the Contract Documents shall relieve the Contractor of responsibility for neglect or faulty materials or workmanship during the period covered by the guarantee.
- 4

FEEES AND PERMITS: It shall be the Contractor's responsibility to pick up and pay for the Building Permit for the Contract Work and for all certificates of inspection and approvals required by the authorities having jurisdiction. The Contractor shall be responsible for the payment of all fees and the performance and coordination of all work in regard to all required controlled and semi-controlled inspections.
- 5

FIELD CONDITIONS: The Contractor shall visit the project site to familiarize themselves with all actual conditions which may affect the Work. The Contractor shall verify all existing conditions and dimensions in the field prior to layout out the Work. Any discrepancies between the Contract Documents and the field conditions shall be immediately reported to the Owner and Designer. Start of work in any area shall mean that the Contractor has verified field conditions and accepts them as conforming to the Contract Documents.

Work shall be performed and all materials used shall comply with applicable city, state and federal rules and regulations.
- 6

EQUIPMENT AND PARTS: All material used in the execution of the Work shall be factory new, unused and in first class condition. The Contractor shall warranty that he has good and clear title to all materials and supplies used for this project, free from all claims, liens and encumbrances.

All material stores on or off site shall be the property of the Owner at the time of payment of the Owner to the Contractor. The Owner has the right of use to all materials at any moment in time thereafter.

The Contractor shall fabricate, construct and install work in accordance with applicable manufacturer's, trade and industry standards. Finish surfaces shall be neat, square, level, smooth, flush and fitted securely. Joints between fixed items shall be straight, hairline joints. Joints between operating items shall be industry or manufacturer's standards, whichever is more restrictive.

In all cases where a product, device or part is herein referred to in the singular number, it is intended that such reference shall apply to as many such products, devices and parts as are required to complete the Work. Where more than one piece of the same item is required on the project, all shall be by the same manufacturer.

All work shall be performed by mechanics and tradesmen trained and experienced in the installation/application of the particular item being installed/applied. Work shall be performed in a first class manner, in accordance with industry trade practices or manufacturer's installation instructions, whichever is more restrictive. Work determined as not conforming to the Contract Documents shall be altered, repaired or replaced with conforming items, with all associated costs of the above to be borne by the Contractor.

No material or equipment substitutions shall be permitted without written approval. The request shall include cataloguecuts, installation instructions, and material samples or any other information required for review.
- 7

THE WORK: The Work covers all demolition, materials and new construction implied and shown in the Contract documents.

The Designer shall not have control over or charge of and shall not be responsible for construction means, methods, techniques, sequences of procedures, or for safety precautions and programs in connection with the Work, since these are solely the Contractor's responsibility. The Designer shall not be responsible for the Contractor's schedules or failures to carry out the Work in accordance with the Contract Documents. The Architect shall not have control over or charge of acts or omissions of the Contractor, Subcontractors, or their agents or employees, or of any other persons performing portions of the Work.
- 8

STANDARDS: General Referenced Standards shall mean the latest editions of such Standards published as of the date of the Project Manual, unless otherwise noted. All work, material, products and equipment shall comply to standards where applicable.

Nationally recognized standards and associates shall be referred to here throughout by their accepted abbreviations.
- 9

CODES: The Work shall be performed in conformance to the applicable codes. The selection of applicable codes will be determined by Local Code Enforcing Agency.
- 10

PROTECTION: The Contractor shall provide temporary protection for the duration of the project on a required basis for all materials, equipment, and furnishings belonging to the Owner. The Contractor shall fully protect all existing and new construction, finishes, furnishings and equipment. All temporary protection shall be removed from the site as they become no longer necessary and at the completion of the Work. Temporary protection shall include, but not be limited to, taping of furniture and hardware, protection boards for walls and floors, ceiling hung curtains and dust partitions, building paper, etc., as required to fully protect the site.
- 11

STORM DRAIN POLLUTION PREVENTION: Protect downslope drainage courses, streams and storm drains with hay bales, temporary drainage, swales, silt fences, berms or storm drain inlet filters. Cover stockpiles and excavated soil with secured tarps or plastic sheeting. For further information contact:

San Mateo Countywide Stormwater Pollution prevention Program
10 Twin Dolphin Drive, Ste. C-200
Redwood City, CA 94065
415-599-1420
- 12

HERITAGE TREE PROTECTION: It is unlawful to damage or remove a heritage tree with a permit from the Town. All trees must be properly protected in accordance with the Atherton Municipal Code section 8.10.
- 13

PROCEDURES AT SUBSTANTIAL COMPLETION: The Contractor shall submit executed warranties, workmanship bonds, maintenance agreements, inspection certificates, and similar required documentation. All applicable record documentation, maintenance manuals, tools, spare parts, attic stocks, keys and similar operational items shall be delivered to the Owner. All necessary instructions to Owner shall be turned over, supervised by the Contractor. The Contractor will then verify that the Work is Substantially Complete, as defined in the Contract, and ready for inspection.
- 14

GENERAL CLOSEOUT REQUIREMENTS: Operator Instruction: The installer of each system requiring operation and maintenance shall provide on-site instruction to the Owner in sufficient detail to ensure the proper operation and maintenance of the operating system.

Final Cleaning: At the project closeout, the Contractor shall clean all Work. This will include removing all non-permanent protection and labels, polishing all glass and mirrors, cleaning all exposed finishes, touching up all minor damage which is not required to be replaced, replacing all mechanical equipment filters, removing all debris, vacuuming all floors, sanitizing all plumbing and food service facilities, cleaning all light fixtures and replacing all burned out lamps.

Final cleaning shall be complete prior to and is a requirement for final payment.

DEMOLITION NOTES

- 1

Do not scale drawings. Consult Designer if there are questions as to extent of demolition.
- 2

Any uncovered or unanticipated field conditions during select demolition which adversely affect the design intent of the Contract Documents shall be reported to the Designer immediately and allowing sufficient time for Designer to respond.
- 3

All items of reasonable value to be discarded or stockpiled shall be verified with Designer or Owner prior to their removal from the premises.
- 4

Materials adjacent to those to be removed shall be protected from impact, dust or any other damage.
- 5

All rooms which require selective demolition shall be separated from the remainder of the premises by a dust partition.
- 6

All removed electrical devices shall be disconnected at the panelboard and stockpiled. All electrical devices to be relocated shall be temporarily disconnected atthe circuit board and stockpiled.

STRUCTURAL NOTES

- 1

Special inspection or structural observation is not a substitute for inspection by the Building Official or Building Inspector. Specially inspected work that is installed or covered without the approval of the Building Official AND the special inspector AND designer engineer is subject to removal or exposure.
- 2

Structural observation shall be required for structural compliance to the approved plans per CBC 1709.2.5.
- 3

Place and secure all anchor bolts and other items to be cast in concrete for foundation inspection. Wet setting anchor bolts or reinforcing after placement of concrete is not allowed.
- 4

Special inspection is required for epoxy set anchor bolts.

FIRE BLOCKING NOTES

Fire blocking shall be placed as per CRC in the following locations:

- 1

In concealed spaces of stud walls and partitions, including furred spaces, at the ceiling and floor levels and at 10 foot intervals both vertical and horizontal.
- 2

At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, and cove ceilings.
- 3

In concealed spaces between stair stringers at top and bottom of the run and between studs along and in line with the run of the stairs if the walls under the stairs are unfinished.
- 4

In openings around vents, pipes, ducts, chimneys, fireplaces, and similar openings which afford a passage for fire at ceiling and floor levels -- with non-combustible material.
- 5

At openings between attic spaces and chimney chases for factory built fireplaces.

Fire block construction, except as provided in item #4 above, shall consist of 2 inches nominal lumber or 2 thicknesses of 1 inch nominal lumber with broken lap joints, or other code approved method.

CRANBERRY RESIDENCE

1258 Cranberry Ave.

Sunnyvale, CA 94087

project information

Owner:	Sheryl Sun & Jon Blum
Project Address:	1258 Cranberry Ave. Sunnyvale, CA 94087
APN:	202-32-046
Zoning:	R-1
Occupancy Group:	R-3/U
Construction Type:	V-B
Parking:	2 covered and 2 uncovered
Flood Zone:	No
Fire Sprinklers:	Yes

Applicable Codes: All construction, regardless of details on plans, shall comply with 2019 California Building Code, 2019 California Residential Code, 2019 California Green Building Standards Code, 2019 California Plumbing Code, 2019 California Mechanical Code, 2019 California Electrical Code, 2019 California Energy Code, and the 2019 California Fire Code.

Scope of Work: Addition to the rear of an existing single-family (single-story) home which will include an office, closet, and conservatory. Proposed renovations to the existing house will affect 2,069sf of the existing 3,015sf. A solar panel system will be added to the house's electrical system as well as upgrades to the existing mechanical and plumbing system. New windows to replace existing throughout.

Lot Area:	15,808 sf
Required Setbacks:	Required Front: 20'-0" Required Sides: combined sideyard setbacks of 20% of lot width Required Rear: 20'-0"
Maximum Height:	30'-0" from top of curb / two story maximum
Maximum Lot Coverage:	45% x 15,808 = 7,113.6sf
Maximum F.A.R.:	15,808sf x 45% = 7,113 sf or 3,600 sf, whichever is less

DESIGN DATA

FLOOR AREA CALCULATIONS:	
existing floor area:	2,987.4sf
new floor area:	796.0sf
total proposed living area:	3,783.4sf

garage (existing to remain):	668.0sf	
total floor area:	4,451.4sf	4,451.4sf > 3,600sf 4,451.4 / 15,808 = .2815 28% of lot area

BUILDING COVERAGE CALCULATIONS:

residence:	3,783.4 sf	
garage:	668.0sf	
front porch:	72.0sf	
total building coverage:	4,523.4sf	4,523.4sf < 7,113sf 4,523.4 / 15,808 = .2861 28.6% of lot area

index

a0.1	Title Sheet
a0.2	Title Sheet, cont.
a0.3	Materials Board & Streetscape Elevation
a1.1	Site Plan - Existing
a1.2	Site Plan - Proposed
a1.3	Floor Area Calculations
a2.1	Existing Conditions / Demolition Plan
a2.2	Proposed Floor Plan - First Floor Level
a2.3	Proposed Roof Plan
a3.1	Exterior Elevations
a3.2	Exterior Elevations
a3.3	Exterior Elevations
a3.4	Exterior Elevations
a4.1	Sections
topo	Boundary and Topographic Survey Plan

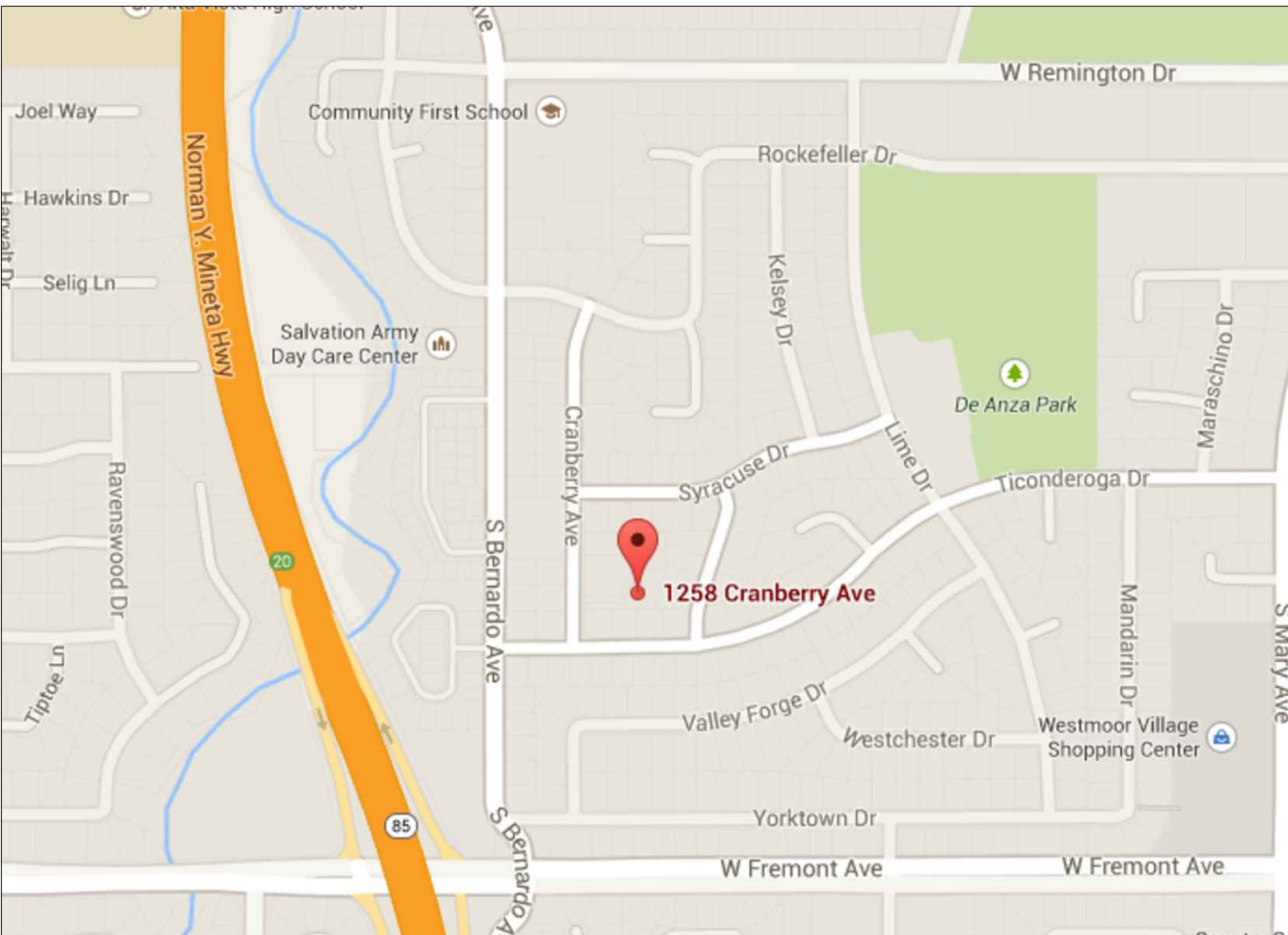
SOILS REPORT COMPLIANCE

Earthwork, slab subgrade preparation, basement drainage, foundation construction, utility trench and basement wall backfilling, and site drainage should be performed in accordance with the geotechnical report prepared by Murray Engineers, Inc., dated September 24, 2013. Murray Engineers should be notified at least 48 hours in advance of any earthwork or foundation construction and should observe and test during earthwork and foundation construction as recommended in the geotechnical report.

CAL GREEN BUILDING STANDARDS CODE

This project contains notes outlining green features proposed for incorporation into the new residence as required by the California Green Building Standards Code (Cal Green).

Note: Contractor to develop homeowner operation & maintenance manual of green features/benefits, see note for specifications, a0.2.



1
a0.1 project vicinity map
Scale: n.t.s.

ABBREVIATIONS

a.b.	anchor bolt	max.	maximum
a.c.	asphaltic concrete	m.b.	machine bolt
a.d.	area drain	m.c.	medicine cabinet
adj.	adjustable	mech.	mechanical
a.f.f.	above finished floor	med.	medium
alum.	aluminum	memb.	membrane
alt.	alternate	mezz.	mezzanine
approx.	approximate	mfr.	manufacturer
arch.	architectural	min.	minimum
asb.	asbestos	mir.	mirror
asph.	asphalt	misc.	miscellaneous
		m.o.	masonry opening
		mntd.	mounted
		mtl.	metal
		mul.	mullion
bd.	board		
btwn.	between	n	north
bitum.	bituminous	(n)	new
bdg.	building	n.i.c.	not in contract
blk.	block	no.	number
blk.g.	blocking	nom.	nominal
bm.	beam	n.t.s.	not to scale
bot.	bottom		
cab.	cabinet		
cem.	cement		
cer.	ceramic		
clg.	ceiling		
clr.	clear		
c.m.u.	concrete masonry unit		
c.o.	clean out or cased opening		
col.	column		
conc.	concrete		
conn.	connection		
const.	construction		
cont.	continuous or continued		
cpt.	carpet		
d	dryer		
dbl.	double		
dept.	department		
det.	detail		
d.f.	douglas fir		
dia.	diameter		
dim.	dimension		
disp.	disposal		
dn	down		
ds	downspout		
dwg	drawing		
dwr	drawer		
e	east		
ea.	each		
e.j.	expansion joint		
elev.	elevation		
elec.	electrical		
elvr.	elevator		
emer.	emergency		
encl.	enclosure		
e.o.s.	edge of slab		
e.p.	electrical panelboard		
eq.	equal		
equip.	equipment		
est.	estimate		
exc.	excavate		
exh.	exhaust		
(e)	existing		
exp.	exposed or expansion		
ext.	exterior		
fa.	fire alarm		
fab.	fabricate		
f.a.u.	forced air unit		
f.b.	flat bar		
f.c.	face of curb		
f.d.	floor drain		
fdn.	foundation		
f.e.	fire extinguisher		
f.e.c.	fire extinguisher cabinet		
f.f.	finished floor		
fin.	finish		
fixt.	fixture		
flash.	flashing		
flr	floor		
fluor.	fluorescent		
f.o.f.	face of finish		
f.o.s.	face of stud		
fp	fireplace		
f.s.	full size		
ft.	feet or foot		
ftg.	footing		
turn.	furnace or furniture		
furr.	furring		
fut.	future		
ga.	gauge		
galv.	galvanized		
gb	grab bar		
g.d.	garbage disposal		
gfc	ground fault circuit interrupter		
g.l.b.	glue laminated beam		
gr	grade		
gyp. bd.	gypsum board		
hb	hose bib		
h.c.	hollow core		
hd.	head		
hdr. bd.	headerboard		
hwr.	hardware		
h.m.	hollow metal		
horiz.	horizontal		
hr.	hour		
ht.	height		
htr.	heater		
hwd.	hardwood		
i.d.	inside diameter (dim.)		
in.	inch		
incl.	include		
insul.	insulation		
int.	interior		
inv.	invert		
j.h.	joist hanger		
jst.	joist		
jt.	joint		
kit.	kitchen		
k.o.	knock out		
k.p.	kick plate		
lam.	laminated		
lav.	lavatory		
lb.	pound		
lin.	linear		
lt.	light		

CALGREEN COMPLIANCE NOTES

- A. SITE

1 Divert 50%(by weight) of all jobsite construction waste and demolition waste (recycling or reuse). CalGreen 4.408.1

2 Where a local jurisdiction does not have a construction and demolition waste management ordinance, a construction waste management plan shall be submitted for approval to the enforcing agency. CalGreen 4.408.2

3 Recycle and/or salvage for reuse a minimum of 50% of the non-hazardous construction and demolition debris, or meet a local construction and demolition waste management ordinance, whichever is more stringent. (excavated soil and land-clearing debris excluded.)

4 Storm water management plan to be developed & implemented during construction. CalGreen 4.106.2

5 Design for surface water drainage away from buildings. Construction plans shall indicate how the site grading or drainage system will manage surface water flows. CalGreen 4.106.3
- B. FOUNDATION

1 Vapor retarder and capillary break is installed at slab on grade foundations. CalGreen 4.505.2
- C. LANDSCAPE

1 Install high-efficiency irrigation systems: system ahs smart (weather based)controller. CalGreen 4.505.2

2 Storm water management during construction. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction, including one or more of retention basins, filtration, or compliance with a storm water management ordinance. CalGreen 4.106.2

D. PLUMBING

1 High efficiency showerheads <= 2.0 gallons per minute at 80 psi. (multiple showerheads shall not exceed maximum flow rates.)

2 High efficiency bathroom faucets <= 1.5 gpm at 60 psi.

3 High efficiency kitchen and utility faucets <= 1.8 gpm.

4 Install only high efficiency toilets (dual-flush or <= 1.28 gallons per flush.

5 As an alternative to prescriptive compliance, a 20% reduction in baseline water use shall be demonstrated through calculation. CalGreen 4.303.1

- E. HEATING, VENTILATION & AIR CONDITIONING

1 Design and install HVAC system to acca manual j, d, and s recommendations. CalGreen4.507.2

2 Install energy star bathroom fans on timer or humidistat. CalGreen 4.506.1.

3 HVAC system installers are trained and certified in the proper installation of HVAC systems. CalGreen 702.1

4 Install whole house fan. Whole house exhaust fans shall have insulated louvers or covers which close when the fan is off. Covers or louvers shall have a minimum insulation value of R-4.2. CalGreen 4.507.1.
- F. ENVIRONMENTAL QUALITY

1 Gas fireplace shall be a direct-vent sealed-combustion type. woodstove or pellet stove shall comply with US EPA phase II emission limits. CalGreen 4.503.1.

2 At the time of rough installation, or during storage on the construction site and until final start up of the heating and cooling equipment, all duct and other related air distribution component methods shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system. CalGreen 4.504.1.

- 3 Heating and air conditioning systems shall be sized, designed and equipment is selected using the following methods: (CalGreen 4.507.2)

a. The heat loss and heat gain is established according to ACCA manual J, Ashrae handbooks or equivalent.

b. Duct systems are sized according to ACCA-29D manual D, Ashrae handbooks or equivalent.

c. Select heating and cooling equipment according to ACCA 36-S manual S or equivalent.

4 Adhesives, sealants, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD rule 1168 voc limits and rule 1168 prohibition on the use of certain toxic compounds. Aerosol adhesives shall meet CCR Title 17 94507 ET SEQ. CalGreen 4.504.2.1.

- G. FINISHES

1 Use low-voc interior all/ceiling paints (<50 grams per liter vocs regardless of sheen). CalGreen 4.504.2.2.

2 Use low-voc coatings that meet SCAQMD rule 1113. CalGreen 4.504.2.3.

3 Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5.

4 All carpet and 50% of resilient flooring is low emitting. CalGreen 4.504.3 & 4.504.4.

All carpet adhesive shall meet the requirements of table 4.504.1. CalGreen 4.504.3.2.

6 Building material with visible signs of water damage shall not be installed. Moisture content of building materials used in wall and floor framing is checked before enclosure. 19% max. moisture content of building framing materials. CalGreen 4.505.3.

- H. OTHER

1 Energy efficiency (min. standard) to meet California Energy Code (Title 24, code 6). CalGreen 4.201.1.

2 An operation and maintenance manual shall be provided to the building occupant or owner, describing (CalGreen 4.410.1):

a. keeping manual with property

b. o & m instructions for equipment and appliances, drainage, irrigation, etc.

c. local utility conservation resources

d. public transportation / carpool options

e. health benefits of 30-60% relative humidity.

f. landscape water conservation

g. gutter and downspout maintenance

h. routine maintenance

i. state solar energy and incentive programs.

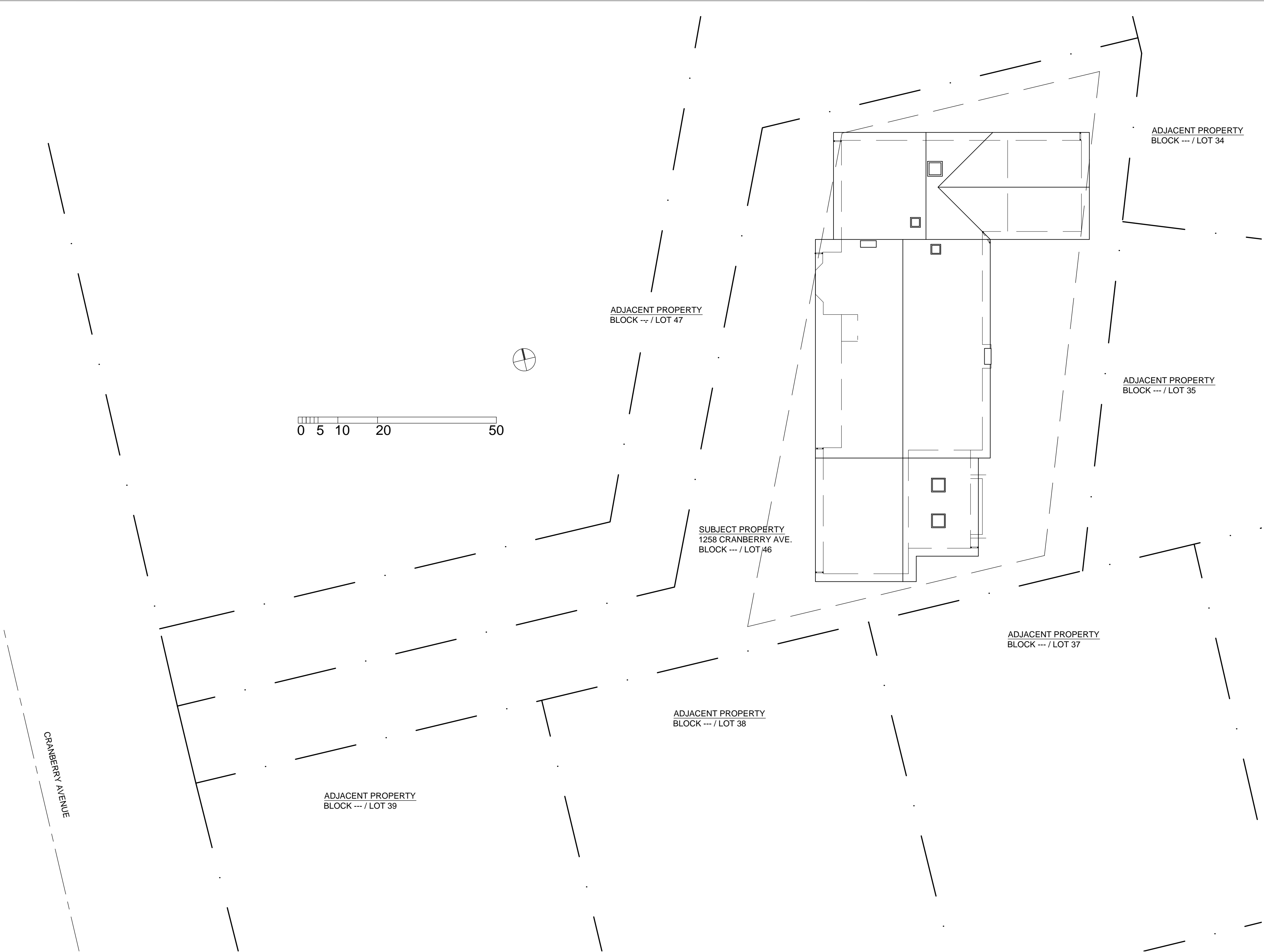
j. special inspection records.

3 Joints and openings: annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against rodents. (CalGreen 4.406.1)

CONSTRUCTION AND NOISE NOTES

The work hours are regulated by noise levels created during construction. The maximum noise levels allowed are established in the City of Sunnyvale Municipal Code Chapter 8.06 Noise.

- 1 Any and all excessive, annoying, loud or unusual noises or vibrations such as offend the peace and quiet of persons of ordinary sensibilities and which interfere with the comfortable enjoyment of life or property and affect at the same time an entire neighborhood or any considerable number of persons shall be considered a noise disturbance.
- 2 Construction Activities:
- a. Construction activities are limited to the hours of 8am and 6pm Monday through Friday.
- b. Construction activities by residents and property owners personally undertaking construction activities to maintain or improve their property are allowed on Saturdays, Sundays or holidays between the hours of 9a and 5p.
- c. A sign containing the permitted hours of construction activities exceeding the noise limits set for in section 8.06.030 shall be posted at all entrances to a construction site upon the commencement of construction for the purpose of informing contractors and subcontractors and all other persons at the construction site of the basic requirements of this chapter. The sign shall be at least 5'-0" above ground level and shall consist of a white background with black letters.
- d. notwithstanding any other provision set forth above, all powered equipment shall comply with the limits set forth in section 8.06.040(b).



Revisions	Description	Revision date
△1		
△2		
△3		
△4		

consultants
consultants

Structural Engineer

Civil Engineer

Title 24 Compliance

Surveyor

Soils Engineer

Arborist

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Cranberry Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

titlesheet,
cont.

Date: 3.2.2021

Scale: n.t.s.

Drawn by: pq

a0.2



1 exterior cladding - painted t & g siding
a0.3 SCALE n.t.s.



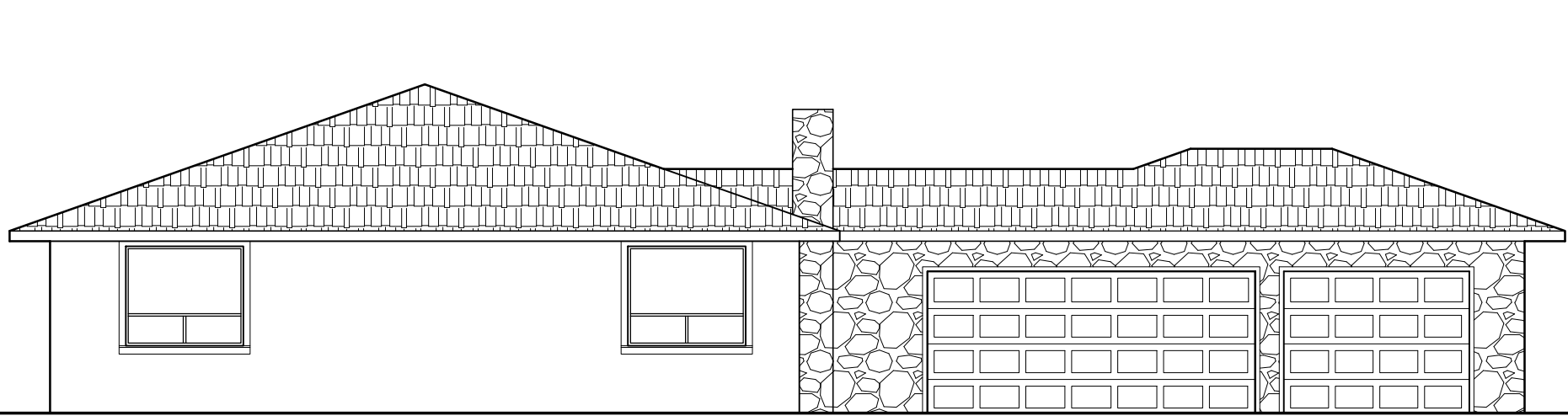
2 architectural details - antique brick cladding
a0.3 SCALE n.t.s.



3 roofing material - composite shingles
a0.3 SCALE n.t.s.



4 pavers - garden pathways
a0.3 SCALE n.t.s.



1238



1258

5 "streetscape" elevations of 1238 & 1258 Cranberry Avenue (showing proposed design)
a0.3 scale: 1/8" = 1'-0"

Revisions	Description	Revision date
1		
2		
3	revisions as per plancheck comments 8.19.21	8.24.21
4		

consultants
consultants

Structural Engineer

Civil Engineer

Title 24 Compliance

Surveyor

Soils Engineer

Arborist

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Cranberry Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

materials
board &
streetscape
elevation

Date: 3.2.2021

Scale: n.t.s.

Drawn by: pq

a0.3

Revisions	Description	Revision date
1		
2		
3		
4		

consultants

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Cranberry Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

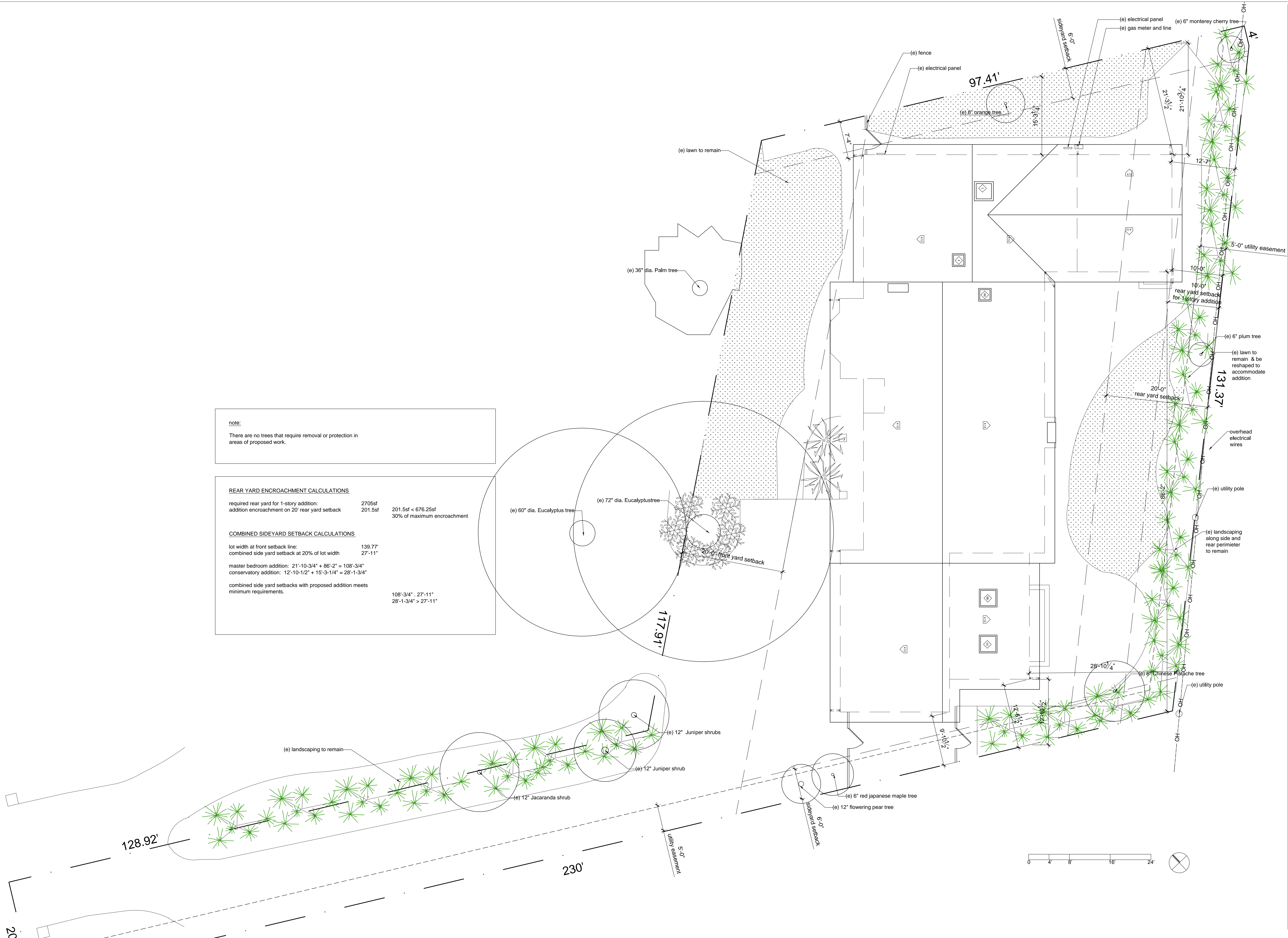
site plan -
proposed

Date: 9.27.2021

Scale: 1/8" = 1'-0"

Drawn by: pq

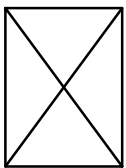
a1.2



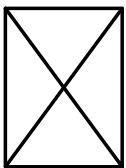
Revisions	Description	Revision date
1		
2		
3		
4		

consultants

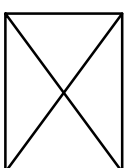
FLOOR AREA VERIFICATION:



existing floor area:		
area	dimensions	totals
A	78'-2" x 35'-6.75"	2751.0 sf
B	22'-11.75" x 7'-1.5"	163.8 sf
C	16'-4" x 4'-4"	87.0 sf
D (garage)	31'-2" x 21'-4"	668.0 sf
aa (subtract)	1'-7" x 3'-8"	-5.9 sf
bb (subtract)	3'-11" x 2'-2"	-8.5 sf
TOTAL		3655.4 sf



fireplace / firebox area (subtract):		
area	dimensions	totals
aa	1'-7" x 3'-8"	5.9 sf
bb	3'-11" x 2'-2"	8.5 sf
TOTAL		-14.4 sf



new floor area:		
area	dimensions	totals
E	22'-11.75" x 17'-10"	410.0 sf
F	24'-9" x 15'-7"	386.0 sf
TOTAL		796.0 sf

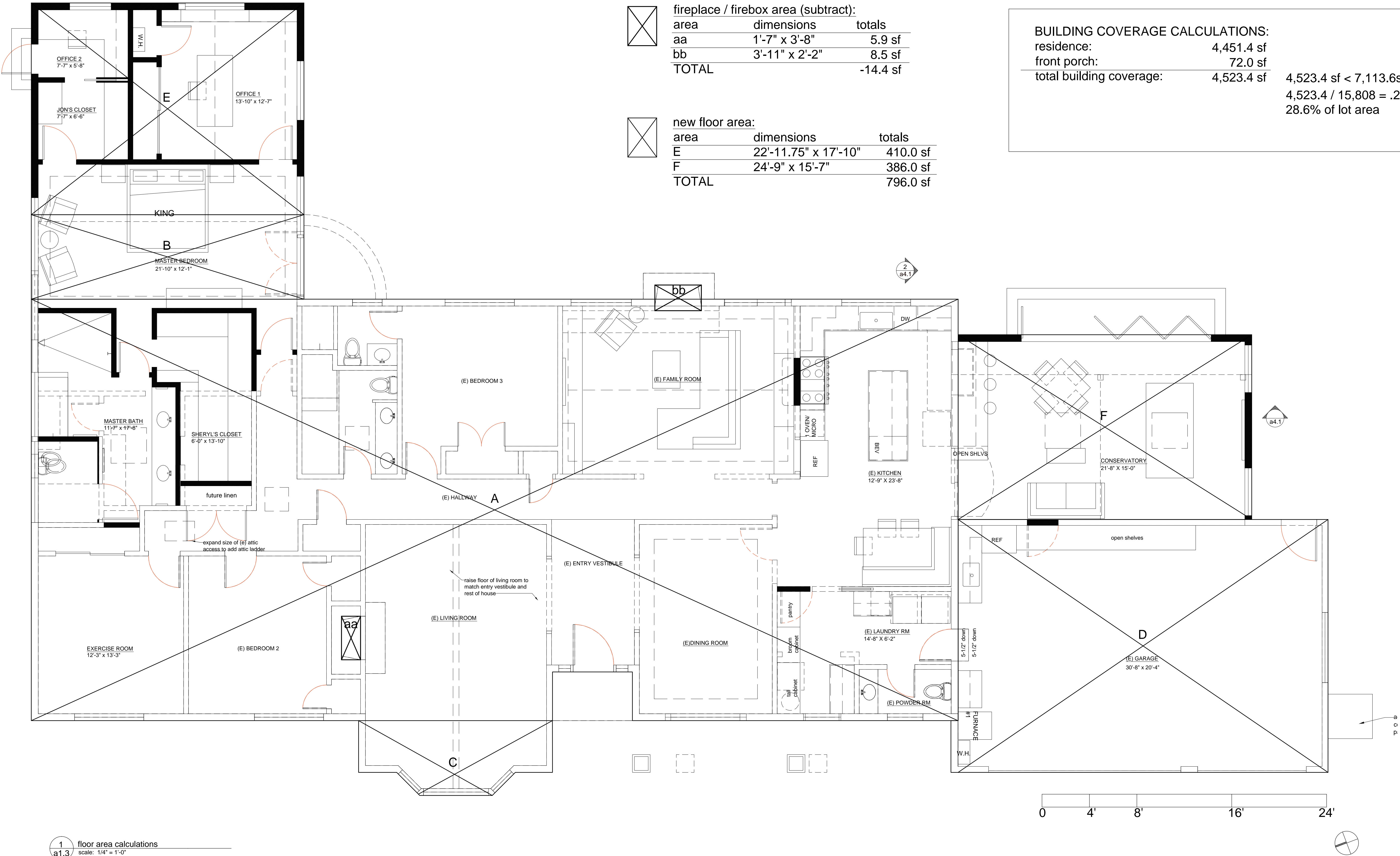
FLOOR AREA CALCULATIONS:

existing floor area:	2987.4 sf
new floor area:	796.0 sf
total proposed living area:	3,783.4 sf

garage:	668.0 sf	
total floor area:	4,451.4 sf	4,451.4 sf > 3600 sf 4,451.4 / 15,808 = .2815 28% of lot area

BUILDING COVERAGE CALCULATIONS:

residence:	4,451.4 sf	
front porch:	72.0 sf	
total building coverage:	4,523.4 sf	4,523.4 sf < 7,113.6sf 4,523.4 / 15,808 = .2861 28.6% of lot area



opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Sun Blum Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

floor area
calculations

Date: 9.27.2021

Scale: 1/4" = 1'-0"

Drawn by: pq

a1.3

Revisions	Description	Revision date

consultants

contractor

structural engineer

surveyor
J.L. Engineering
1539 fourth street
san rafael, ca 94901
tel.415.457.6647
fax.415.457.2517

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Sun Blum Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

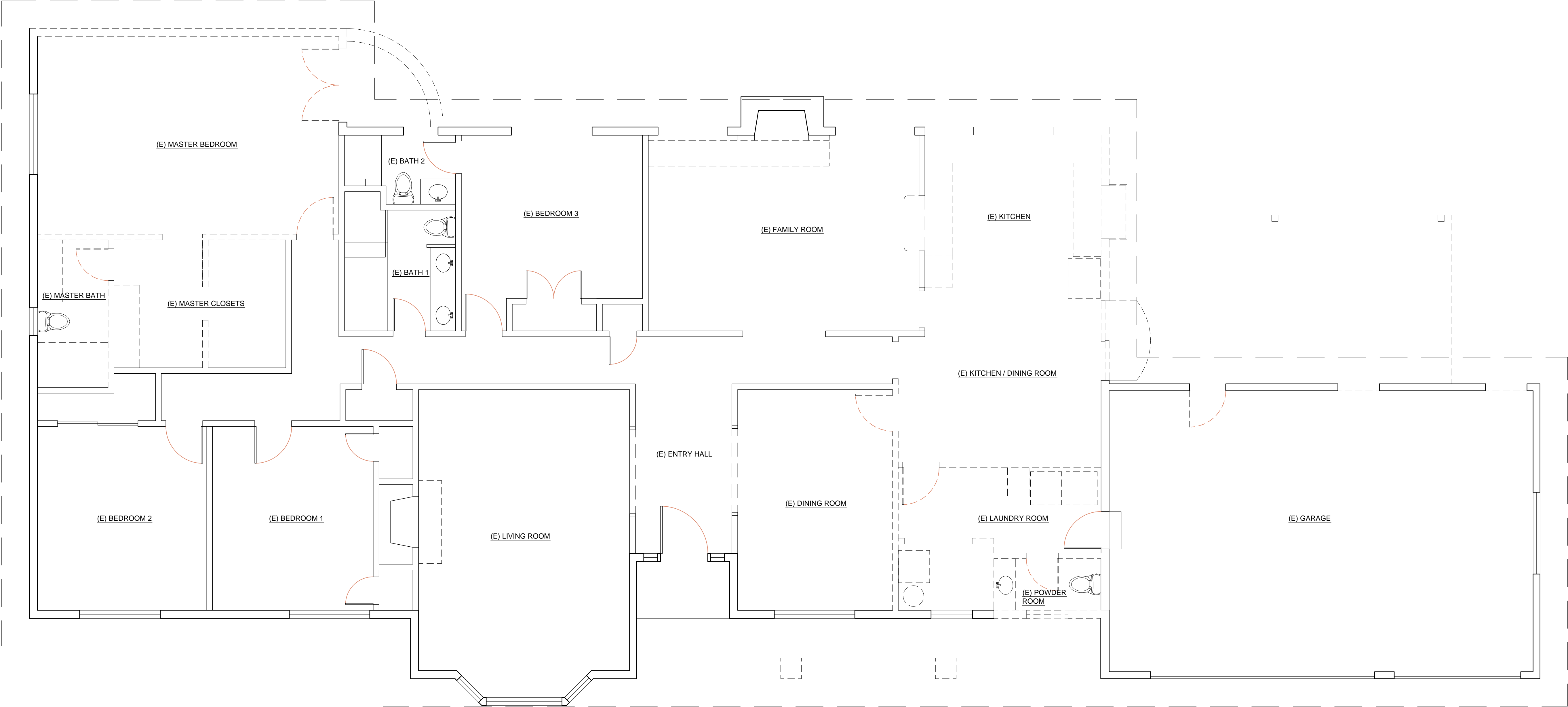
demolition
plan

Date: 9.27.2021

Scale: 1/4" = 1'-0"

Drawn by: pq

a2.1



Revisions	Description	Revision date
1		
2		
3		
4		

consultants

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Sun Blum Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

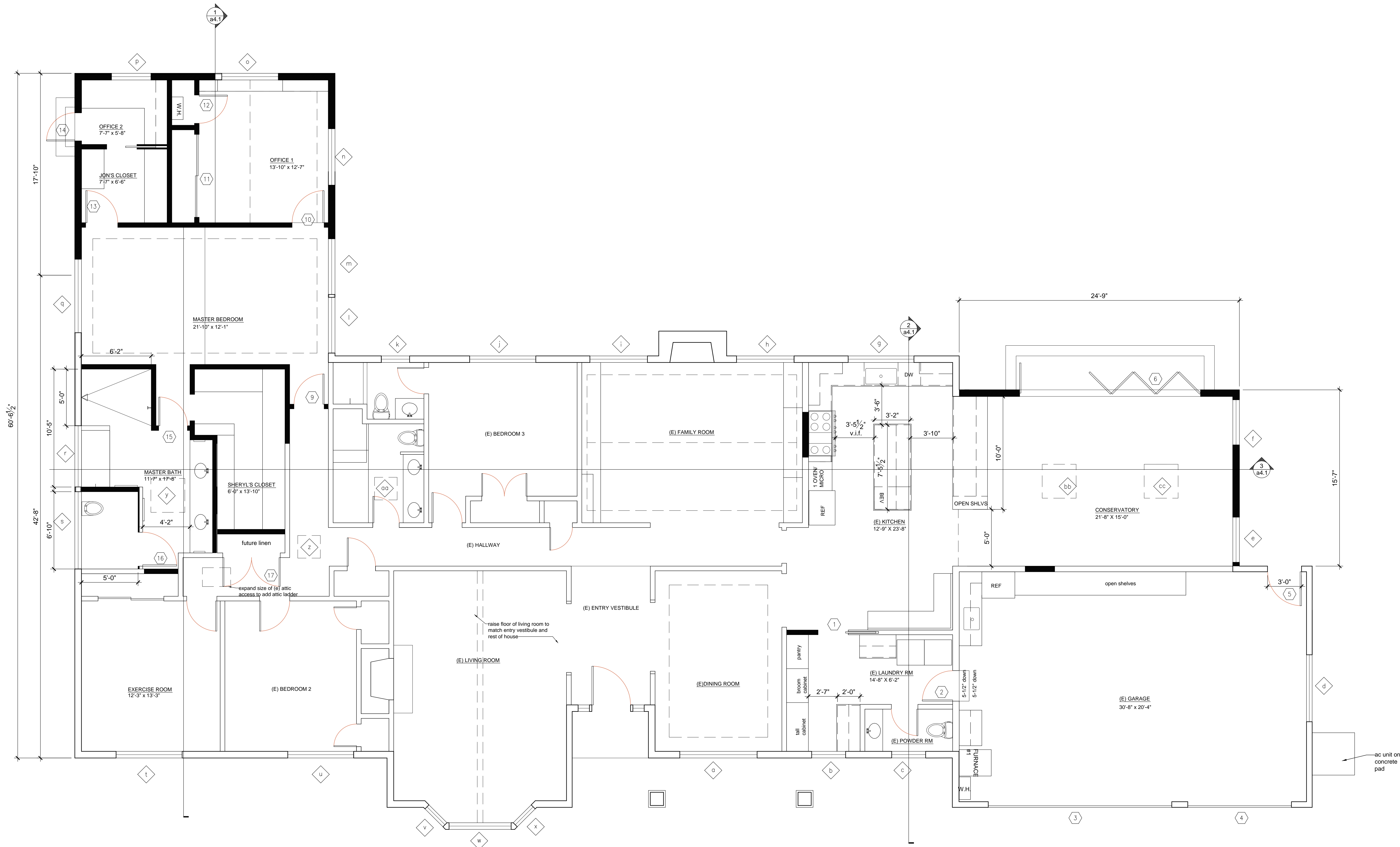
floor plan -
proposed

Date: 9.27.2021

Scale: 1/4" = 1'-0"

Drawn by: pq

a2.2



Revisions	Description	Revision date

consultants

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Sun Blum Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

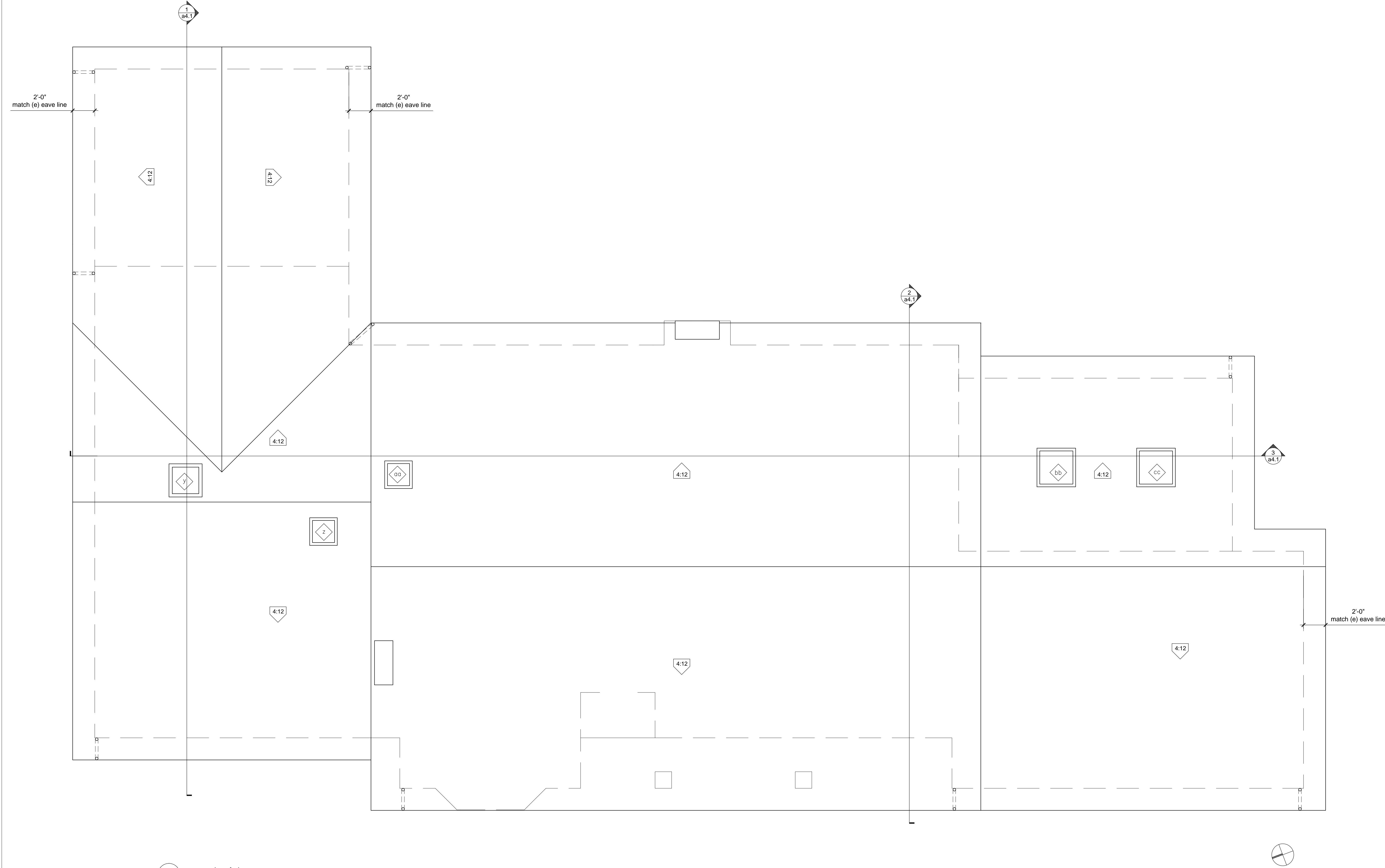
roof plan -
proposed

Date: 9.27.2021

Scale: 1/4" = 1'-0"

Drawn by: pq

a2.3



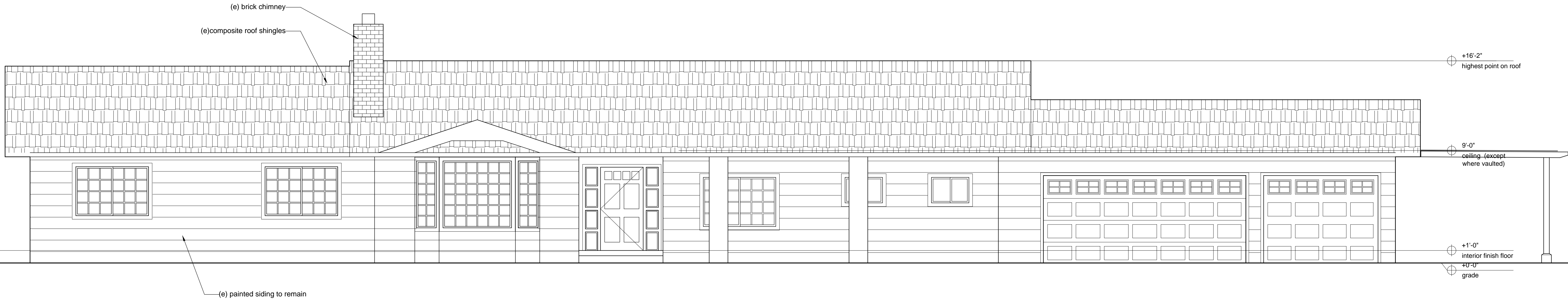
Revisions	Description	Revision date
1		
2		
3		
4		

consultants

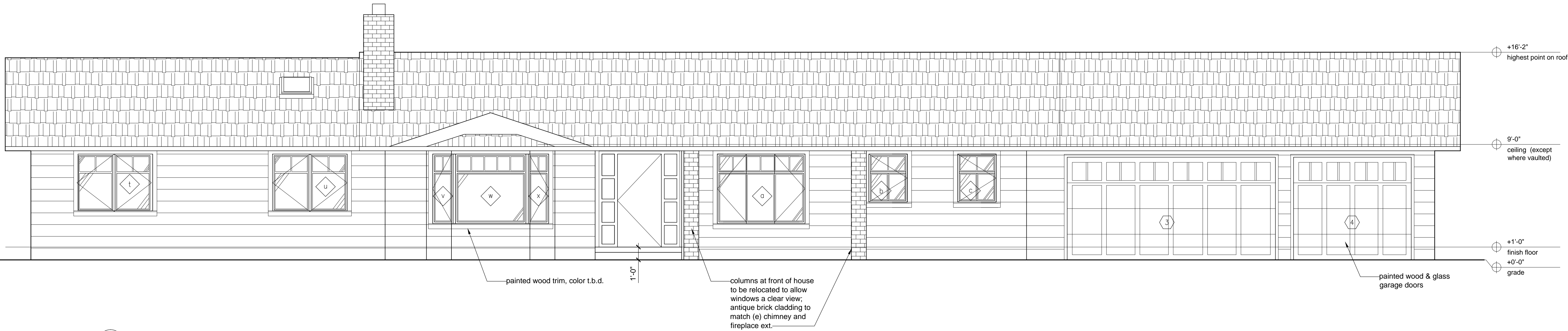
contractor

structural engineer

surveyor



1 existing north elevation
scale: 1/4" = 1'-0"



2 proposed north elevation
scale: 1/4" = 1'-0"

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Sun Blum Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

exterior
elevations

Date: 9.27.2021

Scale: 1/4" = 1'-0"

Drawn by: pq

a3.1

Revisions	Description	Revision date
1		
2		
3		
4		

consultants

contractor

structural engineer

surveyor

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Sun Blum Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

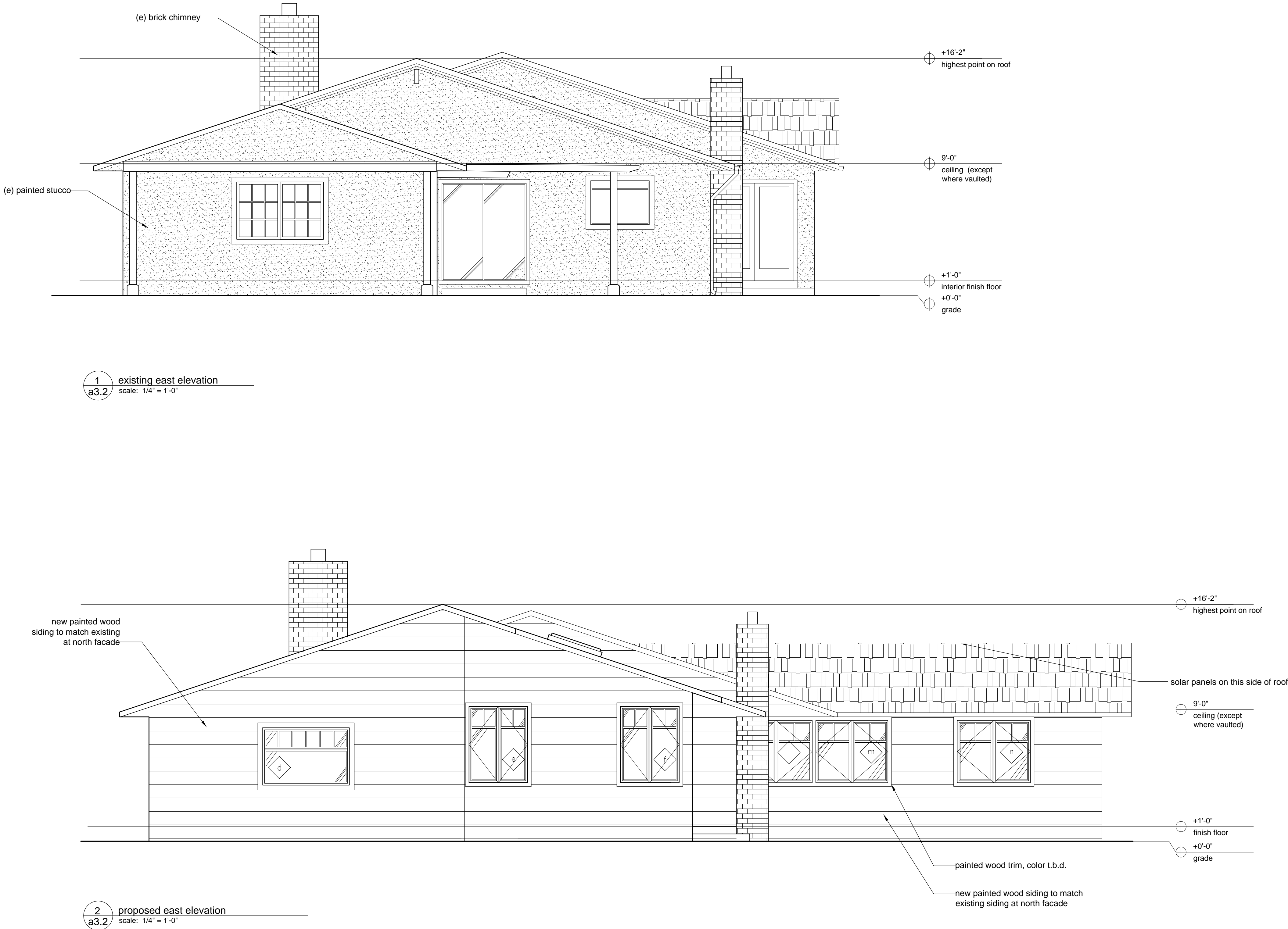
exterior
elevations

Date: 9.27.2021

Scale: 1/4" = 1'-0"

Drawn by: pq

a3.2



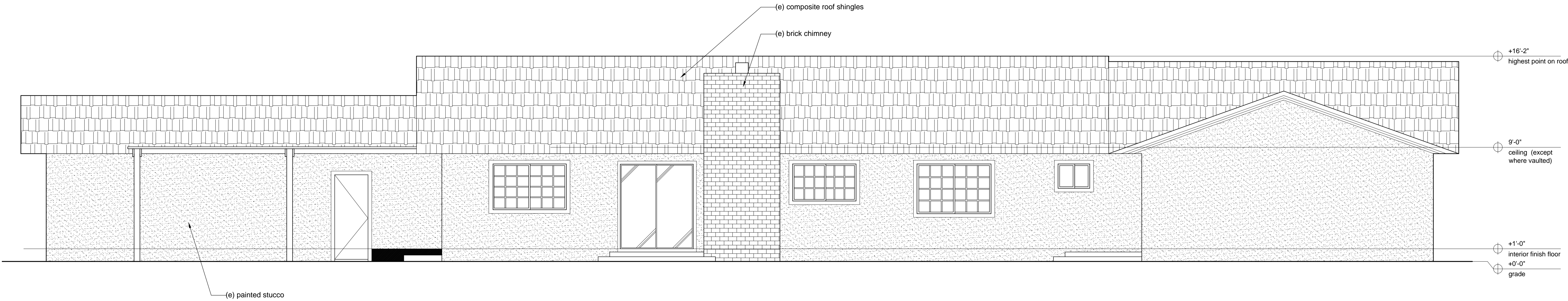
Revisions	Description	Revision date
△		

consultants

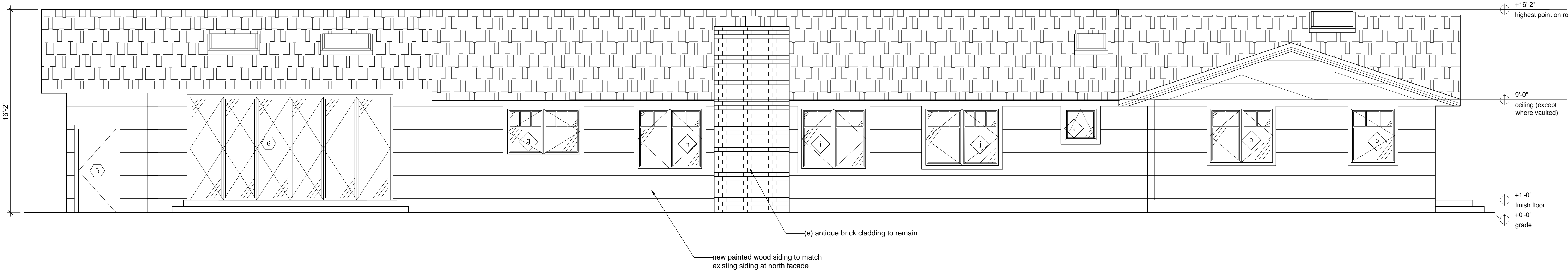
contractor

structural engineer

surveyor



1 existing south elevation
a3.3 scale: 1/4" = 1'-0"



2 proposed south elevation
a3.3 scale: 1/4" = 1'-0"

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Sun Blum Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

exterior
elevations

Date: 9.27.2021

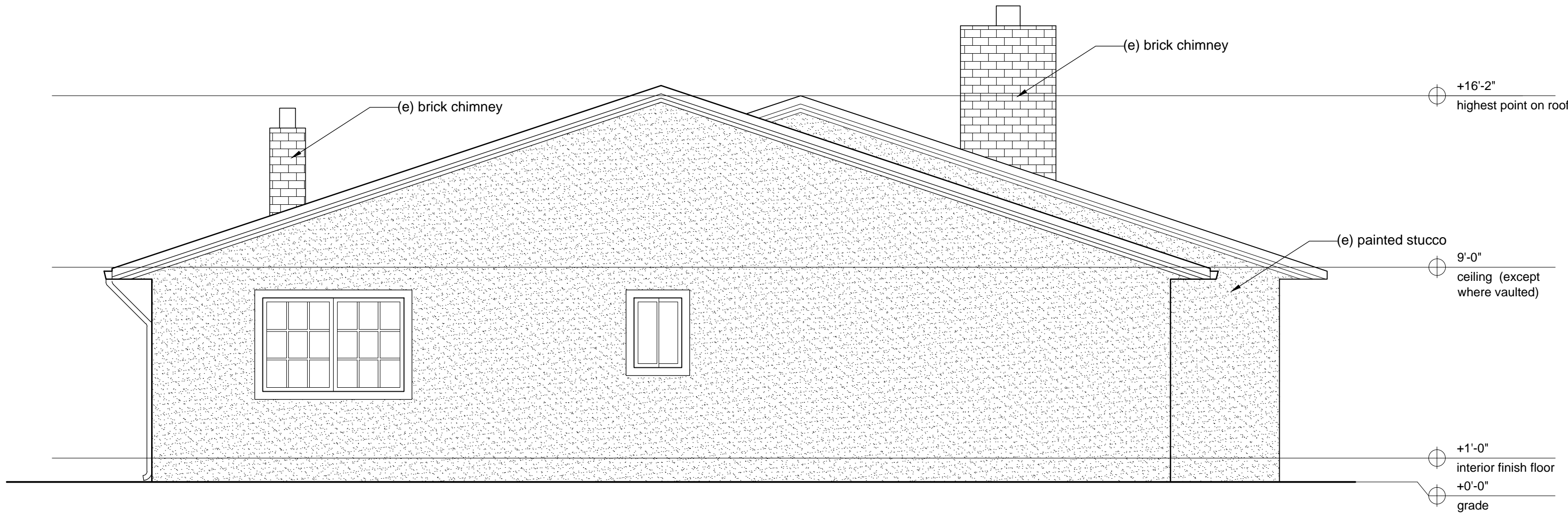
Scale: 1/4" = 1'-0"

Drawn by: pq

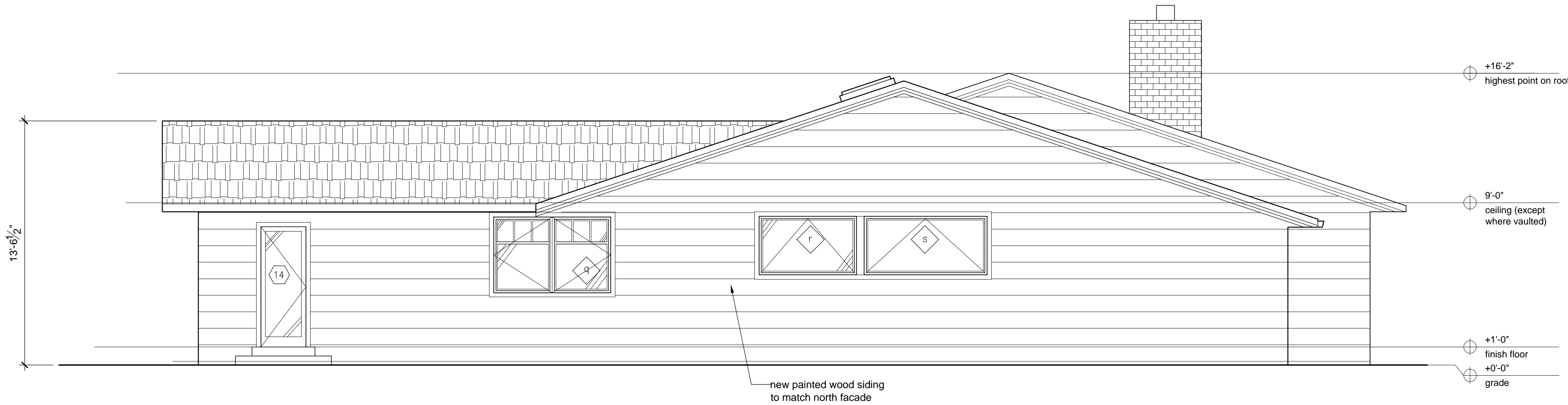
a3.3

Revisions	Description	Revision date
△		

consultants



1 existing west elevation
a3.4 scale: 1/4" = 1'-0"



2 proposed west elevation
a3.4 scale: 1/4" = 1'-0"

opq design

P.O. Box 99214
Emeryville, CA 94662
tel. 510.551.6224
peony@opq-design.com

Sun Blum Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

exterior
elevations

Date: 9.27.2021

Scale: 1/4" = 1'-0"

Drawn by: pq

a3.4

Revisions	Description	Revision date

consultants

contractor

structural engineer

surveyor

opq design

P.O. Box 99214
Emeryville, CA 94662
tel.510.551.6224
peony@opq-design.com

Cranberry Residence
1258 Cranberry Ave.
Sunnyvale, CA 94087

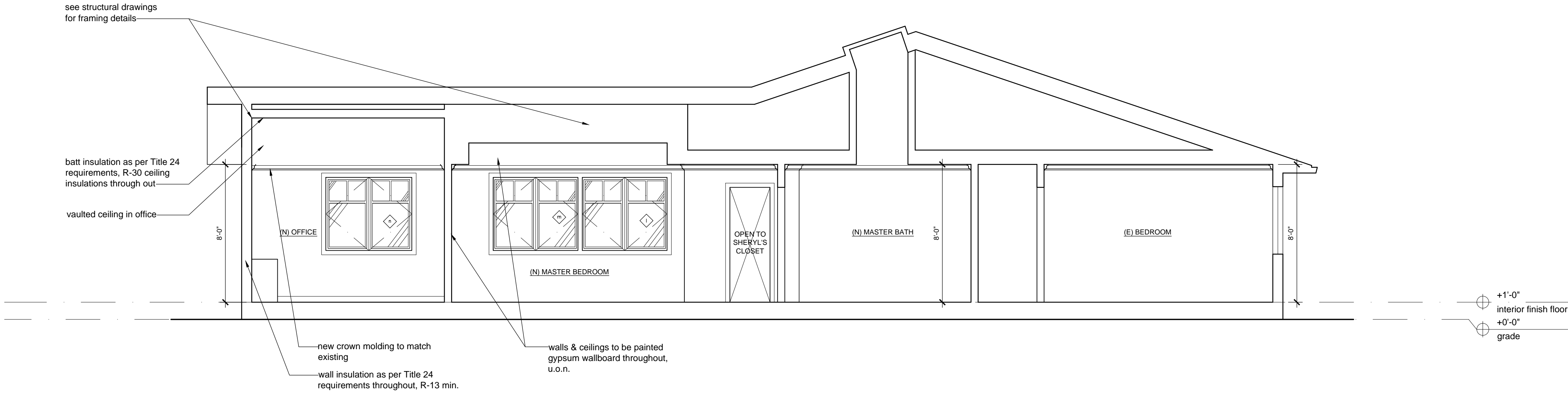
sections

Date: 9.27.2021

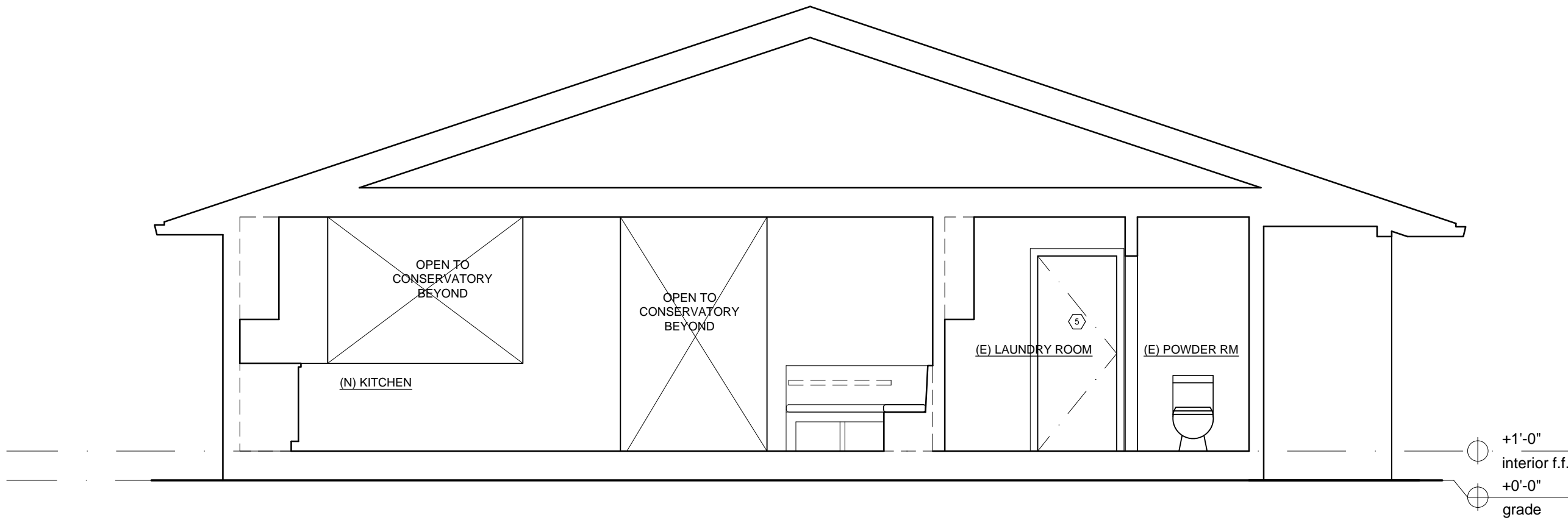
Scale: 1/4" = 1'-0"

Drawn by: pq

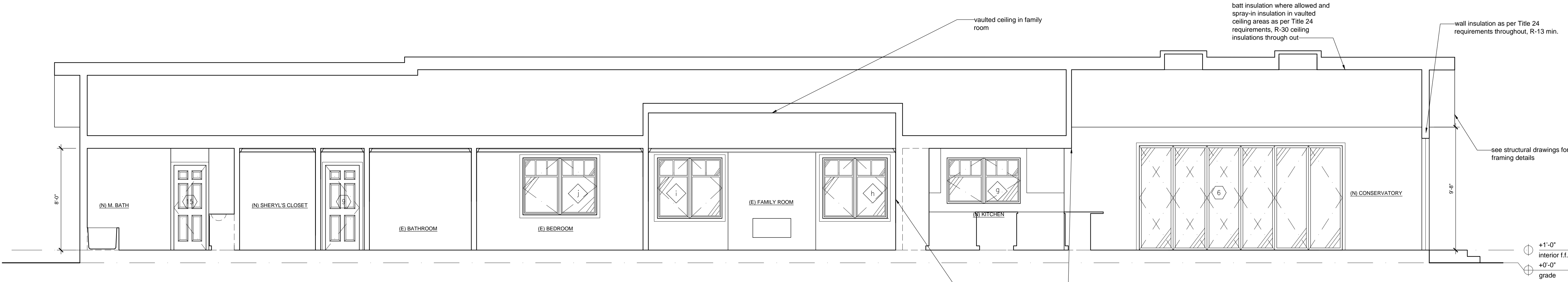
a4.1



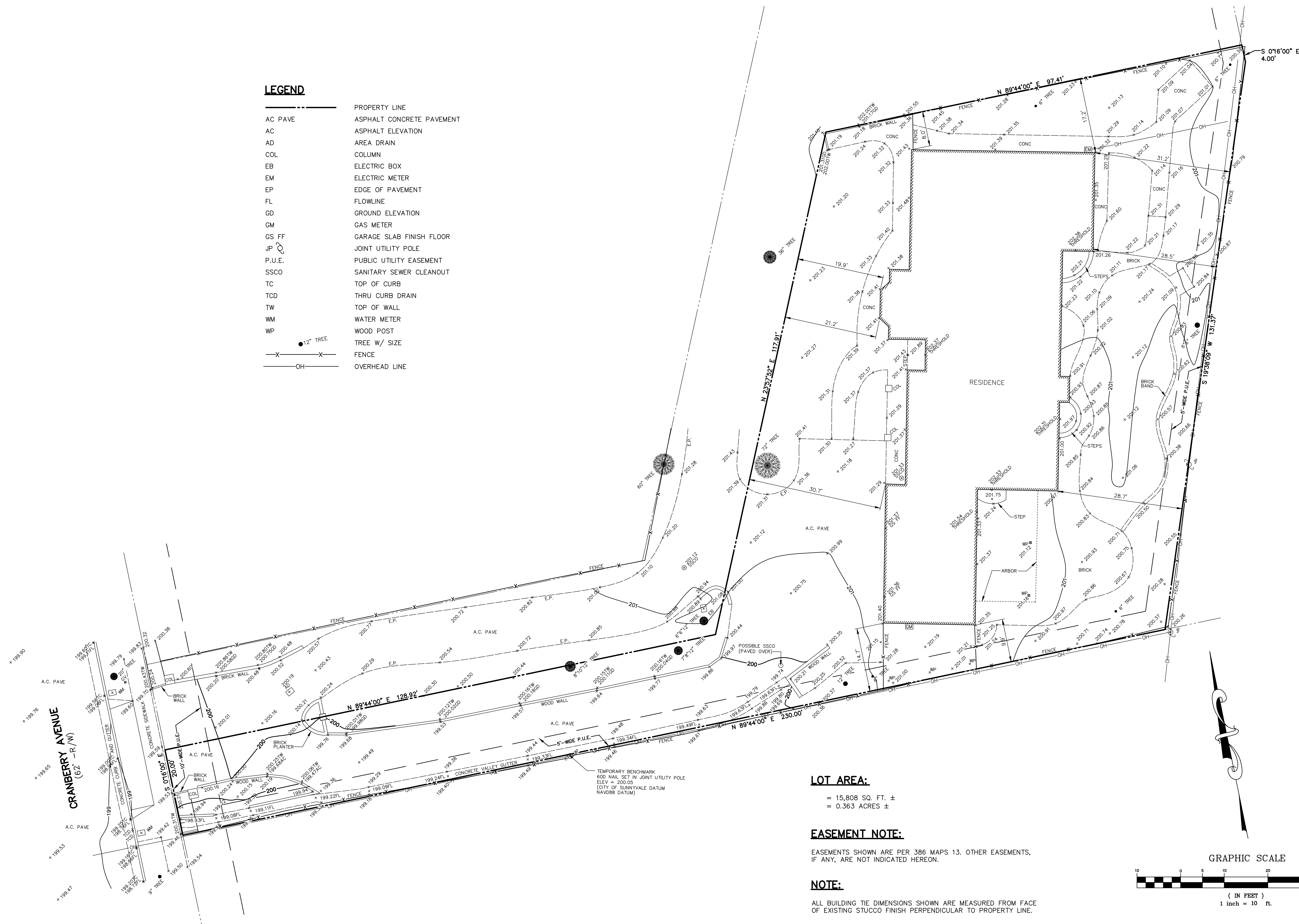
1
a4.1 proposed section a-a
scale: 1/4" = 1'-0"



2
a4.1 proposed section b-b
scale: 1/4" = 1'-0"



3
a4.1 proposed section c-c
scale: 1/4" = 1'-0"



SHEET	DRAWN BY: DPM		BOUNDARY AND TOPOGRAPHIC SURVEY PLAN		PREPARED FOR:	<p>1258 CRANBERRY AVENUE A.P.N. 202-32-046 PARCEL "D", 386 MAPS 13 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA</p>
	DESIGNED BY: ---		<p>1588 CRANBERRY AVENUE A.P.N. 202-32-046 PARCEL "D", 386 MAPS 13 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA</p>			
1	CHECKED BY: DGM		<p>1588 CRANBERRY AVENUE A.P.N. 202-32-046 PARCEL "D", 386 MAPS 13 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA</p>		<p>1588 CRANBERRY AVENUE A.P.N. 202-32-046 PARCEL "D", 386 MAPS 13 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA</p>	<p>1588 CRANBERRY AVENUE A.P.N. 202-32-046 PARCEL "D", 386 MAPS 13 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA</p>
	SCALE: 1"=10'		<p>1588 CRANBERRY AVENUE A.P.N. 202-32-046 PARCEL "D", 386 MAPS 13 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA</p>			
1	DATE: 06/08/20		<p>1588 CRANBERRY AVENUE A.P.N. 202-32-046 PARCEL "D", 386 MAPS 13 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA</p>		<p>1588 CRANBERRY AVENUE A.P.N. 202-32-046 PARCEL "D", 386 MAPS 13 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA</p>	<p>1588 CRANBERRY AVENUE A.P.N. 202-32-046 PARCEL "D", 386 MAPS 13 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA</p>
	DRAWING NO. 4781-TOPO		<p>1588 CRANBERRY AVENUE A.P.N. 202-32-046 PARCEL "D", 386 MAPS 13 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA</p>			
<p>1588 CRANBERRY AVENUE A.P.N. 202-32-046 PARCEL "D", 386 MAPS 13 SUNNYVALE SANTA CLARA COUNTY CALIFORNIA</p>						